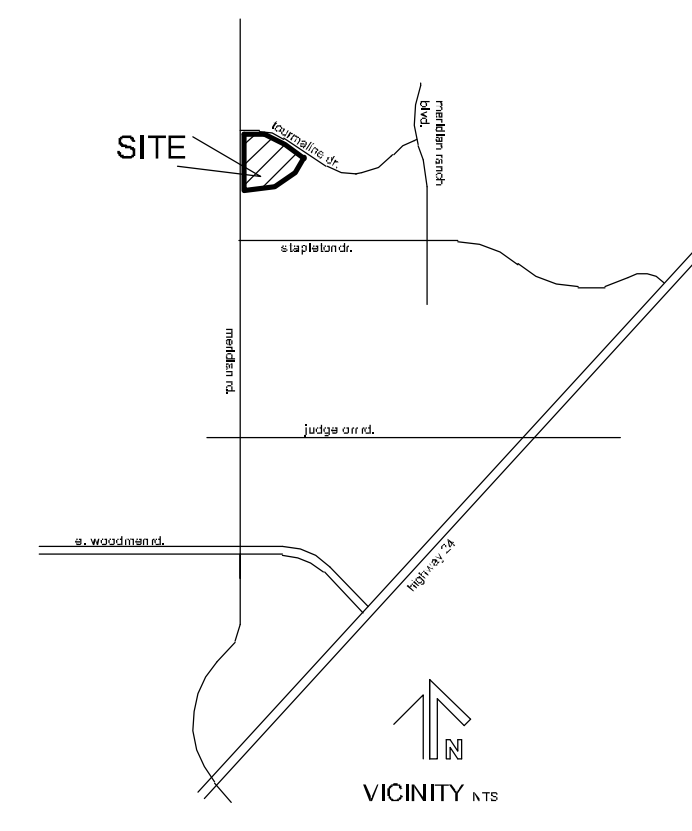
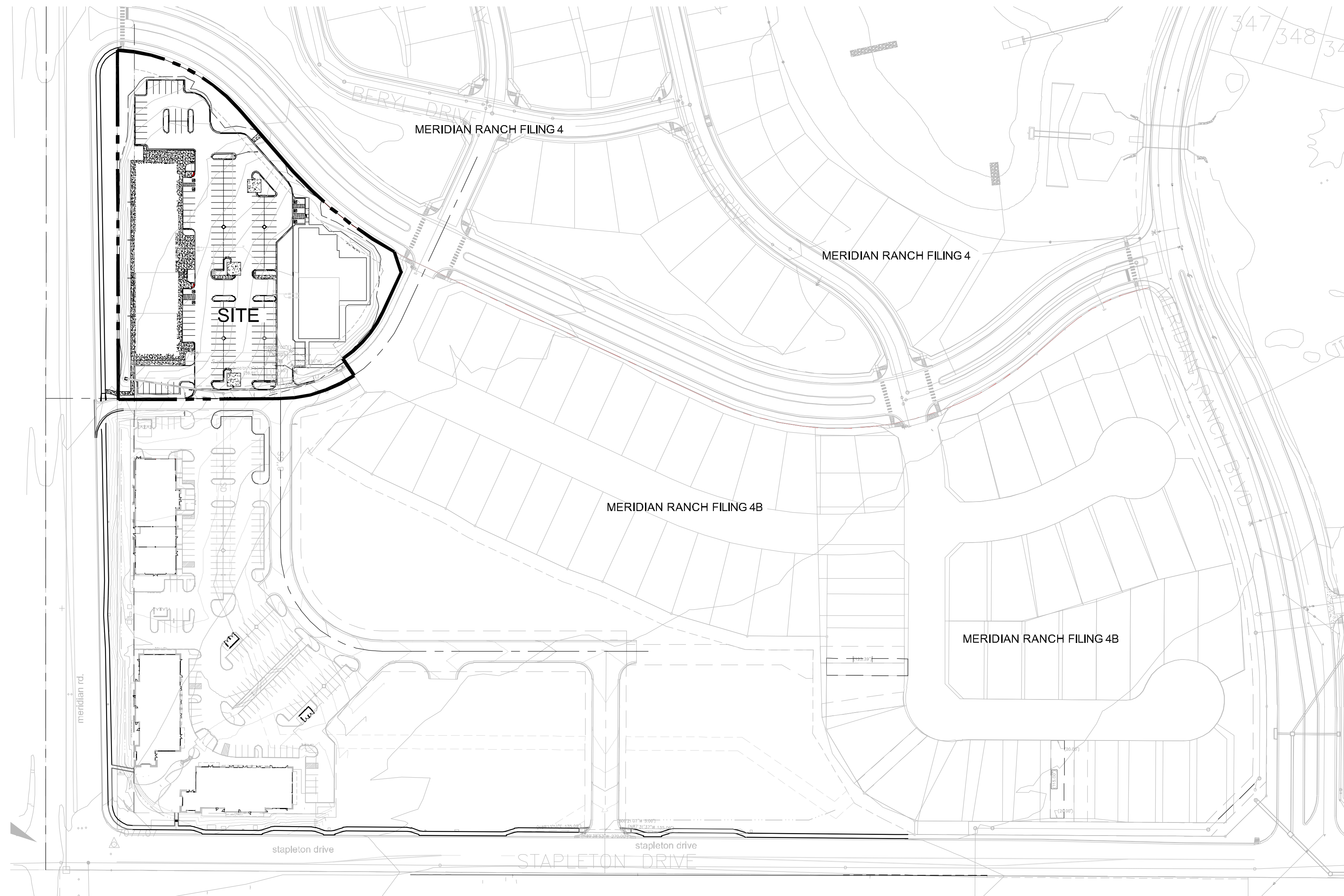


# THE SHOP'S AT MERIDIAN RANCH

FILING NO. 1, LOT 4  
 SITE DEVELOPMENT PLAN  
 EL PASO COUNTY, COLORADO.  
 FALCON, COLORADO



LEGAL:  
 THE SHOPS AT MERIDIAN RANCH FILING NO. 1 LOT 4  
 SITE DATA

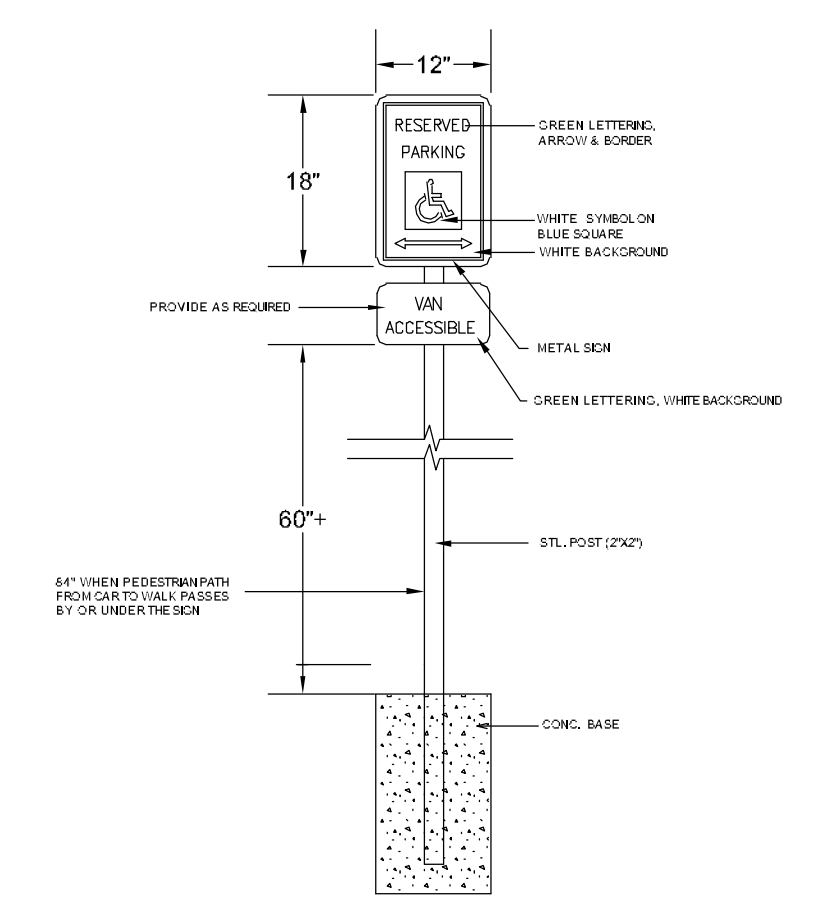
tax schedule no.:	4230319054
area	3.43ac
ex zone	n/a
proposed zone	CR
ex use	vacant
proposed use	commercial center
master plan	Falcon/Peyton Small Area Plan
development schedule	SPRING 2019

LOT INFO

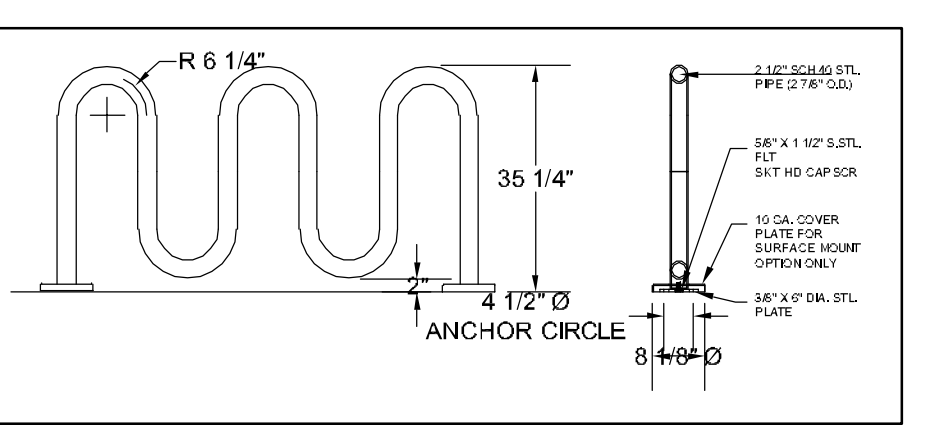
area	3.43ac
proposed use	commercial center
bldg area	29,390sf
max. bldg height	45'
prop. bldg height	44'
bldg setbacks	
front	25'
side	25'
rear	25'
%lot coverage	
bldgs	20% (29,390sf)
impervious	43% (64,383sf)
	37% (55,712sf)

PARKING

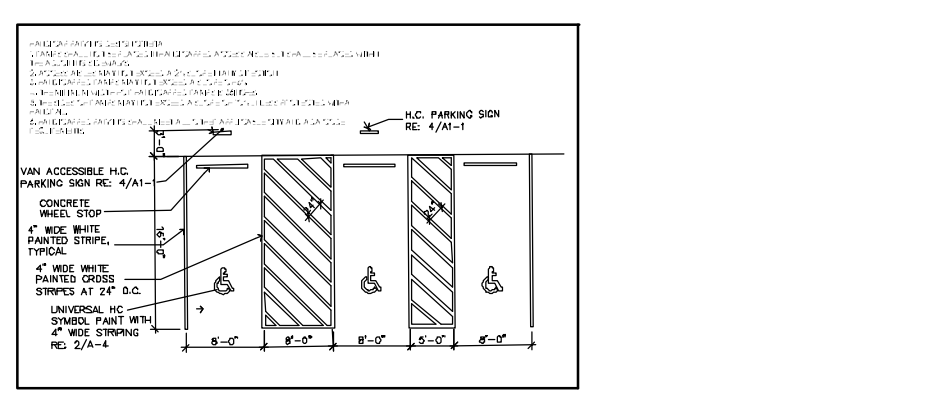
	retail D commercial center	retail E commercial center
use		
bldg area	17,450sf	11,940sf
ratio	1/250sf	1/250sf
required (incl h/c)	70 (incl 3h/c)	47 (incl 3h/c)
provided	99 (incl 3h/c)	47 (incl 3h/c)



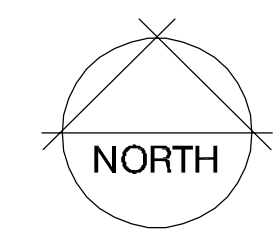
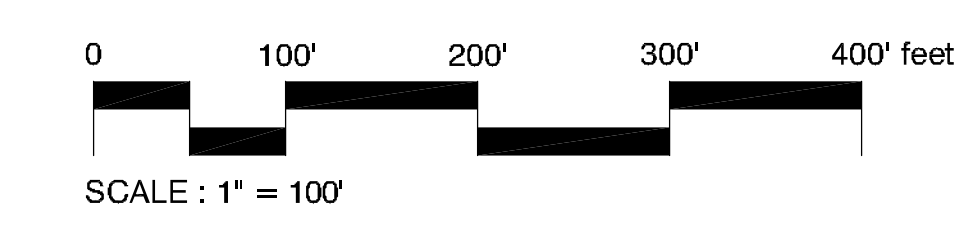
**A** ACCESSIBLE SIGNAGE DETAIL  
 N.T.S.



**B** BIKE LOOP  
 N.T.S.

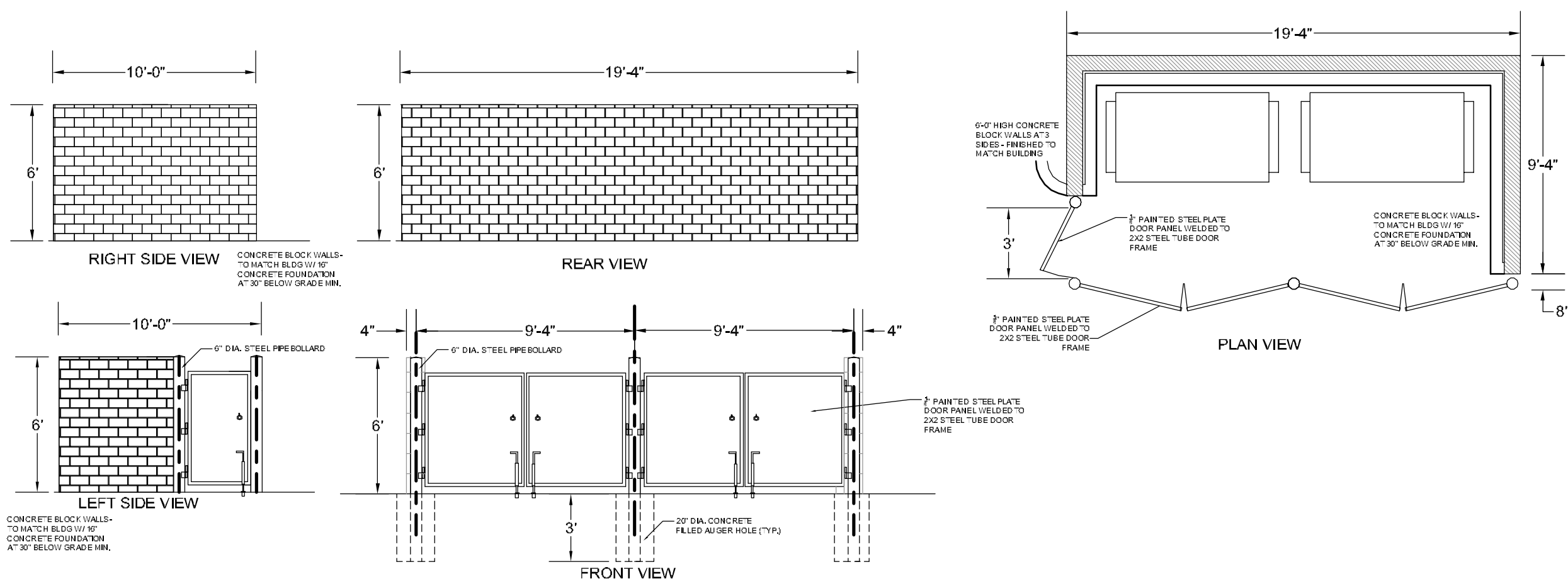


**C** TYPICAL HANDICAP PARKING DETAIL  
 N.T.S.



**Approved**  
 By: Craig Dossey, Executive Director  
 Date: 06/12/2019  
 El Paso County Planning & Community Development

**ADA DESIGN PROFESSIONAL STANDARD NOTE:**  
 The party responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA Design Standards and Guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not ensure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.



**D** TRASH ENCLOSURE  
 N.T.S.

SHEET INDEX

1.....	Site development plan
2.....	Landscape plan
3.....	Landscape details
4.....	Photometric plan
5.....	
6.....	
7.....	
8.....	

OWNER INFO

company name	SHOPS AT MERIDIAN RANCH LLC
address	P.O. BOX 80036
city/state	SAN DIEGO CA 91238
phone no	

**YOW ARCHITECTS PC**  
 ARCHITECTURE & PLANNING  
 115 S. Weber  
 Colorado Springs, Colorado 475-8133

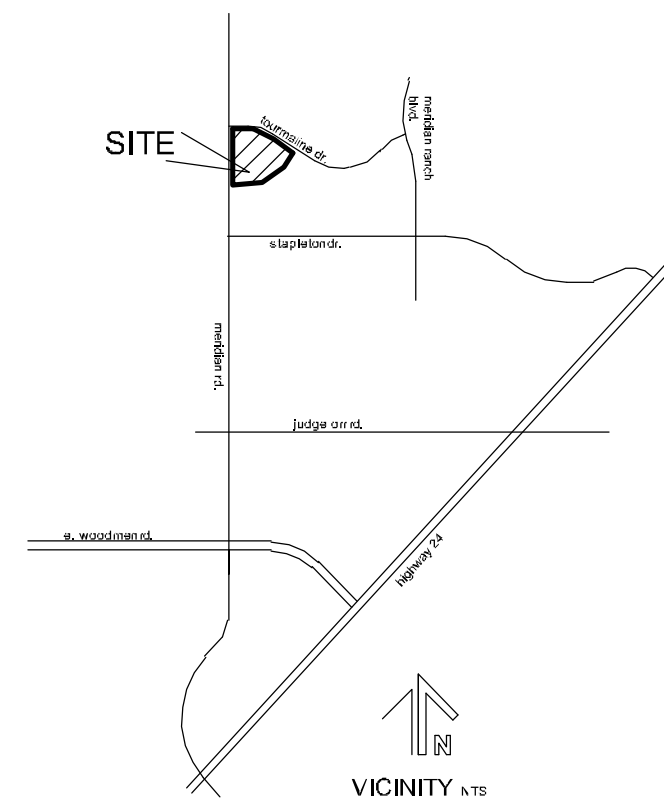
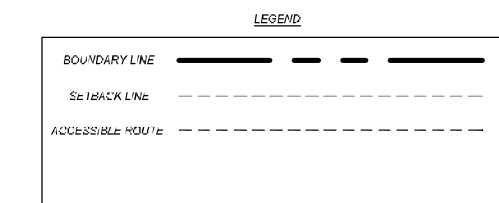
**Shop's @ Meridian Ranch**  
 Site Development Plan  
 Meridian Road  
 Falcon, CO

Job No.	18-115
Discipline	Planning
File	Site development plan 2-11-19
Drawn by	DBH
Date	6/22/2018
Printed	10/2/2018
	11/28/2018
	4-8-2019

DRAWING NO.  
**COVER**  
 SITE DEVELOPMENT PLAN

# THE SHOP'S AT MERIDIAN RANCH

FILING NO. 1, LOT 4  
 SITE DEVELOPMENT PLAN  
 EL PASO COUNTY, COLORADO.  
 FALCON, COLORADO



LEGAL:  
 THE SHOPS AT MERIDIAN RANCH LOT 4 FILING NO. 1

SITE DATA

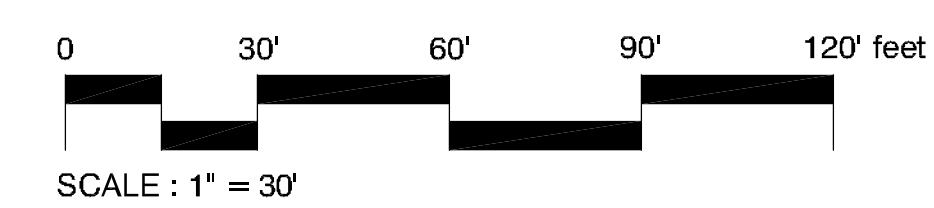
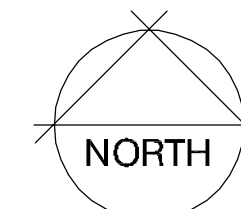
tax schedule no.:	4230319054
area	3.43ac
ex zone	n/a
proposed zone	CR
ex use	vacant
proposed use	commercial center
master plan development schedule	Falcon/Peyton Small Area Plan SPRING 2019

LOT INFO

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bldgs	20% (29,390sf)	
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PARKING

use	retail D commercial center	retail E commercial center
bldg area	17,450sf	11,940sf
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required (incl h/c)	70 (incl 3h/c)	47 (incl 3h/c)
provided	99 (incl 3h/c)	47 (incl 3h/c)

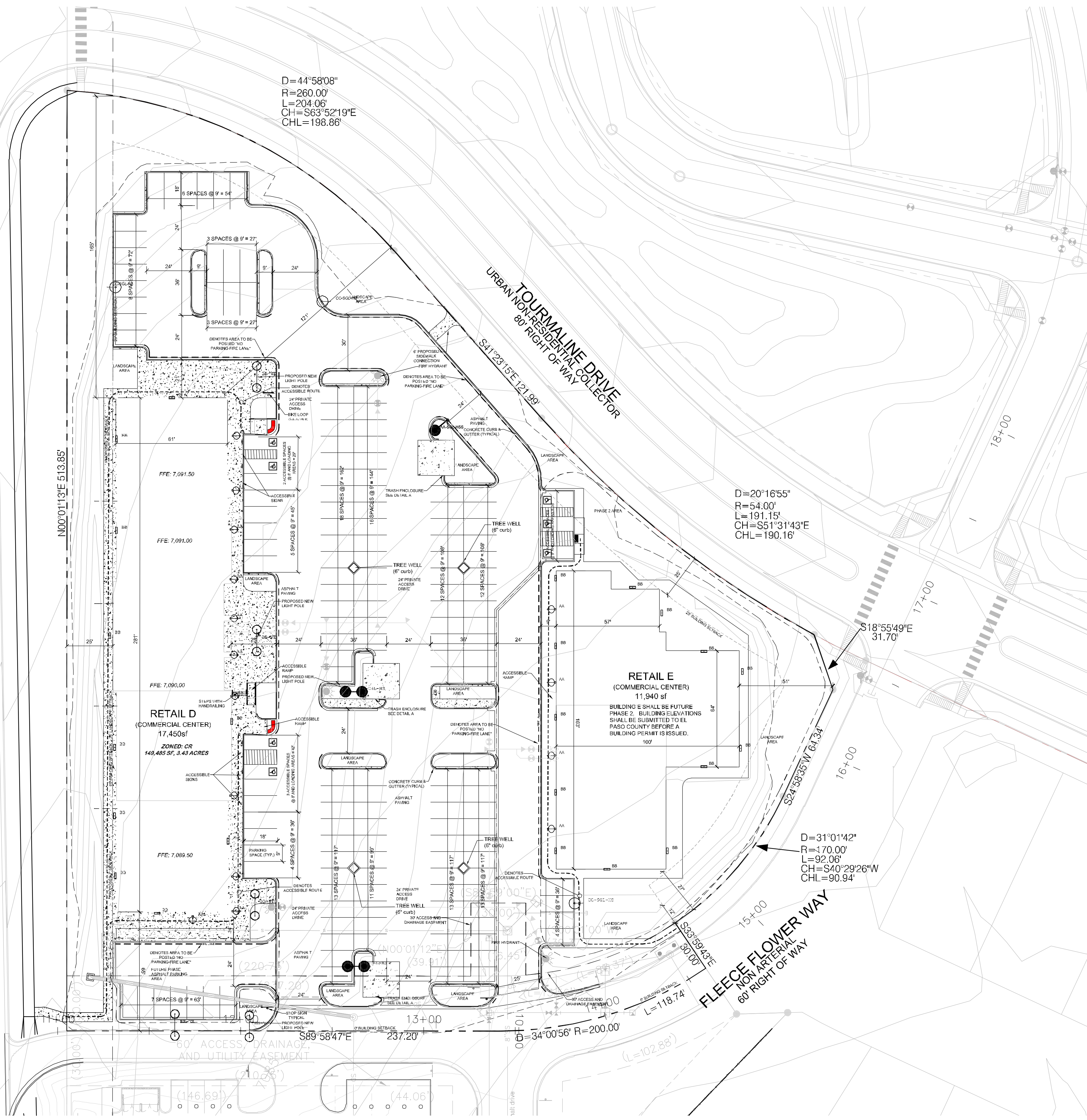


SCALE: 1" = 30'

OWNER INFO

company name	SHOPS AT MERIDIAN RANCH LLC
address	P.O. BOX 80036
city/state	SAN DIEGO CA 91238
phone no	

MERIDIAN ROAD  
 MAJOR ARTERIAL  
 135' RIGHT OF WAY



**YOW ARCHITECTS PC**  
 ARCHITECTURE & PLANNING  
 115 S. Weber  
 Colorado Springs, Colorado 475-8133

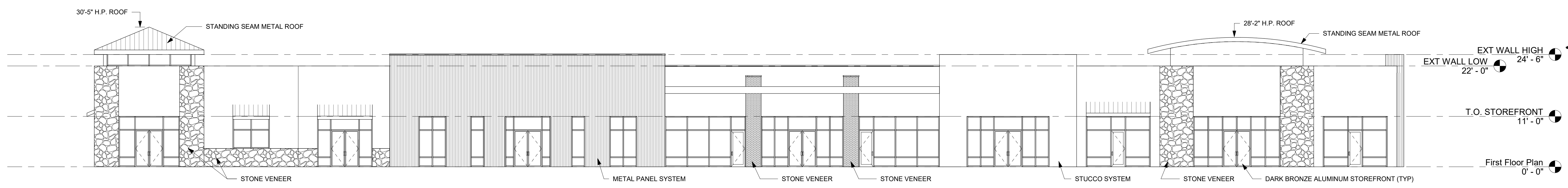
Structural:	.....
Electrical:	.....
Mechanical:	.....
Plumbing:	.....

**Shop's @ Meridian Ranch**  
 Site Development Plan  
 Meridian Road  
 Falcon, CO

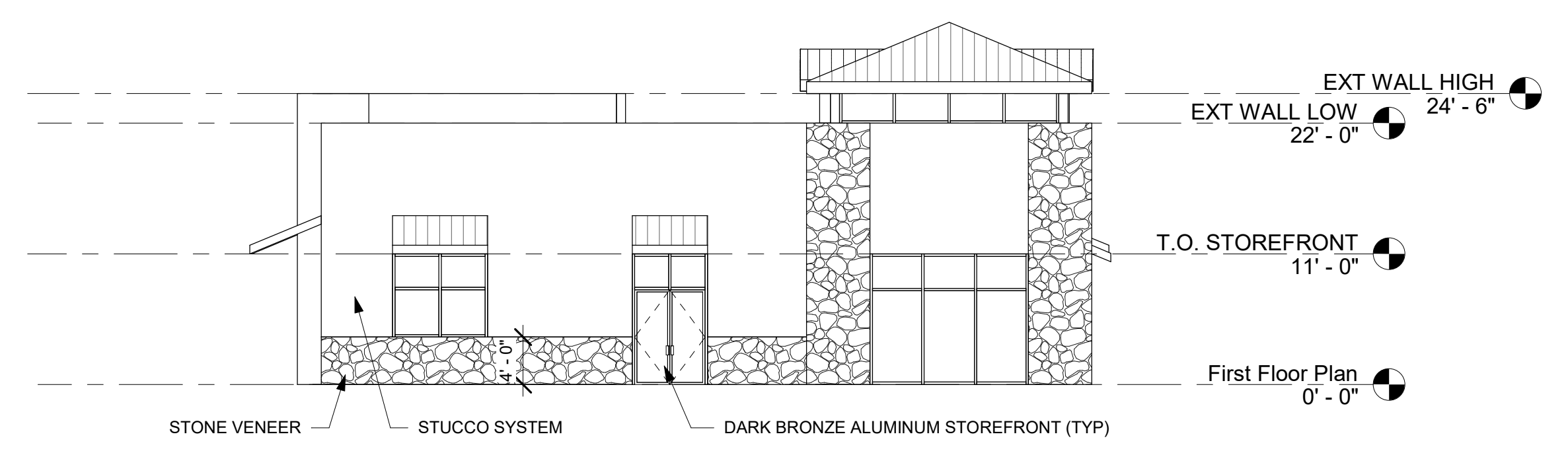
Job No.	16.115
Discipline	Planning
File	Site development plan 4-8-19
Drawn by	UNR
Date	8/22/2018
Revised	1/24/2019
	4/8/2019

DRAWING NO.  
**1**  
 SITE DEVELOPMENT PLAN

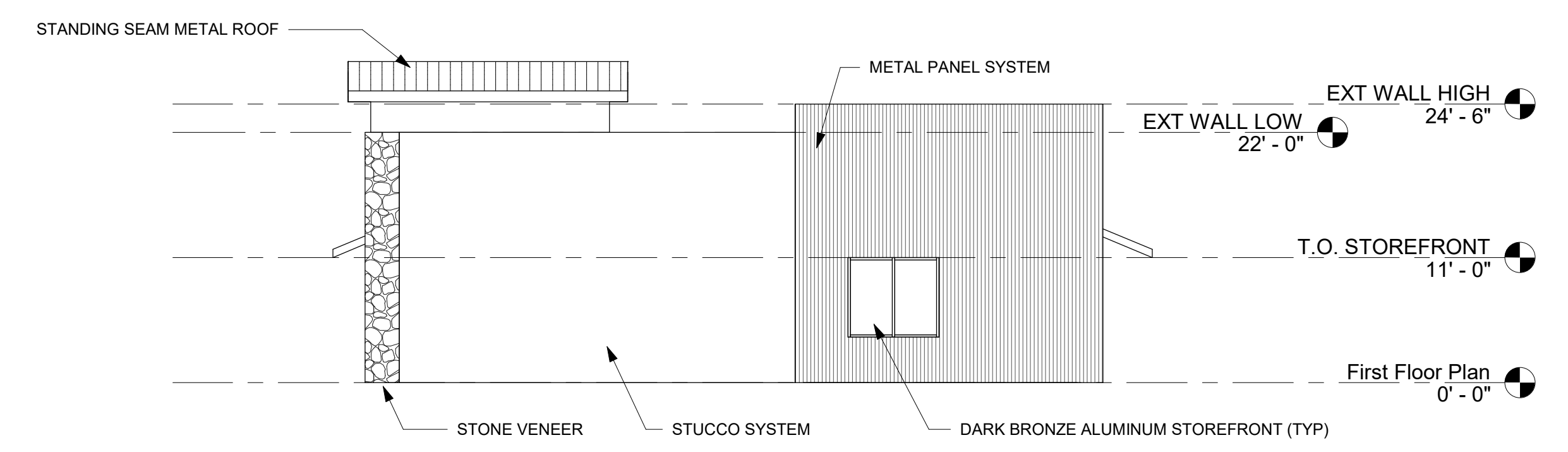
**YOW**



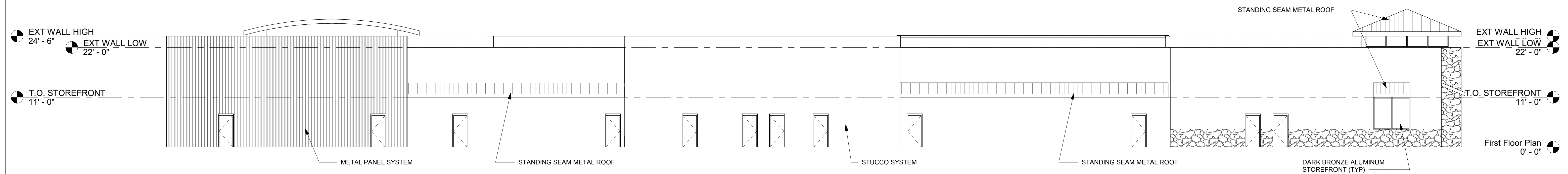
① EAST ELEVATION  
3/32" = 1'-0"



③ SOUTH ELEVATION  
3/32" = 1'-0"



② NORTH ELEVATION  
3/32" = 1'-0"



④ WEST ELEVATION  
3/32" = 1'-0"

**YOW Architects PC**  
Architecture & Planning  
115 S. Weber Colorado Springs, Colorado 719-475-8133

**THE SHOPS AT MERIDIAN RANCH**  
RETAIL BUILDING 'D'

Project Number  
**18.10X**  
Date  
6/22/18  
Drawn By  
Author  
Checked By  
Checker

**A2**  
ELEVATIONS  
Scale  
3/32" = 1'-0"

6/22/2018 7:26:25 AM



YOW Architects PC  
Architecture & Planning

115 S. Weber Colorado Springs, Colorado 719-475-8133

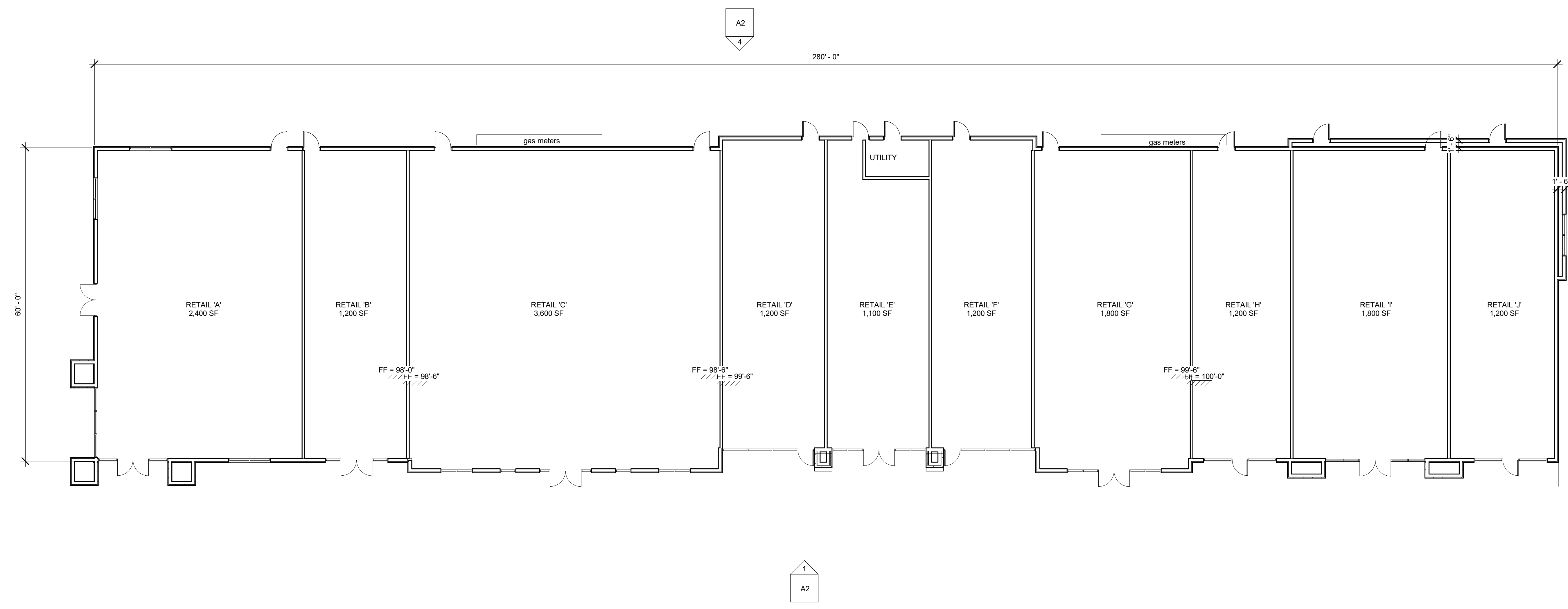
THE SHOPS AT MERIDIAN RANCH  
RETAIL BUILDING 'D'

Project Number  
18.10X

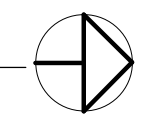
Date  
6/22/18

Drawn By  
JRW  
Checked By  
YOW

A1  
FLOOR PLAN  
Scale  
3/32" = 1'-0"



1 BUILDING D FLOOR PLAN  
3/32" = 1'-0"



6/22/2018 7:26:25 AM

# THE SHOP'S AT MERIDIAN RANCH

## FILING NO. 1, LOT 4

### PHOTOMETRIC PLAN

EL PASO COUNTY, COLORADO.  
FALCON, COLORADO

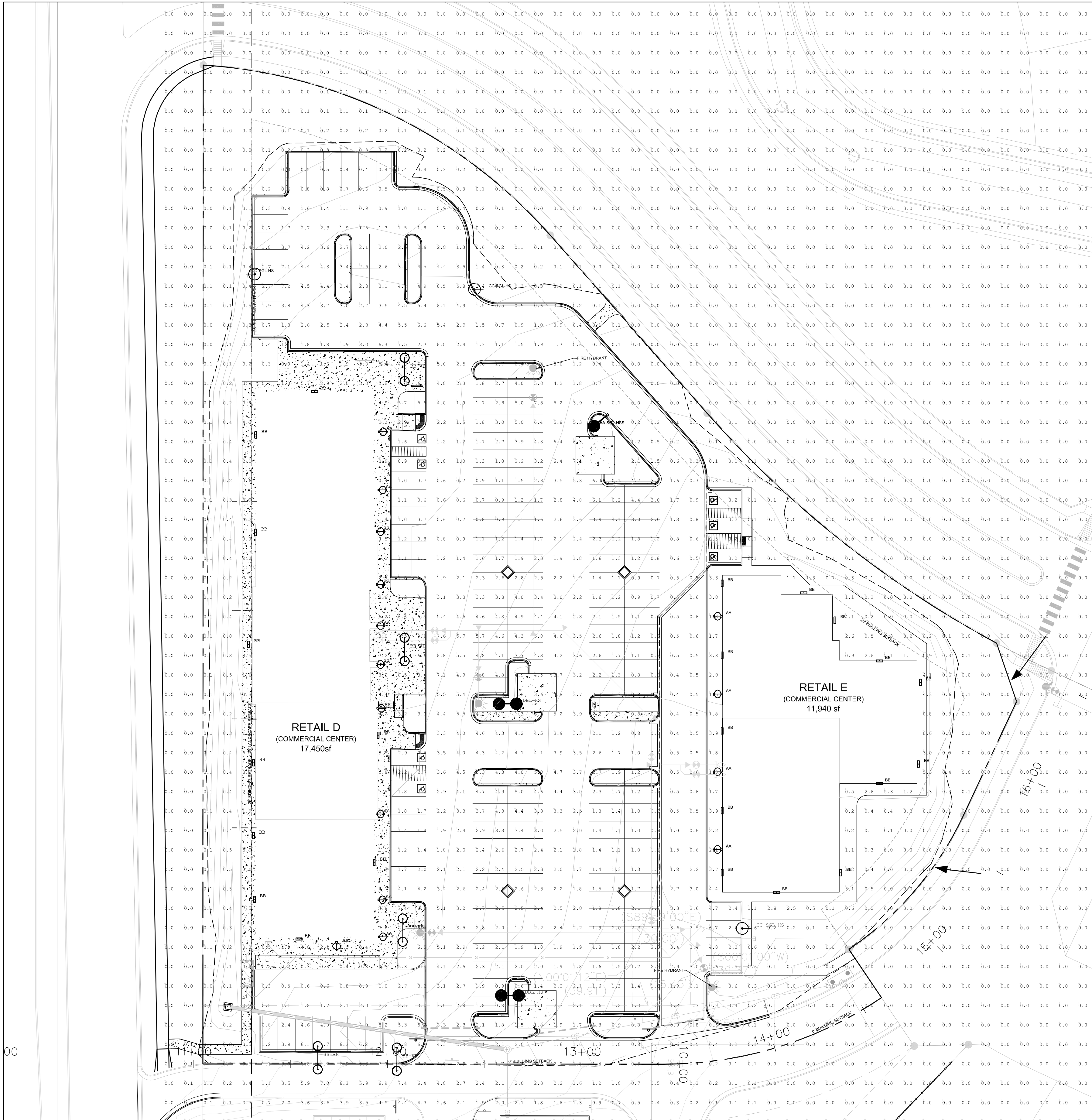


**YOW ARCHITECTS PC**  
ARCHITECTURE & PLANNING  
115 S. Weber Colorado Springs, Colorado 475-8133

**Shop's @ Meridian Ranch**  
Site Development Plan  
Meridian Road  
Falcon, CO

Job No. 16.115  
Directory Planning  
File Site development plan 4-8-19  
Drawn By DBN  
Date 6/22/2018  
Revised 10/4/2018  
11/26/2018  
4/8/2019

DRAWING NO. **4**  
PHOTOMETRIC PLAN



**KIM LIGHTING** 25" Arm  
Type: APPROVALS

**PR4 - Aluminum Pole**

Job Name: Meridian Ranch  
Drawing Number: PPR-012-20-CRT  
Type: BB-VE

Features: Full Cut-Off Technology, Full Profile Luminaire, Available in 1500K, 3000K and 5000K.

Specifications: Type 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Ordering Code: [Table with columns for Luminaire, Pole, Arm, etc.]

**KIM LIGHTING** 25" Arm  
Type: APPROVALS

**UCS - Universal Small Housing Scale**

Job Name: Meridian Ranch  
Drawing Number: UCS-STR-12LED-NW-CRT-WST  
Type: AA

Features: Full Cut-Off Technology, Full Profile Luminaire, Available in 1500K, 3000K and 5000K.

Specifications: [Table with columns for Luminaire, Pole, Arm, etc.]

Ordering Code: [Table with columns for Luminaire, Pole, Arm, etc.]

**KIM LIGHTING** 25" Arm Mounted, Curvilinear, PFC/PC/LED  
Type: AA-DBL

**CC/CCS25**

Job Name: Meridian Ranch  
Drawing Number: CC/CCS25-STR-12LED-NW-CRT-WST  
Type: BB

Features: Full Cut-Off Technology, Full Profile Luminaire, Available in 1500K, 3000K and 5000K.

Specifications: [Table with columns for Luminaire, Pole, Arm, etc.]

Ordering Code: [Table with columns for Luminaire, Pole, Arm, etc.]

**KIM LIGHTING** 25" Arm Mounted, Curvilinear, PFC/PC/LED  
Type: BB

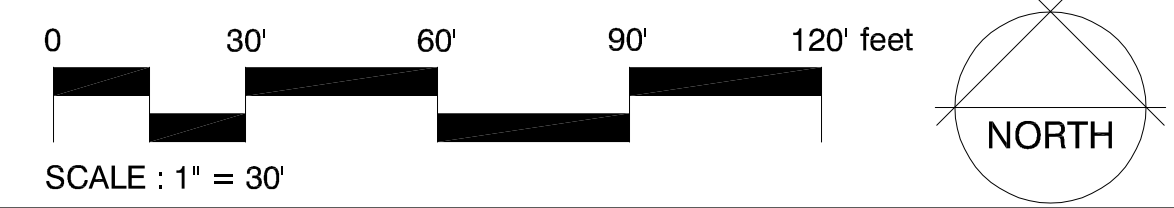
**VWP - Voltaire Architectural Wall Pack**

Job Name: Meridian Ranch  
Drawing Number: VWP-H-LED37-705-12-DBZ-EDD-UNV  
Type: BB

Features: Full Cut-Off Technology, Full Profile Luminaire, Available in 1500K, 3000K and 5000K.

Specifications: [Table with columns for Luminaire, Pole, Arm, etc.]

Ordering Code: [Table with columns for Luminaire, Pole, Arm, etc.]



Luminaire Schedule	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	Total Watts
AA	15	AA	SINGLE	0.900	N.A.	UCS-STR-12LED-NW	28.0	285.0
BB	23	BB	SINGLE	0.900	N.A.	VWPH430-730-T3-SDGL-OPT-EDD-UNV	35.7	357
AA-DBL	2	AA-DBL	BACK-BACK	0.900	N.A.	2B/CC253P70-96L4K	216.9	1735.2
AA-SGL	1	AA-SGL	SINGLE	0.900	N.A.	1A/CC253P70-96L4K	216.9	650.7
BB-VE	7	BB-VE	BACK-BACK	0.900	N.A.	2-UCM-ANG-T3-32LED-4K-700-AWT	71.3	998.2001

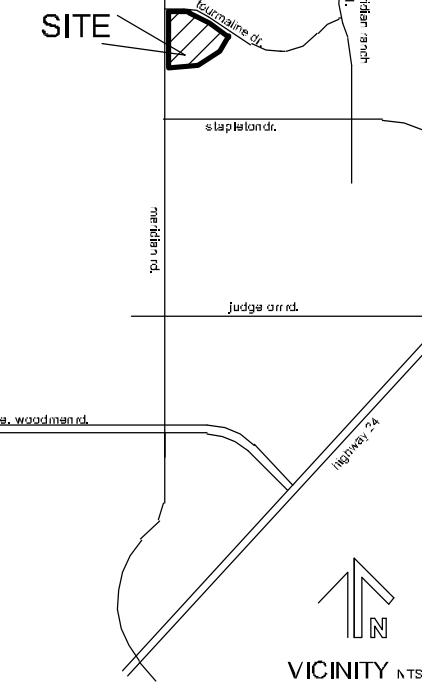
**OWNER INFO**

company name: SHOPS AT MERIDIAN RANCH LLC  
address/city/state: P.O. BOX 80036 SAN DIEGO CA 91238  
phone no:

# THE SHOP'S AT MERIDIAN RANCH

FILING NO. 1, LOT 4  
LANDSCAPE PLAN  
EL PASO COUNTY, COLORADO.  
FALCON, COLORADO

## INSTALLATION PHASING AND MAINTENANCE GUIDE



### KEYED NOTES (not all items labeled, items labeled considered typical)

- 1 TYPICAL DECIDUOUS TREE PLANTING  
+ see details 2-2
- 2 TYPICAL EVERGREEN TREE PLANTING  
+ see details 2-2
- 3 TYPICAL SHRUB PLANTING  
+ see details 2-2
- 4 TYPICAL GROUND COVER/PERENNIAL PLANTING  
+ see details 2-2
- 5 LANDSCAPE BOULDER  
+ see details 2-2
- 6 STEEL EDGE  
+ see details 2-2
- 7 2" BLUE GREY GRAVEL MULCH
- 8 ORGANIC MULCH
- 9 4" COBBLE
- 10 COMPACTED BREEZE
- 11 TURF LAWN AREA (THERMAL BLUE BLEND)  
+ see landscape notes for required amendments
- 12 1'-0" WIDE CONCRETE WALK, DOWEL INTO BACK OF CURB EVERY 24" O.C.

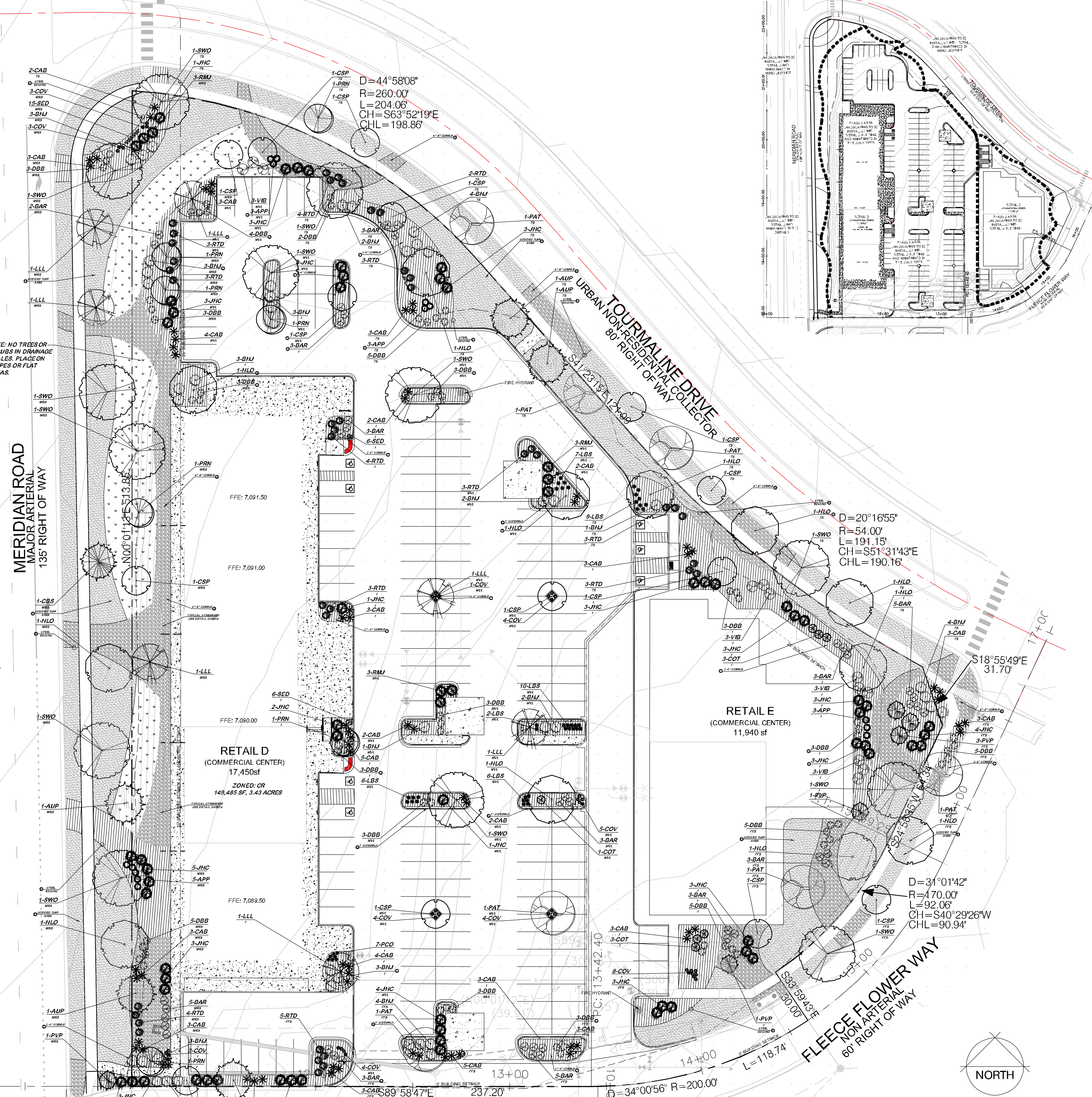
### HATCH LEGEND

	TURF	23,771 sf
	4-8" COBBLE	9,495 sf
	2-4" COBBLE	16,603 sf
	NATIVE SEED MIX	6,615 sf

**NATIVE SEED MIX**  
 15% Western Wheatgrass  
 15% Big Bluestem  
 15% Thickspike Wheat Grass  
 10% Sideoats Grama  
 15% Little Bluestem  
 15% Blue Grama  
 15% Annual Rye  
 Application Rate: Native Grass Mix- 3lbs/1000sf or 130lbs/ac  
 Application Method: Drill Seed with hydromulch and tackifier

### GENERAL LANDSCAPE NOTES:

- PLANT QUANTITY AND SUBSTITUTION:** In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
- ACCEPTABLE PLANT MATERIAL:** All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION" and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
- SOIL AMENDMENTS:** All planting areas and turf areas shall be amended as follows:  
 - 3 cubic yards per 1000 sq. ft. of well-composted aged manure or premium compost.  
**RECOMMENDED SOIL AMENDMENT:**  
 TRI-MIX III as supplied by C&C Sand  
 - To be applied as backfill in planting pits
- ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 4" PRIOR TO PLANTING.**
- SEEDING AREAS:** All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
- IRRIGATION:** All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
- INORGANIC MULCH:** The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
- STEEL EDGE:** All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
- INSPECTION AND APPROVAL:** The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION.
- Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
- GENERAL AREAS OF DISTURBANCE:** ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.
- PLANTS SHALL BE WARRANTED FOR THE DURATION OF ONE FULL YEAR AFTER THE INSTALLATION (WARRANTY SHALL COVER 100% OF THE REPLACEMENT COST).**
- ALL SHRUB AND TREE PLANTER BEDS TO RECEIVE 3" DEEP 1/2" BLUE GREY COBBLE MULCH UNLESS OTHERWISE SPECIFIED. ALL TREES WITHIN SOA AREAS SHALL RECEIVE A 60" DIAMETER SHREDDED CEDAR MULCH RING. ROCK AND SHREDDED CEDAR MULCH IS AVAILABLE FROM C&C SAND AND STONE. ALL ROCK MULCH SHALL BE PLACED OVER GEOTEXTILE FILTER FABRIC FOR WEED CONTROL AND SHALL BE POLYSPUN 350, 3.5 OUNCES/SQUARE YARD OR APPROVED EQUAL. SUBMIT ROCK MULCH, WOOD MULCH, AND FABRIC SAMPLES & PRODUCT INFORMATION TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.**
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL SHOWN ON THIS PLAN. IF ANY DISCREPANCIES ARE FOUND BETWEEN THE LANDSCAPE PLAN AND THE PLANT SCHEDULE, THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN SUPERSEDE THOSE SHOWN ON THE PLANT SCHEDULE.**



### SITE CATEGORY CALCULATIONS

LANDSCAPE SETBACKS											
Plant Label	Street Name	Street	Width (ft)	Line	Tree #/ft	Min. Trees	Required	Provided	Required	Provided	Min. Trees
MRS	Meridian Road Subseq	Major Arterial	25'	S13'	1/20'	25	19				19
TS	Tourmaline Subseq	Minor Arterial	20'	S05'	1/25'	21	19				19
FFS	Fireflower Subseq	Minor Arterial	10'	S28'	1/20'	10	13				13

### MOTOR VEHICLE LOTS

Plant Label	No. of Vehicle Spaces Provided	Shade Trees (1/10) Required/Provided	Vehicle Lot Frontage (ft)	Length of Frontage (ft)	% Length of Frontage (ft)	% Length of Frontage (ft)
MVE	173	12	191'	191'	100%	100%

### INTERNAL LANDSCAPING

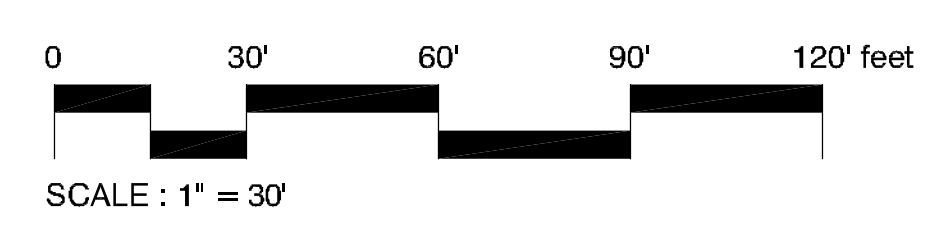
Plant Label	Min. Tree Area (SF)	Percent Minimum	Internal Area (SF)	Internal Trees (1/100 SF)	Required	Provided
I	148,485 SF	5%	7,424 SF	58	7	7

### LANDSCAPE PLANT SCHEDULE

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	NOTES
<b>DECIDUOUS TREES</b>						
PAT	7	<i>Fraxinus pennsylvanica</i>	White Ash	60' x 40'	2" Caliper	Ball and Burlap
SWO	12	<i>Quercus bicolor</i>	Swamp White Oak	60' x 60'	2" Caliper	Ball and Burlap
LLL	7	<i>Liriodendron tulipifera</i>	Cypress	45' x 25'	2" Caliper	Ball and Burlap
<b>EVERGREEN TREES</b>						
ASP	2	<i>Pinus strobus</i>	Austrian Pine	50' x 30'	10' Height	Ball and Burlap
CBS	1	<i>Pinus pungens</i>	Colorado Blue Spruce	60' x 25'	10' Height	Ball and Burlap
<b>ORNAMENTAL TREES</b>						
PHN	1	<i>Prunus pennsylvanica</i>	Princess Royal Palm	18' x 12'	1" Caliper	Ball and Burlap
<b>DECIDUOUS SHRUBS</b>						
DBB	64	<i>Euonymus alatus</i>	Strawberry Bush	6' x 6'	5 Gallon	Container
VB	12	<i>Viburnum lentago</i>	Nannyberry	6' x 7'	5 Gallon	Container
BAR	39	<i>Berberis thunbergii</i>	Redleaf Barberry	6' x 6'	5 Gallon	Container
APP	14	<i>Artemisia tridentata</i>	Artemisia	3' x 3'	5 Gallon	Container
COV	9	<i>Cornus alternifolia</i>	Spice Swallowtail	1' x 4'	1 Gallon	Container
<b>EVERGREEN SHRUBS</b>						
RMU	9	<i>Juniperus horizontalis</i>	Rocky Mountain Juniper	12' x 4'	15 Gallon	Container
BMU	41	<i>Juniperus horizontalis</i>	Blue Juniper	1' x 6'	1 Gallon	Container
JHC	60	<i>Juniperus chinensis</i>	Horizontal Juniper	1' x 4'	5 Gallon	Container
<b>ORNAMENTAL GRASSES</b>						
CAB	70	<i>Miscanthus sinensis</i>	Chinese Silver Grass	7' x 4'	1 Gallon	Container
COV	42	<i>Chloris trichodes</i>	Chloris	2' x 3'	1 Gallon	Container
LSB	40	<i>Sorghastrum nutans</i>	Little Bluestem	2' x 2'	1 Gallon	Container
<b>FLOWERS</b>						
SED	27	<i>Sedum spectabile</i>	Dragon Blood	1' x 1'	1 Gallon	Container
PCO	7	<i>Penstemon sp.</i>	Purple Penstemon	2' x 2'	1 Gallon	Container

### IRRIGATION SUBMITTAL

- A Final Irrigation Plan application is due at time of the (core and shell) building permit.
- Submittal Requirements:
- An Irrigation plan shall be submitted at the time of building permit application and approved within thirty (30) days subsequent to building permit issuance or prior to issuance of a certificate of occupancy, whichever occurs first.
  - Upon request by the applicant, an irrigation plan shall be submitted within ninety (90) days subsequent to building permit issuance and approved prior to the installation of any irrigation components and prior to issuance of a certificate of occupancy.
  - In the case of the conversion of vacant land to residential use that does not involve the construction of a structure, an irrigation plan shall be submitted and approved concurrent with development plan review and approval.
  - The irrigation plan shall graphically and through notes depict a water efficient design consistent with the landscape and grading plans.
  - The irrigation plan shall show and note hydrozones. The hydrozones shall take into account like water demand plants, slopes, microclimates, environmental factors, and water pressure.
  - Irrigation systems shall conform to the irrigation standards and all other provisions of the Landscape Code and landscape policy manual.



**OWNER INFO**

company name: SHOPS AT MERIDIAN RANCH LLC  
 address: P.O. BOX 80036  
 city/state: SAN DIEGO CA 91238  
 phone no:



**YOW ARCHITECTS PC**  
 ARCHITECTURE & PLANNING  
 115 S. Weber  
 Colorado Springs, Colorado 80901  
 475-8133

**Shop's @ Meridian Ranch**  
 Site Development Plan  
 Meridian Road  
 Falcon, CO

Job No.	18115
History	Landscape
Drawn by	Site development plan 48-9
Date	02/20/18
Printed	10/4/2018
	11/28/2018
	11/30/2019

DRAWING NO. **2**  
 LANDSCAPE PLAN

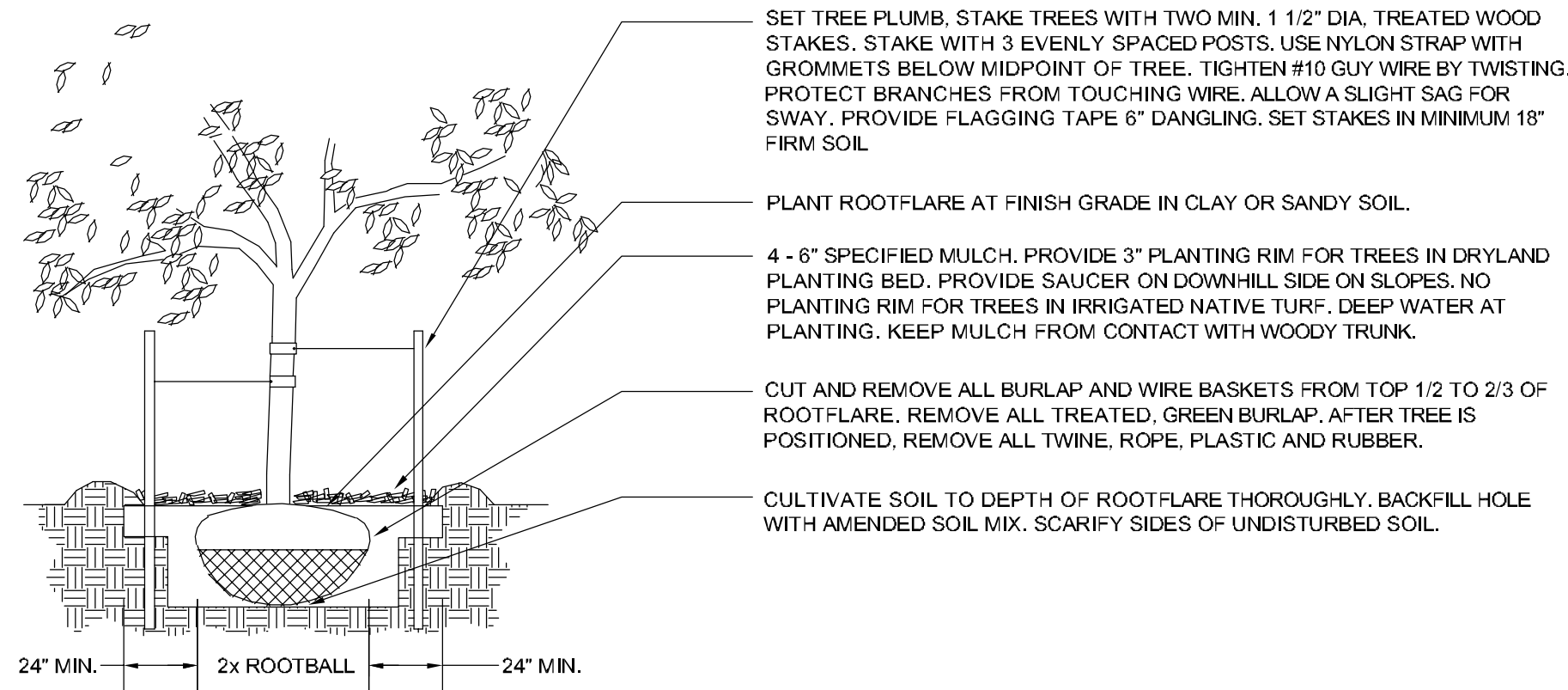
# THE SHOP'S AT MERIDIAN RANCH

## LANDSCAPE DETAILS

EL PASO COUNTY, COLORADO.  
FALCON, COLORADO

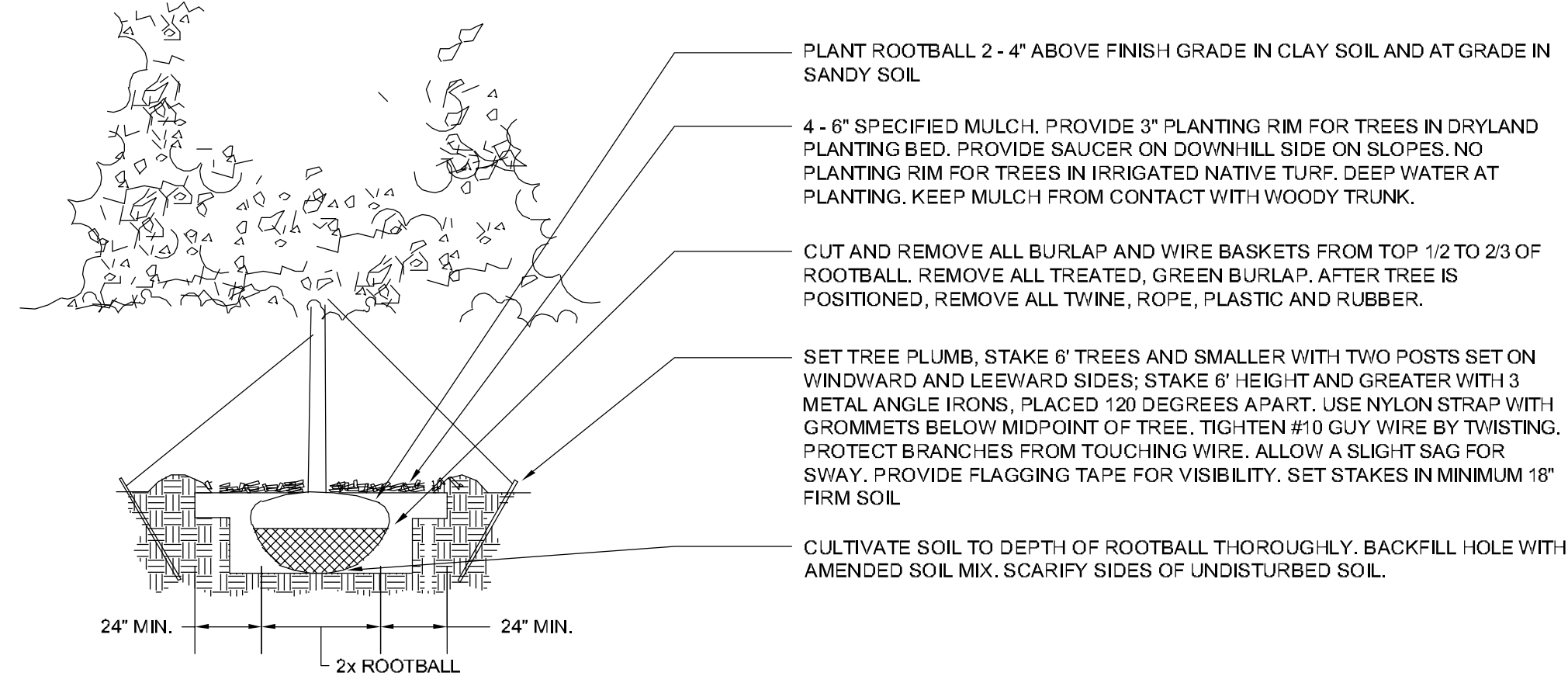


- NOTES:**
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  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 80% SOIL FROM PLANTING PIT AND 20% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.
  - STAKING POST SHALL BE 1 1/2" DIA. TREATED WOOD STAKE, METAL POST WILL NOT BE APPROVED



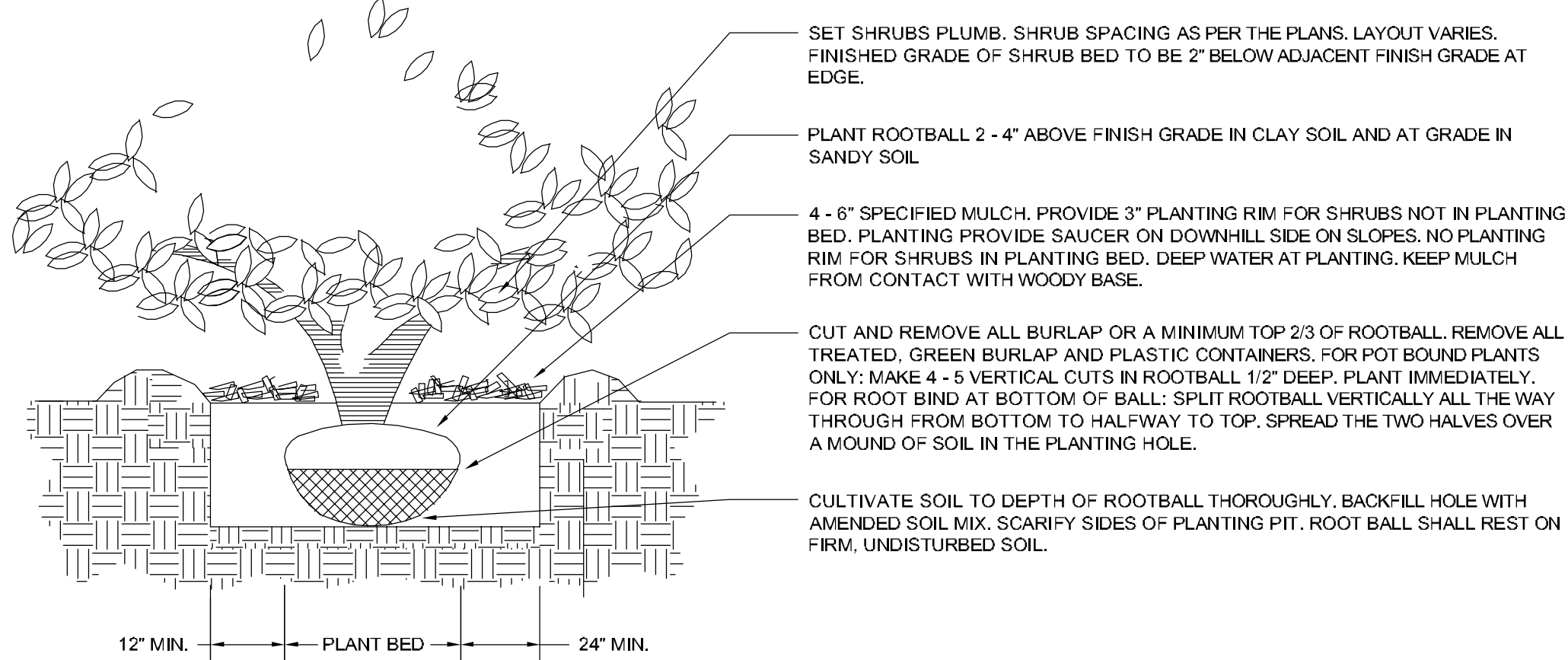
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2-8 DECIDUOUS TREE PLANTING DETAIL  
N.T.S.

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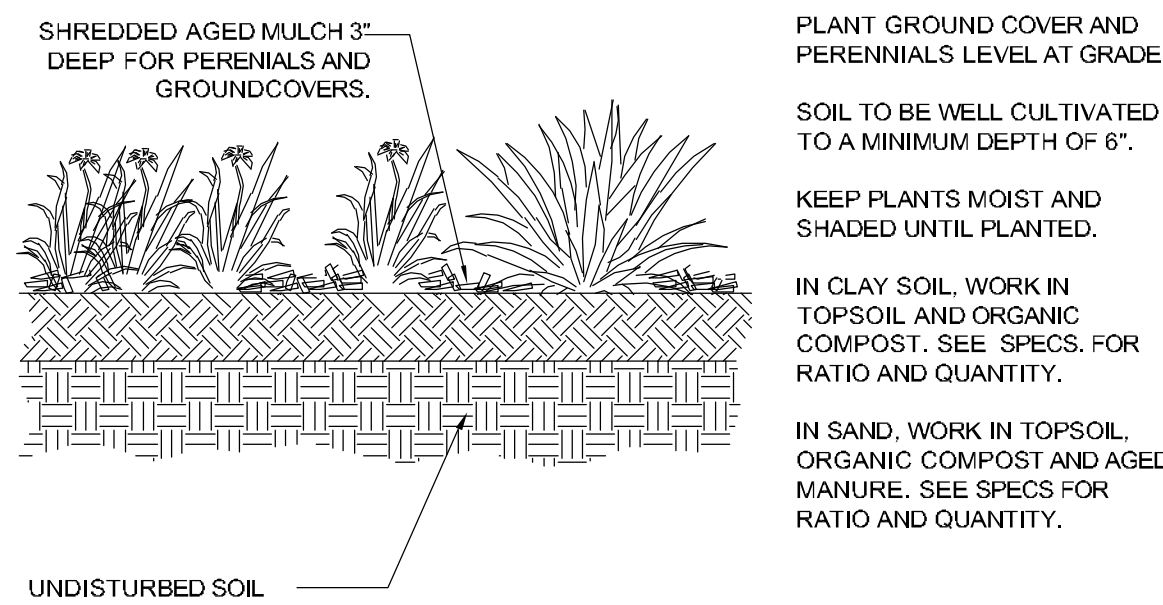


**b**  
2-8 EVERGREEN TREE PLANTING DETAIL  
N.T.S.

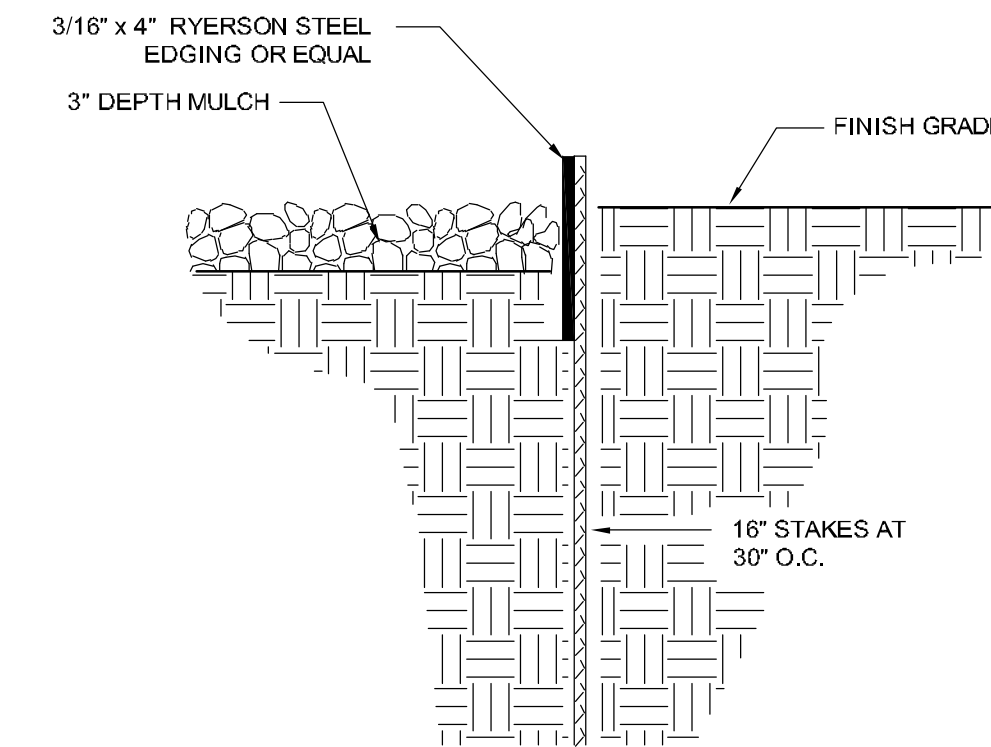
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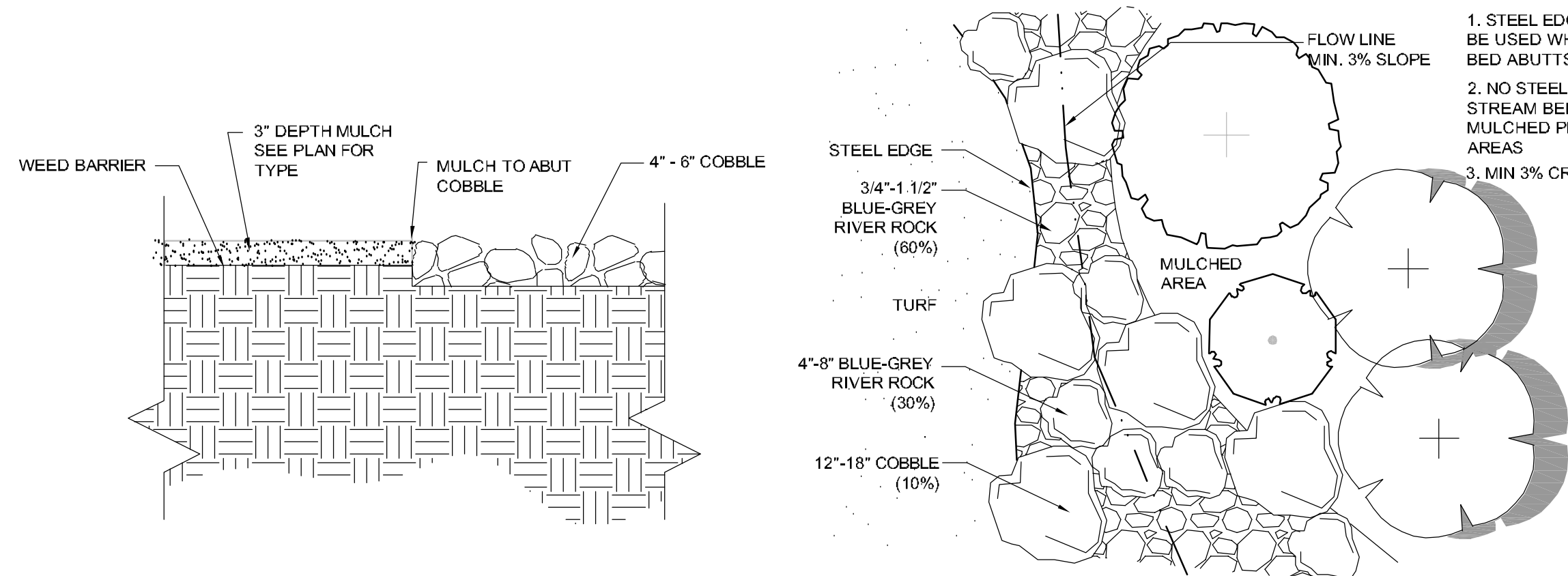
**c**  
2-8 SHRUB PLANTING DETAIL  
N.T.S.



**d**  
2-8 PERENNIAL/GROUND COVER PLANTING DETAIL  
N.T.S.

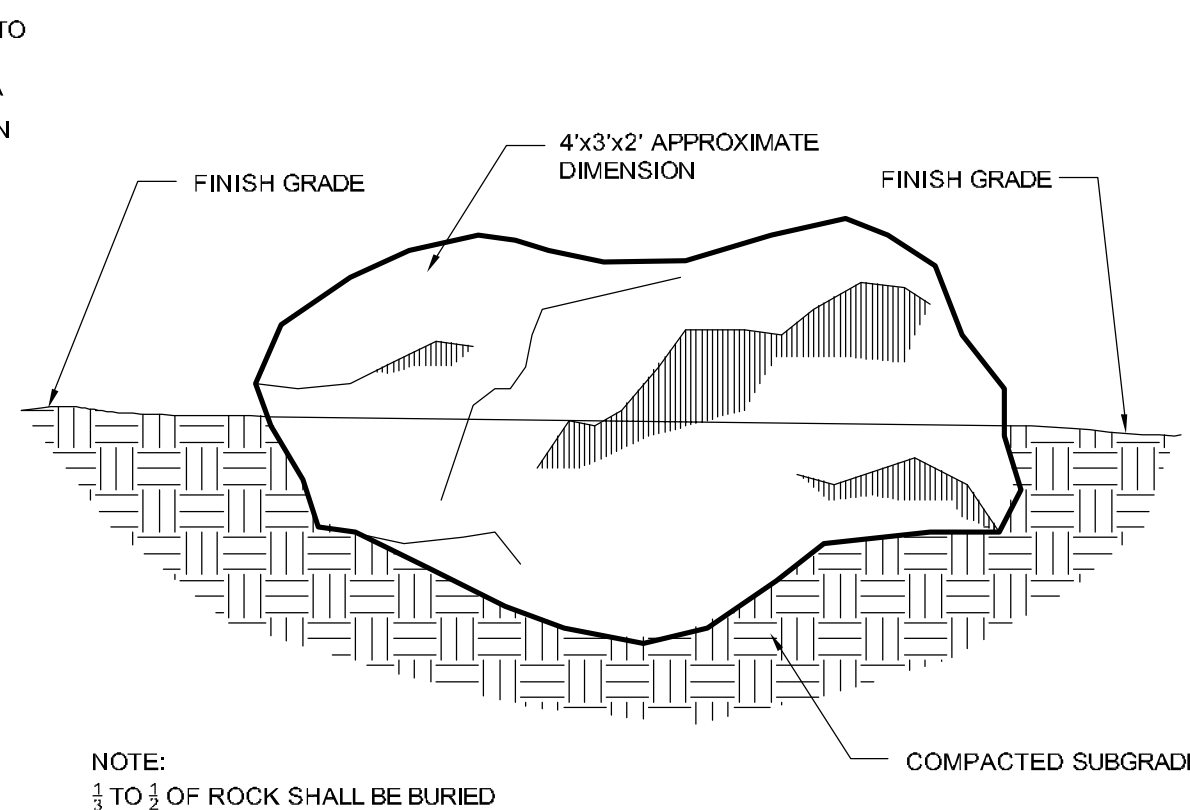


**e**  
2-8 STEEL EDGE DETAIL  
N.T.S.



**f**  
2-8 COBBLE @ MULCH  
N.T.S.

**g**  
2-8 TYPICAL STREAM BED  
N.T.S.



**h**  
2-8 LANDSCAPE BOULDER  
N.T.S.

### GENERAL LANDSCAPE NOTES:

1. PLANT QUANTITY AND SUBSTITUTION: In case of discrepancy in plant quantities shown on the planting table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
2. ACCEPTABLE PLANT MATERIAL: All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION" and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
3. SOIL AMENDMENTS: All planting areas and turf areas shall be amended as follows:
  - 3 cubic yards per 1000 s.f. of a mixture of aged manure and top soil to increase organic matter.
  - 2-3 lbs per 1000 s.f. of Sulfur every 4-6 weeks or peat moss (1-3 cy/1000sf) to lower the pH.
  - 3 lbs per 1,000 sf of Nitrate for every 0.1 lb of N apply 1/2 lb urea or 1/2 lb of ammonium sulfate.
  - 3 lbs of P205 per 1,000 sf to increase the Phosphorus
  - 2 lbs of K20 per 1,000 sf to increase the Potassium

### RECOMMENDED BACKFILL:

- TRI-MIX III as supplied by C&C Sand
- To be applied as backfill in planting pits

ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.

4. SEEDED AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
5. IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
6. ORGANIC MULCH: All planting areas for trees, shrubs, groundcovers and ornamental grasses shall be mulched with a (3") depth. A 36" diameter of 3" depth wood mulch shall be provided at base of all trees in turf areas. Mulch shall be fibrous in nature, not chipped or in chunks, and watered in after installation. NO FILTER FABRIC IS TO BE USED UNDER WOOD MULCH.
7. INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile fiber fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
8. LANDSCAPE BOULDERS: All landscape boulders shown on plan are to be 10-12 cubic feet minimum, blue grey river rock boulders unless otherwise specified.
9. STEEL EDGE: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
10. INSPECTION AND APPROVAL: Notification for IRRIGATION INSPECTION AFFIDAVIT shall be given during construction while trench is open and after completion of system installation prior to seeding or sodding. The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION AFFIDAVIT.
11. Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
12. AN IRRIGATION PLAN MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING THE BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY PER CITY OF COLORADO SPRINGS.
13. GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEED AS REQUIRED.
14. TREE WELLS: ALL TREES LOCATED IN PAVED BUILDING AREAS OR IN PARKING LOT ISLANDS ARE TO UTILIZE STRUCTURAL SOILS A MINIMUM OF 6'-8" OUTSIDE OF DESIGNATED PLANTING PITS. SOILS SHOULD NOT BE STOCKPILED ON SITE FOR MORE THAN 24HRS. IF STORAGE OF SOIL ON SITE IS NECESSARY PROTECTION OF SOIL IS NEEDED TO MINIMIZE CONTAMINATION.

### IRRIGATION NOTES:

1. IRRIGATION IS TO BE DESIGN-BUILD. THE IRRIGATION PLAN APPLICATION SUBMITTAL AND APPROVAL MUST BE COMPLETED BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED. CONTRACTOR TO PROVIDE A FINAL IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
2. All trees, shrubs, and ground covers shall be irrigated by an automatic drip irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic spray irrigation system also equipped with a rain sensor automatic shutoff device.
3. All valve boxes shall be supported by concrete block (min. 4 per box). Install blocks in a manner that will prevent contact with piping, wires, and valves.
4. Irrigation control wire shall be common trench with mainline and shall have separate sleeve were crossing all hard construction.
5. The contractor shall adjust all valves and spray nozzles for optimum coverage.
6. Contractor shall tape closed all sleeve pipe openings to prevent debris from entering sleeves.
7. Backflow preventer should be located in a locked/secured metal enclosure.
8. Minimum of (2 - 1gph) emitters per shrub and (4 - 1gph) per tree at minimum. Preferred method for irrigating trees would be to utilize tree ring assembly constructed of 2" dripline (diameter to match root ball). Reference Rainbird standard dripline tree detail.
9. All seeded areas need to be zoned and scheduled separately. Seeded irrigation zones are for temporary/establishment water purposes only (see seeding notes).
10. Contractor to provide irrigation schedule to owner/maintenance group addressing watering schedule for both establishment period and regular watering schedule.
11. Irrigation system, as noted, is to be design-build MODIFYING the current system in place. Where possible, all existing valves should be used and incorporated into the revised system design. The use of lower water use spray nozzles is strongly encouraged in all spray zones (i.e. MP Rotators).
12. All turf, seeded and drip areas should be zoned SEPARATELY.
13. All seeded areas are to be irrigated with permanent in-ground spray irrigation. These areas should be zoned separately as noted above. Irrigation in seeded areas should be used primarily for establishment purposes only. Once seeded areas have been established irrigation zones should not be part of regular watering schedule.

### OWNER INFO

company name SHOPS AT MERIDIAN RANCH LLC  
address P.O. BOX 80038  
city/state SAN DIEGO CA 91238  
phone no

**YOW ARCHITECTS PC**  
ARCHITECTURE & PLANNING  
Colorado Springs, Colorado 475-8133  
115 S. Weber

Structural: ...  
Electrical: ...  
Mechanical: ...  
Plumbing: ...

**Shop's @ Meridian Ranch**  
Site Development Plan  
Meridian Road  
Falcon, CO

DATE: 10.11.18  
DESIGNER: Landscape  
FILE: Site development plan-44-03  
DRAWN BY: DBR  
DATE: 02/20/18  
PROJECT: 104/2018  
11/29/2018  
4/9/2019

DRAWING NO. **3**  
LANDSCAPE DETAILS

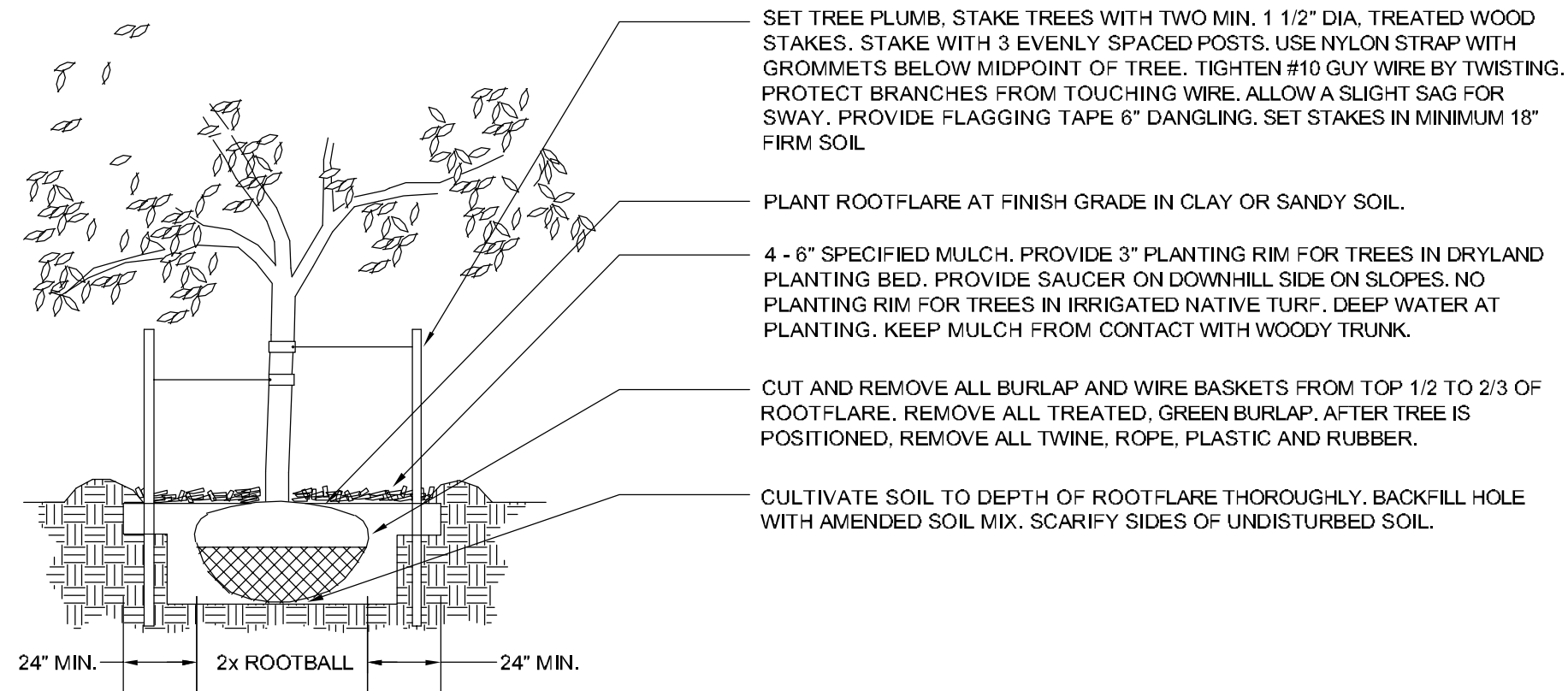
# THE SHOP'S AT MERIDIAN RANCH

## LANDSCAPE DETAILS

EL PASO COUNTY, COLORADO.  
FALCON, COLORADO

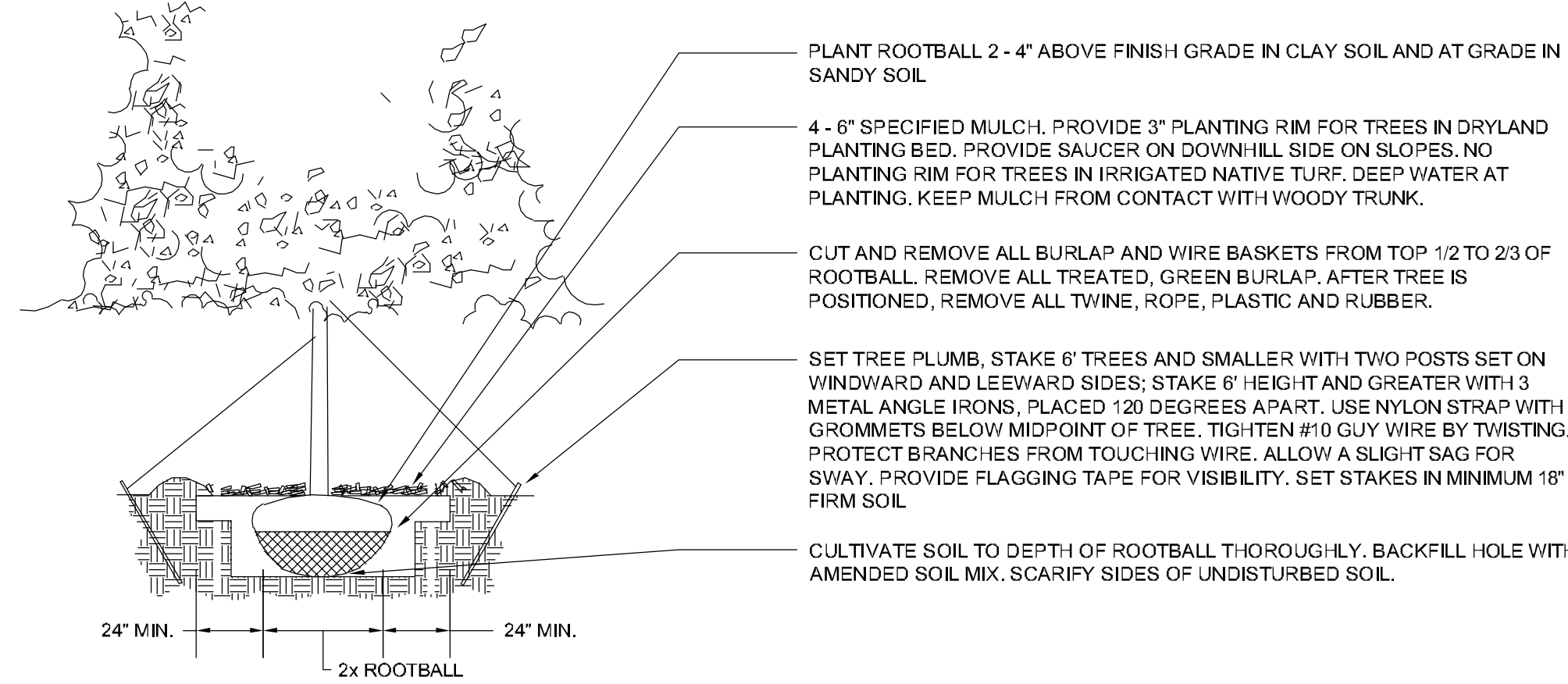


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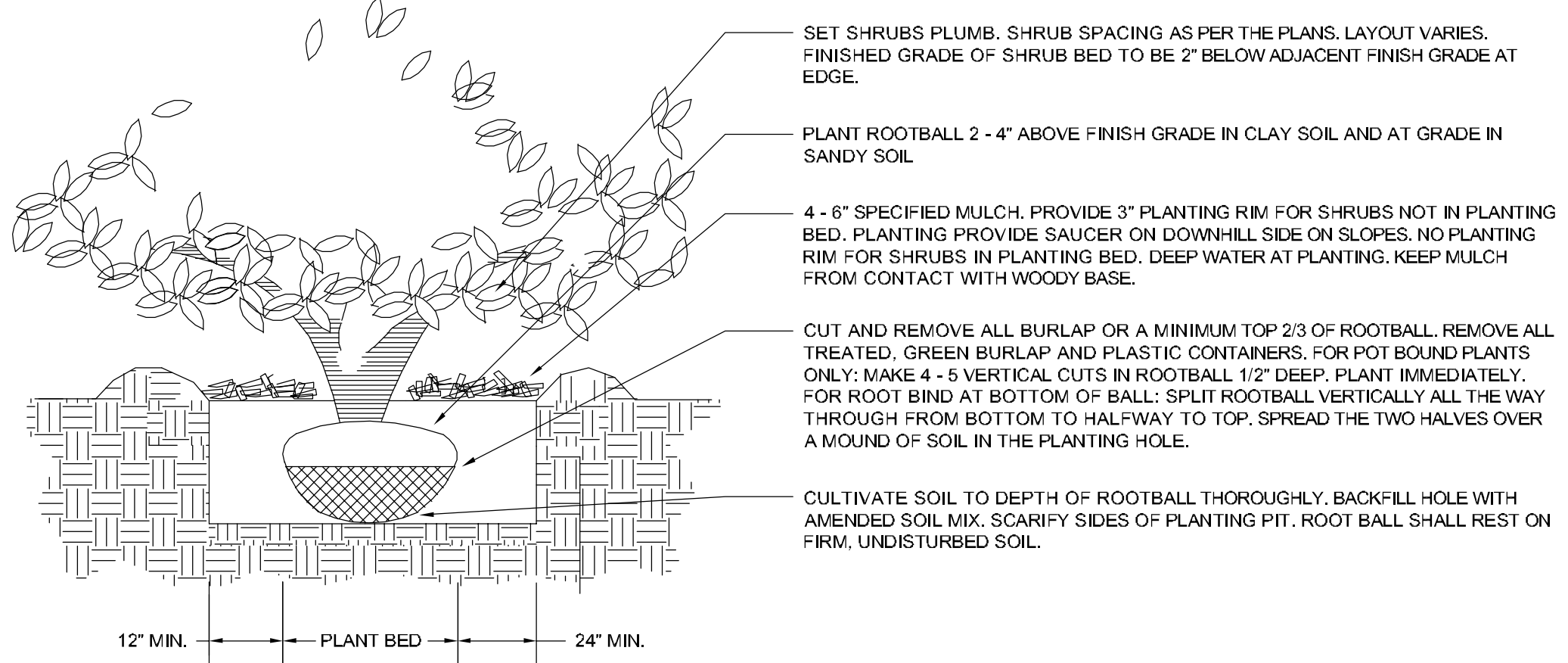
**a**  
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N.T.S.

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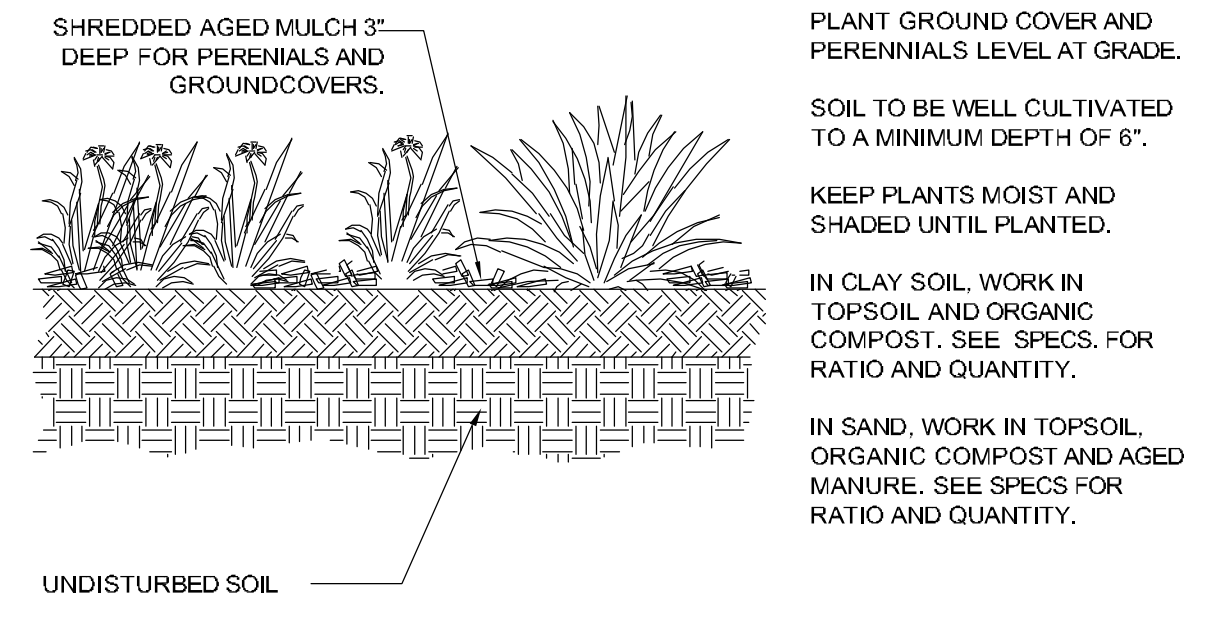


**b**  
2-8 **EVERGREEN TREE PLANTING DETAIL**  
N.T.S.

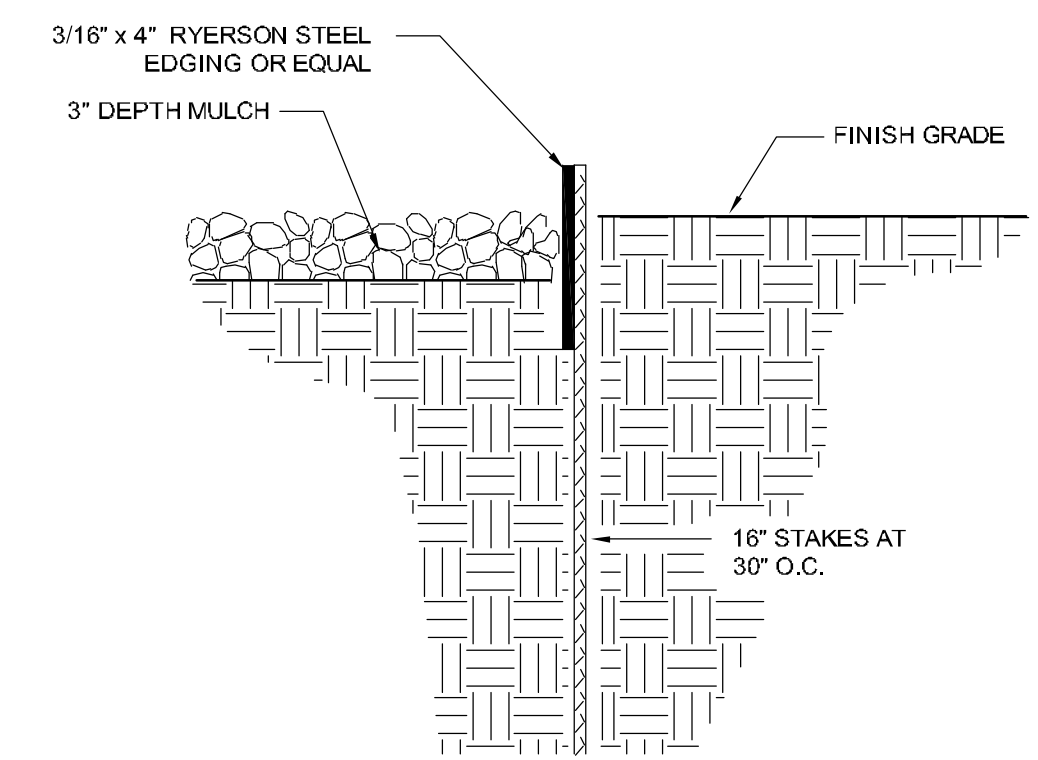
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**c**  
2-8 **SHRUB PLANTING DETAIL**  
N.T.S.



**d**  
2-8 **PERENNIAL/GROUND COVER PLANTING DETAIL**  
N.T.S.

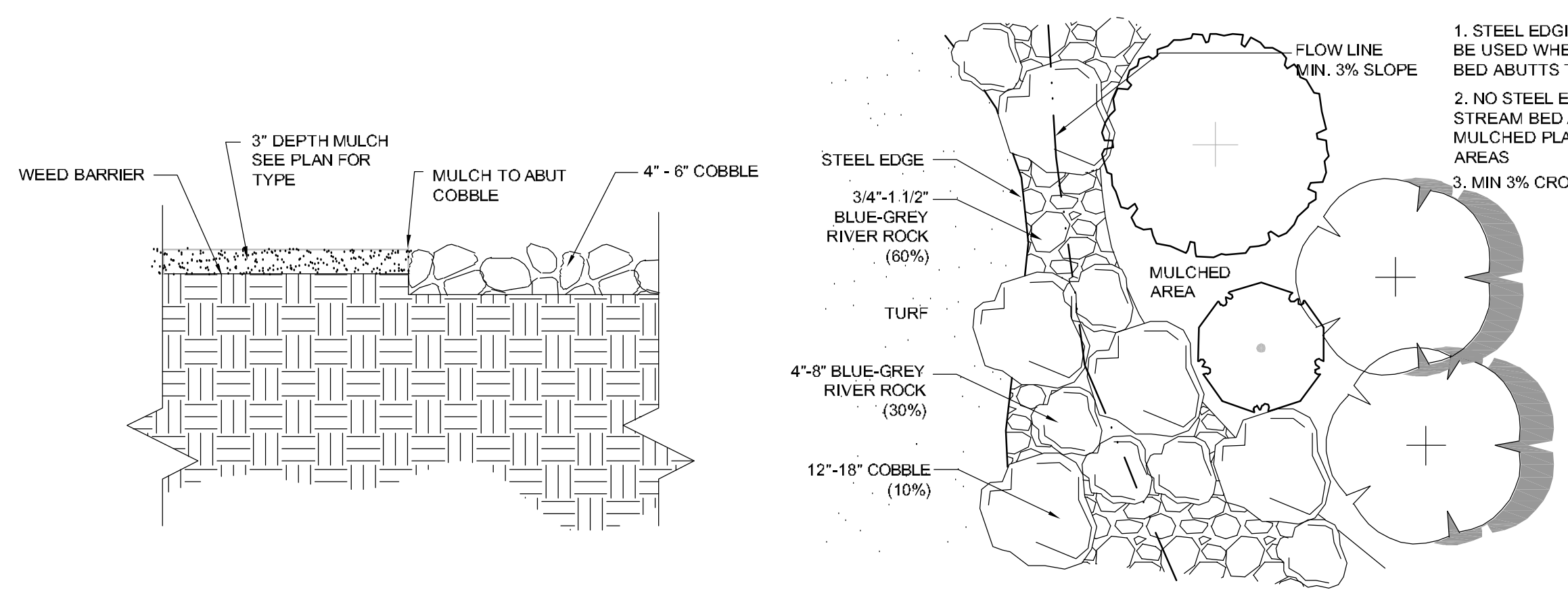


**e**  
2-8 **STEEL EDGE DETAIL**  
N.T.S.

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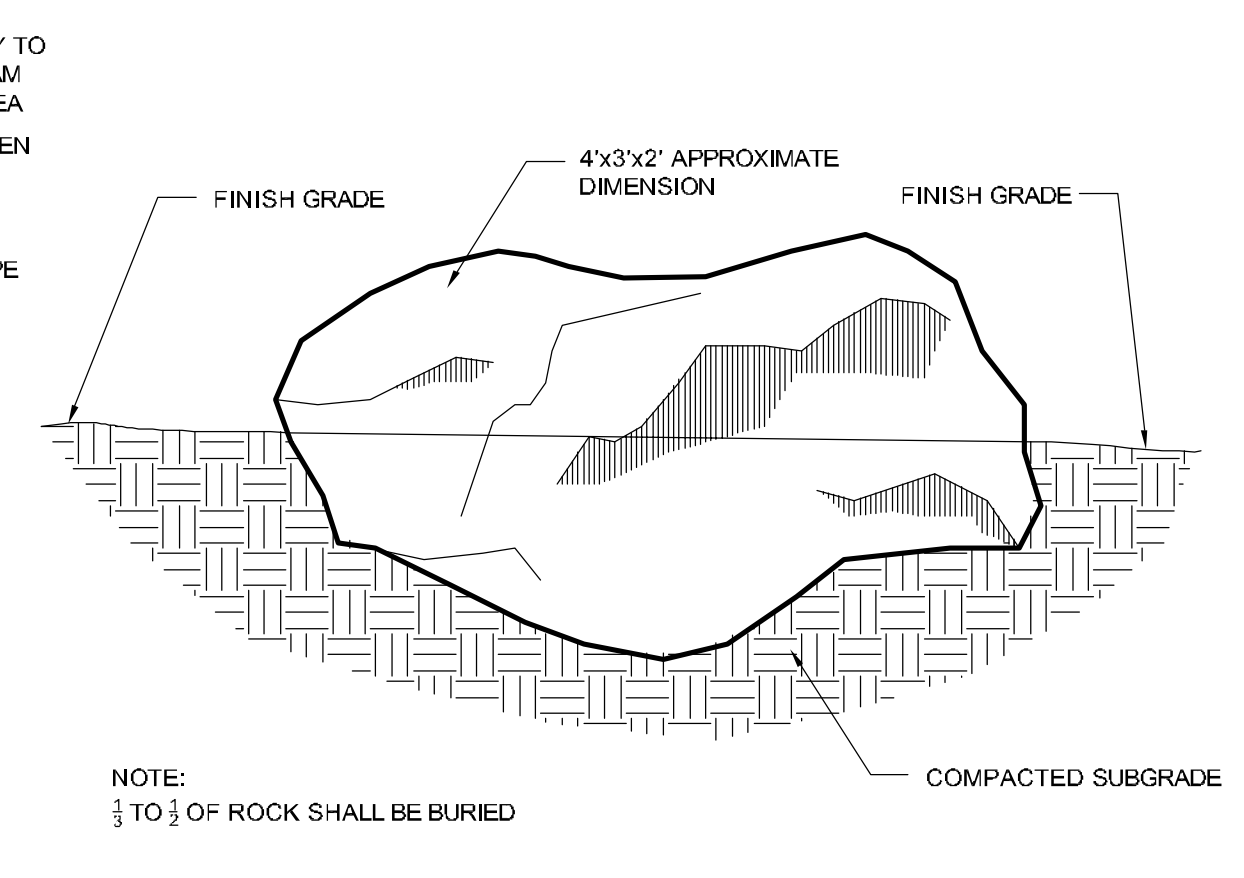
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**f**  
2-8 **COBBLE @ MULCH**  
N.T.S.

**g**  
2-8 **TYPICAL STREAM BED**  
N.T.S.



**h**  
2-8 **LANDSCAPE BOULDER**  
N.T.S.

**OWNER INFO**

company name SHOPS AT MERIDIAN RANCH LLC

address P.O. BOX 80038

city/state SAN DIEGO CA 91238

phone no

**YOW ARCHITECTS PC**  
ARCHITECTURE & PLANNING  
Colorado Springs, Colorado 475-8133

Structural: ..  
Electrical: ..  
Mechanical: ..  
Plumbing: ..

**Shop's @ Meridian Ranch**  
Site Development Plan

Meridian Road  
Falcon, CO

DATE: 10.11.18  
Disc: Landscape  
File: Site development plan-44-618  
Drawn by: URM  
Date: 02/2018  
Revised: 10/4/2018  
11/26/2018  
4/9/2019

DRAWING NO. **3**  
LANDSCAPE DETAILS