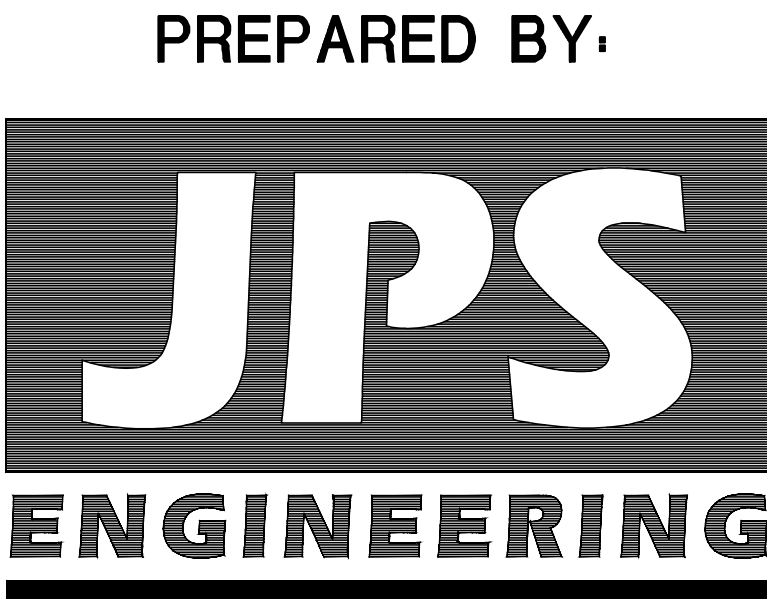


NOR'WOOD BIBLE CHURCH
LOT 38, SADDLEHORN RANCH FILING 3
Grading & Erosion Control Plans
El Paso County, Colorado

PREPARED FOR:
ROI PROPERTY GROUP, LLC
2495 Rigdon Street
Napa, CA 94558



19 East Willamette Avenue
Colorado Springs, Colorado 80909
June, 2024

AGENCIES/CONTACTS

DEVELOPER:	ROI PROPERTY GROUP, LLC 2495 RIGDON STREET NAPA, CA 94558 MR. NATHAN STEELE (949) 609-9492	WATER/WASTEWATER:	SADDLEHORN RANCH METROPOLITAN DISTRICT 614 N. TEJON STREET COLORADO SPRINGS, CO 80903 (719) 447-1777
CIVIL ENGINEER:	JPS ENGINEERING, INC. 19 E. WILLAMETTE AVENUE COLORADO SPRINGS, CO 80903 MR. JOHN P. SCHWAB, P.E. (719)477-9429	GAS DEPARTMENT:	BLACK HILLS ENERGY MR. SEBASTIAN SCHWENDER (719)399-3176
LOCAL ROADS & DRAINAGE:	EL PASO COUNTY PCD 2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80910 (719)520-6300	ELECTRIC DEPARTMENT:	MOUNTAIN VIEW ELECTRIC ASSOCIATION 11140 E. WOODMEN ROAD COLORADO SPRINGS, CO 80908 MR. DAVE WALDNER (719)495-2283
		TELEPHONE COMPANY:	CENTURY LINK COMMUNICATIONS (LOCATORS) (800)922-1987 A.T. & T. (LOCATORS) (719)635-3674

GEC PLAN SHEET INDEX

C1.0	GEC PLAN TITLE SHEET
G2.0	GENERAL NOTES & LEGEND
C1.1	SITE GRADING & EROSION CONTROL PLAN
C1.2	CIVIL DETAILS
C2.1	BUILDING AREA GRADING PLAN
C3.1	CIVIL & EROSION CONTROL NOTES & DETAILS
C3.2	EROSION CONTROL DETAILS

ENGINEER:

DESIGN ENGINEER'S STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR LIABILITY CAUSED BY NEGLIGENCE ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

John P. Schwab
JOHN P. SCHWAB, P.E. #29891 6/28/24
DATE

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE DATE

NAME: ROI PROPERTY GROUP, LLC
ADDRESS: 2495 RIGDON STREET,
NAPA, CA 94558
PHONE: (949) 609-9492 EMAIL: nathan.steele@roipropertygroup.com

EL PASO COUNTY:

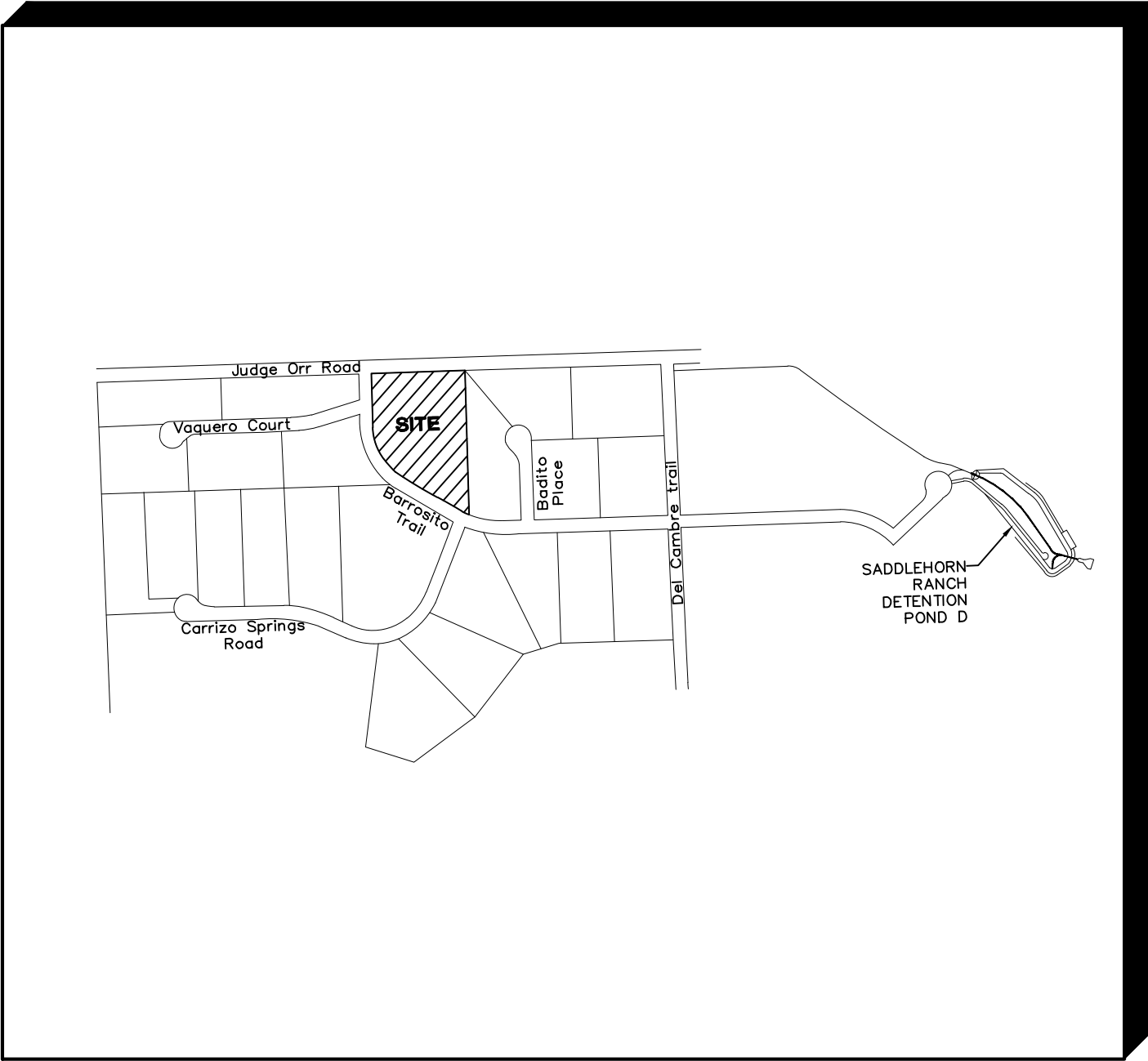
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THEY WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

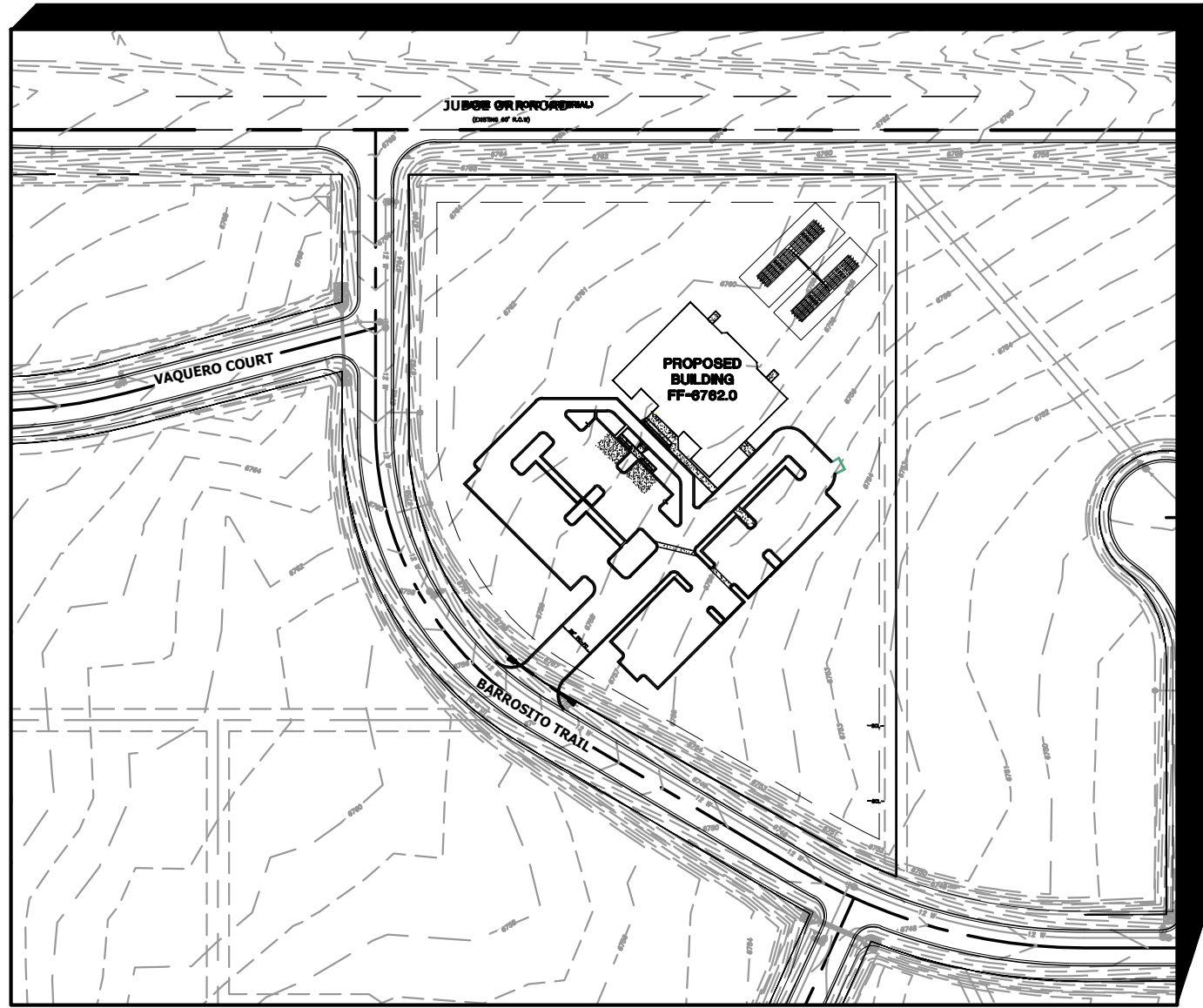
JOSHUA PALMER, P.E.,
COUNTY ENGINEER / ECM ADMINISTRATOR DATE

PCD FILE NO. PPR2346



VICINITY MAP

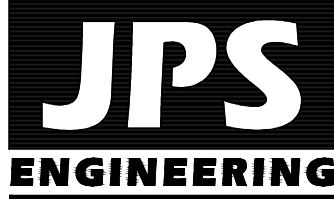
SCALE 1"=700'
(24"X36" SHEET)



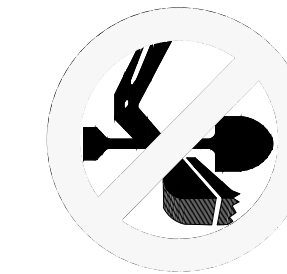
SITE MAP

SCALE 1"=150'
(24"X36" SHEET)

BENCHMARK:
THE VERTICAL DATUM IS BASED OFF AN
OPUS SOLUTION RAN ON CONTROL POINT
#100 (NO. 4 REBAR) AND IS ADJUSTED
TO NGVD 1929, ELEVATION 6754.61



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MEMBER UTILITIES.

NO.	REVISION	BY	DATE
1	EPC SUBMITTAL	JPS	10/13/23
2	COUNTY COMMENTS	JPS	01/15/24
3	COUNTY COMMENTS	JPS	05/09/24
4	COUNTY COMMENTS	JPS	06/25/24

GEC PLAN
TITLE SHEET

NOR'WOOD BIBLE CHURCH
LOT 38, SADDLEHORN RANCH FILING NO. 3

HORZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	JR	CHECKED:	JPS
CREATED:	08/29/22	LAST MODIFIED:	06/25/24
PROJECT NO:	042303	MODIFIED BY:	PV

SHEET:
C1.0

COUNTY GENERAL NOTES:

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
- A. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - B. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - C. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - D. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP WITH CLASS B BEDDING UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW (DEPT. OF PUBLIC WORKS) AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
16. EL PASCO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN ON THESE PLANS AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTAINANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND SADDLEHORN METROPOLITAN DISTRICT.

GENERAL DRAINAGE NOTES:

1. INDIVIDUAL BUILDERS SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ACCOUNT FOR POTENTIAL CROSS-LOT DRAINAGE IMPACTS WITHIN EACH LOT.
2. BUILDERS AND PROPERTY OWNERS SHALL IMPLEMENT & MAINTAIN EROSION CONTROL BEST MANAGEMENT PRACTICES FOR PROTECTION OF DOWNSTREAM PROPERTIES AND FACILITIES INCLUDING PROTECTION OF EXISTING GRASS BUFFER STRIPS ALONG THE DOWNSTREAM PROPERTY BOUNDARIES.
3. GRADING AND DRAINAGE WITHIN LOTS IS THE RESPONSIBILITY OF THE INDIVIDUAL BUILDERS AND PROPERTY OWNERS.

COUNTY SIGNING AND STRIPING NOTES:

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS".
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

PROJECT GENERAL CIVIL NOTES:

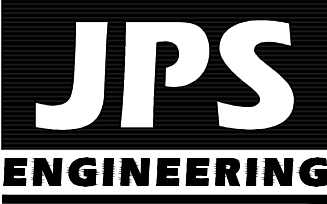
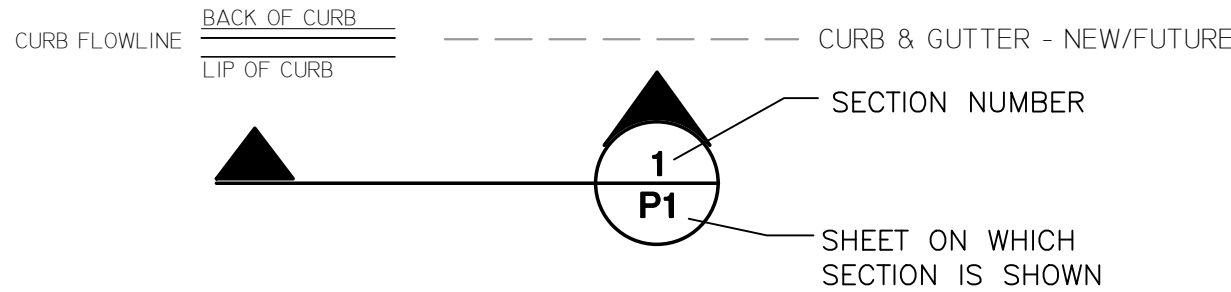
1. ALL CONSTRUCTION SHALL MEET THE FOLLOWING STANDARDS & SPECIFICATIONS:
- INTERNATIONAL BUILDING CODE, LATEST EDITION ADOPTED BY LOCAL JURISDICTION
 - PIKES PEAK REGIONAL BUILDING CODE, LATEST EDITION.
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM), LATEST EDITION.
 - PROJECT GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
3. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THESE APPROVED PLANS AND ACCESS TO THE APPLICABLE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
4. STORM DRAIN PIPE SHALL BE RCP CLASS III WITH CLASS C BEDDING UNLESS OTHERWISE NOTED.
5. STATIONING IS AT CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. LENGTHS SHOWN FOR STORM SEWER PIPES ARE TO CENTER OF MANHOLE.
6. CONTRACTOR SHALL COORDINATE WITH GAS, ELECTRIC, TELEPHONE AND CABLE T.V. UTILITY SUPPLIERS FOR INSTALLATION OF ALL UTILITIES. MINIMUM COVER FOR ALL DRY UTILITIES SHALL BE 36".
7. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, DEBRIS, WASTE AND OTHER UNSUITABLE FILL MATERIAL FOUND WITHIN THE LIMITS OF EXCAVATION.
8. MATCH INTO EXISTING GRADES AT 3:1 MAX CUT AND FILL SLOPES.
9. REVEGETATION OF ALL DISTURBED AREAS SHALL BE DONE WITH 4" TOPSOIL AND DRY LAND GRASS SEED AFTER FINE GRADING IS COMPLETE ("FOOTHILLS SEED MIX").
10. EROSION CONTROL SHALL CONSIST OF SILT FENCE AND OTHER CONTROL MEASURES AS SHOWN ON THE DRAWING, AND TOPSOIL WITH GRASS SEED, WHICH WILL BE WATERED UNTIL VEGETATION HAS BEEN RE-ESTABLISHED.
11. THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR AND REPLACE, REGRADE, AND REBUILD AS NECESSARY UNTIL VEGETATION IS RE-ESTABLISHED.
12. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES IN A MANNER THAT WILL PROTECT ADJACENT PROPERTIES AND PUBLIC FACILITIES FROM THE ADVERSE EFFECTS OF EROSION AND SEDIMENTATION AS A RESULT OF CONSTRUCTION AND EARTHWORK ACTIVITIES WITHIN THE PROJECT SITE.
13. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY SITE CONDITIONS.
14. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
15. ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE MATERIAL SHALL BE COMPACTED PER THE PROJECT GEOTECHNICAL REPORT AND CITY SPECIFICATIONS.
16. CONCRETE USED IN CURB AND GUTTER, SIDEWALK, AND CROSSSPAN CONSTRUCTION SHALL MEET CITY CRITERIA.
17. ALL FINISHED GRADES SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
18. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

HANDICAP ACCESS NOTES:

1. RAMPS ARE NOT TO BE PLACED IN HANDICAP ACCESS AISLES.
2. ACCESS AISLES MAY NOT EXCEED A 2% (1:48) SLOPE IN ANY DIRECTION.
3. HANDICAP RAMPS MAY NOT EXCEED A SLOPE OF 8% (1:12).
4. THE MINIMUM WIDTH FOR HANDICAPPED RAMPS IS 36 INCHES. THE SIDES OF RAMPS MAY NOT EXCEED A SLOPE OF 10% UNLESS PROTECTED WITH A HANDRAIL.
5. HANDICAPPED PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS.

LEGEND:

NEW/EXISTING	
	SECTION LINE - NEW/EXISTING
	EASEMENT LINE - NEW/EXISTING
	CONTOUR - NEW/EXISTING
	PROPERTY LINE - NEW/EXISTING
	FENCE - NEW/EXISTING
	OVERHEAD ELECTRIC LINE W/ POWER POLE NEW/EXISTING
	UNDERGROUND ELECTRIC LINE NEW/EXISTING
	UNDERGROUND ELECTRIC - NEW/EXISTING
	TELEPHONE - NEW/EXISTING
	GAS - NEW/EXISTING
	WATER - NEW/EXISTING
	RAW WATER - NEW/EXISTING
	CURB & GUTTER - NEW/FUTURE



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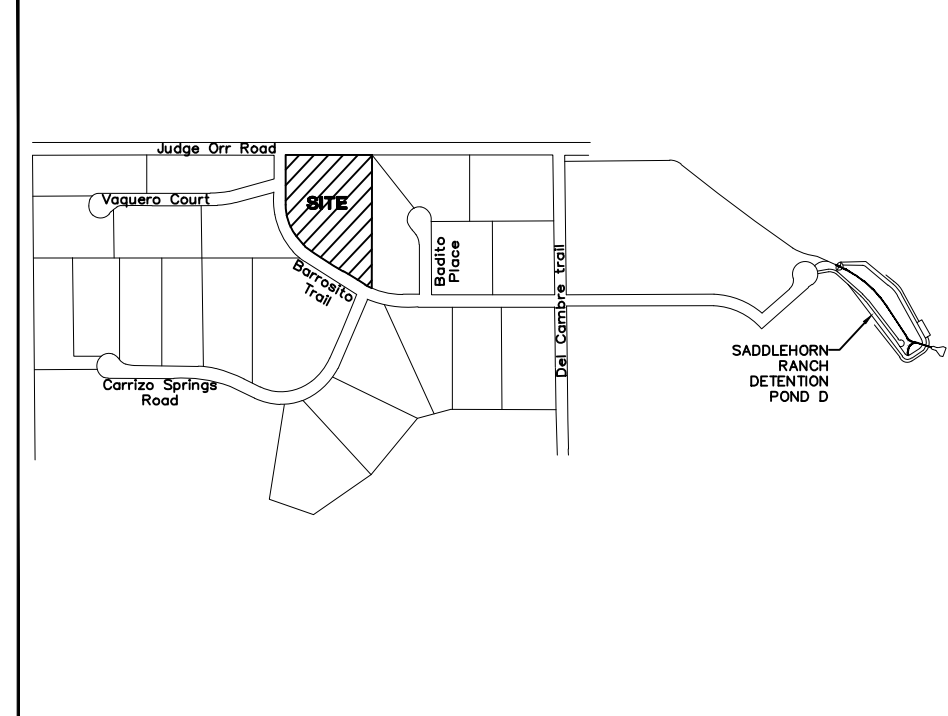
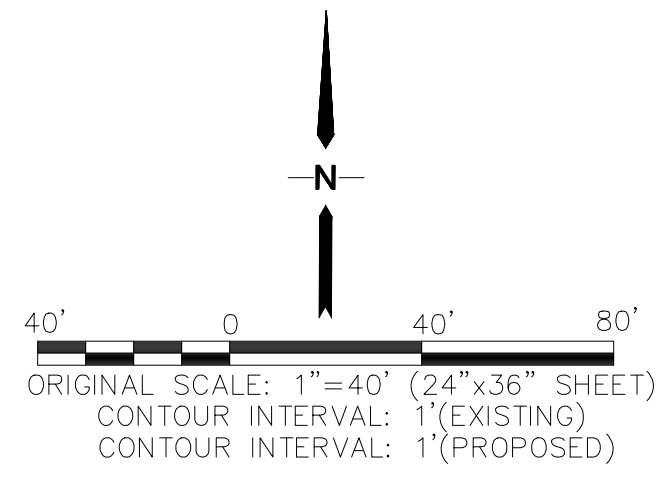
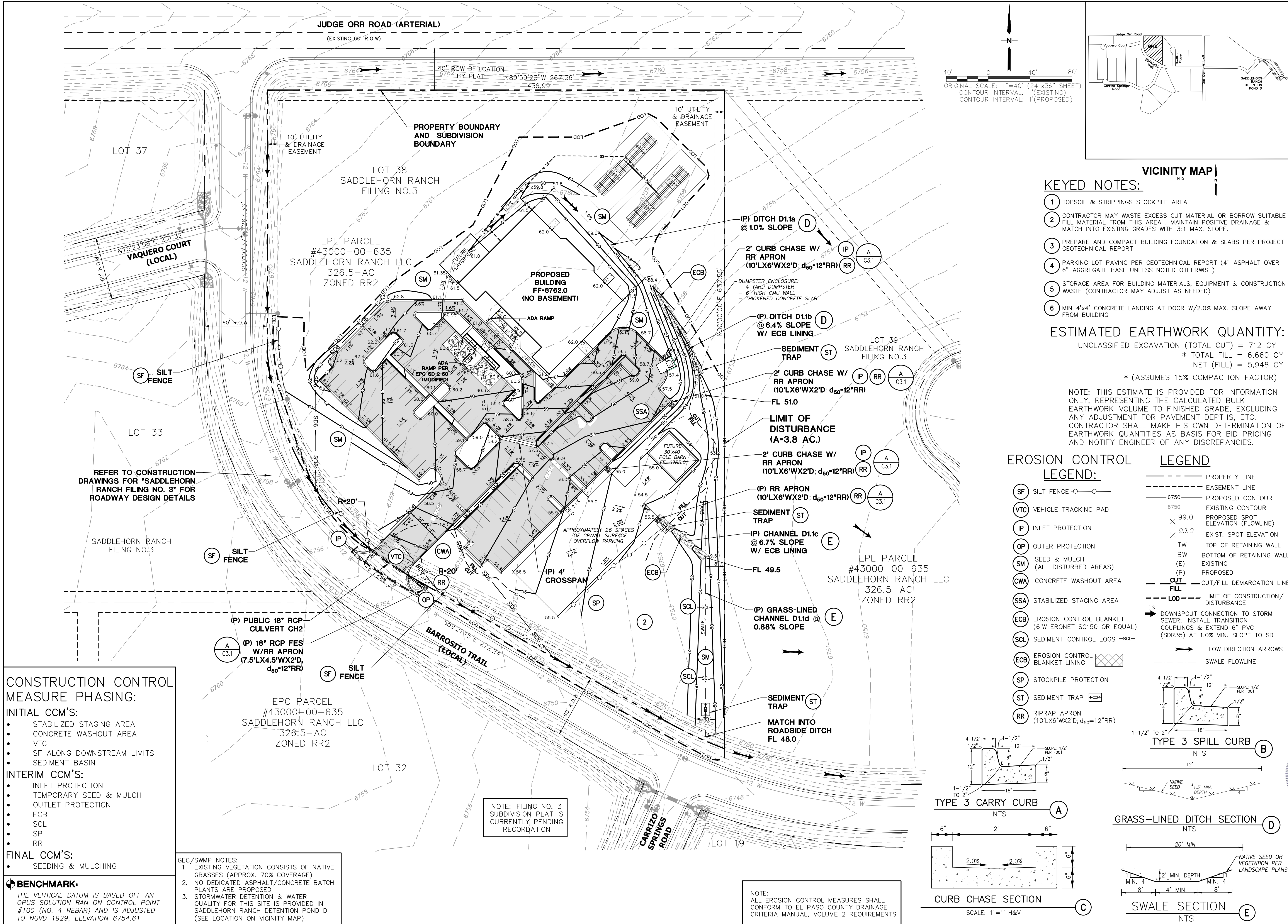
REVISION		BY	DATE
		JPS	
No.			

GENERAL NOTES AND LEGEND

NOR'WOOD BIBLE CHURCH
LOT 38, SADDLEHORN RANCH FILING NO. 3

HORZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	JR	CHECKED:	JPS
CREATED:	08/29/22	LAST MODIFIED:	05/09/24
PROJECT NO:	042303	MODIFIED BY:	PV

G2.0

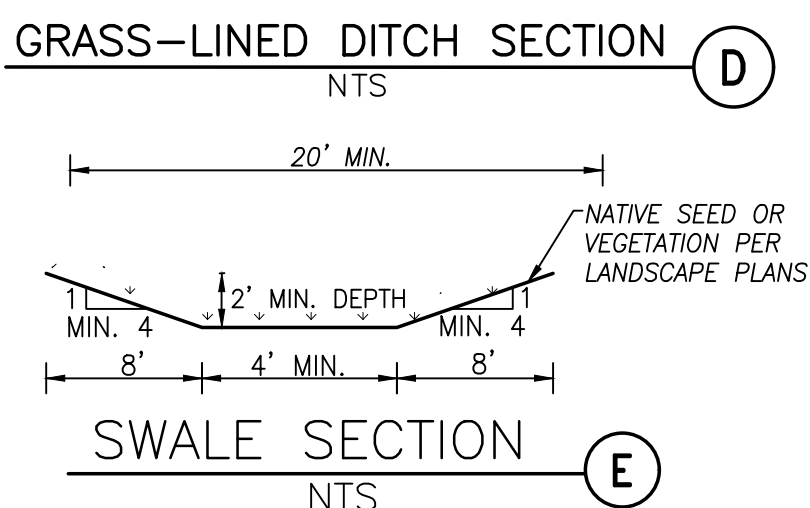
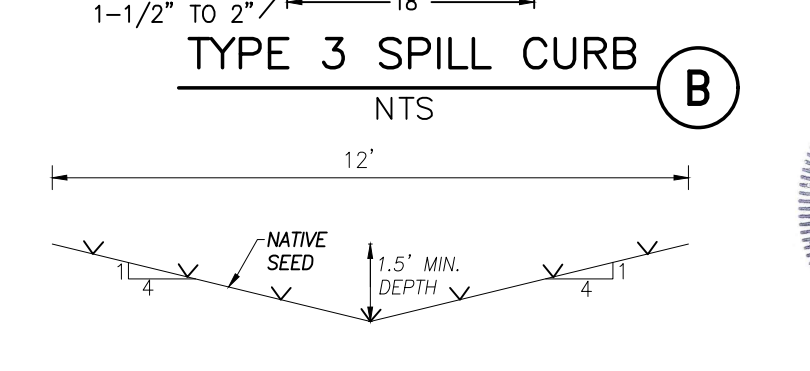
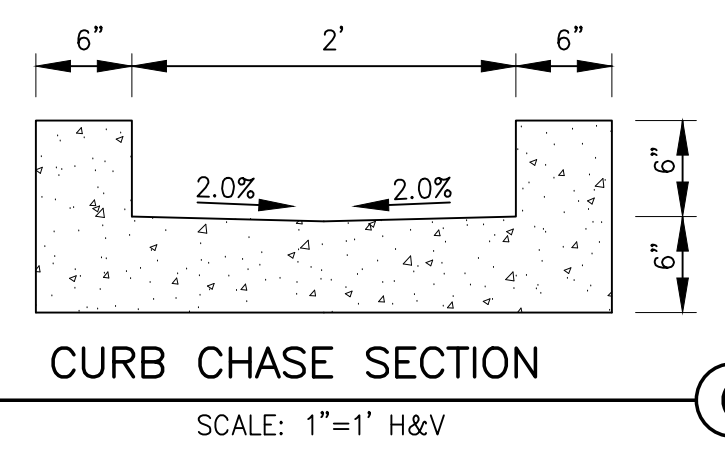
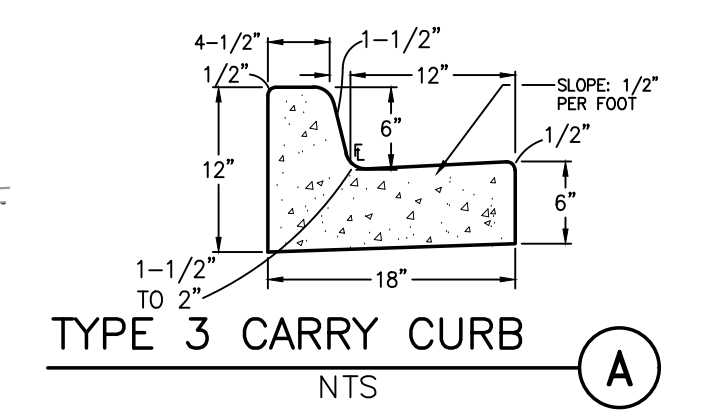


- KEYED NOTES:**
- 1 TOPSOIL & STRIPPINGS STOCKPILE AREA
 - 2 CONTRACTOR MAY WASTE EXCESS CUT MATERIAL OR BORROW SUITABLE FILL MATERIAL FROM THIS AREA. MAINTAIN POSITIVE DRAINAGE & MATCH INTO EXISTING GRADES WITH 3:1 MAX. SLOPE.
 - 3 PREPARE AND COMPACT BUILDING FOUNDATION & SLABS PER PROJECT GEOTECHNICAL REPORT
 - 4 PARKING LOT PAVING PER GEOTECHNICAL REPORT (4" ASPHALT OVER 6" AGGREGATE BASE UNLESS NOTED OTHERWISE)
 - 5 STORAGE AREA FOR BUILDING MATERIALS, EQUIPMENT & CONSTRUCTION WASTE (CONTRACTOR MAY ADJUST AS NEEDED)
 - 6 MIN 4"x4" CONCRETE LANDING AT DOOR W/2.0% MAX. SLOPE AWAY FROM BUILDING

ESTIMATED EARTHWORK QUANTITY:
UNCLASSIFIED EXCAVATION (TOTAL CUT) = 712 CY
* TOTAL FILL = 6,660 CY
NET (FILL) = 5,948 CY
* (ASSUMES 15% COMPACTION FACTOR)

NOTE: THIS ESTIMATE IS PROVIDED FOR INFORMATION ONLY, REPRESENTING THE CALCULATED BULK EARTHWORK VOLUME TO FINISHED GRADE, EXCLUDING ANY ADJUSTMENT FOR PAVEMENT DEPTHS, ETC. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES AS BASIS FOR BID PRICING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

- EROSION CONTROL LEGEND:**
- (SF) SILT FENCE
 - (VTC) VEHICLE TRACKING PAD
 - (IP) INLET PROTECTION
 - (OP) OUTER PROTECTION
 - (SM) SEED & MULCH (ALL DISTURBED AREAS)
 - (CWA) CONCRETE WASHOUT AREA
 - (SSA) STABILIZED STAGING AREA
 - (ECB) EROSION CONTROL BLANKET (6" W ERONET SC150 OR EQUAL)
 - (SCL) SEDIMENT CONTROL LOGS - SCL
 - (ECB) EROSION CONTROL BLANKET LINING
 - (SP) STOCKPILE PROTECTION
 - (ST) SEDIMENT TRAP
 - (RR) RIPRAP APRON (10' L X 6' W X 2' D; d₅₀ = 12" RR)
- LEGEND:**
- PROPERTY LINE
 - EASEMENT LINE
 - 6750 --- PROPOSED CONTOUR
 - 6750 --- EXISTING CONTOUR
 - X 99.0 --- PROPOSED SPOT ELEVATION (FLOWLINE)
 - X 99.0 --- EXIST. SPOT ELEVATION
 - TW --- TOP OF RETAINING WALL
 - BW --- BOTTOM OF RETAINING WALL
 - (E) --- EXISTING
 - (P) --- PROPOSED
 - CUT/FILL DEMARCATION LINE
 - LOD --- LIMIT OF CONSTRUCTION/DISTURBANCE
 - DS --- DOWNSPOUT CONNECTION TO STORM SEWER; INSTALL TRANSITION COUPLINGS & EXTEND 6" PVC (SDR35) AT 1.0% MIN. SLOPE TO SD
 - FLOW DIRECTION ARROWS
 - SWALE FLOWLINE



CONSTRUCTION CONTROL MEASURE PHASING:

INITIAL CCM'S:

- STABILIZED STAGING AREA
- CONCRETE WASHOUT AREA
- VTC
- SF ALONG DOWNSTREAM LIMITS
- SEDIMENT BASIN

INTERIM CCM'S:

- INLET PROTECTION
- TEMPORARY SEED & MULCH
- OUTLET PROTECTION
- ECB
- SCL
- SP
- RR

FINAL CCM'S:

- SEEDING & MULCHING

BENCHMARK:
THE VERTICAL DATUM IS BASED OFF AN OPUS SOLUTION RAN ON CONTROL POINT #100 (NO. 4 REBAR) AND IS ADJUSTED TO NGVD 1929, ELEVATION 6754.61

GEC/SWMP NOTES:

1. EXISTING VEGETATION CONSISTS OF NATIVE GRASSES (APPROX. 70% COVERAGE)
2. NO DEDICATED ASPHALT/CONCRETE BATCH PLANTS ARE PROPOSED
3. STORMWATER DETENTION & WATER QUALITY FOR THIS SITE IS PROVIDED IN SADDLEHORN RANCH DETENTION POND D (SEE LOCATION ON VICINITY MAP)

NOTE: FILING NO. 3 SUBDIVISION PLAT IS CURRENTLY PENDING RECORDATION

NOTE: ALL EROSION CONTROL MEASURES SHALL CONFORM TO EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUME 2 REQUIREMENTS

19 E. Willamette Ave.
Colorado Springs, CO 80903
PH: 719-477-9429
FAX: 719-471-0766
www.jpsengr.com

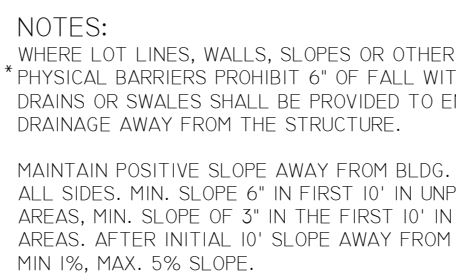
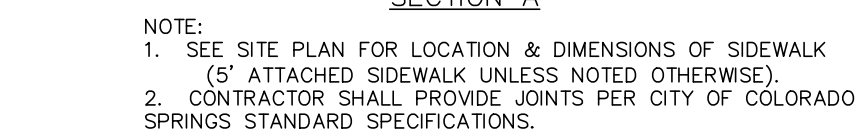
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

NO.	REVISION	BY	DATE

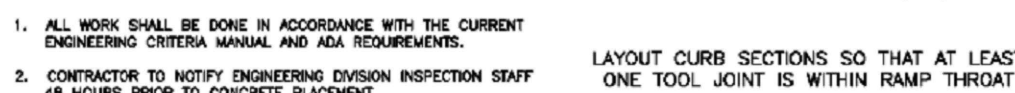
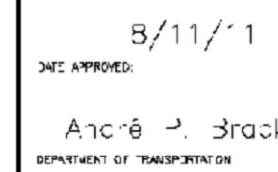
NORWOOD BIBLE CHURCH
LOT 38, SADDLEHORN RANCH FILING NO. 3

SITE GRADING AND EROSION CONTROL PLAN

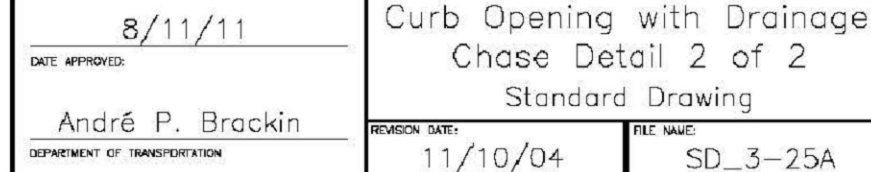
C1.1



NOTE:
PROVIDE HANDRAIL ALONG ALL RETAINING
WALLS & DRAINAGE STRUCTURE WITH OVER
30" HEIGHT ABOVE GRADE



GENERAL NOTES	
1. DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS, SEE EWM SECTION 100 FOR PEDESTRIAN SUBMITTAL LOCATION AND DIMENSIONS.	
2. DETECTABLE WARNING SURFACE SHALL START AT MINIMUM OF 6" BUT NOT MORE THAN 24" FROM THE FLOWLINE OF THE CURB AT THE INTERSECTION.	1. WHERE THE "L"-SHAPED SIDES OF A PERPENDICULAR CURB RAMP IS (ARE) ADJACENT WITH A PEDESTRIAN OR HAND SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE WARNING SURFACE SLOPE SHALL NOT EXCEED 10:1.
3. DETECTABLE WARNING SURFACE SHALL BE PREPARED/CAST IRON (PATINA TANNER, FINISH) AND IN ACCORDANCE WITH EWM CHAPTER 8. UNIFORM, FLAT, NONSLIP, NONREFLECTIVE, FRANGED EDGES AND FINISHES WILL NOT BE ACCEPTED.	2. PEDESTRIAN WARNING (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMP OR UNDESIRABLE CURB SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
4. THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND 24" IN WIDTH.	3. AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, INCLUDING OF THE FLARE SIDES, SHALL NOT BE TAPERED WITHIN THE MARKINGS.
5. PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK 4' MINIMUM.	
6. ALL PEDESTRIAN CURB RAMPS WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TOWNLINE RAMPS WHICH MAY BE PARALLEL SUBJECT TO APPROVAL.	
7. DRAINAGE STRUCTURES, TYPICAL SLOPE/SLOPES, UTILITIES/LANDINGS BOULEVARD, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND UNDESIRABLE ARE PROHIBITED.	
8. THE COUNTERSLOPE GRADE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 10%.	



CURB AND GUTTER TYPE 2

3/4" DIA. DRAINAGE WEEP HOLE

5'

8.3% MAX.
7.5% MAX. PREF.
(TYP.)

DOME (TYP.)

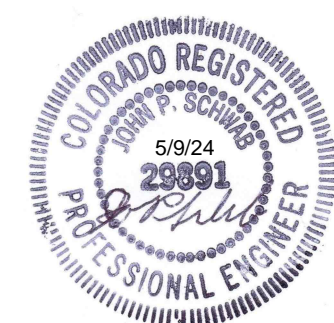
FLOWLINE

2'-0"

6"

DETECTABLE WARNING SURFACE (CAST IRON - PATINA NATURAL FINISH)

FLOWLINE



No.	REVISION	BY	DATE
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CIVIL DETAILS

HORZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	JR	CHECKED:	JPS
CREATED:	08/29/22	LAST MODIFIED:	10/10/23
PROJECT NO:	042303	MODIFIED BY:	PV

REVISÉ 7/02/19

- COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT



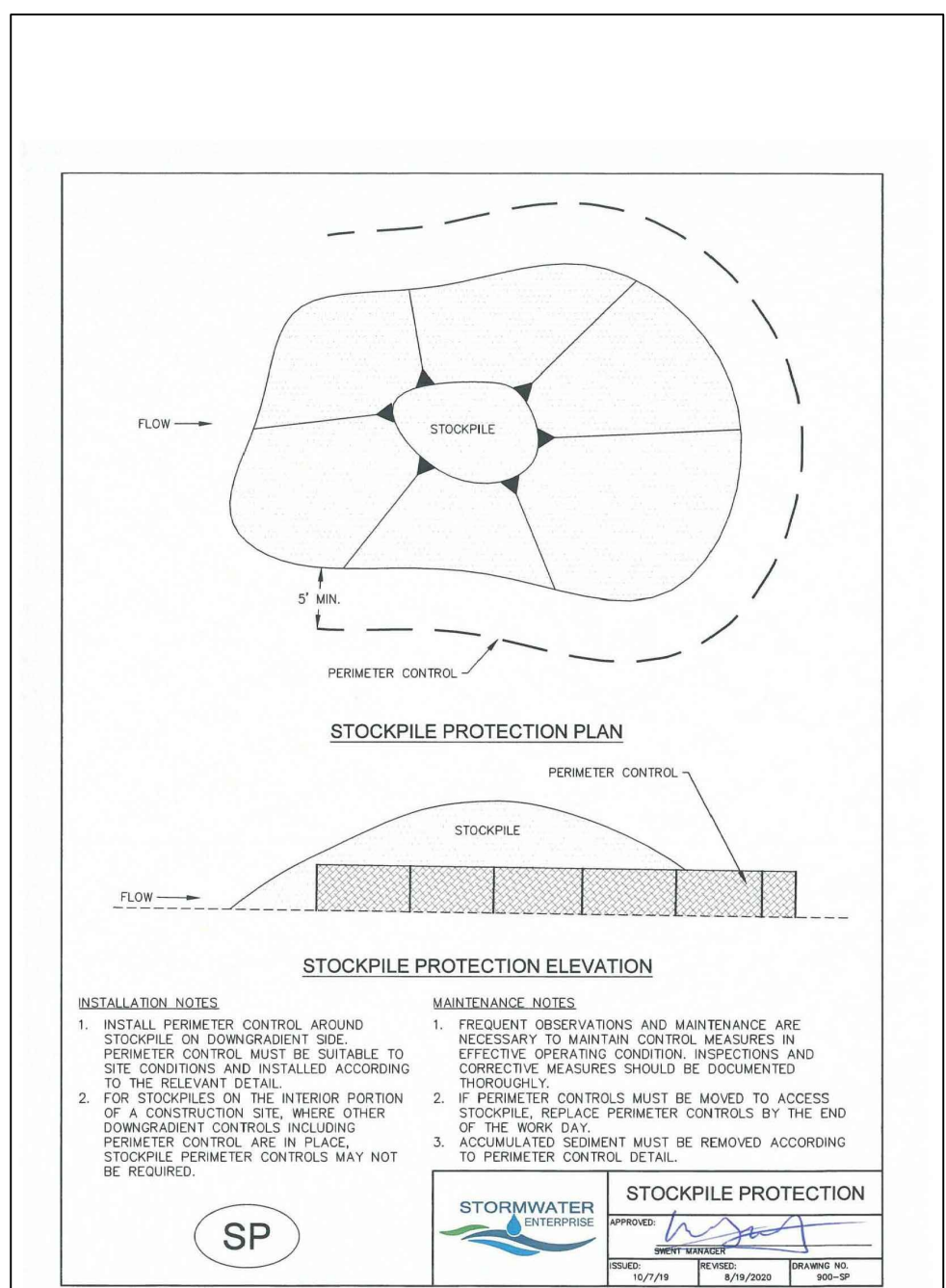
SEEDING & FERTILIZER APPLICATION: DRILL SEED OR
HYDRO-SEED PER
CDOT SPEC. SECTION 212.

ESTIMATED TIME SCHEDULE:

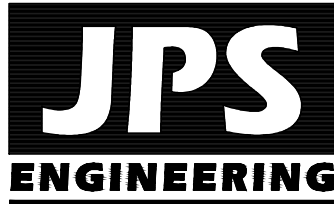
SEDIMENT CONTROL MAINTENANCE PROGRAM:

PERIODIC SITE INSPECTIONS	BI-WEEKLY
RE-VEGETATION OF EXPOSED SOILS	WITHIN 21 DAYS OF GRADING
SEDIMENT REMOVAL FROM BMP'S	MONTHLY
REMOVAL OF BMP'S	AFTER STABILIZATION ACHIEVED

- 2 ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED WHEN THE SEDIMENT LEVEL REACHES ONE HALF THE HEIGHT OF THE BMP OR AT ANY TIME THAT SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTION OF THE BMP.



CIVIL AND EROSION CONTROL NOTES AND DETAILS



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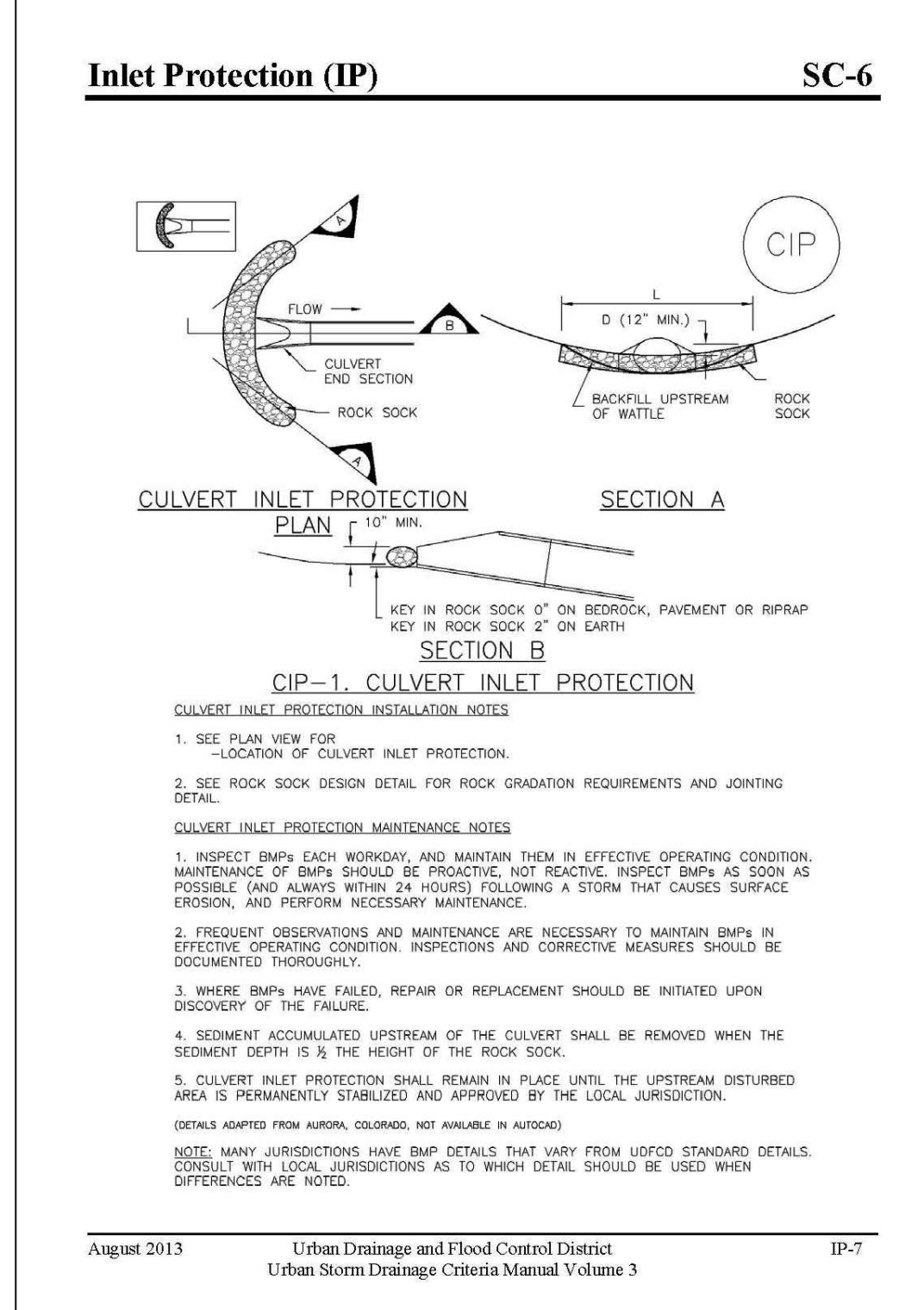
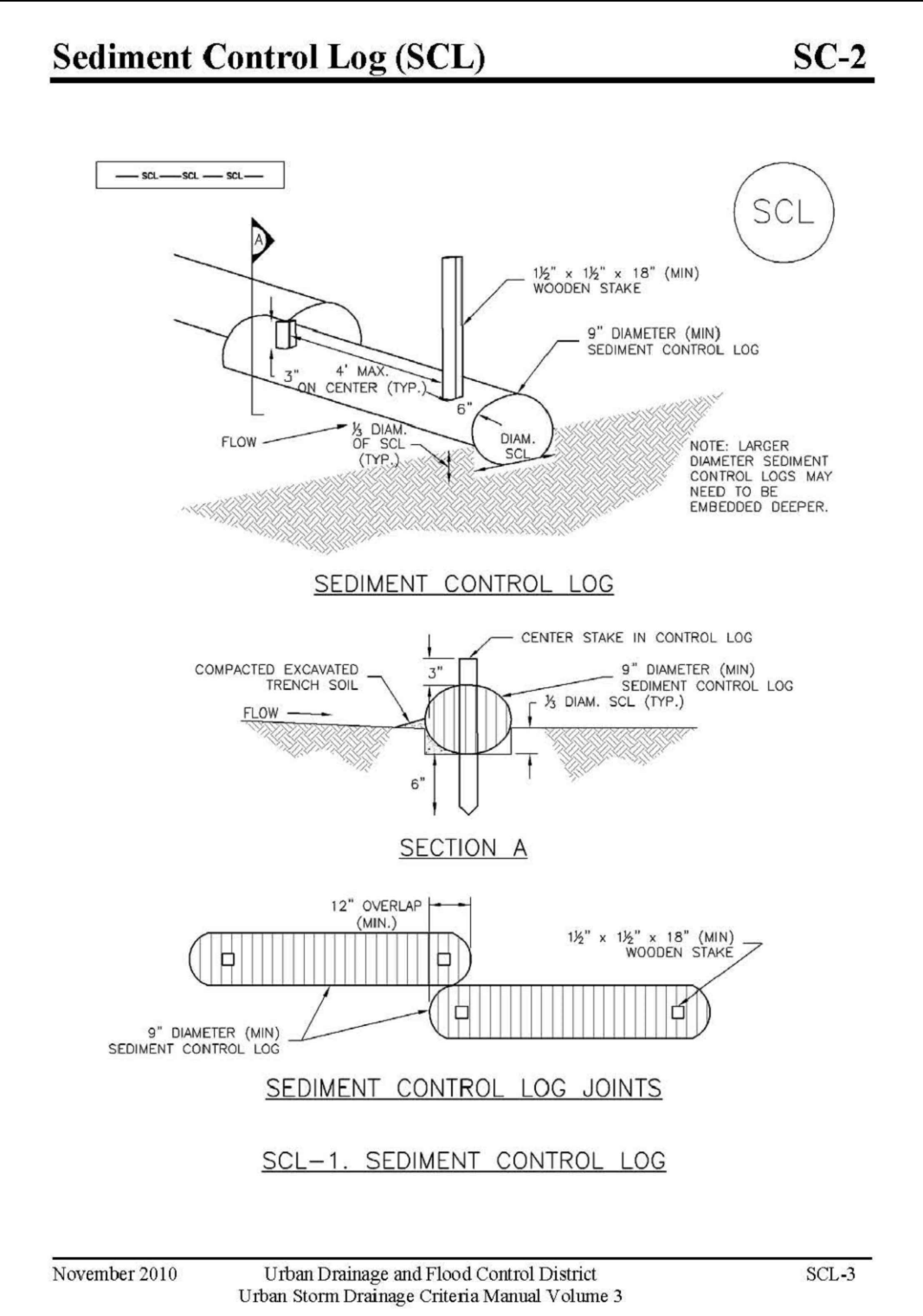
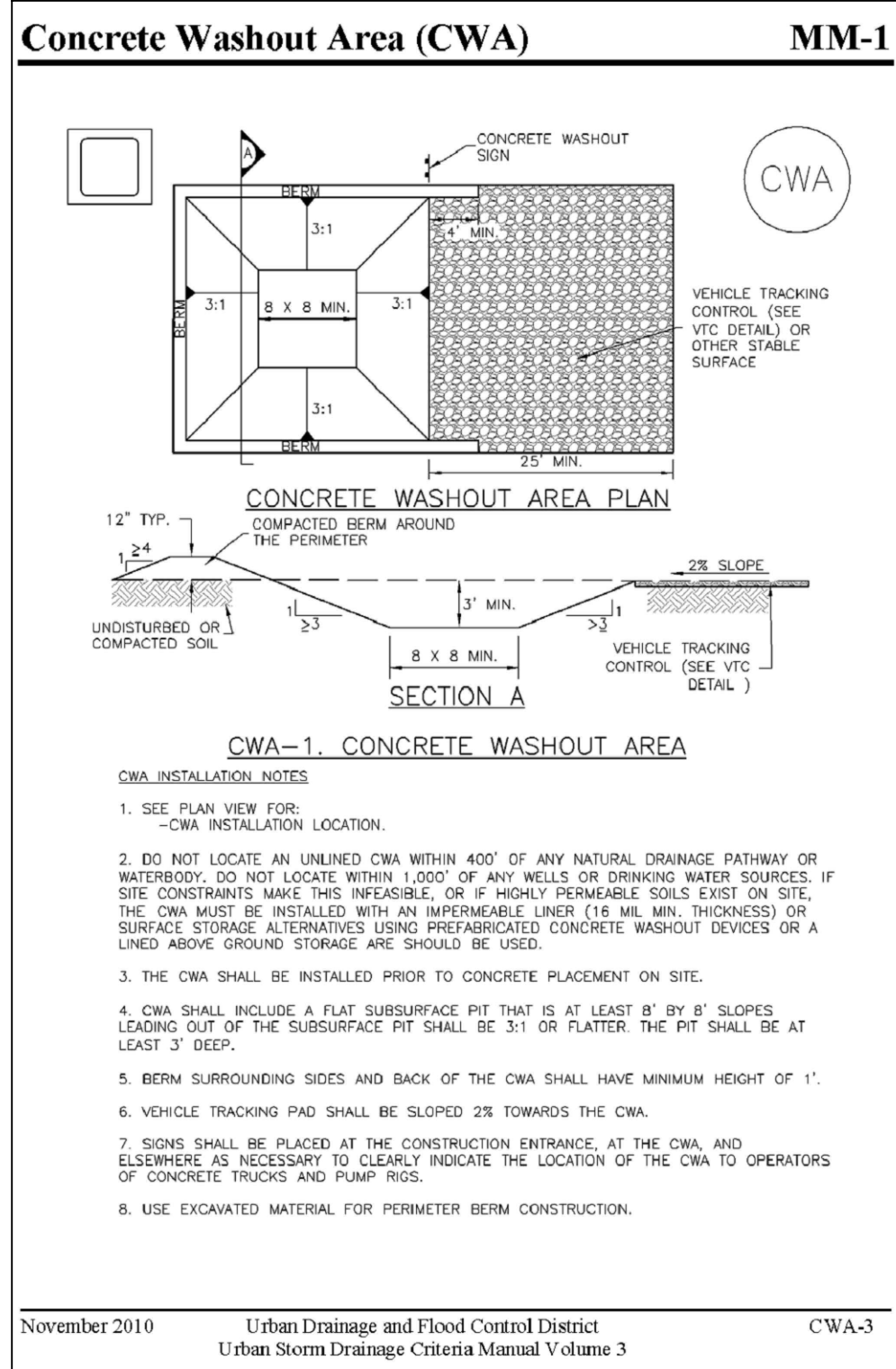
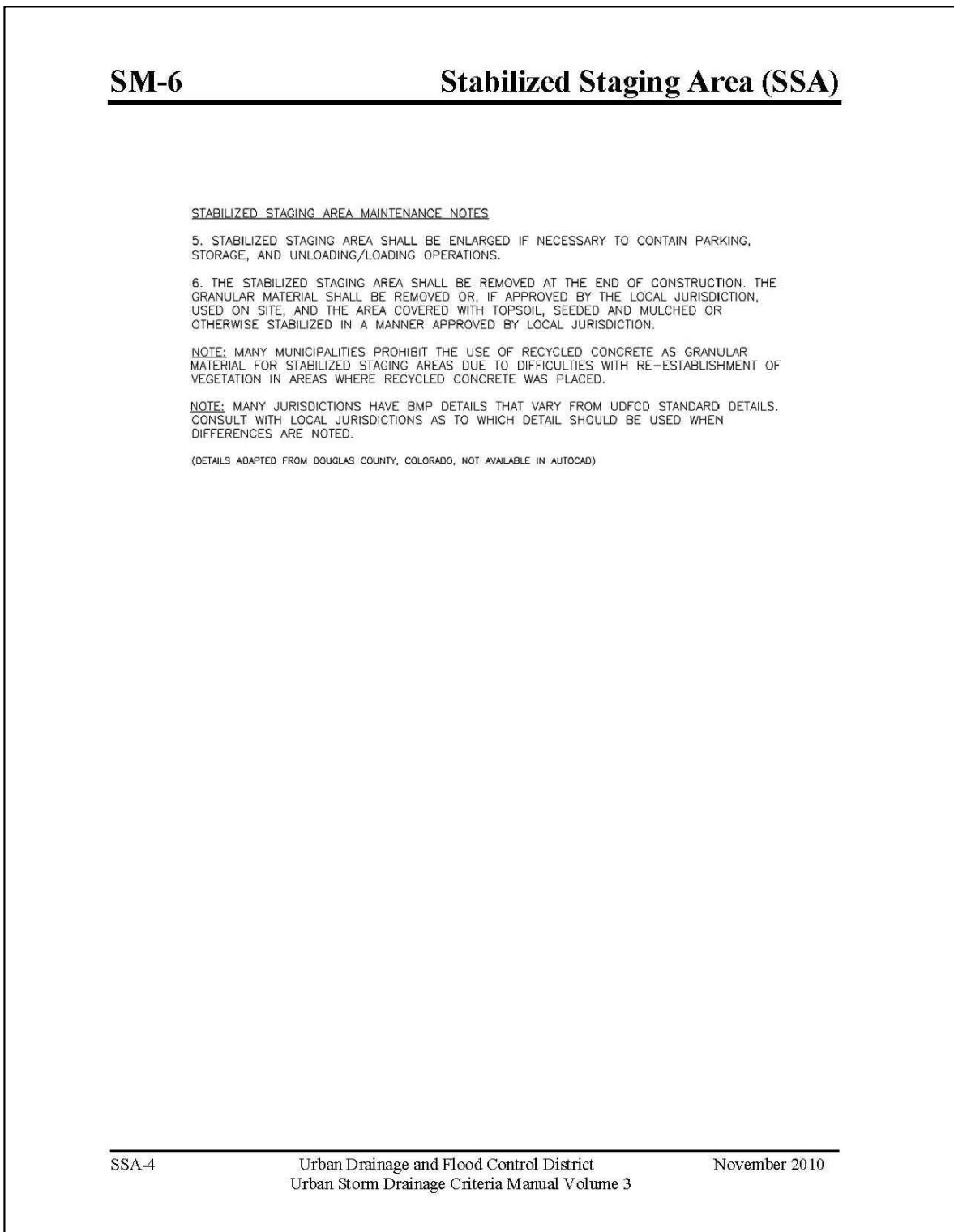
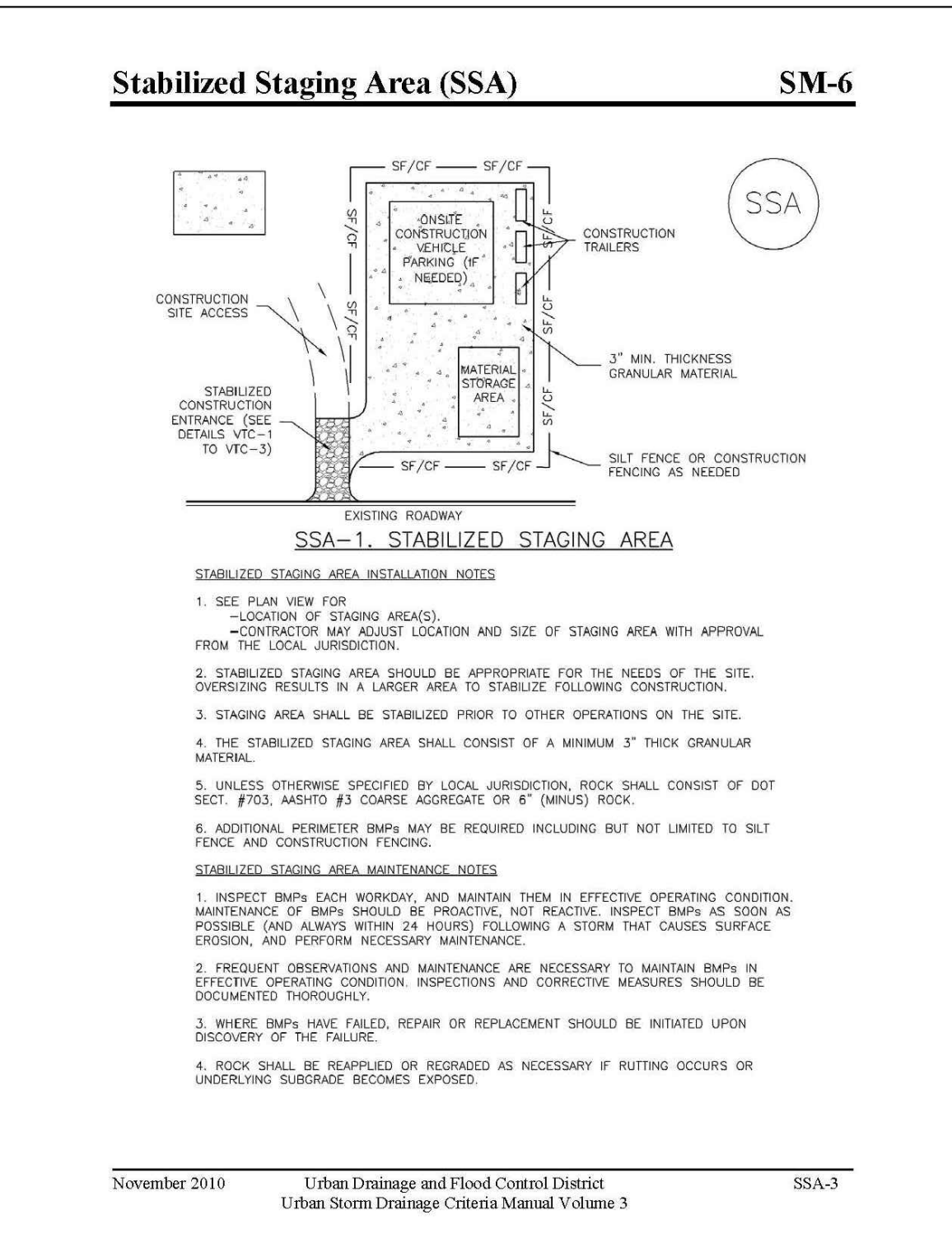
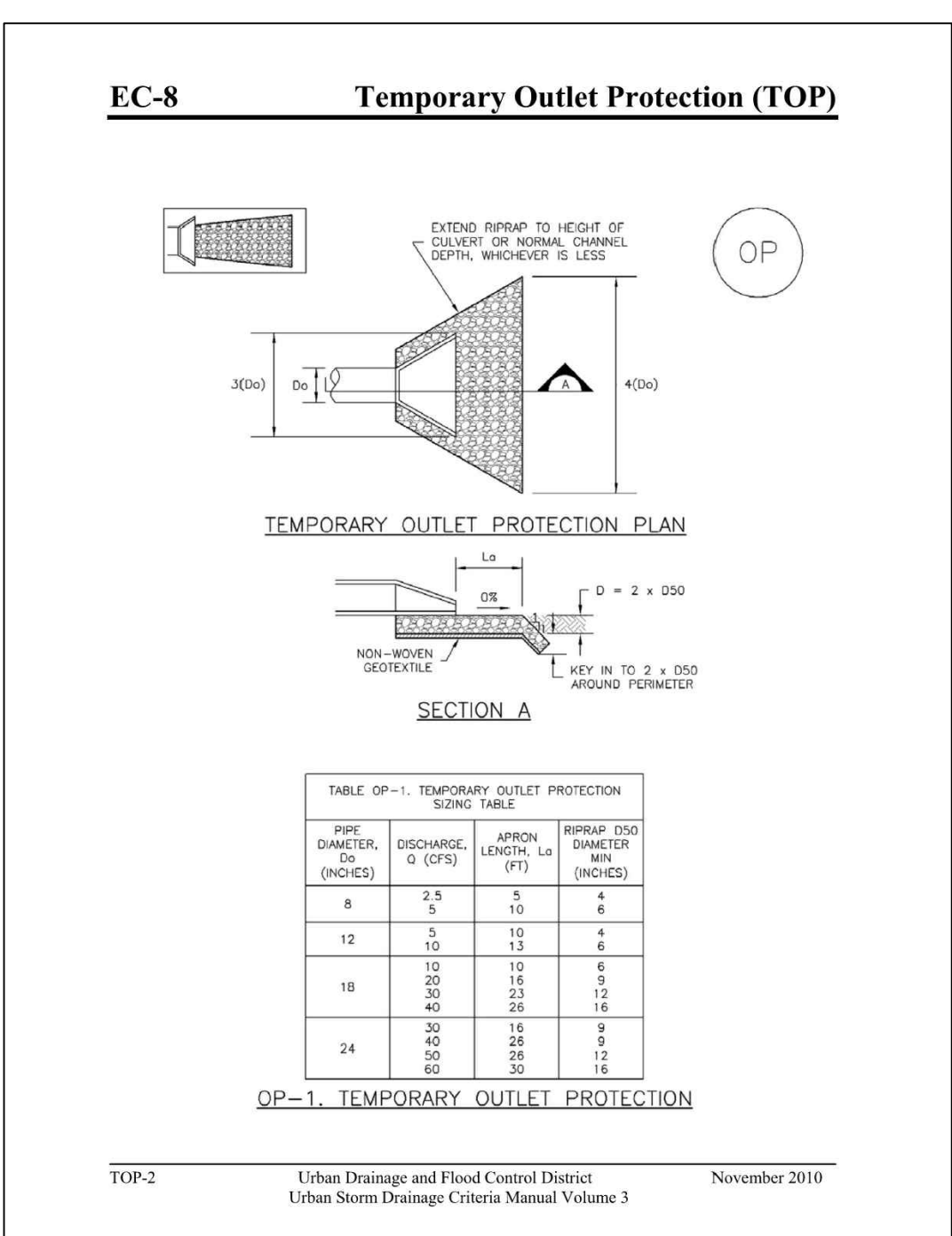
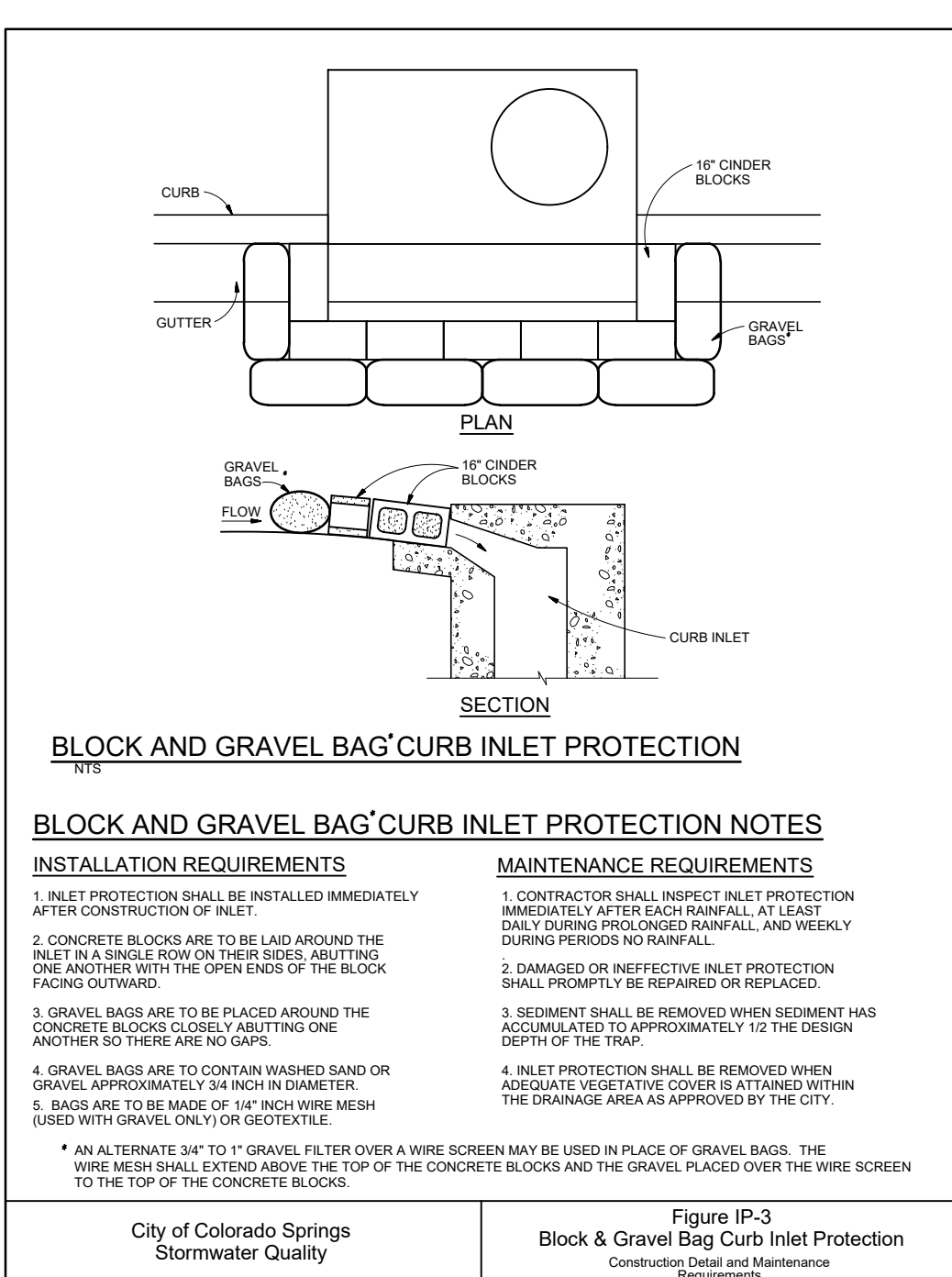
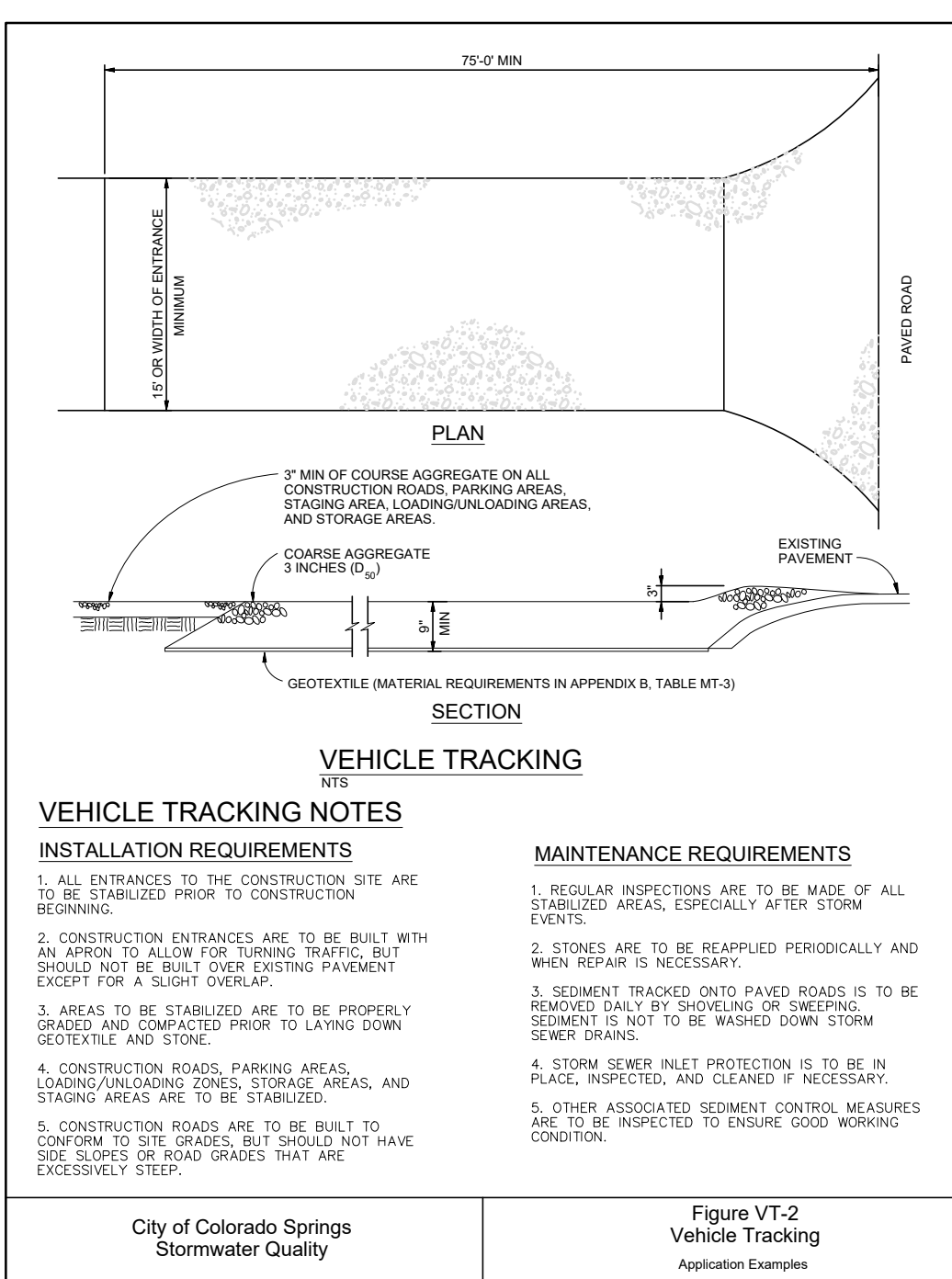
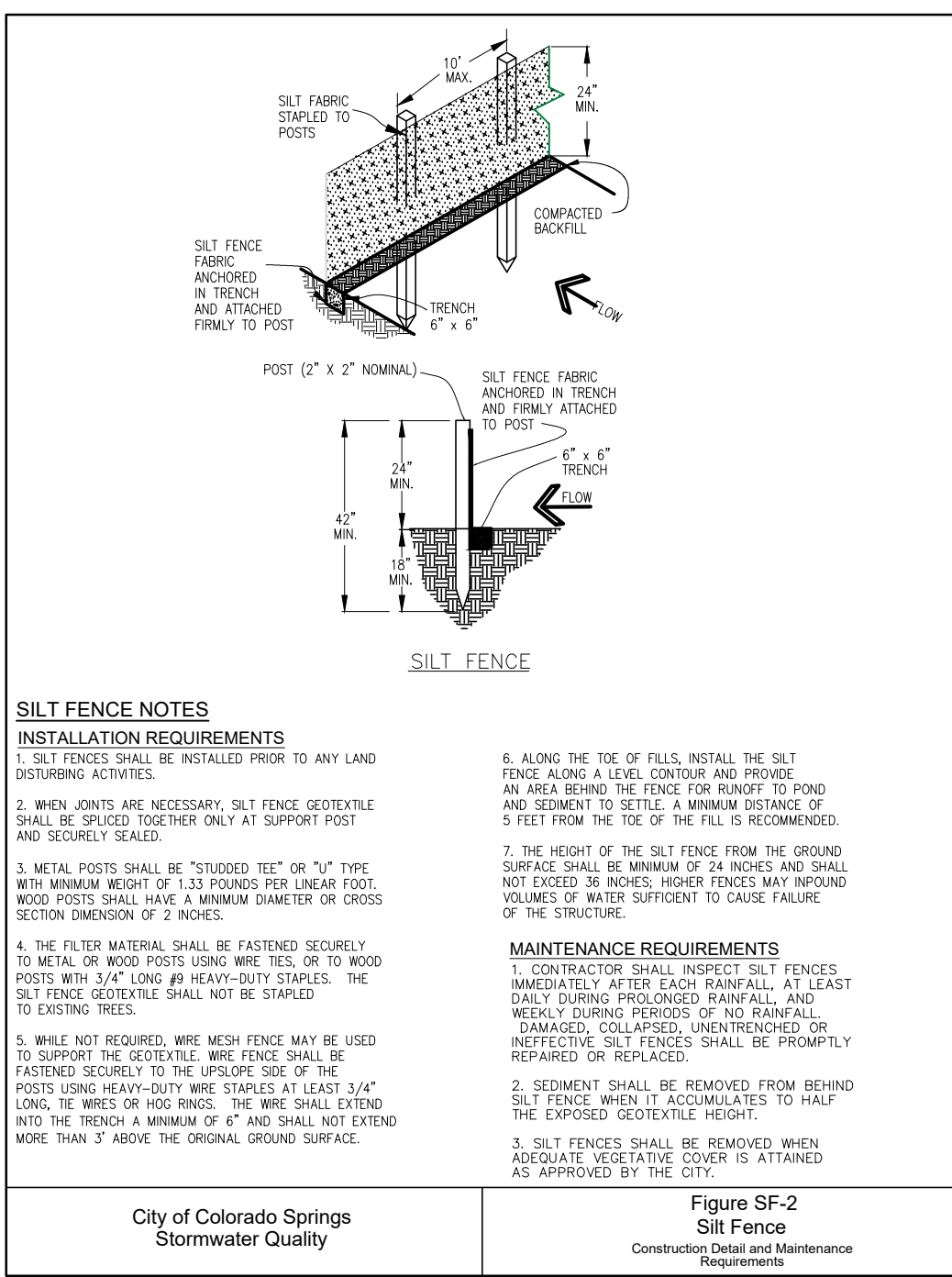
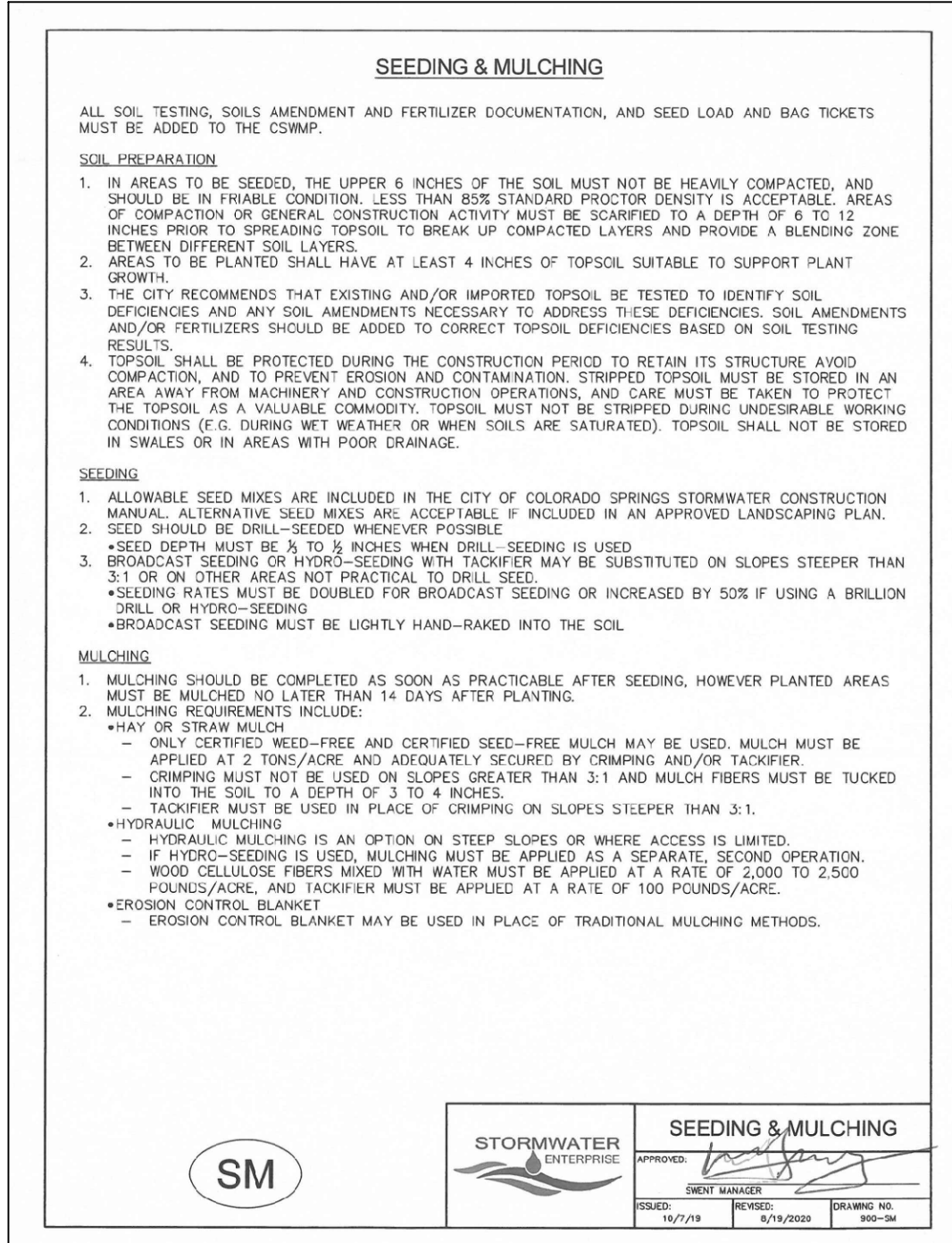


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△		JPS	

HORZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	JR	CHECKED:	JPS
CREATED:	08/29/22	LAST MODIFIED:	05/08/24
PROJECT NO:	042303	MODIFIED BY:	PV

C3.1



**NOR'WOOD BIBLE CHURCH
LOT 38, SADDLEHORN RANCH FILING NO. 3**

**JPS
ENGINEERING**

19 E. Willamette Ave.
Colorado Springs, CO
80903

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FAX: 719-471-0766
www.jpseng.com

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No.	BY	DATE
1	JPS	
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REVISION	BY	DATE
1	JPS	
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10		

EROSION CONTROL DETAILS



HORZ. SCALE:	N/A	DRAWN:	PV
VERT. SCALE:	N/A	DESIGNED:	JPS
SURVEYED:	JR	CHECKED:	JPS
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C3.2