

This property is located in a Wildland Urban Interface Area and is subject to Appendix E, Wildfire Resiliency Requirements, of the El Paso County Land Development Code. This property is located in a:

☒ Low Fire Intensity Classification and is subject to Class I requirements

☒ Moderate or High Fire Intensity Classification and is subject to Class I and Class II requirements

THIS HOME MUST BE REMOVED PRIOR TO CERTIFICATE OF OCCUPANCY FOR 9379 SOAP WEED RD. HOME

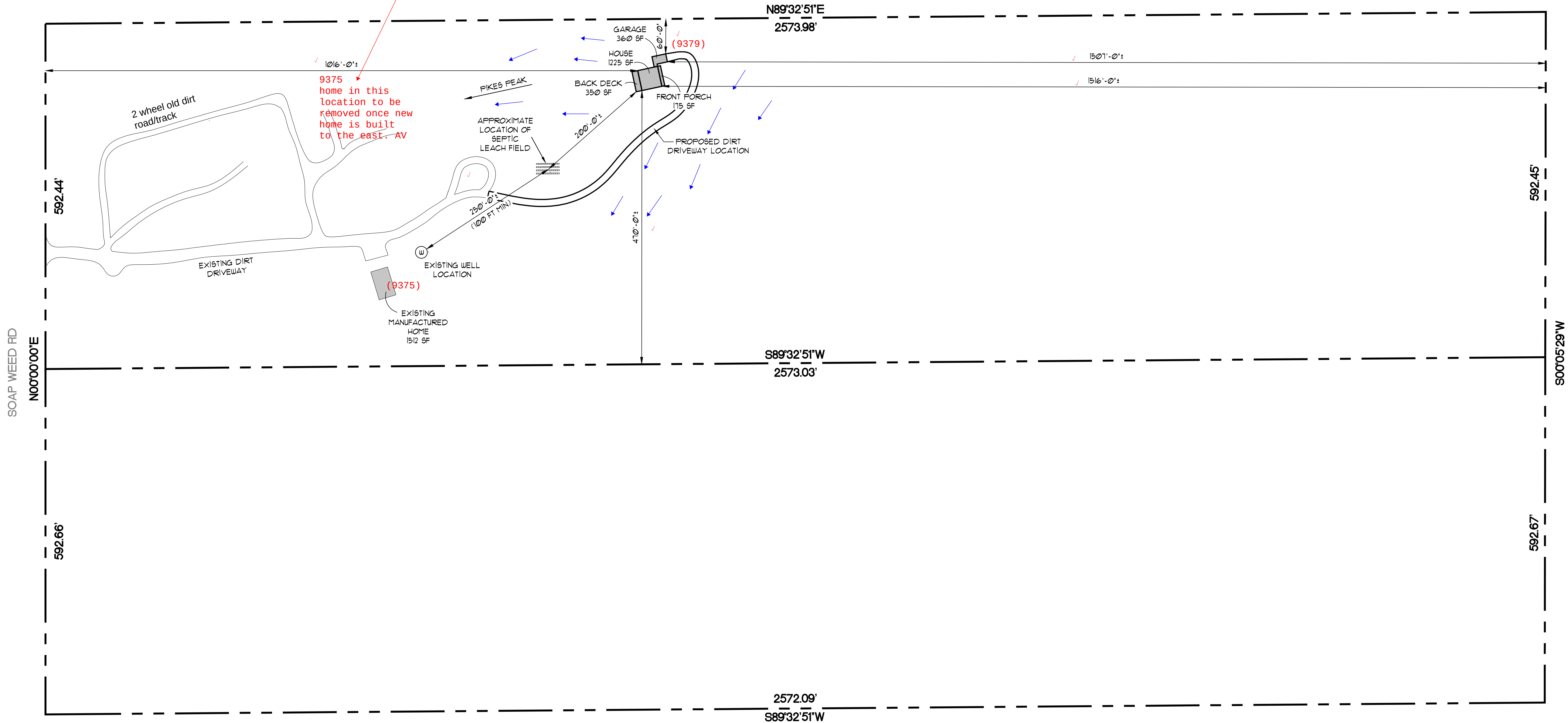
SFD26640
A35
BSQ2611

APPROVED
Plan Review
07/08/2026 11:18:16 AM
dudmes
EPC Planning & Community
Development Department

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT CREATE THE NEED TO COMPLY WITH ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATIONS. Planning & Community Development Department approval is contingent upon compliance with all applicable rules and regulations of the El Paso County. An approval given shall not be granted to the Planning & Community Development Department prior to the completion of any necessary site or County work. Disapproval or withdrawal of any approval may be given at any time without notice by the Planning & Community Development Department.

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

ACCEPTED FOR FILE
06/22/2026 3:10:14 PM
Glenn Reese
EPC Department of Public Works



SITE PLAN

SCALE: 1" = 100'-0"



- Flow around
new structure

NOTE: During construction, the builder will take necessary measures to prevent discharge of pollutants, including sediment for adjacent properties. Any pollutants discharged off site will be removed by the builder

Total Impervious Area of 0.02% or 33,622 SF

12,397 SF disturbance (585' x 15' new drive & 3,622 house

Approximately 2,500 Sf of 15' Wide Driveway made of compacted dirt. (includes new section)

Released for Permit
07/08/2026 8:28:08 AM
REGIONAL
ENUMERATION
amy

TAX SCHEDULE NO.:
~~22000000641~~ 22000-00-356
PROPERTY OWNERS:
ARRENIA LUELLA PENICK
SARAH ELIZABETH PENICK
PROPERTY ADDRESS:
9379 SOAP WEED RD
CALHAN CO, 80808
ZONE:
A35

LEGAL DESCRIPTION:
TR OF LAND IN THE N1/4 OF SEC 34-12-62 DESC AS FOLG: BEG AT A PT ON THE E LN OF SOAPWEED RD, WHICH PT BEARS S01-36-12E 10712.20 FT FROM THE NW COR OF SD SEC 34, TH N89-32-51E 2573.98 FT, TH S00-05-29W 592.45 FT, TH S89-32-51W 2573.03 FT, TH N00-00-00E 592.44 FT TO THE POB, AKA TRACT 10 BRONCO RANCH SUB RECORDED 4/15/1991 IN BK 5828 PG 1101 AND 10/19/1992 IN BK 6058, PG 1328

LOT SIZE:
1524.600 SF / 35.00 ACRES

TOTAL BLDG. FOOTPRINT:
PROPOSED HOUSE : 1225 SF
PROPOSED GARAGE : 360 SF
PROPOSED FRONT PORCH : 175 SF
PROPOSED BACK DECK : 350 SF
EXISTING HOUSE : 1512 SF
TOTAL : 3622 SF

LOT COVERAGE:
(MAX) LOT COVERAGE : NONE
ACTUAL LOT COVERAGE : < 1%
(MAX) BUILDING HEIGHT : 30' *
ACTUAL BUILDING HEIGHT : 31'-5"

* PER EL PASO COUNTY LDC TABLE 5-4: ONE ADDITIONAL FOOT OF HEIGHT IS ALLOWED FOR EACH FOOT OF ADDITIONAL SETBACK PROVIDED ABOVE THE REQUIRED MINIMUMS UP TO A MAXIMUM OF 100 FEET. FOR EXAMPLE, A MAXIMUM HEIGHT OF 35 FEET IS ALLOWED FOR STRUCTURES SETBACK A MINIMUM OF 30 FEET FROM ALL PROPERTY LINES AND A MAXIMUM HEIGHT OF 50 FEET IS ALLOWED FOR STRUCTURES SETBACK A MINIMUM OF 45 FEET FROM ALL PROPERTY LINES.

NOTES

1. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE GRASSES AS SOON AS POSSIBLE.
2. FINAL GRADING OF SITE SHALL BE SUCH THAT SURFACE WATER SHALL DRAIN AWAY FROM STRUCTURE IN A POSITIVE MANNER. (SLOPE 1/2 MINIMUM)
3. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM WITH DEVELOPER LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION.
4. LANDSCAPING SHALL BE PROVIDED BY OTHERS.
5. FIELD VERIFY ALL DIMENSIONS.
6. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM STAKE OUT OF BUILDING CORNERS PRIOR TO EXCAVATION AND CONSTRUCTION.
7. LOCATION OF NEW AND EXISTING UTILITIES TO BE FIELD VERIFIED
8. ALL EASEMENTS, SETBACKS, GRADES AND HEIGHTS SHALL BE FIELD VERIFIED BY TITLE SEARCH AND CONTRACTOR.
9. ALL GRADES SHALL SLOPE AWAY FROM STRUCTURE A MINIMUM OF 10 FT AND CONFORM TO ALL REQUIREMENTS INDICATED ON SOILS REPORT. SOILS REPORT SHALL GOVERN ALL SLAB DESIGN AND FOUNDATION DRAINAGE.
10. USE EROSION CONTROL FENCE DURING EXCAVATION TO STABILIZE AND PREVENT THE EROSION OF SOILS

CLIENT:
RENI & SARAH PENICK
9379 SOAP WEED RD
CALHAN, CO 80808

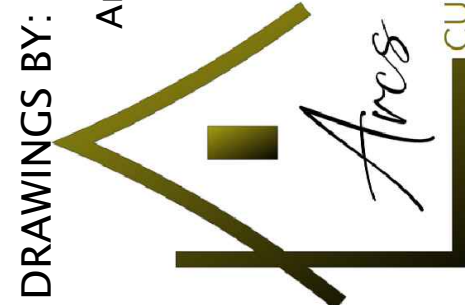
DATE:
5.26.26

JOB NO:
26-BTG02

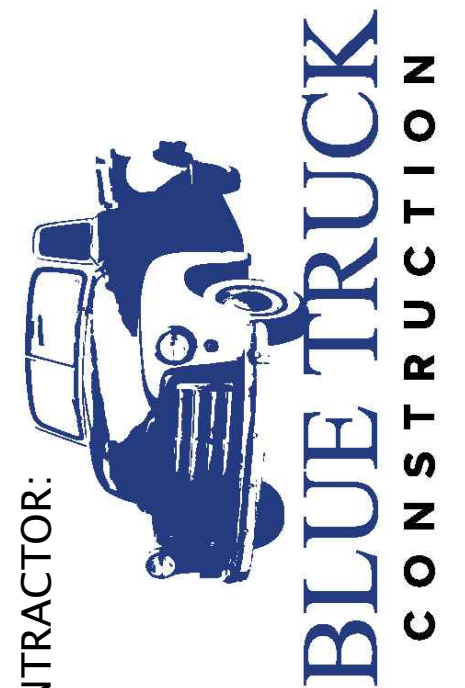
SHEET:
2 of 16

DRAWINGS BY:

ArcsAndLinesStudio@gmail.com
719.238.3022



CONTRACTOR:



Arcs & Lines Studio's liability concerning anything presented on these drawings is limited to correction of the drawings and nothing more. All construction, craftsmanship and/or installation is the sole responsibility of the owner / contractor.

RESIDENTIAL



2023 PPRBC
2021 IECC Amended

Address: ⁹³⁷⁹~~9375~~ SOAP WEED RD, CALHAN

Parcel: 2200000641

Plan Track #: 214412

Received: 18-Jun-2026 (MELISSAF)

Description:

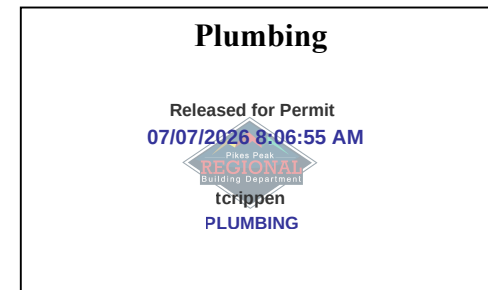
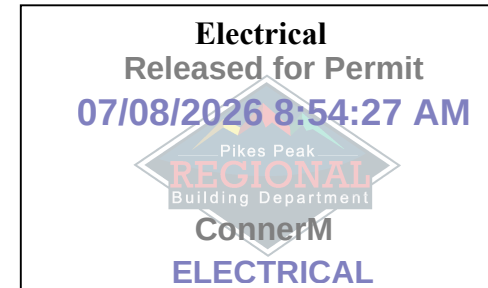
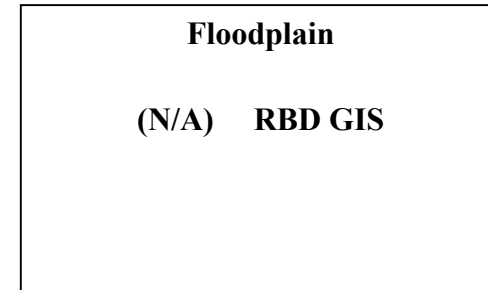
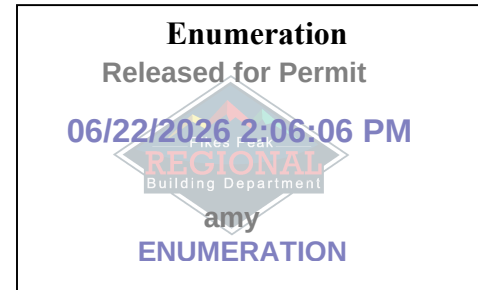
RESIDENCE

Contractor: BLUE TRUCK CONSTRUCTION, LLC

Type of Unit:

Garage	360	
Lower Level 1	1004	
Lower Level 2	221	
Main Level	1225	
Upper Level 1	814	
	3624	Total Square Feet

Required PPRBD Departments (6)



Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

07/08/2026 11:26:06 AM

dsdmaes

EPC Planning & Community
Development Department