

A PARCEL OF LAND BEING A PORTION OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST
OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO;

THENCE ON SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING (3) THREE COURSES;

- THENCE S 00°29'42" E, A DISTANCE OF 11.41 FEET TO A POINT OF CURVE;
 THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 52°52'16", A RADIUS OF 563.00
 FEET AND A DISTANCE OF 519.52 FEET TO THE POINT OF REVERSE CURVE;
 THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 52°51'47", A RADIUS OF 547.00
 FEET AND A DISTANCE OF 504.68 FEET TO A POINT OF TANGENT;
 THENCE S 00°29'12" E, A DISTANCE OF 191.77 FEET TO A POINT OF CURVE;
 THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 15°27'22", A RADIUS OF 1477.00
 FEET AND A DISTANCE OF 398.44 FEET TO A POINT OF TANGENT;
 THENCE S 15°56'34" E, A DISTANCE OF 106.75 FEET;
 THENCE S 74°03'26" W, A DISTANCE OF 64.38 FEET;
 THENCE N 83°00'10" W, A DISTANCE OF 91.98 FEET;
 THENCE S 67°07'45" W, A DISTANCE OF 83.24 FEET;
 THENCE S 73°43'11" W, A DISTANCE OF 12.43 FEET;
 THENCE N 56°51'17" W, A DISTANCE OF 63.47 FEET;
 THENCE N 58°01'44" W, A DISTANCE OF 65.11 FEET;
 THENCE N 76°48'22" W, A DISTANCE OF 65.21 FEET;
 THENCE N 86°46'55" W, A DISTANCE OF 65.21 FEET;
 THENCE S 83°14'32" W, A DISTANCE OF 65.21 FEET;
 THENCE S 73°15'59" W, A DISTANCE OF 65.21 FEET;
 THENCE S 54°28'00" W, A DISTANCE OF 64.73 FEET;
 THENCE S 56°29'23" W, A DISTANCE OF 49.43 FEET;
 THENCE S 64°40'00" W, A DISTANCE OF 40.77 FEET;
 THENCE S 73°00'46" W, A DISTANCE OF 10.12 FEET;
 THENCE N 85°11'50" W, A DISTANCE OF 93.93 FEET;
 THENCE N 81°03'44" W, A DISTANCE OF 64.48 FEET;
 THENCE N 78°35'46" W, A DISTANCE OF 66.61 FEET;
 THENCE S 77°53'05" W, A DISTANCE OF 68.07 FEET;
 THENCE S 70°23'19" W, A DISTANCE OF 59.86 FEET;
 THENCE S 71°35'08" W, A DISTANCE OF 50.42 FEET;
 THENCE S 78°40'02" W, A DISTANCE OF 116.79 FEET;
 THENCE N 19°56'11" W, A DISTANCE OF 340.72 FEET TO A POINT OF CURVE;
 THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 32°35'44", A RADIUS OF
 742.50 FEET AND A DISTANCE OF 422.41 FEET TO A POINT ON CURVE, SAID POINT BEING ON THE
 SOUTHERLY BOUNDARY OF A PARCEL OF LAND DESCRIBED IN DOCUMENT RECORDED UNDER RECEPTION
 NO. 209091558;

1. S 77°20'27" E, A DISTANCE OF 25.00 FEET TO A POINT ON CURVE;
2. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S 77 °20'27" E, HAVING A DELTA OF 30°33'35", A RADIUS OF 717.50 FEET AND A DISTANCE OF 382.69 FEET TO A POINT OF REVERSE CURVE;
3. ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 43 °42'49", A RADIUS OF 812.50 FEET AND A DISTANCE OF 619.90 FEET TO A POINT OF TANGENT;

THENCE N 00°29'42" W, A DISTANCE OF 46.58 FEET TO THE POINT OF BEGINNING.
TOTAL AREA = 47.014 ACRES

THE NORTH-SOUTH CENTERLINE OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MONUMENTED AT BOTH ENDS BY A 3 1/4" ALUMINUM CAP STAMPED "RLS 10377", IS ASSUMED TO BEAR S 00°19'23" E, A DISTANCE OF 5252.20 FEET.

DRAWN BY: MRJ JOB DATE: 8/24/2021
 APPROVED: KMH JOB NUMBER: 201134
 PLOTTED DATE: 8/26/2021
 PLOT FILE: J:\2020\201134\CAD\Drawings\C\SDPI\Cover_Sheet

NO.	DATE	BY	REVISION DESCRIPTION

- FOR 50' AND 60' WIDE LOTS, NO MORE THAN 45% OF THE REQUIRED FRONT YARD, AS MEASURED FROM THE FRONT LOT LINE TO THE FRONT SETBACK LINE, SHALL BE USED AS DRIVEWAY OR PARKING AREA.

HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

CHALLENGER HOMES

1. INTERIM WATER AND WASTEWATER SERVICE MAY BE OBTAINED THROUGH THE COLORADO CENTRE METROPOLITAN DISTRICT (CCMD). THE APPLICANT ACKNOWLEDGES AND AGREES THAT CCMD SHALL PROVIDE INTERIM SERVICE IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE INTERGOVERNMENTAL AGREEMENT FOR WATER DISTRIBUTION AND WASTEWATER COLLECTION, TREATMENT AND DISPOSAL (IGA) DATED AUGUST 11, 2009, BETWEEN CCMD AND THE CITY OF COLORADO SPRINGS ON THE BEHALF OF COLORADO SPRINGS UTILITIES, AS SUCH IGA IS AMENDED OR RESTATED FROM TIME TO TIME.
2. AS A CONDITION OF APPROVAL OF ANY DEVELOPMENT PLAN AND PRIOR TO THE PROVISION OF UTILITY SERVICE FOR THE SUBJECT PROPERTY, A FACILITIES PARTICIPATION, UTILIZATION, AND SERVICE AGREEMENT (SERVICE AGREEMENT) BETWEEN COLORADO SPRINGS UTILITIES AND CHALLENGER HOLMES OR THE MASTER DEVELOPMENT ENTITY SHALL BE EXECUTED. THE APPLICANT ACKNOWLEDGES AND AGREES TO THE UTILITY-EXTENSION REQUIREMENTS, OBLIGATIONS, AND OTHER TERMS OF THE SERVICE AGREEMENT, INCLUDING THE OBLIGATIONS REGARDING THE INTERIM AND PERMANENT UTILITY EXTENSIONS, FUTURE CONVERSION TO CSU AND THE CONNECTION TO BOTH THE CCMD OR CSU WATER AND WASTEWATER SYSTEMS THAT ARE DESCRIBED IN THE "INDIVIDUAL PLAN" WHICH IS AN EXHIBIT TO THE SERVICE AGREEMENT.
3. PRIOR TO THE RECEIPT OF INTERIM SERVICE, THE APPLICANT SHALL PROVIDE THE FOLLOWING NOTICE TO ALL INTERIM CUSTOMERS: "ANY CUSTOMER RECEIVING COLORADO CENTRE METROPOLITAN DISTRICT (CCMD) INTERIM WATER OR WASTEWATER SERVICE IN THE IGA, SHALL BE A CCMD INTERIM CUSTOMER SUBJECT TO CCMD'S STANDARD RULES AND REGULATIONS, INCLUDING ANY RELEVANT CCMD POLICIES ADOPTED BY RESOLUTION. SUCH INTERIM CUSTOMERS SHALL BE SERVED BY, BILLED DIRECTLY BY, AND ARE SOLELY RESPONSIBLE FOR ALL PAYMENTS TO CCMD. CCMD SHALL CHARGE THE STANDARD RATES, CHARGES, FEES, AND PENALTIES THAT ARE APPLICABLE TO ALL CCMD CUSTOMERS AS MAY BE ADJUSTED BY CCMD'S BOARD OF DIRECTORS."
4. A HOME OWNERS ASSOCIATION IS NOT PROPOSED FOR THIS DEVELOPMENT.
5. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT OR CURRENT TRACT OWNER.
6. ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY BRADLEY HEIGHTS METROPOLITAN DISTRICT OR CURRENT TRACT OWNER.
7. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATION SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-685-6720 FOR ASSISTANCE.
8. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-355-5982 TO BEGIN A SIGN PERMIT APPLICATION.
9. PER CITY CODE SECTION 7-4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ON ADJACENT PROPERTIES OR ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
10. NO DIRECT VEHICULAR ACCESS SHALL BE ALLOWED UNTO BRADLEY LANDING BOULEVARD ON THE WEST, BRADLEY ROAD TO THE NORTH OR BLISS ROAD TO THE EAST FROM ANY PARCEL WITHIN THIS DEVELOPMENT OTHER THAN BY DEDICATED PUBLIC ROAD ACCESS POINTS.
11. PARKING IS ALLOWED ON BOTH SIDES OF THE STREET UNLESS SPECIFICALLY NOTED WITH NO PARKING SIGNAGE.
12. AIRPORT ACKNOWLEDGEMENT: UPON ACCEPTING RESIDENCY WITHIN BRADLEY HEIGHTS, ALL ADULT RESIDENTS AND OCCUPANTS SHALL BE REQUIRED TO SIGN A NOTICE IN WHICH THE TENANT ACKNOWLEDGES THAT BRADLEY HEIGHTS LIES WITHIN AN AIRPORT OVERLAY ZONE AND IS LOCATED LESS THAN 2 MILES FROM COLORADO SPRINGS MUNICIPAL AIRPORT AND MAY, AT TIMES (24 HOURS PER DAY), EXPERIENCE NOISE AND OTHER ACTIVITIES AND OPERATIONS ASSOCIATED WITH AIRCRAFT AND THE AIRPORT.
13. THE DEVELOPMENT AND ITS OCCUPANTS MAY BE IMPACTED BY AIR ILLUMINATION OR APPROACH LIGHTING SYSTEMS THAT USE MEDIUM AND HIGH-INTENSITY LIGHTS TO GUIDE AIRCRAFT TO THE RUNWAY CENTERLINE USED FOR NAVIGATION OR FLIGHT IN A1R1.
14. FAA FORM 7460-1: BASED ON ELEVATION DATA AND DATA TO RUNWAY, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE: ([HTTPS://OEAAA.FAA.GOV/OEAAA/EXTERNAL/PORTAL.JSP](https://oeaaa.faa.gov/oeaaa/EXTERNAL/PORTAL.JSP)).
15. THE IMPROVEMENTS SHOWN ON BRADLEY ROAD, BRADLEY LANDING BOULEVARD AND BLISS ROAD ARE INTENDED TO BE CONSTRUCTED BY THE BRADLEY HEIGHTS METROPOLITAN DISTRICT IF THE DISTRICTS SCHEDULE FOR FILINGS 1 AND 2, THESE IMPROVEMENTS SHALL BE COMPLETED BY CHALLENGER HOMES WITH THE COSTS REIMBURSED BY THE DISTRICT.
16. THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE FEES, RESTRICTIONS, AND COVENANTS OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT, WHICH IS CREATED BY ORDINANCE NO. _____ AND RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NO. _____.
17. PRIOR TO CONSTRUCTION PLANS APPROVAL, THE DEVELOPER IS REQUIRED TO REMIT THE AMOUNT OF \$250,000 FOR THE FUTURE ANTICIPATED TRAFFIC SIGNAL AT THE INTERSECTION OF BRADLEY ROAD WITH BLISS ROAD. **THIS REQUIREMENT SHALL BE WAIVED IF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT PROVIDES A SEPARATE ASSURANCE OR IF THE SIGNALS ARE WARRANTED AND CONSTRUCTED SEPARATELY BY THE DISTRICT.**
18. PRIOR TO CONSTRUCTION PLANS APPROVAL, THE DEVELOPER IS REQUIRED TO REMIT THE AMOUNT OF \$300,000 FOR THE FUTURE ANTICIPATED TRAFFIC SIGNAL AT THE INTERSECTION OF BRADLEY ROAD WITH BRADLEY LANDING BLVD/FOREIGN TRADE ZONE BLVD. **THIS REQUIREMENT SHALL BE WAIVED IF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT PROVIDES A SEPARATE ASSURANCE OR IF THE SIGNALS ARE WARRANTED AND CONSTRUCTED SEPARATELY BY THE DISTRICT.**

PRELIMINARY/
NOT FOR CONSTRUCTION

LAND USE REVIEW FILE NO: CPC PUD 21-00206

PUD DEVELOPMENT PLAN

COVER SHEET

SHEET
CV

1

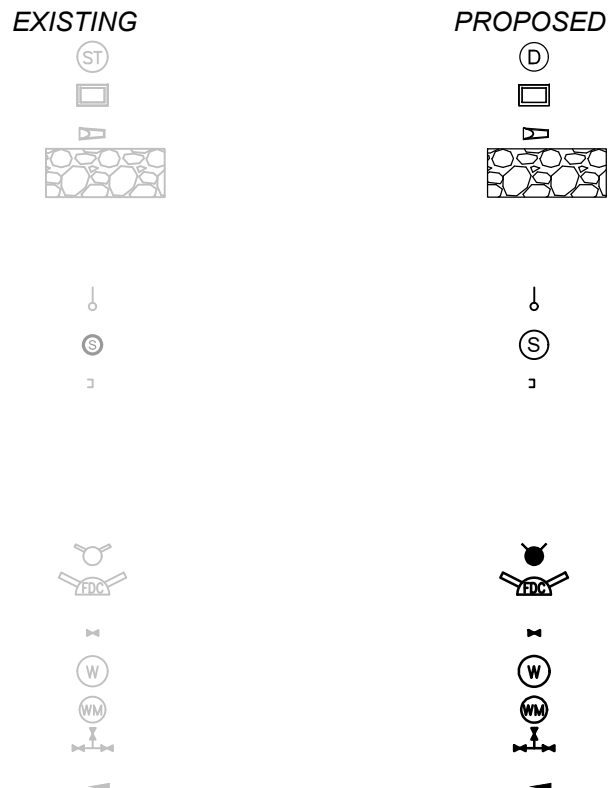
MATCH LINE
PHASE LINE
SECTION LINE
PROPERTY LINE
EASEMENT LINE
RIGHT OF WAY
CENTERLINE
CHAIN LINK FENCE
WOODEN FENCE
ROD IRON FENCE
GUARDRAIL
CABLE TV
U.G. ELECTRIC
OVERHEAD ELECTRIC
FIBER OPTIC
GAS MAIN
SANITARY SEWER
STORM DRAIN
TELEPHONE
WATER MAIN
SWALE
TRAIL
CURB & GUTTER
DRAINAGE BASIN
INDEX CONTOUR
INTER. CONTOUR
100-YR FLOODPLAIN
FLOWDWAY



MANHOLE
STORM INLET
FLARED END SECTION
RIPRAP

SANITARY SEWER

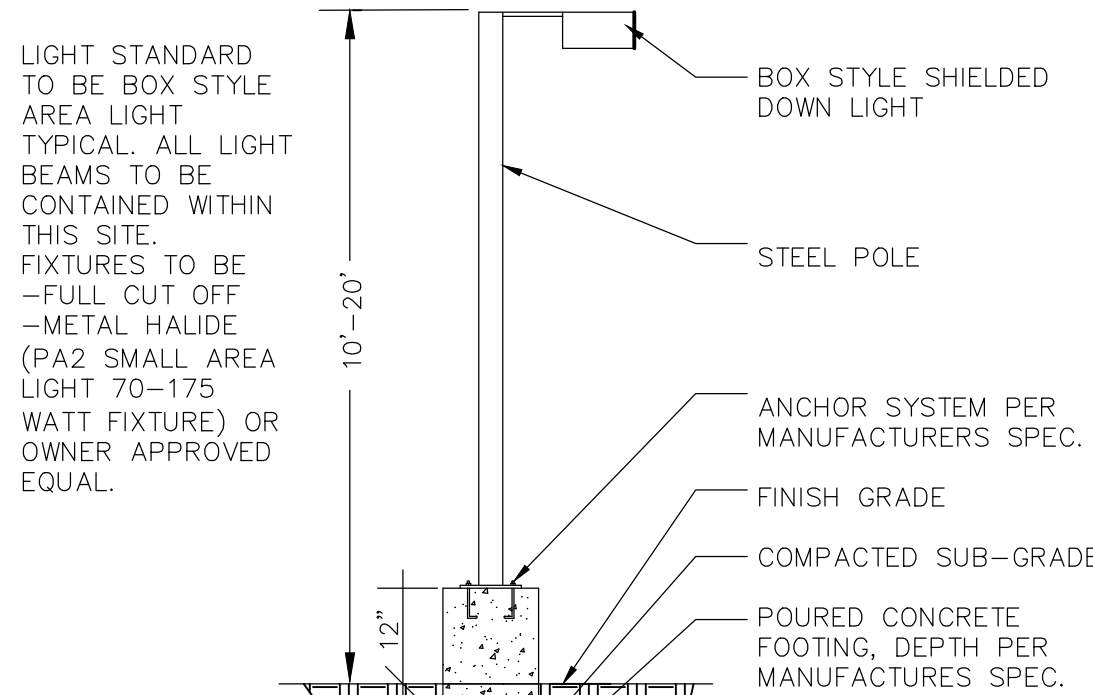
CLEAN OUT
MANHOLE
PLUG



FIRE HYDRANT
FIRE DEPT. CONNECTION
GATE VALVE
MANHOLE
METER
TEE
REDUCER

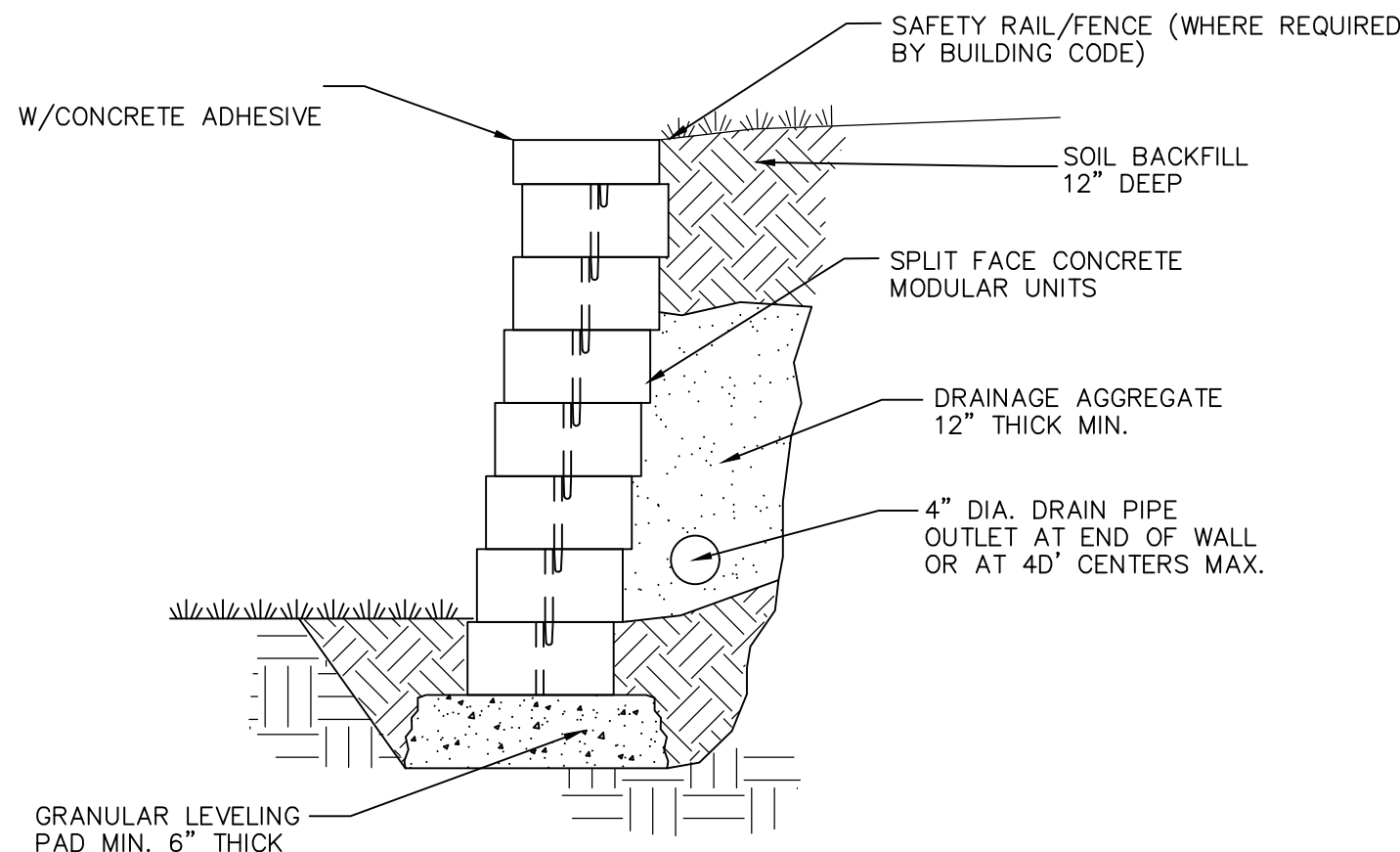
ELECTRIC METER
ELECTRIC PEDESTAL
ELECTRICAL CABINET
ELECTRIC VAULT
FIBER OPTIC PULL BOX
FIBER OPTIC MANHOLE
FIBER OPTIC PEDESTAL
FIBER OPTIC SIGN
FIBER OPTIC VAULT
GAS METER
GAS SIGN
GAS VAULT
TELEPHONE CABINET
TELEPHONE MANHOLE
TELEPHONE SIGNAL/MASTER
TELEPHONE SIGN
TELEPHONE PEDESTAL
TRANSFORMER
LIGHT POLE
FIBER OPTIC VAULT

SIGN
BOLLARD
ACCESSIBLE PARKING



LIGHT POLE DETAIL

SCALE: NTS




NOTES:

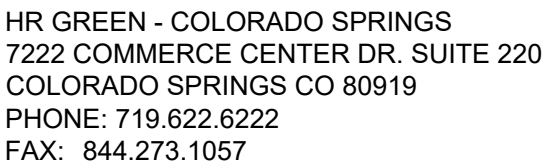
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. RETAINING WALLS TO BE ALLAN BLOCK (CLASSIC) WALL OR EQUAL, TAN IN COLOR.

RETAINING WALL DETAIL

SCALE: NTS

DRAWN BY: MRJ JOB DATE: 8/2/2021 BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 201134 OFFICIAL DRAWINGS.
0"  1"
CAD DATE: 8/2/2021 IF NOT ONE INCH,
CAD FILE: J:2020\201134\CADD\DWG\SSS\PROPOSED SHEET ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



BRADLEY HEIGHTS F1 & F2
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

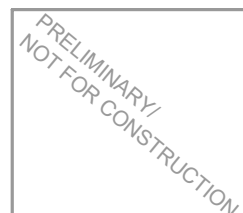


LEGEND & TYPICAL SECTIONS

SHEET
LG

2

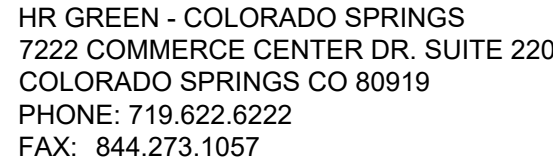
PRELIMINARY/
NOT FOR CONSTRUCTION



LAND USE REVIEW FILE NO: CPC PUD 21-00206

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1"
IF NOT ONE INCH,
USE SCALE ACCORDINGLY

NO.	DATE	BY	REVISION DESCRIPTION



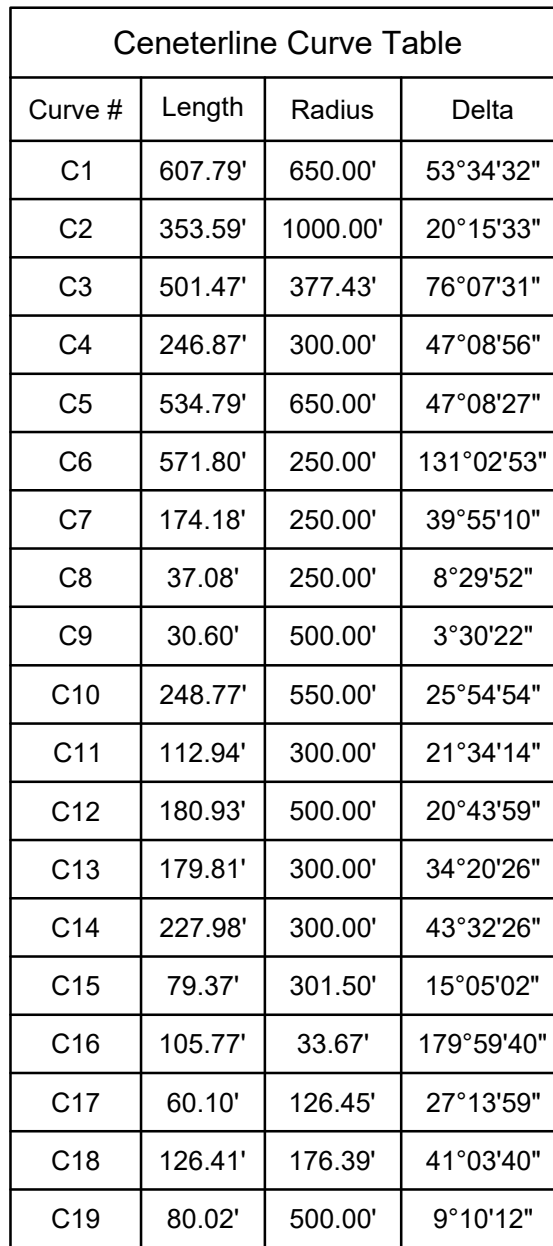
CHALLENGER
HOMES

PUD DEVELOPMENT PLAN

OVERALL SITE DISTANCE & PHASING PLAN

SHEET
OV 3

- SITE PLAN NOTES:**
1. ALL INTERNAL PUBLIC ROADS ARE CLASSIFIED AS LOCAL RESIDENTIAL WITH A POSTED SPEED OF 25 MPH AND DESIGN SPEED OF 30 MPH.
 2. PROPOSED ROADWAY CLASSIFICATIONS, AUXILIARY LANE, AND INTERSECTION IMPROVEMENTS ARE BASED ON THE BRADLEY HEIGHTS MASTER DEVELOPMENT TRAFFIC IMPACT STUDY PREPARED BY MATRIX DESIGN GROUP ON BEHALF OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT. DATE: (PENDING).
 3. PROPOSED TO TRAIL ALONG BRADLEY ROAD WILL BE CONSTRUCTED BY THE DEVELOPER WITH THE CONSTRUCTION OF FILING 1.

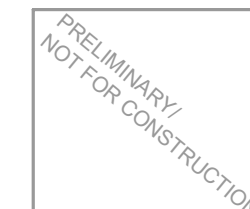


BRADLEY LANDING
BLVD ROW DEDICATION

1. SEE SHEET 2 FOR TYPICAL SECTIONS
2. SEE SHEET 6 & 7 FOR EXISTING AND PROPOSED CONTOURS.
3. SEE SHEET 9 & 10 FOR EXISTING AND PROPOSED UTILITIES
4. MINIMUM DRIVEWAY LENGTH = 20'
5. ALL PROPOSED ROADWAY AND PARKING AREAS TO BE ASPHALT PAVED.
6. ALL CURB RAMPS ARE CITY STANDARD TYPE I UNLESS OTHERWISE NOTED.
7. ALL CROSS PANS ARE CITY STANDARD TYPE D-7
8. REQUIRED PUBLIC IMPROVEMENTS:
 - 8.1. 5.0' DETACHED WALK ALONG AN INTERNAL ROADWAYS
 - 8.2. TYPE 1 C&G AND TYPE 5 C&G ARE THE TYPICAL CURBS
 - 8.3. TYPE 3 C&G STANDARD MEDIAN CURB AROUND TRACT F AND THE MEDIAN WITHIN ROAD NAME 7
 - 8.4. OFF-SITE IMPROVEMENTS TO BRADLEY ROAD, BRADLEY LANDING & BLISS ROAD (AS REQUIRED BY TRAFFIC IMPACT ANALYSIS - PENDING APPROVAL)
 - 8.5. 10' DETACHED SIDEWALK ALONG BRADLEY ROAD.

* MARCH ROAD IS NOT APPROVED STREET NAME. REVISED STREET NAME CURRENTLY UNDER REVIEW FOR APPROVAL.

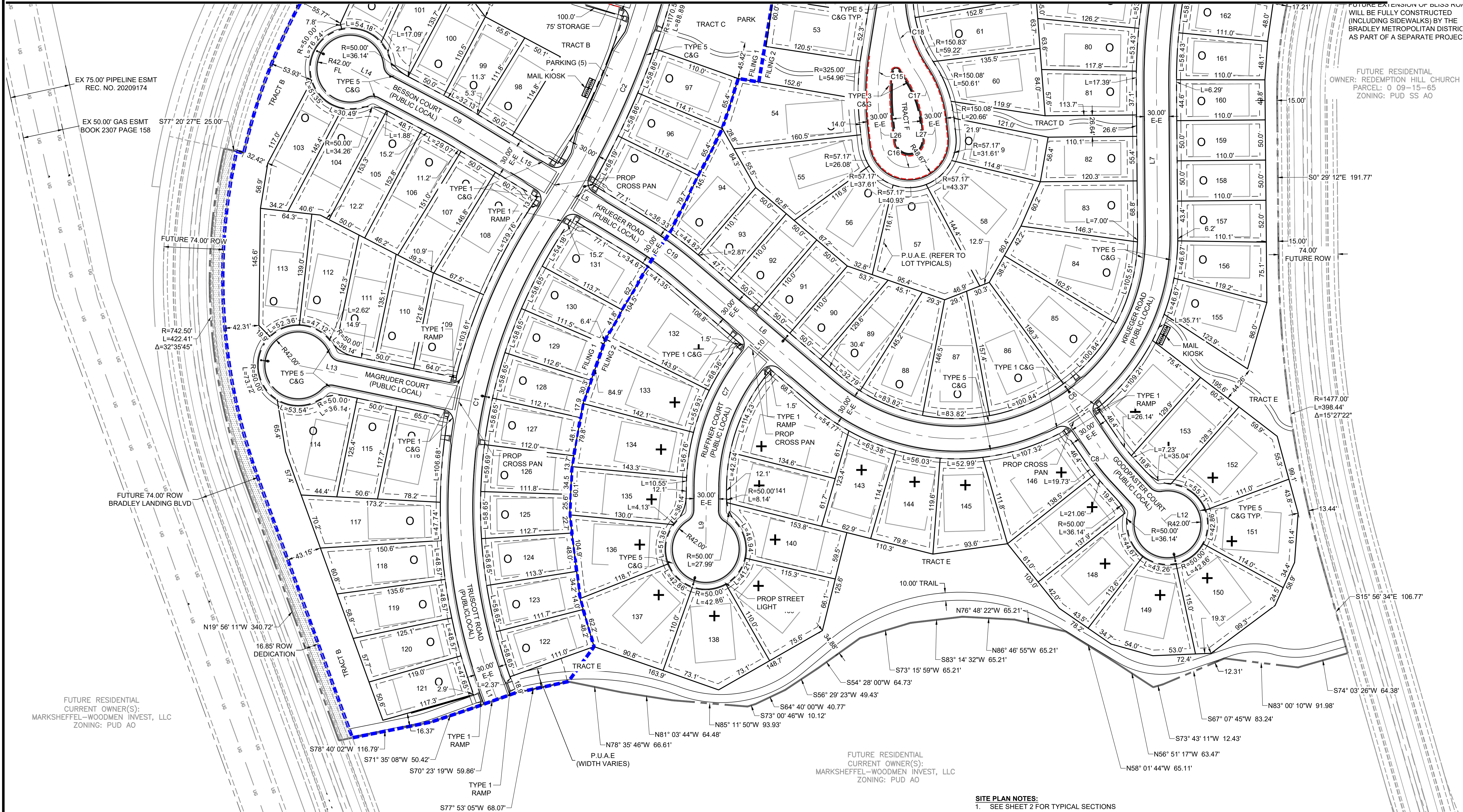
P.I.E - PUBLIC IMPROVEMENTS EASEMENT
P.U.A.E - PUBLIC UTILITY & ACCESS EASEMENT



LAND USE REVIEW FILE NO: CPC PUD 21-00206

SHEET
SP

SEE SHEET 4



FUTURE EXTENSION OF BLISS RD WILL BE FULLY CONSTRUCTED (INCLUDING SIDEWALKS) BY THE BRADLEY METROPOLITAN DISTRICT AS PART OF A SEPARATE PROJECT

FUTURE RESIDENTIAL OWNER: REDEMPTION HILL CHURCH PARCEL: 0 09-15-65 ZONING: PUD SS AO

Centerline Line Table		
Line #	Length	Direction
L1	18.59'	N 19°56'11" W
L2	248.41'	N 13°22'48" E
L3	94.97'	N 89°30'18" E
L4	329.44'	S 43°20'45" E
L5	101.82'	S 58°36'32" E
L6	227.50'	S 49°26'19" E
L7	187.98'	N 0°29'12" W
L8	20.50'	N 46°39'15" E
L9	78.26'	N 0°38'31" E
L10	26.49'	N 40°33'41" E
L11	70.28'	S 34°20'42" E
L12	85.91'	S 42°50'34" E
L13	219.61'	S 78°17'33" E
L14	129.51'	S 62°06'54" E
L15	147.22'	S 58°36'32" E
L16	29.61'	S 47°54'32" E
L17	127.63'	S 73°49'26" E
L18	24.62'	S 55°02'58" E
L19	69.06'	S 76°37'12" E
L20	139.55'	S 47°31'07" E
L21	69.54'	S 46°57'16" E
L22	65.87'	S 67°41'14" E
L23	34.22'	N 0°29'42" W
L24	60.61'	N 43°02'44" E
L25	213.19'	S 9°06'29" W
L26	27.99'	N 6°17'42" W
L27	22.58'	S 6°18'43" E

Centerline Curve Table			
Curve #	Length	Radius	Delta
C1	607.79'	650.00'	53°34'32"
C2	353.59'	1000.00'	20°15'33"
C3	501.47'	377.43'	76°07'31"
C4	246.87'	300.00'	47°08'56"
C5	534.79'	650.00'	47°08'27"
C6	571.80'	250.00'	131°02'53"
C7	174.18'	250.00'	39°55'10"
C8	37.08'	250.00'	8°29'52"
C9	30.60'	500.00'	3°30'22"
C10	248.77'	550.00'	25°54'54"
C11	112.94'	300.00'	21°34'14"
C12	180.93'	500.00'	20°43'59"
C13	179.81'	300.00'	34°20'26"
C14	227.98'	300.00'	43°32'26"
C15	79.37'	301.50'	15°05'02"
C16	105.77'	33.67'	179°59'40"
C17	60.10'	126.45'	27°13'59"
C18	126.41'	176.39'	41°03'40"
C19	80.02'	500.00'	9°10'12"

- SITE PLAN NOTES:**
- SEE SHEET 2 FOR TYPICAL SECTIONS
 - SEE SHEET 6 & 7 FOR EXISTING AND PROPOSED CONTOURS.
 - SEE SHEET 9 & 10 FOR EXISTING AND PROPOSED UTILITIES
 - MINIMUM DRIVEWAY LENGTH = 20'
 - ALL PROPOSED ROADWAY AND PARKING AREAS TO BE ASPHALT PAVED.
 - ALL CURB RAMP ARE CITY STANDARD TYPE 1 UNLESS OTHERWISE NOTED.
 - ALL CROSS PANS ARE CITY STANDARD TYPE D-7
 - REQUIRED PUBLIC IMPROVEMENTS:
 - 5.0' DETACHED WALK ALONG ALL INTERNAL ROADWAYS
 - TYPE 1 C&G AND TYPE 5 C&G ARE THE TYPICAL CURBS.
 - TYPE 3 C&G STANDARD MEDIAN CURB AROUND TRACT F AND THE MEDIAN WITHIN ROAD NAME 7
 - OFF-SITE IMPROVEMENTS TO BRADLEY ROAD, BRADLEY LANDING & BLISS ROAD (AS REQUIRED BY TRAFFIC IMPACT ANALYSIS - PENDING APPROVAL)
 - 10' DETACHED SIDEWALK ALONG BRADLEY ROAD.

* MARCH ROAD IS NOT APPROVED STREET NAME. REVISED STREET NAME CURRENTLY UNDER REVIEW FOR APPROVAL.

ABBREVIATIONS:

P.I.E. - PUBLIC IMPROVEMENTS EASEMENT
P.U.A.E. - PUBLIC UTILITY & ACCESS EASEMENT

LEGEND:

- NO PARKING FIRE LANE --- SIGNED OR STRIPED CURB
BRADLEY LANDING BLVD ROW DEDICATION



LAND USE REVIEW FILE NO: CPC PUD 21-00206

PRELIMINARY
NOT FOR CONSTRUCTION

DRAWN BY: MRJ	JOB DATE: 8/26/2021	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 201134	0" = 1"
CAD DATE: 8/26/2021		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201134\CAD\DWG\CD\SDP\Site_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

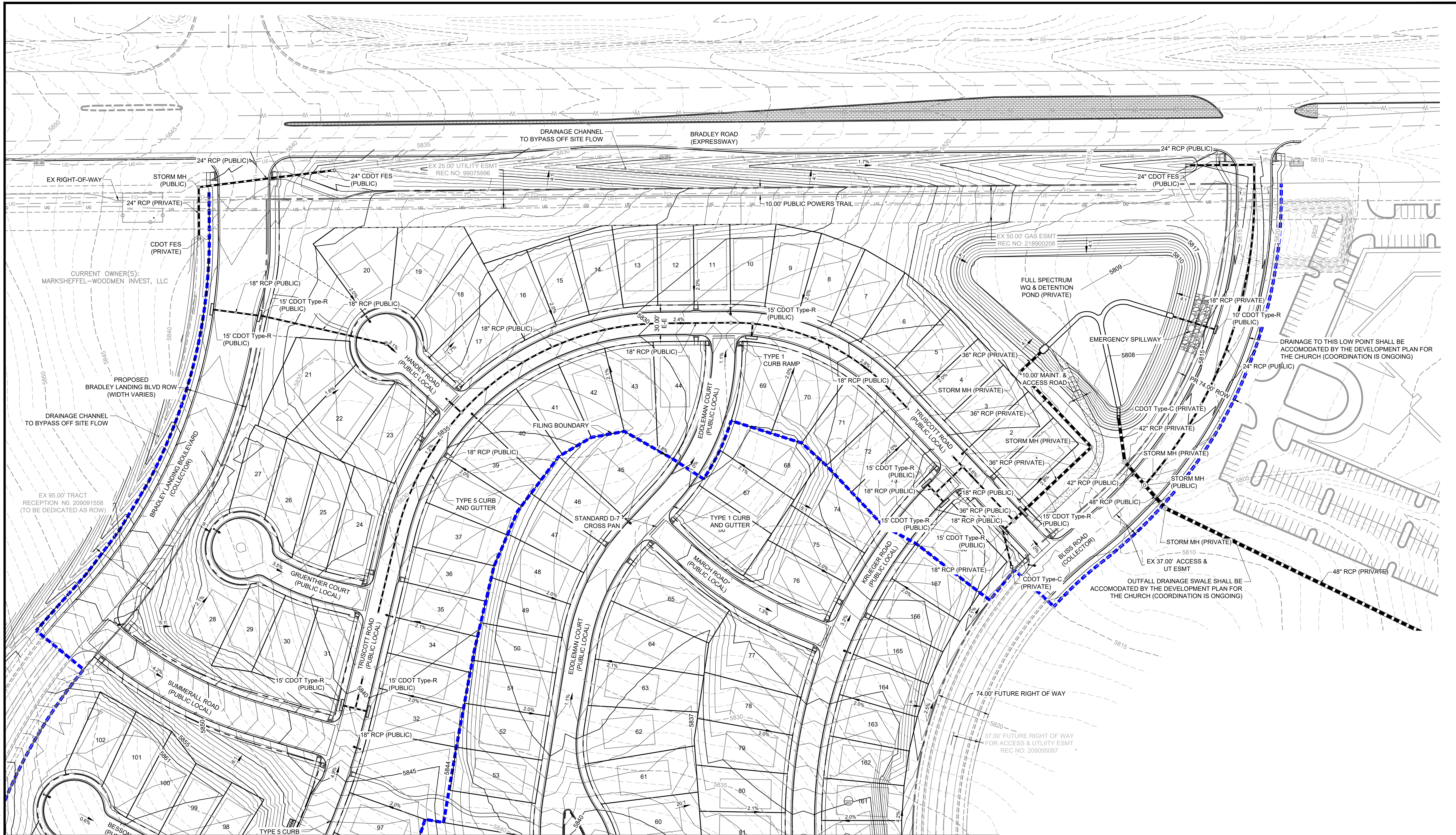
HRGreen
HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

CHALLENGER HOMES

PUD DEVELOPMENT PLAN
SITE PLAN - SOUTH

SHEET
SP
5



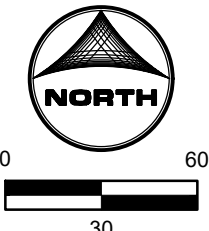
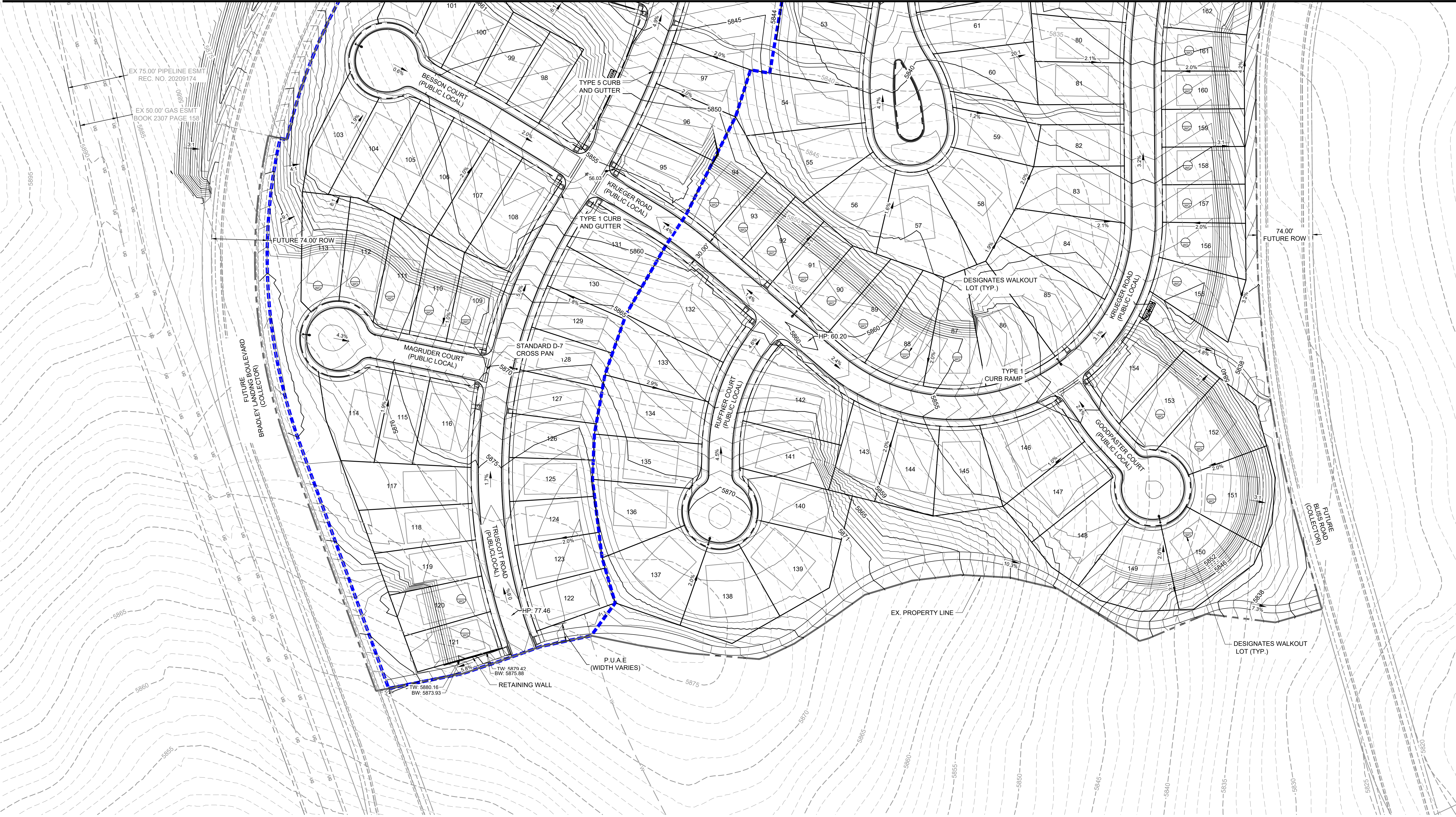
PRELIMINARY/
NOT FOR CONSTRUCTION

NO.	DATE	BY	REVISION DESCRIPTION

CHALLENGER
HOMES

6

SEE SHEET 6




PRELIMINARY
NOT FOR CONSTRUCTION

LAND USE REVIEW FILE NO: CPC PUD 21-00206

DRAWN BY: MRJ	JOB DATE: 8/25/2021	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0" = 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
APPROVED: KMH	JOB NUMBER: 201134	
CAD DATE: 8/26/2021		
CAD FILE: J:\2020\201134\CAD\Drawings\SDP\Grading_Plan		

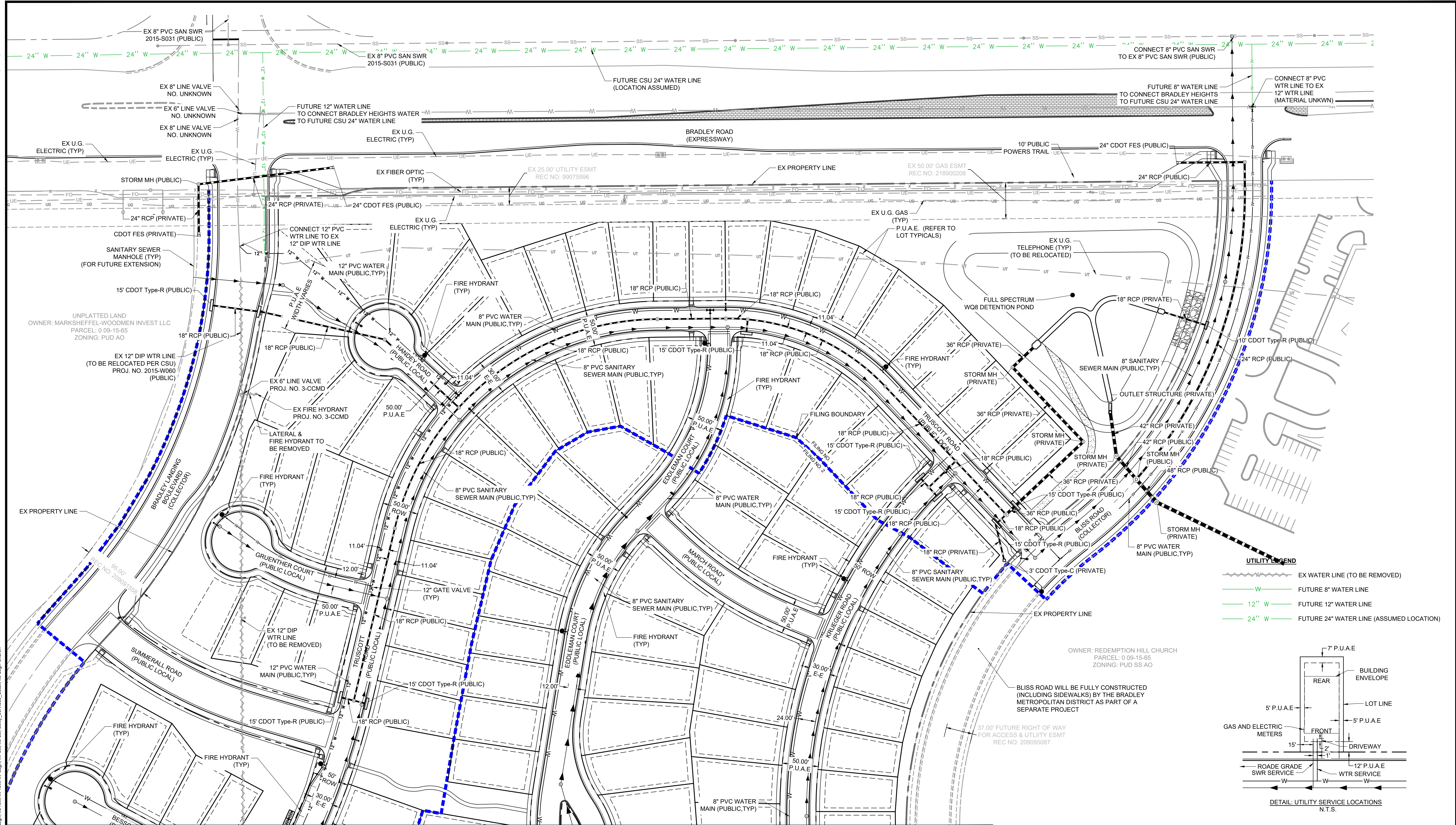
NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



SMALL LOT PUD DEVELOPMENT PLAN
PRELIMINARY GRADING PLAN - SOUTH




SEE SHEET 9



LAND USE REVIEW FILE NO: CPC PUD 21-00206

DRAWN BY: CBM	JOB DATE: 8/24/2021	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 201134	0"
CAD DATE: 8/26/2021		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201134\CAD\DWG\CD\SDP\Utility_Plan		

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

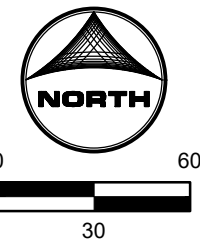
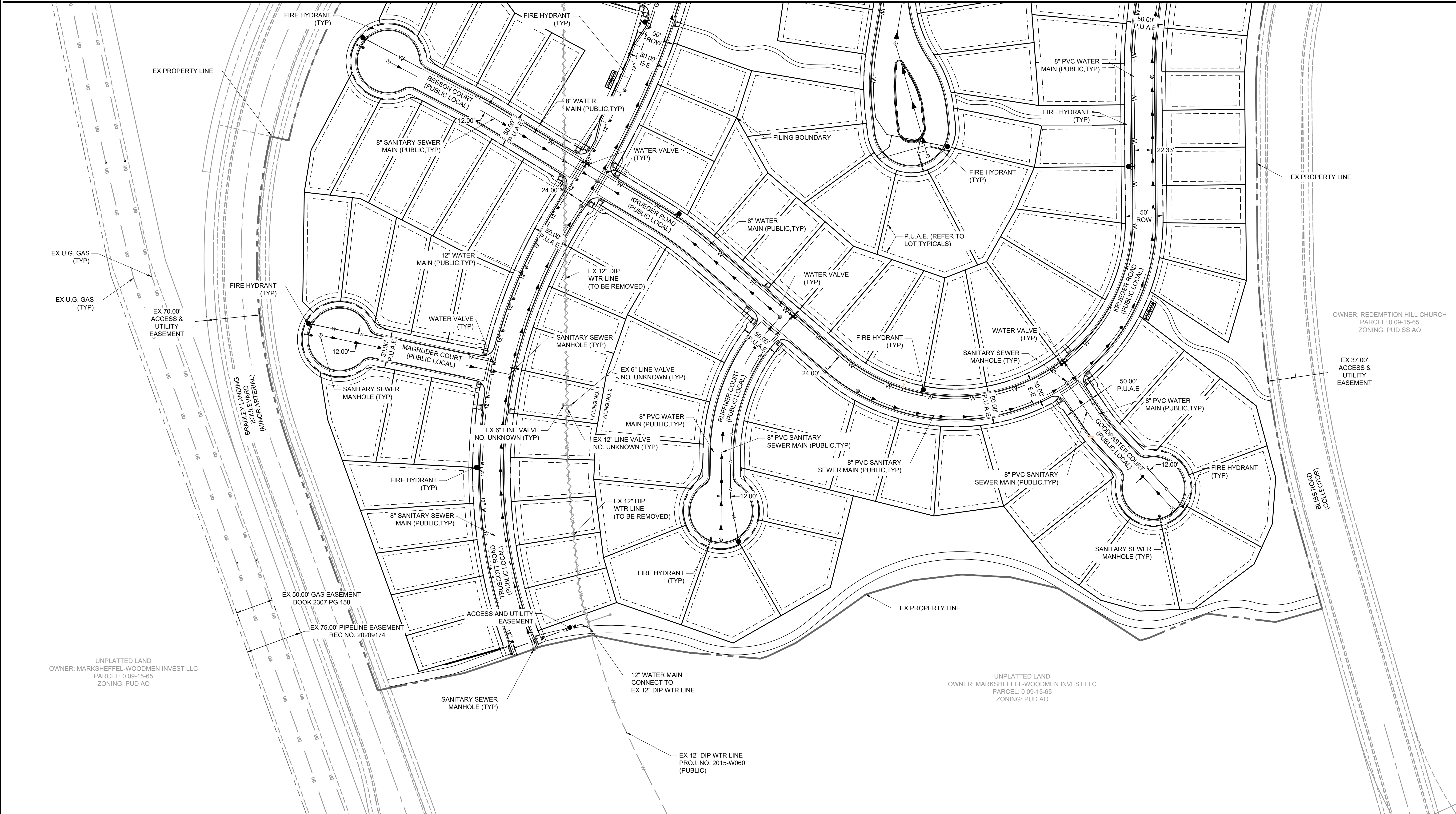


PUD DEVELOPMENT PLAN
PUBLIC UTILITY & FACILITY PLAN - NORTH

SHEET
UT

8

SEE SHEET 8




LAND USE REVIEW FILE NO: CPC PUD 21-00206

PRELIMINARY
NOT FOR CONSTRUCTION

DRAWN BY: CBM	JOB DATE: 8/24/2021	BAR IS ONE INCH ON OFFICIAL DRAWINGS. 0" 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
APPROVED: KMH	JOB NUMBER: 201134	
CAD DATE: 8/26/2021		
CAD FILE: J:\2020\201134\CAD\Drawings\SDP\Utility_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen

HR GREEN - COLORADO SPRINGS

7222 COMMERCE CENTER DR. SUITE 220

COLORADO SPRINGS CO 80919

PHONE: 719.622.6222

FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2

CHALLENGER HOMES

COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN

PUBLIC UTILITY & FACILITY PLAN - SOUTH

SHEET

UT

9

SCALE - N.T.S.

FOOTHILLS ☒ FOOTHILLS & PLAINS PLAINS




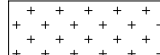
TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

- ## HYDROZONES

- TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

- H - HIGH (MORE THAN 25 INCHES PER YEAR)

GROUNDCOVER LEGEND/QUANTITIES

SYMBOL	DESCRIPTION	QUANTITY	UNITS
	SOD TURF	74,984	SQUARE FEET
	SHRUB BED	5,429	SQUARE FEET
	NATIVE SEEDING	315,959	SQUARE FEET
	DETENTION SEEDING	61,449	SQUARE FEET

EL PASO COUNTY ALL PURPOSE LOW GROW MIX

NATIVE SEEDLING

- | | |
|-----|---------------------|
| 25% | BUFFALOGRASS |
| 20% | GRAMA, BLUE |
| 29% | GRAMA, SIDEOATS |
| 20% | WHEATGRASS, WESTERN |
| 1% | DROPSEED, SAND |

SEEDING RATE: 42 LBS PLS/ACRE


EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE

DETENTION SEEDING

- | | |
|-----|---------------------|
| 20% | BLUESTEM, BIG |
| 10% | GRAMA, BLUE |
| 10% | GREEN NEEDLEGRASS |
| 20% | WHEATGRASS, WESTERN |
| 10% | GRAMA, SIDEOTS |
| 10% | SWITCHGRASS |
| 10% | PRAIRIE SANDREED |
| 10% | YELLOW INDIANGRASS |

SEEDING RATE: 19.3 LBS PLS/ACRE

DECIDUOUS TREES

DECIDUOUS TREES		KEY	HEIGHT	WIDTH	SIZE	COND
	ACER MIYABE STATE STREET MAPLE	AG	30'	30'	2"	B&B
	CELTIS OCCIDENTALIS HACKBERRY	CO	45'	45'	2"	B&B
	GLSDITIA TRIACANTHOS X INERMIS 'SKYLINE' SKYLINE HONEY LOCUST	GT	40'	30'	2"	B&B
	TILIA AMERICANA REDMOND AMERICAN LINDEN	TA	50'	40'	2"	B&B
	ULMUS X 'FRONTIER' FRONTIER ELM	UF	40'	30'	2"	B&B

EVERGREEN TREES

EVERGREEN TREES	KEY	HEIGHT	WIDTH	SIZE	COND
PINUS FLEXILIS 'VANDERWOLFS PYRAMID' VANDERWOLFS LIMBER PINE	PF	25'	15'	6'	B&B
PINUS NIGRA AUSTRIAN PINE	PN	50'	25'	8'	B&B
PICEA PUNGENS 'BAKERI' BAKERI BLUE SPRUCE	PP	30'	12'	6'	B&B

ORNAMENTAL TREES

ORNAMENTAL TREES		KEY	HEIGHT	WIDTH	SIZE	COND
	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRAB APPLE	MP	20'	20'	1-1/2"	B&B
	PRUNUS MAACKII 'CANADA RED' CANADA RED CHOKECHERRY	PM	25'	20'	1-1/2"	B&B
	ROBINIA PSEUDOACACIA 'PURPLE ROBE' PURPLE ROBE LOCUST	RP	40'	30'	1-1/2"	B&B

SHRUBS

SHRUBS	KEY	HEIGHT	WIDTH	SIZE	COND
BERBERIS THUNBERGII 'CONCORDE' CONCORDE JAPANESE BARBERRY	BT	2'	3'	5 GAL	CONT
CORNUS SERICEA 'ISANTI' ISANTI REDOSIER DOGWOOD	CS	5'	6'	5 GAL	CONT
EUONYMUS ALATA 'COMPACT' DWARF BURNING BUSH	EA	5'	5'	5 GAL	CONT
JUNIPERUS HORIZONTALIS 'BLUE CHIP' BLUE CHIP JUNIPER	JH	1'	8'	5 GAL	CONT
PEDOYUKIA ATRIFOLIOLATA RUSSIAN BLUE	PS	4'	4'	5 GAL	CONT
PRUNUS X CISTENA PURPLELEAF SAND CHERRY	PC	6'	6'	5 GAL	CONT
SPIRAEA JAPONICA 'FROEBELII' FROEBEL SPIRAEA	SJ	4'	4'	5 GAL	CONT
SYRINGA PATULA 'MISS KIM' MISS KIM LILAC	SM	5'	5'	5 GAL	CONT

GRASSES

GRASSES	KEY	HEIGHT	WIDTH	SIZE	COND
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	CA	5'	2'	1 GAL	CONT
HELICOTRICHON SEMPERVIRENS 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	HS	2'	1.5'	1 GAL	CONT
PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS	PV	4'	1.5'	1 GAL	CONT

PERENNIALS

PERENNIALS	KEY	HEIGHT	WIDTH	SIZE	COND
ASTER ALPINUS ALPINE ASTER	AA	1'	1.5'	1 GAL	CONT
HEMEROCALLIS X 'STELLA DE ORO' STELLA DE ORO DAYLILY	HD	1'	1'	1 GAL	CONT
LEUCANTHEMUM X SUPERBUM 'BECKY' SHASTA DAISY	LS	2.5'	2'	1 GAL	CONT
PENSTEMON BARBATUS BEARDLIP PENSTEMON	PB	3'	1.5'	1 GAL	CONT
SALVIA X SYLVESTRIS 'MAY NIGHT' MAY NIGHT SALVIA	SS	1.5'	1.5'	1 GAL	CONT
SEDUM X 'AUTUMN JOY' AUTUMN JOY SEDUM	SA	2'	1.5'	1 GAL	CONT

INTERNAL LANDSCAPING

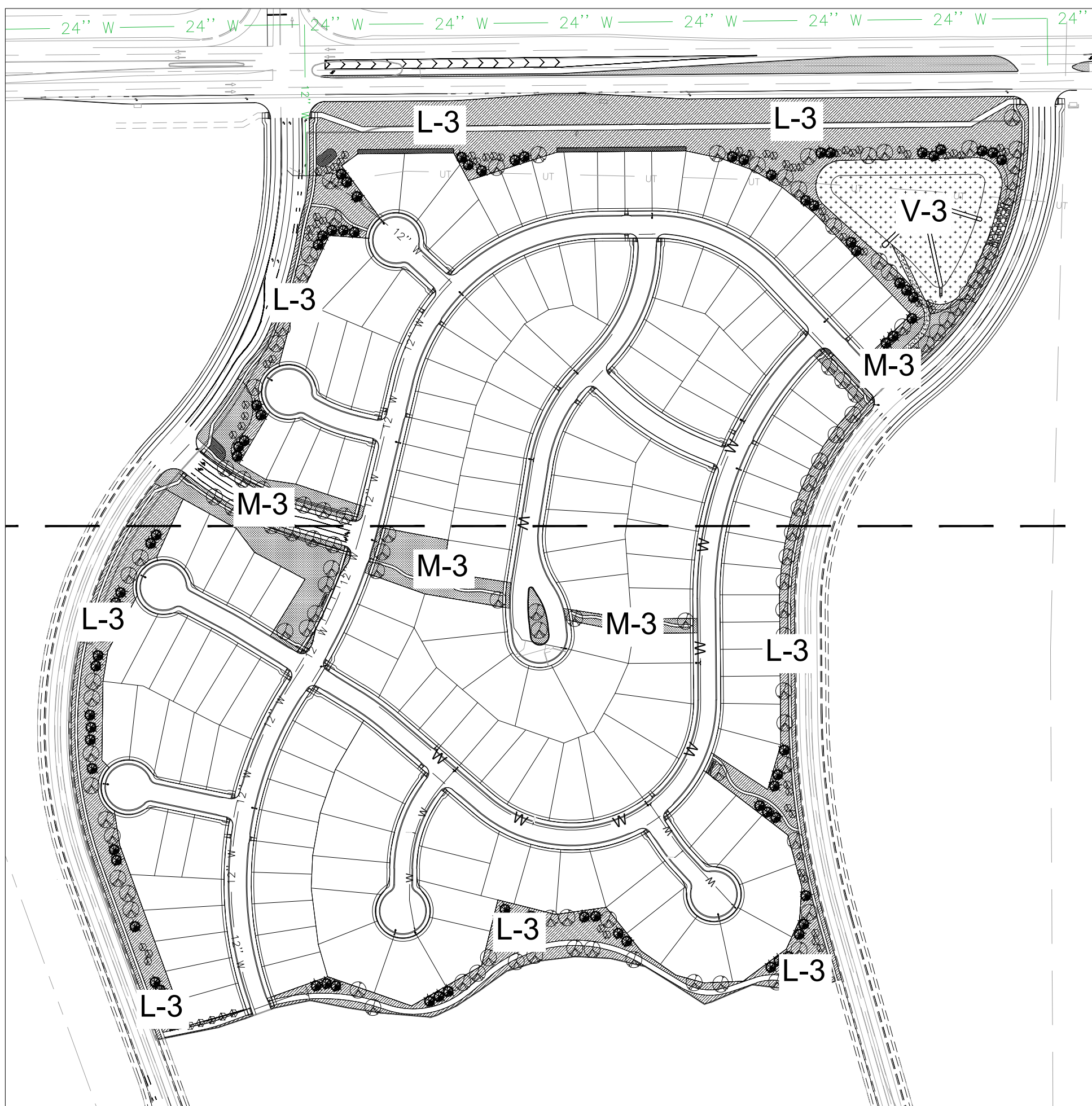
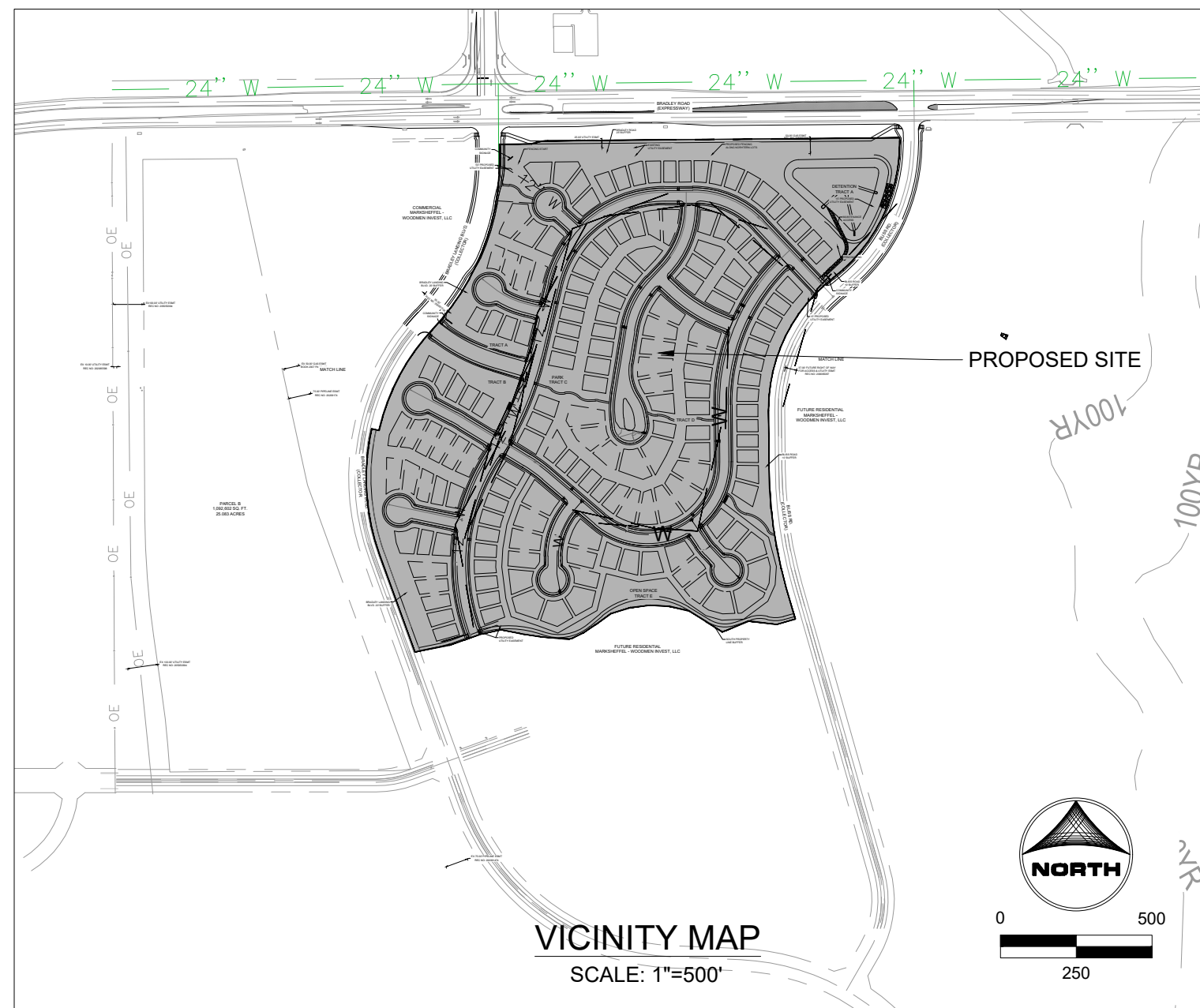
NOTE: STREET TREES ARE ONLY REQUIRED ALONG INTERNAL OPEN SPACE ADJACENT TO AN INTERNAL R.O.W. AND ENTRANCE DRIVES WITHOUT LOT ACCESS. THIS INCLUDES PARKS, DRAINAGE CORRIDORS, TRAIL CONNECTIONS AND ENTRANCE DRIVES.

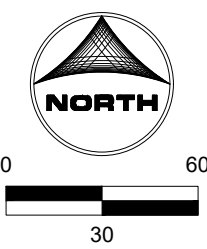
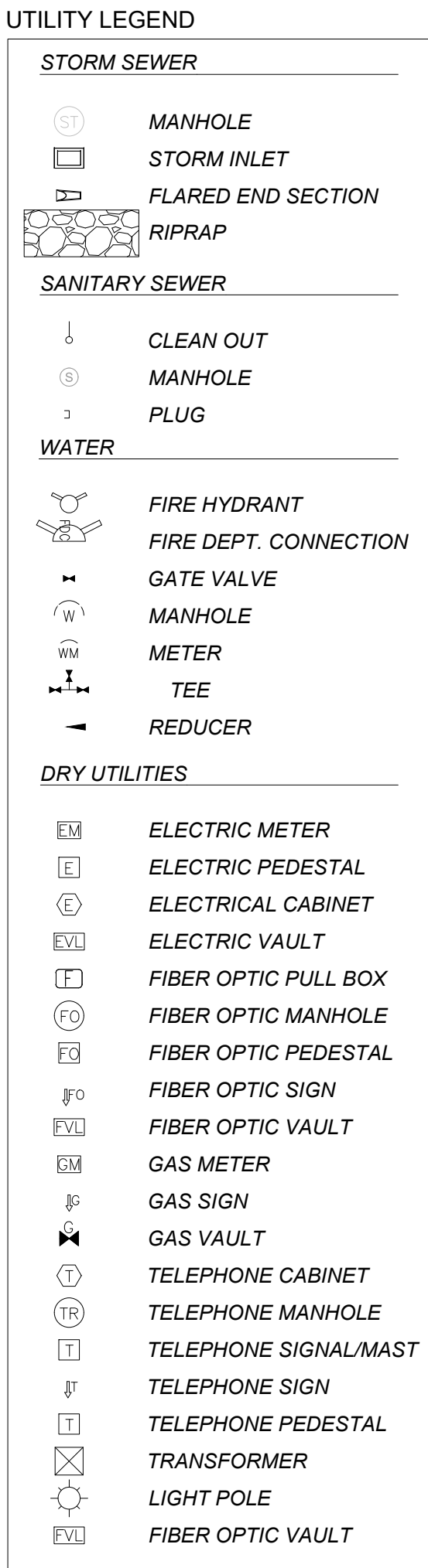
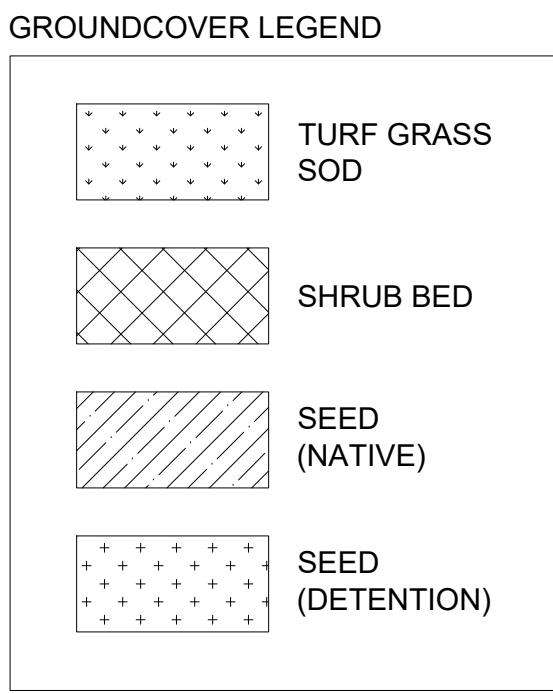
LINEAR FOOTAGE OF INTERNAL OPEN SPACE TRACTS	ROAD CLASSIFICATION	ROADWAY TREES PER LINEAR FEET	ROADWAY TREES REQUIRED/PROVIDED
1,076	LOCAL RESIDENTIAL (PUBLIC)	1 TREE / 30 FT	36 / 36

LANDSCAPE BUFFER/SCREENING

STREET NAME OR PROPERTY LINE	ROAD CLASSIFICATION	BUFFER WIDTH REQUIRED	LINEAR FOOTAGE	BUFFER TREES PER LINEAR FOOT	BUFFER TREES REQUIRED/PROVIDED	SHRUB SUBSTITUTIONS REQUIRED/PROVIDED
BRADLEY LANDING BLVD.	MINOR ARTERIAL	20	1786'	1 TREE / 25 FT	72 / 72	- / -
BRADLEY RD.	EXPRESSWAY	25	1320'	1 TREE / 20 FT	66 / 66	- / -
BLISS RD.	MAJOR COLLECTOR	10	1683'	1 TREE / 30 FT	57 / 57	- / -
SOUTH PROPERTY LINE	N/A	N/A	1327'	1 TREE / 30 FT	45 / 45	- / -

3. THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING THE MUNICIPAL PUBLIC WORKS DEPARTMENT, THE COUNTY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
5. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS. THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS APPARENT THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR CLARIFICATION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL LIABILITIES, INCLUDING NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
6. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK.
7. THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
9. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
10. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
11. ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1" IN HEIGHT PER 1' IN ISLAND WIDTH.
12. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS AS NOTED ON THE FOLLOWING PLANS, AS WELL AS, TREE LOCATIONS AND THE PERIMETER OF SHRUB/PERENNIAL BEDS PRIOR TO INSTALLATION AND CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL. FINAL LOCATION AND STAKING OF ALL IMPROVEMENTS SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE IN ADVANCE OF INSTALLATION.
13. IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO INSTALLATION.
14. WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN THE PLANT LIST ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. IN CASE OF ANY DISCREPANCIES, PLANS TAKE PRECEDENCE OVER CALL OUTS AND/OR THE PLANT LIST(S).
15. ALL PLANTS SHALL BE NURSERY GROWN PLANTS MEETING AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60-1 LATEST EDITION). PLANTS ARE TO BE TYPICAL IN SHAPE AND SIZE FOR SPECIES. PLANTS PLANTED IN ROWS OR GROUPS SHALL BE MATCHED IN FORM. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. PLANTS SHALL BE ROOT SOUND OR GROWN IN THEIR CONTAINERS. HANDLE ALL PLANTS WITH CARE IN TRANSPORTING, PLANTING AND MAINTENANCE UNTIL INSPECTION AND FINAL ACCEPTANCE. FIELD COLLECTED, PARK GRADE, OR BARE ROOT MATERIAL SHALL NOT BE USED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
16. ALL PLANTING BED EDGES TO BE SHOVEL CUT.
17. CONTRACTOR SHALL USE CAUTION WHEN DIGGING TREE PITS IN THE VICINITY OF UNDERGROUND UTILITY LINES AND MAY NEED TO HAND DIG THE PITS IN MANY OF THESE INSTANCES.
18. ALL AREAS DESIGNED TO RECEIVE SOLID SOD SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO GRASSING OPERATIONS. FINISH GRADE AT TURF AREAS SHALL BE 3/4"-1" BELOW TOP OF ADJACENT PAVEMENT OR CURBS.
19. CONTRACTOR SHALL FIELD ADJUST PLANT LOCATIONS TO ACCOMMODATE ALL LIGHTING AND ENSURE PLANTS WILL NOT INTERFERE WITH LIGHTING.
20. FERTILIZING, AS SPECIFIED, STAKING, WATERING AND TWO (2) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
21. MUSHROOM COMPOST SHALL BE FINELY SCREENED, HOMOGENOUS, DECOMPOSED ORGANIC MATERIAL SUITABLE FOR HORTICULTURAL USE AS AVAILABLE FROM MIDWEST TRADING HORTICULTURAL SUPPLIES, INC. ST. CHARLES, IL 60174 (630) 365-1990 OR APPROVED EQUAL. MIX THOROUGHLY IN PLANT BED BEFORE INSTALLING PLANTS.
22. WARRANTY: TWO (2) YEAR REPLACEMENT WARRANTY FOR ALL PLANT MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THIS PROJECT. WARRANTY SHALL COVER PLANTS WHICH HAVE DIED OR PARTIALLY DIED (THEREBY RUINING THEIR NATURAL SHAPE), BUT SHALL NOT INCLUDE DAMAGE BY VANDALISM, INFESTATIONS, HAIL, ABNORMAL FREEZES, DROUGHT OR NEGLIGENCE BY THE OWNER. THE WARRANTY IS INTENDED TO COVER CONTRACTOR NEGLIGENCE, BREASTINGS, DISEASE AND DAMAGE OR SHOCK TO PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND WATERING THE PLANT BED MATERIALS AS NECESSARY TO ENSURE GROWTH AND ESTABLISHMENT DURING THE 2-YEAR WARRANTY PERIOD. ANY PLANTS THAT ARE NOT IN A LIVE, HEALTHY, GROWING CONDITION AT THE END OF THE 1-YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. PLANTS REPLACED UNDER WARRANTY WILL BE WARRANTED FOR TWO (2) YEAR FOLLOWING REPLACEMENT.
23. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOA OR CURRENT TRACT OWNER.
24. ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE HOA OR CURRENT TRACT OWNER.
25. ALL TREES, SHRUBS, PERENNIALS AND GRASSES ARE TO BE Drip IRRIGATED. TURF SOD SHALL BE IRRIGATED BY POP UP OR ROTARY SYSTEMS. NATIVE SEEDING WILL BE DETERMINED ON THE FINAL LANDSCAPE PLAN.
26. A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT.






PRELIMINARY/
NOT FOR CONSTRUCTION

LAND USE REVIEW FILE NO: CPC PUD 21-00206

DRAWN BY: JAG JOB DATE: 8/4/2021 BAR IS ONE INCH ON
APPROVED: DLR JOB NUMBER: 201134 OFFICIAL DRAWINGS.
0 1"
CAD DATE: 8/26/2021 IF NOT ONE INCH,
CAD FILE: J:\2020\201134\CAD\DWGS\CISDPI\Landscape_Plan ADJUST SCALE ACCORDINGLY

NO.	DATE	BY	REVISION DESCRIPTION



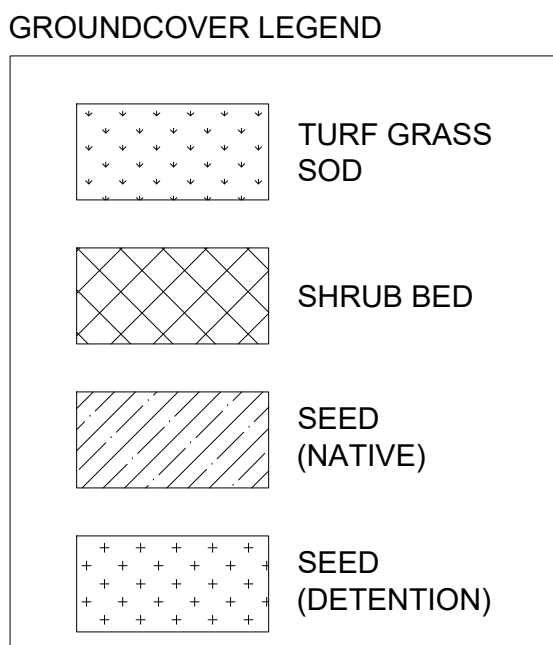
HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

































BRADLEY HEIGHTS F1 & F2
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

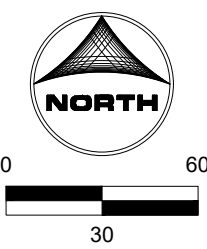
PRELIMINARY LANDSCAPE PLAN

LANDSCAPE NORTH

SHEET
L1.2 11



- | UTILITY LEGEND | |
|---|-----------------------|
| STORM SEWER | |
|  | MANHOLE |
|  | STORM INLET |
|  | FLARED END SECTION |
|  | RIPRAP |
| SANITARY SEWER | |
| | CLEAN OUT |
|  | MANHOLE |
| | PLUG |
| WATER | |
|  | FIRE HYDRANT |
|  | FIRE DEPT. CONNECTION |
|  | GATE VALVE |
|  | MANHOLE |
|  | METER |
|  | TEE |
|  | REDUCER |
| DRY UTILITIES | |
|  | ELECTRIC METER |
|  | ELECTRIC PEDESTAL |
|  | ELECTRICAL CABINET |
|  | ELECTRIC VAULT |
|  | FIBER OPTIC PULL BOX |
|  | FIBER OPTIC MANHOLE |
|  | FIBER OPTIC PEDESTAL |
|  | FIBER OPTIC SIGN |
|  | FIBER OPTIC VAULT |
|  | GAS METER |
|  | GAS SIGN |
|  | GAS VAULT |
|  | TELEPHONE CABINET |
|  | TELEPHONE MANHOLE |
|  | TELEPHONE SIGNAL/MAST |
|  | TELEPHONE SIGN |
|  | TELEPHONE PEDESTAL |
|  | TRANSFORMER |
|  | LIGHT POLE |
|  | FIBER OPTIC VAULT |



PRELIMINARY/
NOT FOR CONSTRUCTION

LAND USE REVIEW FILE NO: CPC PUD 21-00206

DRAWN BY: JAG JOB DATE: 8/4/2021 BAR IS ONE INCH ON
APPROVED: DLR JOB NUMBER: 201134 OFFICIAL DRAWINGS.
0 1"
CAD DATE: 8/26/2021 IF NOT ONE INCH,
CAD FILE: J:\2020\201134\CAD\Drawgs\C\SDP\Landscape_Plan ADJUST SCALE ACCORDINGLY.

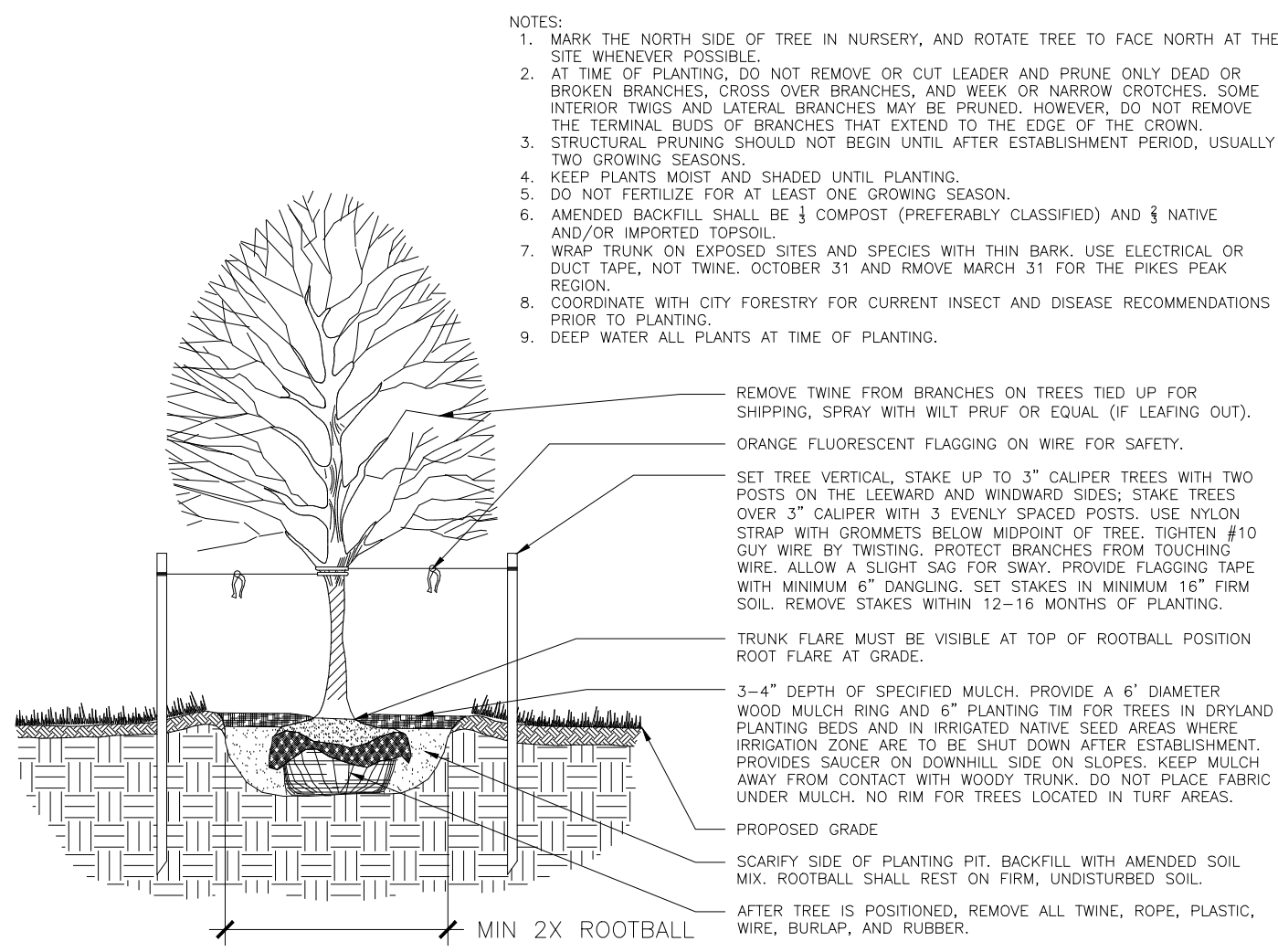
NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

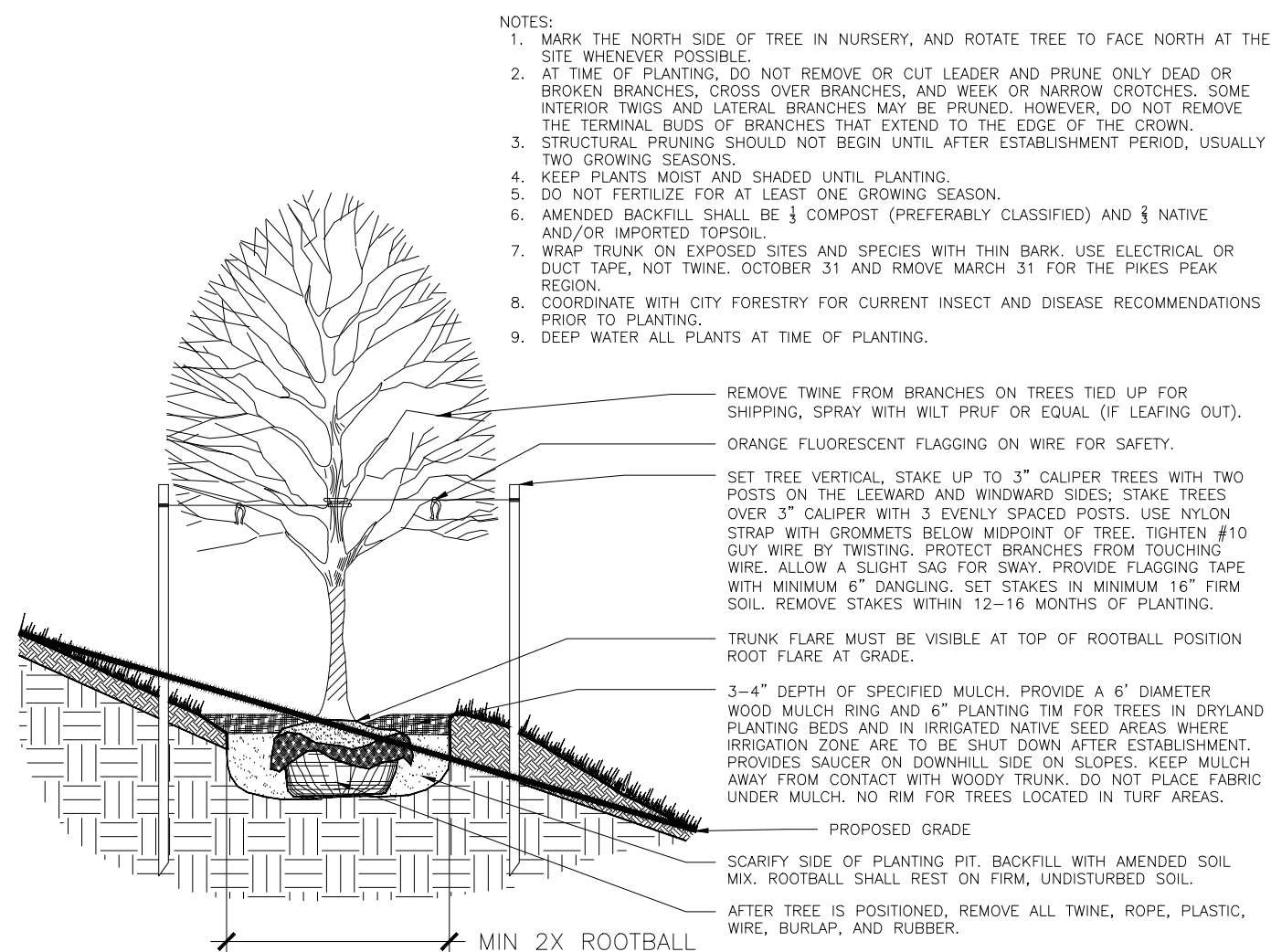
BRADLEY HEIGHTS F1 & F2
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

PRELIMINARY LANDSCAPE PLAN
LANDSCAPE SOUTH

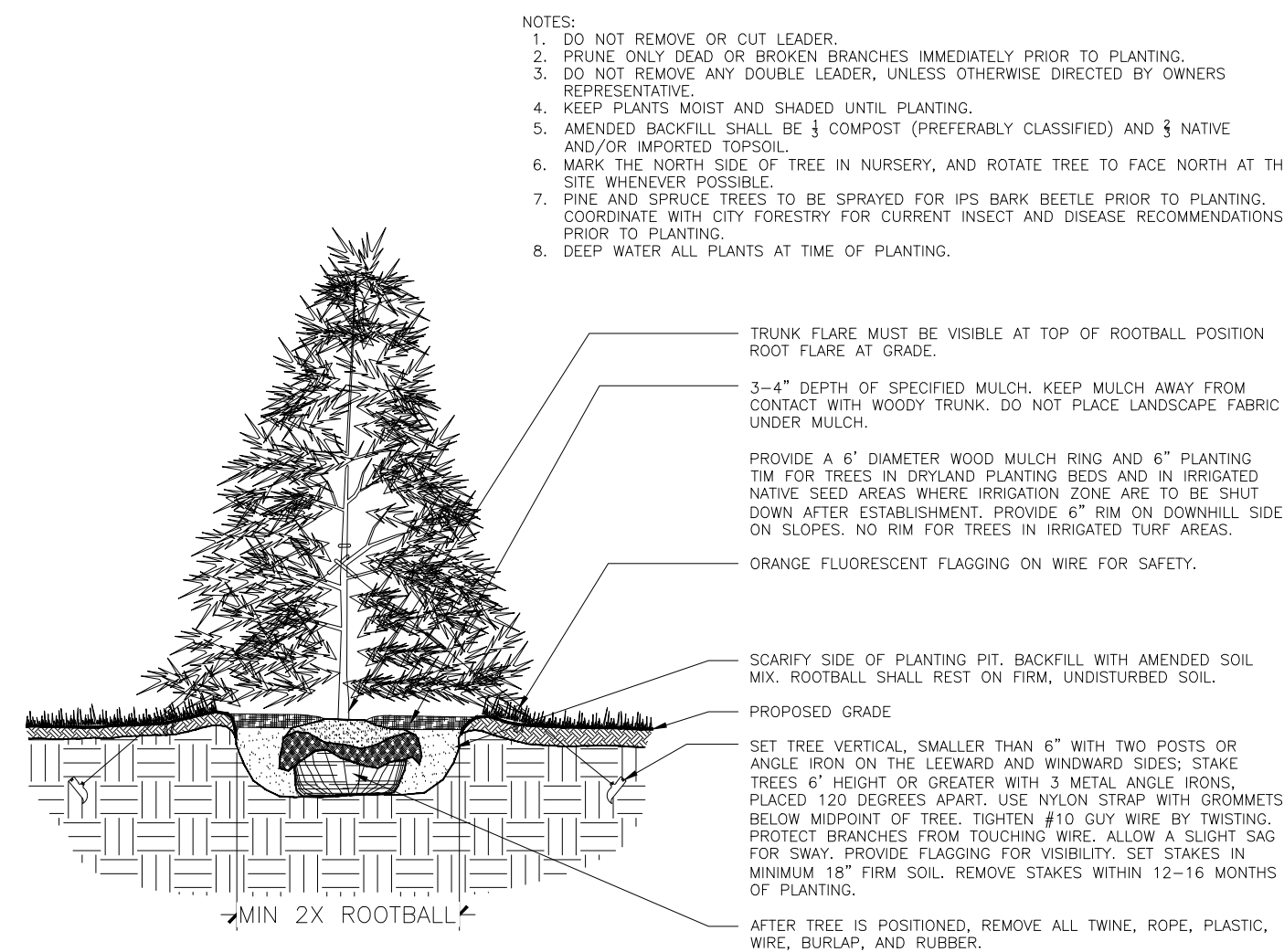
SHEET
L1.3 12



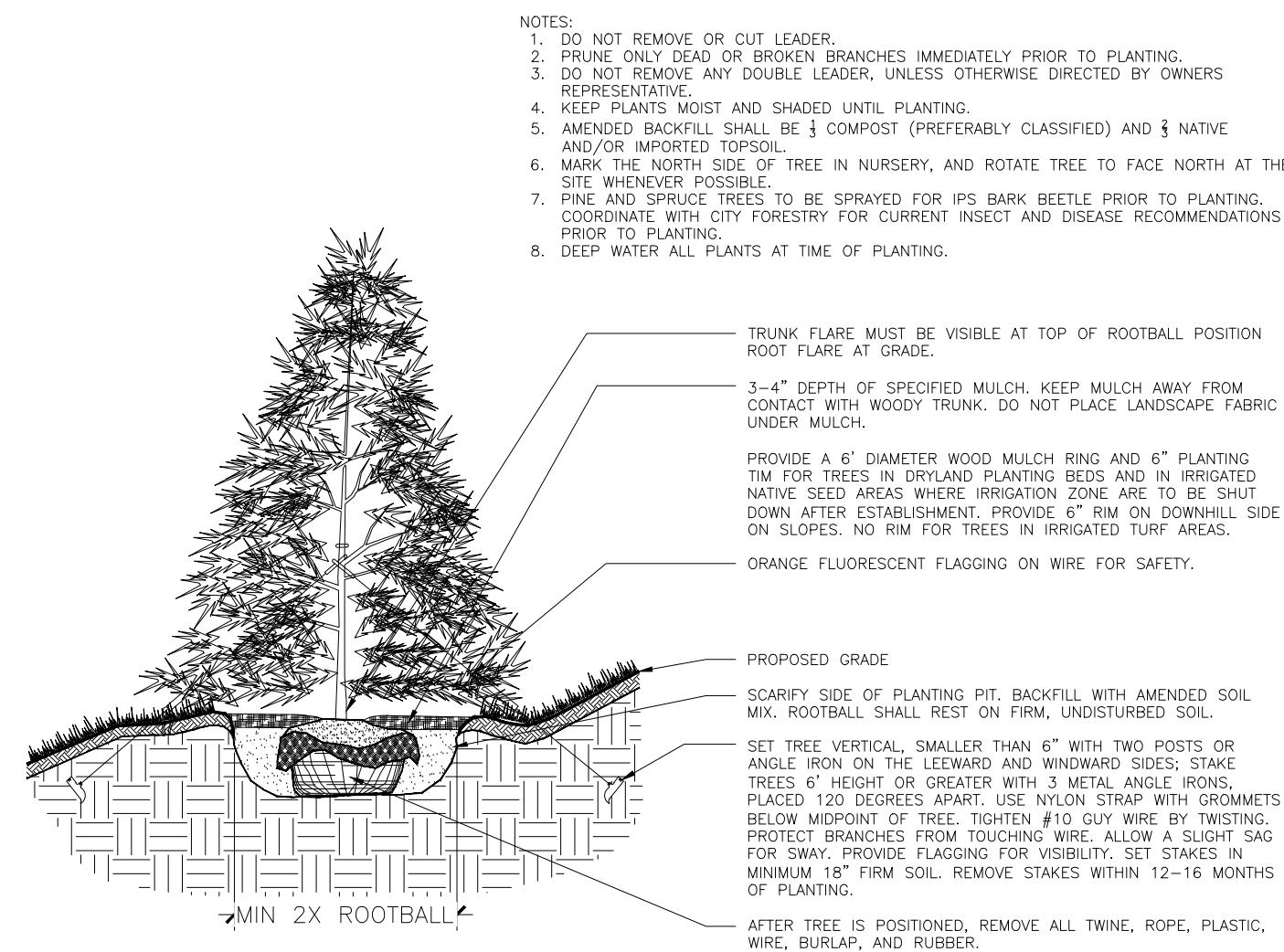
1 TYP. DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



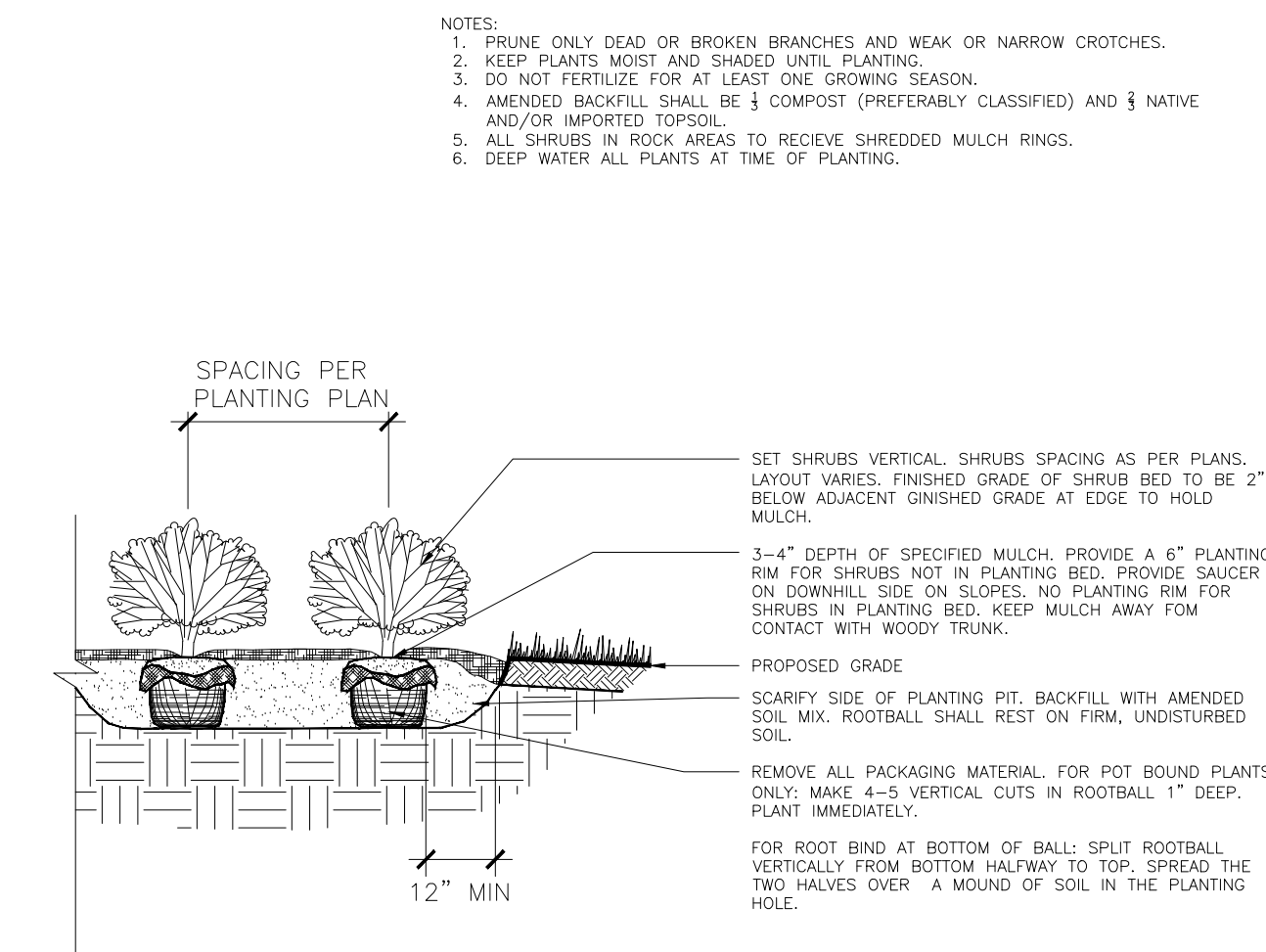
2 TYP. DECIDUOUS TREE PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS



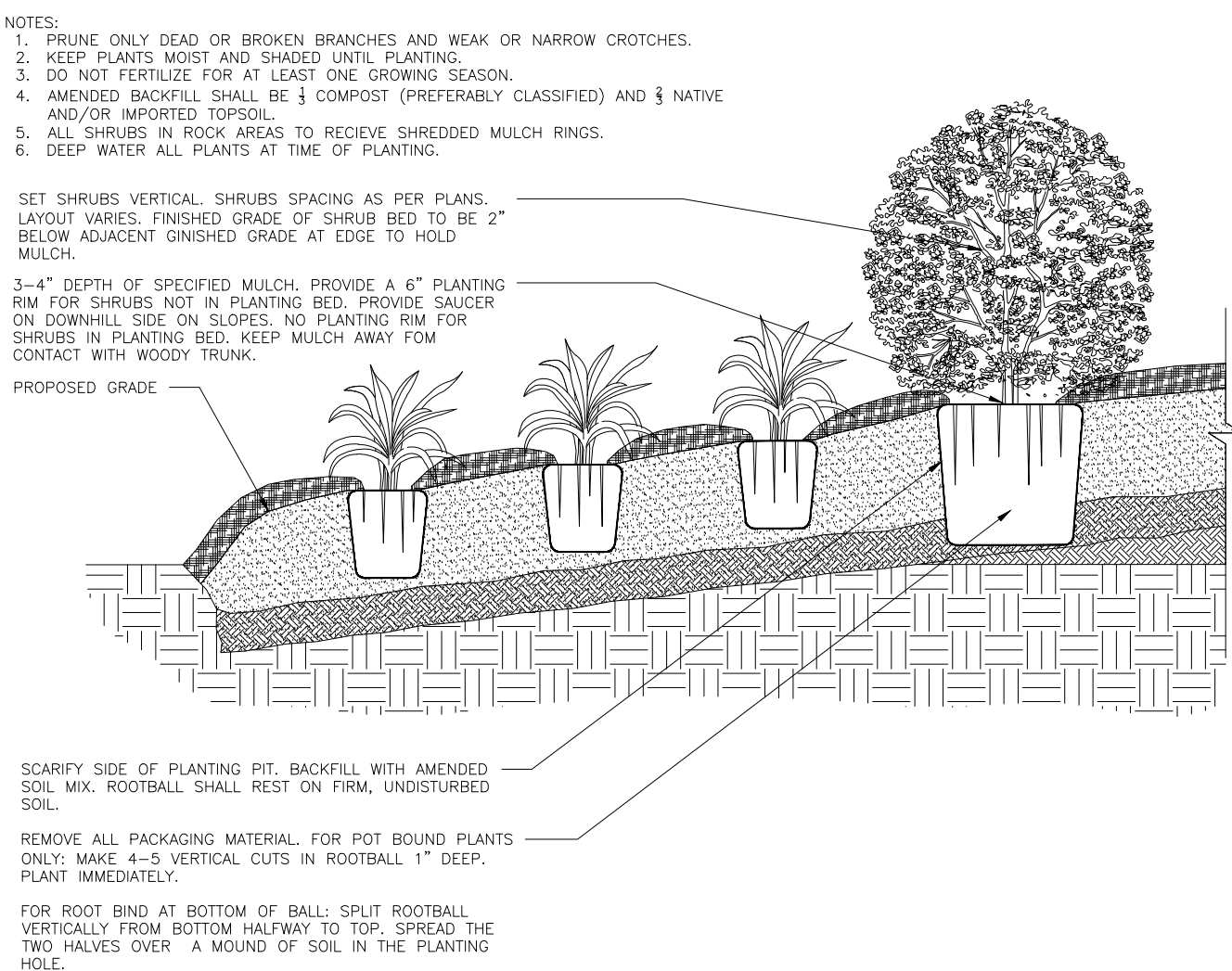
3 TYP. EVERGREEN TREE PLANTING DETAIL
SCALE: NTS



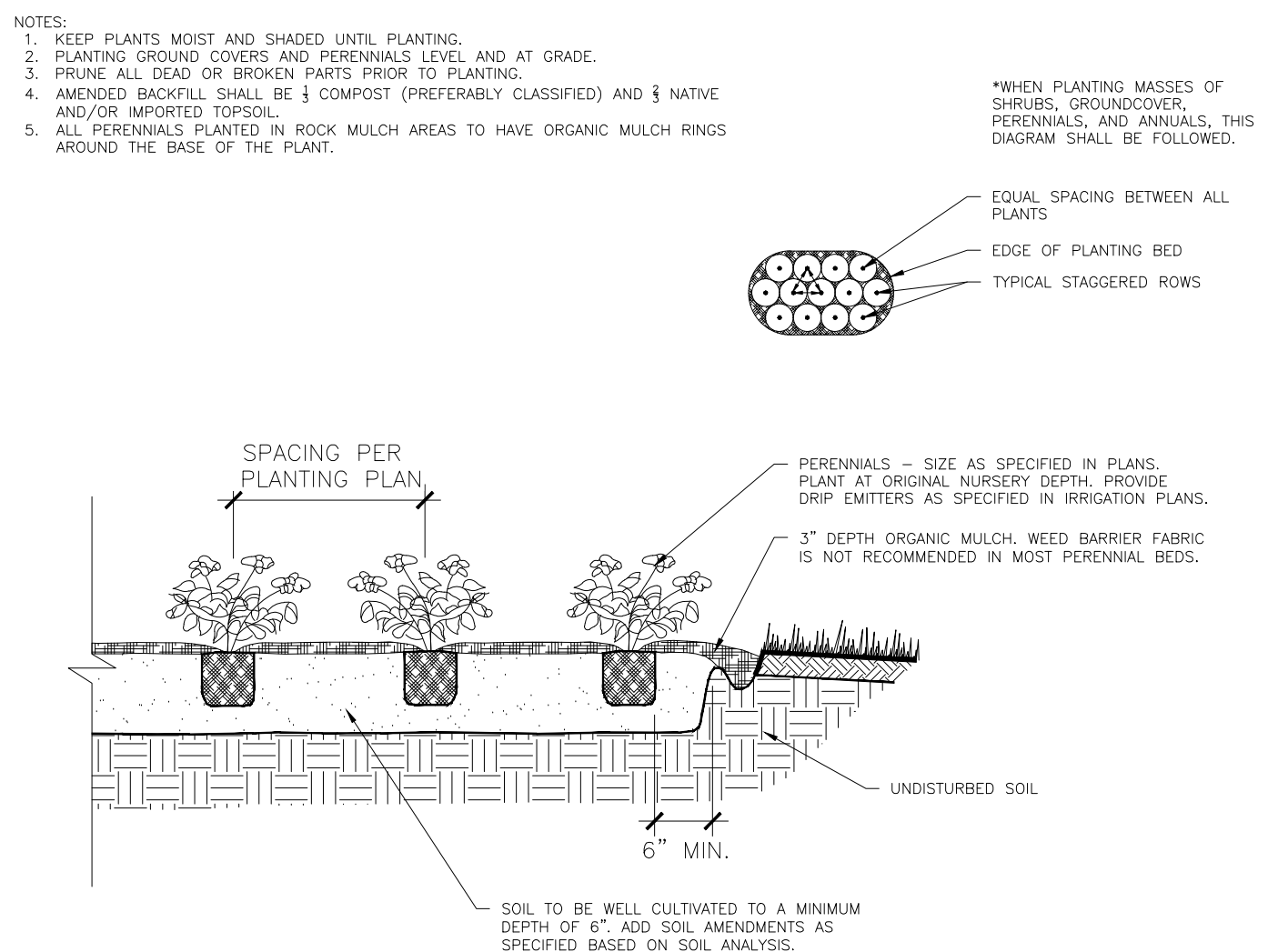
4 TYP. EVERGREEN TREE PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS



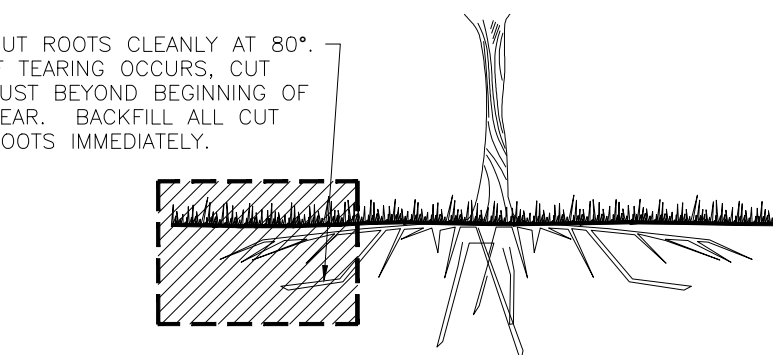
5 TYP. SHRUB PLANTING DETAIL
SCALE: NTS



6 TYP. SHRUB PLANTING DETAIL (SLOPE CONDITION)
SCALE: NTS

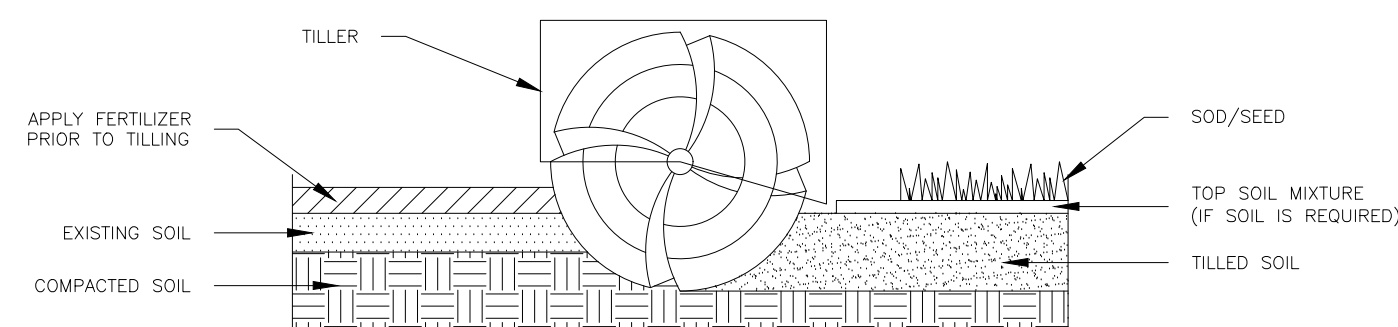


7 TYP. PERENNIAL PLANTING DETAIL
SCALE: NTS

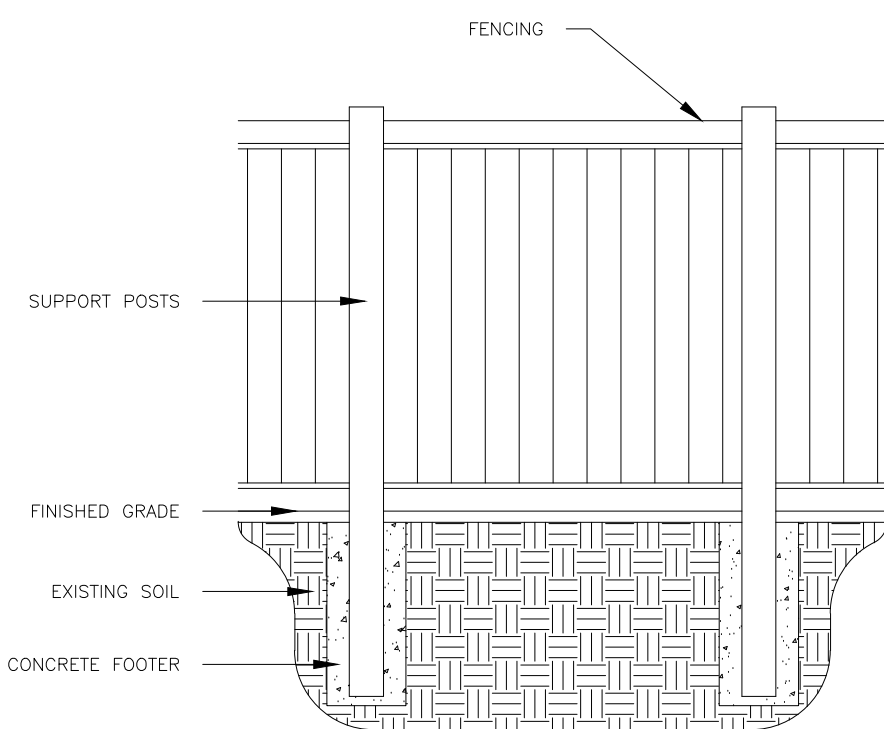


9 TYP. ROOT PRUNING DETAIL
SCALE: NTS

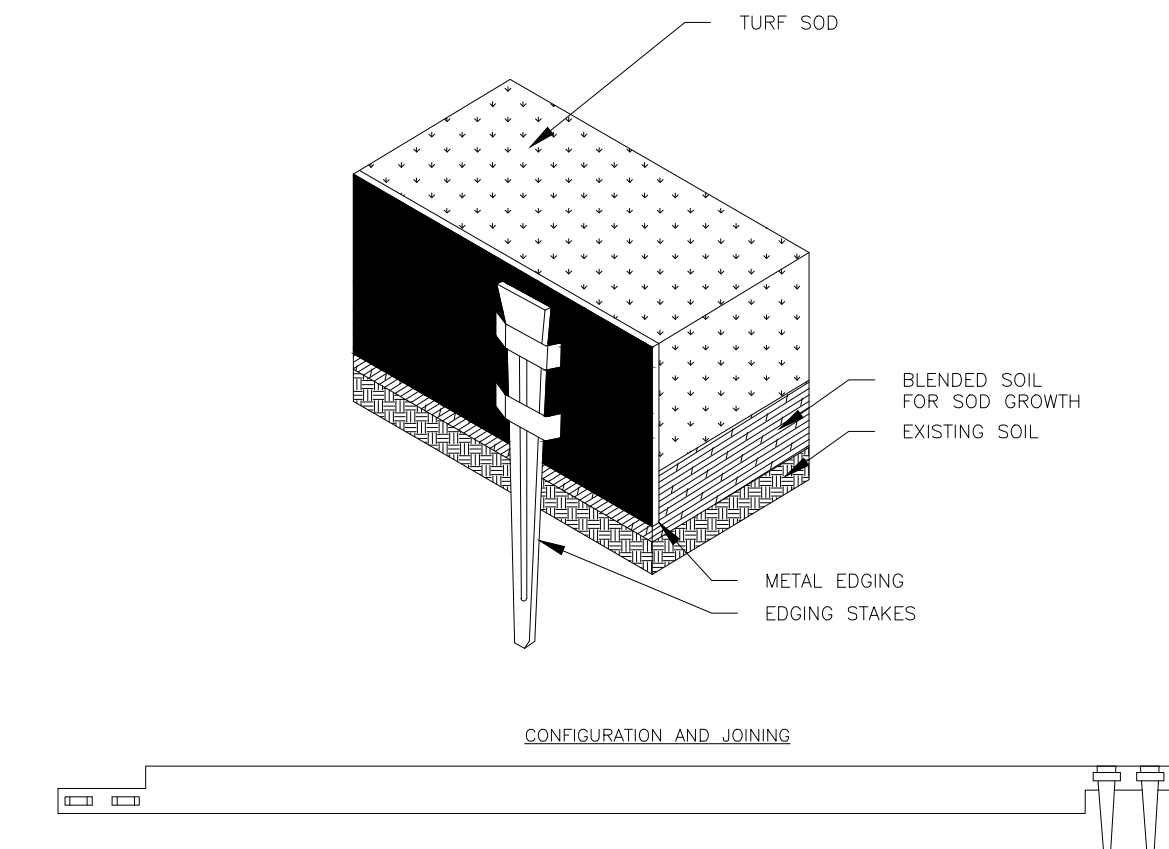
- NOTES:
1. TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ALL IMPURITIES SUCH AS ROCKS, ROOTS AND OTHER FOREIGN MATERIALS.
 2. APPLY FERTILIZER WITHIN 2-3 DAYS OF PLANTINGS.
 3. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
 4. MATERIALS GREATER THAN 1" DIAMETER OR FROZEN SOIL SHALL BE REMOVED.
 5. TILLED SOIL SHALL BE SMOOTHLY RAKED TO A FINISHED GRADE TO PROVIDE POSITIVE DRAINAGE.



10 TYP. SOIL PREPARATION (ALL AREAS)
SCALE: NTS

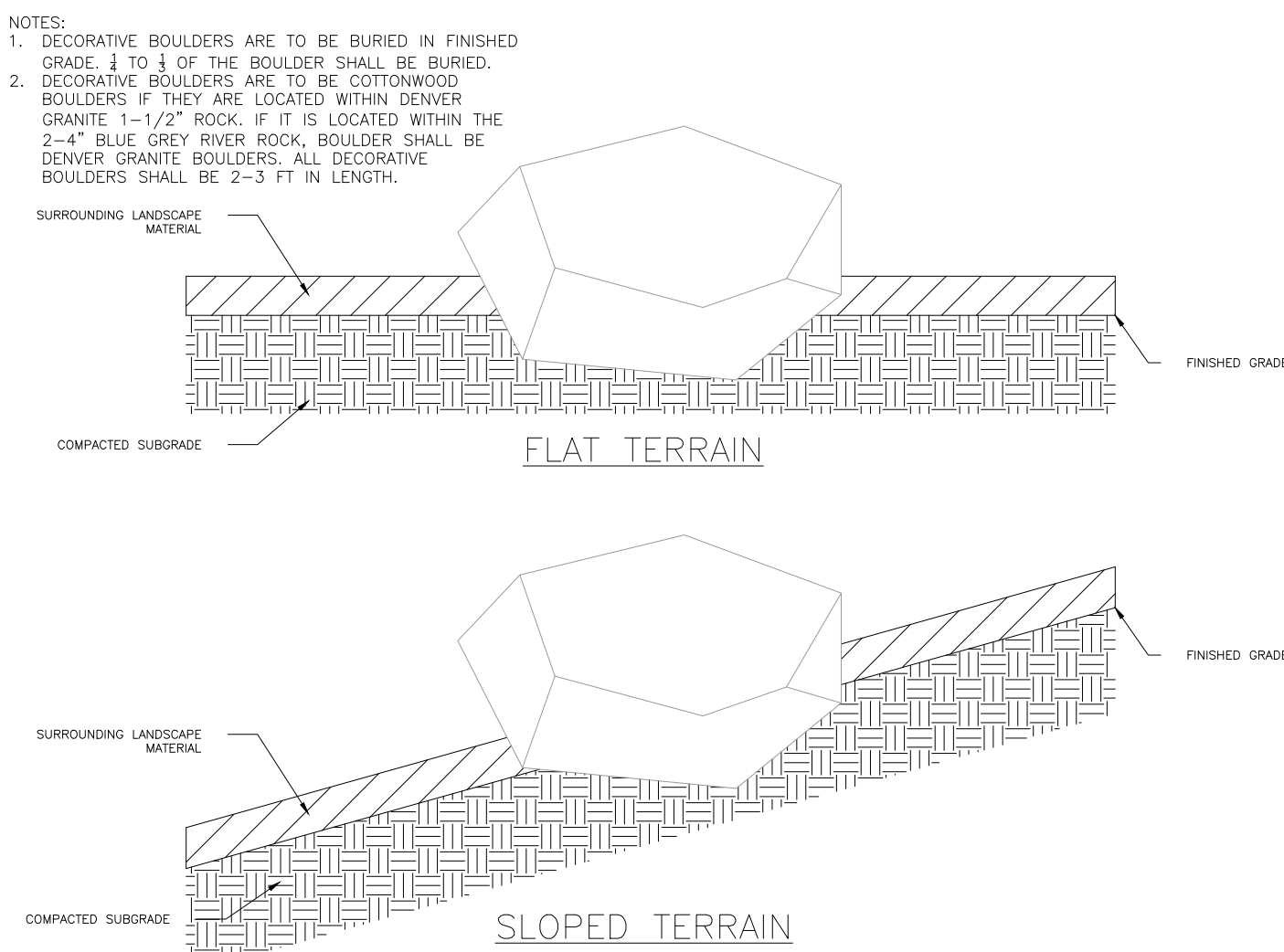


11 TYP. 5' - 6' FENCING DETAIL
SCALE: NTS



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. METAL EDGING IS TO BE POWDER COATED AND BOLLER TOP.
 3. USE BROWN COLOR ONLY.
 4. CUT/BEND WHERE NEEDED TO CONFORM TO LANDSCAPE PLAN LAYOUT.

12 TYP. METAL EDGING DETAIL
SCALE: NTS



13 TYP. DECORATIVE BOULDER IN TERRAIN
SCALE: NTS

DRAWN BY: JAG JOB DATE: 8/4/2021
APPROVED: DLR JOB NUMBER: 201134
CAD DATE: 8/26/2021
CAD FILE: J:\2020\201134\CAD\DWGS\CS\CDPLandscape_Plan

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0" = 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
CHALLENGER HOMES
COLORADO SPRINGS, COLORADO



PRELIMINARY LANDSCAPE PLAN
LANDSCAPE DETAILS

SHEET
L1.4

13

LAND USE REVIEW FILE NO: CPC PUD 21-00206

PRELIMINARY
NOT FOR CONSTRUCTION