

HUHN, KEN, 1/12/2022 9:40 AM

LEGAL DESCRIPTION:

PARCEL A: 555000-00-394, 550910-00-010, 550910-00-012, 5509-10-00-013 AND 550910-00-014 (PER RECEPTION NO. 217095082)

A PARCEL OF LAND BEING A PORTION OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE NORTH-SOUTH CENTERLINE OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MONUMENTED AT BOTH ENDS BY A 3 1/4" ALUMINUM CAP STAMPED "PLS 10377", IS ASSUMED TO BEAR S 00°19'23" E, A DISTANCE OF 5252.20 FEET.

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO;

THENCE N 19°02'02" E, A DISTANCE OF 3849.68 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF BRADLEY ROAD FORMERLY KNOWN AS NEW DRENNAN ROAD, AS DESCRIBED IN A DOCUMENT RECORDED IN BOOK 5307 AT PAGE 1472, RECORDS OF EL PASO COUNTY, COLORADO, SAID POINT BEING THE POINT OF BEGINNING;

THENCE ON SAID SOUTHERLY RIGHT OF WAY LINE THE FOLLOWING (3) THREE COURSES;

- 1. N 89°30'18" E, A DISTANCE OF 105.49 FEET TO A POINT ON CURVE;
2. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S 21°32'04" E HAVING A DELTA OF 21°02'22", A RADIUS OF 150.00 FEET AND A DISTANCE OF 55.08 FEET TO A POINT OF TANGENT;
3. N 89°30'18" E, A DISTANCE OF 1160.70 FEET;

THENCE S 00°29'42" E, A DISTANCE OF 11.41 FEET TO A POINT OF CURVE;
THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 52°52'16", A RADIUS OF 563.00 FEET AND A DISTANCE OF 519.52 FEET TO THE POINT OF REVERSE CURVE;
THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 52°51'47", A RADIUS OF 547.00 FEET AND A DISTANCE OF 504.68 FEET TO A POINT OF TANGENT;
THENCE S 00°29'12" E, A DISTANCE OF 191.77 FEET TO A POINT OF CURVE;
THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 15°27'22", A RADIUS OF 1477.00 FEET AND A DISTANCE OF 398.44 FEET TO A POINT OF TANGENT;
THENCE S 15°56'34" E, A DISTANCE OF 106.75 FEET;
THENCE S 74°03'26" W, A DISTANCE OF 64.38 FEET;
THENCE N 83°00'10" W, A DISTANCE OF 91.98 FEET;
THENCE S 67°07'45" W, A DISTANCE OF 83.24 FEET;
THENCE S 73°43'11" W, A DISTANCE OF 12.43 FEET;
THENCE N 56°51'17" W, A DISTANCE OF 63.47 FEET;
THENCE N 58°01'44" W, A DISTANCE OF 65.11 FEET;
THENCE N 76°48'22" W, A DISTANCE OF 65.21 FEET;
THENCE N 86°46'55" W, A DISTANCE OF 65.21 FEET;
THENCE S 83°14'32" W, A DISTANCE OF 65.21 FEET;
THENCE S 73°15'59" W, A DISTANCE OF 65.21 FEET;
THENCE S 54°28'00" W, A DISTANCE OF 64.73 FEET;
THENCE S 56°29'23" W, A DISTANCE OF 49.43 FEET;
THENCE S 64°40'00" W, A DISTANCE OF 40.77 FEET;
THENCE S 73°00'46" W, A DISTANCE OF 10.12 FEET;
THENCE N 85°11'50" W, A DISTANCE OF 93.93 FEET;
THENCE N 81°03'44" W, A DISTANCE OF 64.48 FEET;
THENCE N 78°35'46" W, A DISTANCE OF 66.61 FEET;
THENCE S 77°53'05" W, A DISTANCE OF 68.07 FEET;
THENCE S 70°23'19" W, A DISTANCE OF 59.86 FEET;
THENCE S 71°35'08" W, A DISTANCE OF 50.42 FEET;
THENCE S 78°40'02" W, A DISTANCE OF 116.79 FEET;
THENCE N 19°56'11" W, A DISTANCE OF 340.72 FEET TO A POINT OF CURVE;
THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 32°35'44", A RADIUS OF 742.50 FEET AND A DISTANCE OF 422.41 FEET TO A POINT ON CURVE; SAID POINT BEING ON THE SOUTHERLY BOUNDARY OF A PARCEL OF LAND DESCRIBED IN DOCUMENT RECORDED UNDER RECEPTION NO. 209091558;

THENCE ON THE SOUTHERLY AND EASTERLY BOUNDARY OF SAID PARCEL OF LAND DESCRIBED IN DOCUMENT RECORDED UNDER RECEPTION NO. 209091558 THE FOLLOWING (4) FOUR COURSES;

- 1. S 77°20'27" E, A DISTANCE OF 25.00 FEET TO A POINT ON CURVE;
2. ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S 77°20'27" E, HAVING A DELTA OF 30°33'35", A RADIUS OF 717.50 FEET AND A DISTANCE OF 382.69 FEET TO A POINT OF REVERSE CURVE;
3. ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 43°42'49", A RADIUS OF 812.50 FEET AND A DISTANCE OF 619.90 FEET TO A POINT OF TANGENT;
THENCE N 00°29'42" W, A DISTANCE OF 46.58 FEET TO THE POINT OF BEGINNING.
TOTAL AREA = 47.014 ACRES

TO BE PLATTED AS BRADLEY HEIGHTS FILING 1 AND FILING 2

BASIS OF BEARINGS:

THE NORTH-SOUTH CENTERLINE OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING MONUMENTED AT BOTH ENDS BY A 3 1/4" ALUMINUM CAP STAMPED "RLS 10377", IS ASSUMED TO BEAR S 00°19'23" E, A DISTANCE OF 5252.20 FEET.

BENCHMARK:

ELEVATIONS ARE BASED UPON THE COLORADO SPRINGS UTILITIES FIMS MONUMENT F230 (PUBLISHED ELEVATION=5779.16 NAVD88).

BRADLEY HEIGHTS F1 & F2 - TRACT TABLE. Table with columns: TRACT, ACREAGE (AC), PUBLIC IMPROVEMENTS, PUBLIC UTILITIES, PUBLIC DRAINAGE, PEDESTRIAN ACCESS, LANDSCAPING, SIGNAGE, MAINTENANCE, OWNERSHIP.

HOA = HOME OWNERS ASSOCIATION
P = WHERE EASEMENTS DEDICATED
BHMD = BRADLEY HEIGHTS METROPOLITAN DISTRICT

BRADLEY HEIGHTS F1 & F2 - LAND USE TABLE. Table with columns: LAND USE, AREA (ACRES), UNITS, NET DENSITY (DU/ACRE), % OF LAND.

BRADLEY HEIGHTS FILING 1 AND FILING 2
PUD DEVELOPMENT PLAN

LOCATED WITHIN A PORTION OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



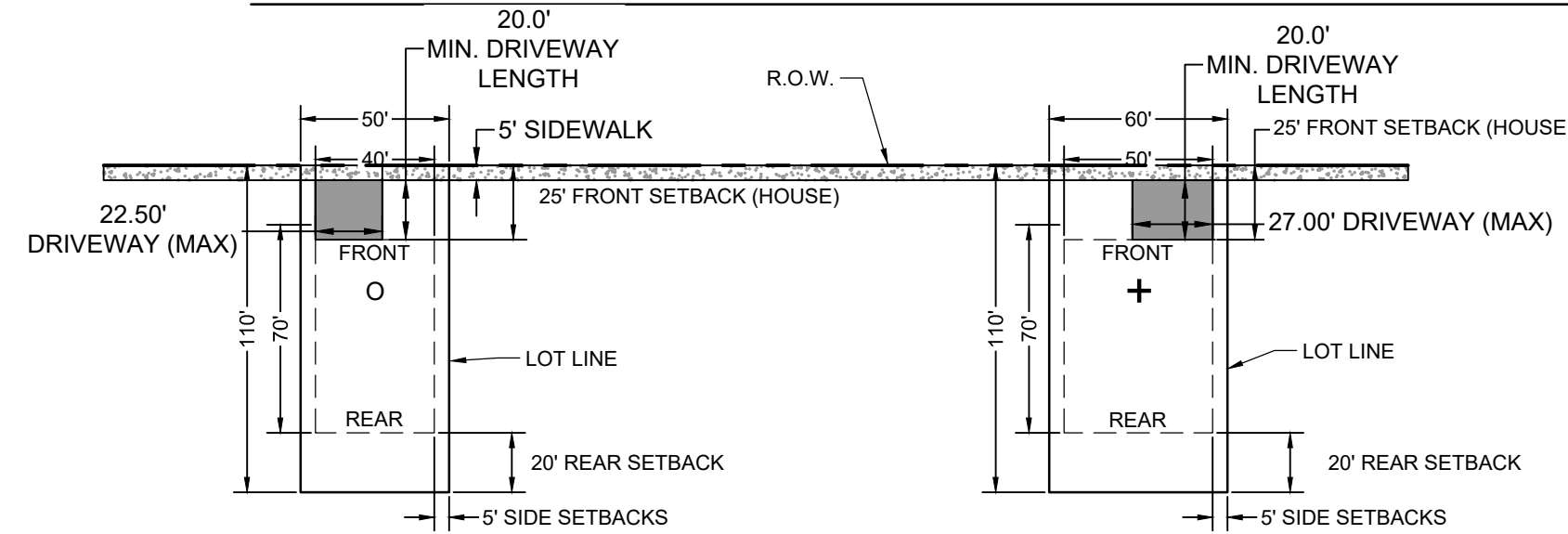
SITE DATA:

Table with columns: OWNER, APPLICANT, TAX ID NUMBER, EXISTING ZONING, DRAINAGE BASIN, TOTAL DEVELOPMENT AREA, CONCEPT PLAN, DEVELOPMENT SCHEDULE, TOTAL LOTS, GROSS DENSITY.

PUD DEVELOPMENT STANDARDS:

Table with columns: MINIMUM LOT AREA, AVERAGE LOT AREA, MAX LOT COVERAGE, MAX BUILDING HEIGHT, FRONT YARD SETBACK, REAR YARD SETBACK, SIDE YARD SETBACK, ACCESSORY STRUCTURES, SITE DEVELOPMENT STANDARDS.

TYPICAL LOTS



50' X 110' LOTS and 60' X 110' LOTS

- NOTES:
1. FOR 50' AND 60' WIDE LOTS, NO MORE THAN 45% OF THE REQUIRED FRONT YARD, AS MEASURED FROM THE FRONT LOT LINE TO THE FRONT SETBACK LINE, SHALL BE USED AS DRIVEWAY OR PARKING AREA.

FLOODPLAIN STATEMENT

THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NO. 08041C0768G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

ADA DESIGN STANDARD NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

AVIGATION EASEMENT

AN AVIGATION EASEMENT EFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT IS THERIN ESTABLISHED BY THE BRADLEY HEIGHTS EAST SUBDIVISION PLAT. THIS EASEMENT IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO

GENERAL NOTES:

- 1. INTERIM WATER AND WASTEWATER SERVICE MAY BE OBTAINED THROUGH THE COLORADO CENTRE METROPOLITAN DISTRICT (CCMD). THE APPLICANT ACKNOWLEDGES AND AGREES THAT CCMD SHALL PROVIDE INTERIM SERVICE IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE INTERGOVERNMENTAL AGREEMENT FOR WATER DISTRIBUTION AND WASTEWATER COLLECTION, TREATMENT AND DISPOSAL (IGA) DATED AUGUST 11, 2009, BETWEEN CCMD AND THE CITY OF COLORADO SPRINGS ON THE BEHALF OF COLORADO SPRINGS UTILITIES, AS SUCH IGA IS AMENDED OR RESTATED FROM TIME TO TIME.
2. AS A CONDITION OF APPROVAL OF ANY DEVELOPMENT PLAN AND PRIOR TO THE PROVISION OF UTILITY SERVICE FOR THE SUBJECT PROPERTY, A FACILITIES PARTICIPATION, UTILIZATION, AND SERVICE AGREEMENT (SERVICE AGREEMENT) BETWEEN COLORADO SPRINGS UTILITIES AND CHALLENGER HOLMES OR THE MASTER DEVELOPMENT ENTITY SHALL BE EXECUTED. THE APPLICANT ACKNOWLEDGES AND AGREES TO THE UTILITY-EXTENSION REQUIREMENTS, OBLIGATIONS, AND OTHER TERMS OF THE SERVICE AGREEMENT, INCLUDING THE OBLIGATIONS REGARDING THE INTERIM AND PERMANENT UTILITY EXTENSIONS, FUTURE CONVERSION TO CSU AND THE CONNECTION TO BOTH THE CCMD OR CSU WATER AND WASTEWATER SYSTEMS THAT ARE DESCRIBED IN THE "INDIVIDUAL PLAN" WHICH IS AND EXHIBIT TO THE SERVICE AGREEMENT.
3. PRIOR TO THE RECEIPT OF INTERIM SERVICE, THE APPLICANT SHALL PROVIDE THE FOLLOWING NOTICE TO ALL INTERIM CUSTOMERS: "ANY CUSTOMER RECEIVING COLORADO CENTRE METROPOLITAN DISTRICT (CCMD) INTERIM WATER OR WASTEWATER SERVICE IN THE IGA, SHALL BE A CCMD INTERIM CUSTOMER SUBJECT TO CCMD'S STANDARD RULES AND REGULATIONS, INCLUDING ANY RELEVANT CCMD POLICIES ADOPTED BY RESOLUTION. SUCH INTERIM CUSTOMERS SHALL BE SERVED BY, BILLED DIRECTLY BY, AND ARE SOLELY RESPONSIBLE FOR ALL PAYMENTS TO CCMD. CCMD SHALL CHARGE THE STANDARD RATES, CHARGES, FEES, AND PENALTIES THAT ARE APPLICABLE TO ALL CCMD CUSTOMERS AS MAY BE ADJUSTED BY CCMD'S BOARD OF DIRECTORS."
4. A HOME OWNERS ASSOCIATION IS NOT PROPOSED FOR THIS DEVELOPMENT.
5. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT OR CURRENT TRACT OWNER.
6. ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY BRADLEY HEIGHTS METROPOLITAN DISTRICT.
7. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATION SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS. CONTACT TRAFFIC ENGINEERING, SIGNS & MARKINGS AT 719-685-6720 FOR ASSISTANCE.
8. SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT THE DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982 TO BEGIN A SIGN PERMIT APPLICATION.
9. PER CITY CODE SECTION 7.4.102.D, ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES OR ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AMENDMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
10. NO DIRECT VEHICULAR ACCESS SHALL BE ALLOWED ONTO BRADLEY LANDING BOULEVARD ON THE WEST, BRADLEY ROAD TO THE NORTH OR BLISS ROAD TO THE EAST FROM ANY PARCEL WITHIN THIS DEVELOPMENT OTHER THAN BY DEDICATED PUBLIC ROAD ACCESS POINTS.
11. PARKING IS ALLOWED ON BOTH SIDES OF THE STREET UNLESS SPECIFICALLY NOTED WITH NO PARKING SIGNAGE.
12. AIRPORT ACKNOWLEDGEMENT: UPON ACCEPTING RESIDENCY WITHIN BRADLEY HEIGHTS, ALL ADULT RESIDENTS AND OCCUPANTS SHALL BE REQUIRED TO SIGN A NOTICE IN WHICH THE TENANT ACKNOWLEDGES THAT BRADLEY HEIGHTS LIES WITHIN AN AIRPORT OVERLAY ZONE AND IS LOCATED LESS THAN 2 MILES FROM COLORADO SPRINGS MUNICIPAL AIRPORT AND MAY, AT TIMES (24 HOURS PER DAY), EXPERIENCE NOISE AND OTHER ACTIVITIES AND OPERATIONS ASSOCIATED WITH AIRCRAFT AND THE AIRPORT.
13. THE DEVELOPMENT AND ITS OCCUPANTS MAY BE IMPACTED BY AIR ILLUMINATION OR APPROACH LIGHTING SYSTEMS THAT USE MEDIUM AND HIGH-INTENSITY LIGHTS TO GUIDE AIRCRAFT TO THE RUNWAY CENTERLINE USED FOR NAVIGATION OR FLIGHT IN AIR.
14. FAA FORM 7460-1, BASED ON ELEVATION DATA AND DISTANCE TO RUNWAY, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES; FAA'S WEBSITE: (HTTPS://OEAFAA.FAA.GOV/OEAFAA/EXTERNAL/PORAL.JSP).
15. THE IMPROVEMENTS SHOWN ON BRADLEY ROAD, BRADLEY LANDING BOULEVARD AND BLISS ROAD ARE INTENDED TO BE CONSTRUCTED BY THE BRADLEY HEIGHTS METROPOLITAN DISTRICT. IF THE DISTRICTS SCHEDULE FOR THESE IMPROVEMENTS DOES NOT ALIGN WITH THE DEVELOPMENT SCHEDULE FOR FILINGS 1 AND 2, THESE IMPROVEMENTS SHALL BE COMPLETED BY CHALLENGER HOMES WITH THE COSTS REIMBURSED BY THE DISTRICT.
16. THE PARCELS WITHIN THIS DEVELOPMENT ARE SUBJECT TO THE FEES, RESTRICTIONS, AND COVENANTS OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT, WHICH IS CREATED BY ORDINANCE NO. _____ AND RECORDED IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE UNDER RECEPTION NO. _____.
17. PRIOR TO CONSTRUCTION PLANS APPROVAL, THE DEVELOPER IS REQUIRED TO REMIT THE AMOUNT OF \$250,000 FOR THE FUTURE ANTICIPATED TRAFFIC SIGNAL AT THE INTERSECTION OF BRADLEY ROAD WITH BLISS ROAD. THIS REQUIREMENT SHALL BE WAIVED IF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT PROVIDES A SEPARATE ASSURANCE OR IF THE SIGNALS ARE WARRANTED AND CONSTRUCTED SEPARATELY BY THE DISTRICT.
18. PRIOR TO CONSTRUCTION PLANS APPROVAL, THE DEVELOPER IS REQUIRED TO REMIT THE AMOUNT OF \$300,000 FOR THE FUTURE ANTICIPATED TRAFFIC SIGNAL AT THE INTERSECTION OF BRADLEY ROAD WITH BRADLEY LANDING BLVD/FOREIGN TRADE ZONE BLVD. THIS REQUIREMENT SHALL BE WAIVED IF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT PROVIDES A SEPARATE ASSURANCE OR IF THE SIGNALS ARE WARRANTED AND CONSTRUCTED SEPARATELY BY THE DISTRICT.
19. TYPICAL HOMES WILL HAVE TWO-CAR GARAGES WITH DRIVEWAY WIDTHS AND LENGTHS SUFFICIENT FOR THE PARKING OF TWO VEHICLES.

LAND USE REVIEW FILE NO: CPC PUD 21-00206

DRAWN BY: MRJ JOB DATE: 1/12/2022
APPROVED: KMH JOB NUMBER: 201134
CAD DATE: 1/12/2022
CAD FILE: J:\2020\201134\CAD\DWG\CISDP\Cover_Sheet

Table with columns: NO., DATE, BY, REVISION DESCRIPTION.

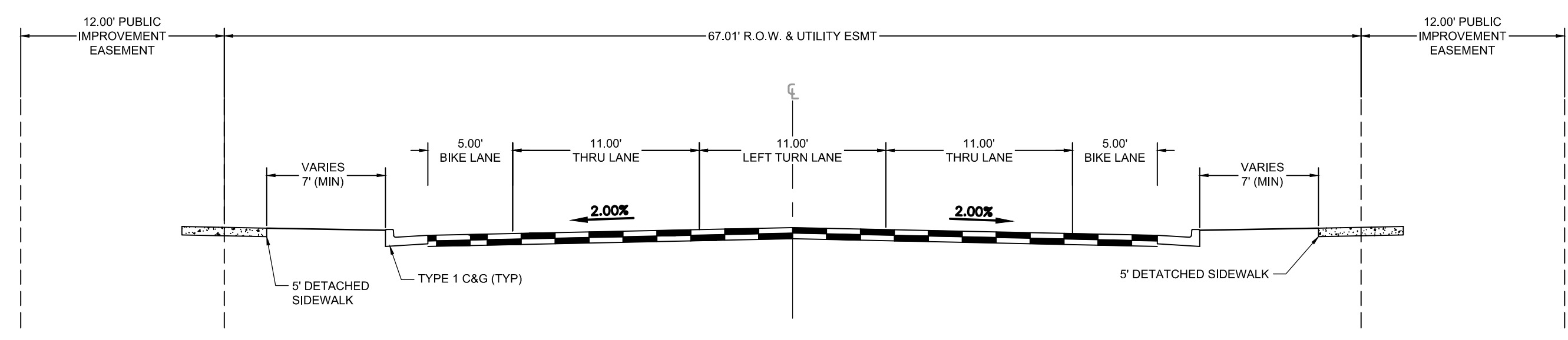
HRGreen logo and contact information: HR GREEN - COLORADO SPRINGS 7222 COMMERCE CENTER DR. SUITE 220 COLORADO SPRINGS CO 80919 PHONE: 719.622.6222 FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2 CHALLENGER HOMES COLORADO SPRINGS, COLORADO

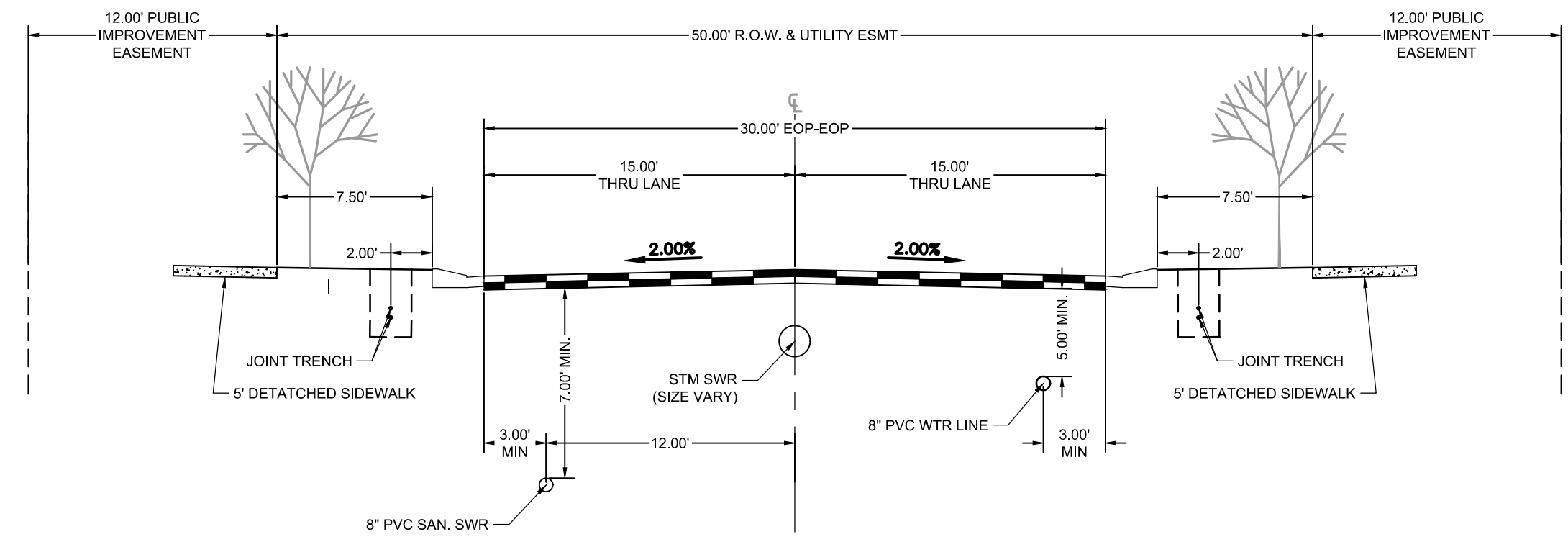
PUD DEVELOPMENT PLAN COVER SHEET

SHEET CV 1

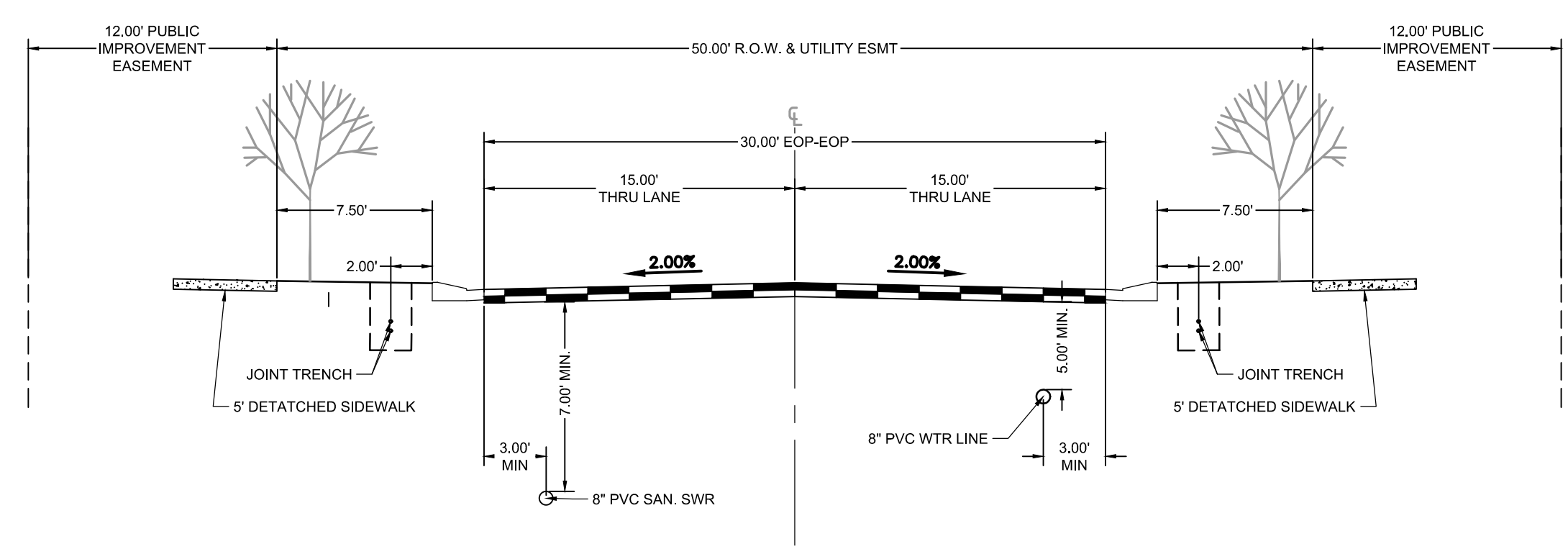
HR GREEN Xrefs: sdp, site, plan, notes, lot, bldg, typical, xc-dsgn, xc-row, xc-sign, xc-utl, legal, description, ADA, notes, floodplain, statement, Legend, light, spot, bti, bob, sdp, cover, general, notes, sdp, site, data, Wall, Detail, xv-dsgn-NES, xgr, launch, dhot, typical, sections, typical, sections, matic, ds-XC-ROW, xc-03-row, xc-dsgn-matic



SUMMERALL RD - 67' R.O.W. LOCAL (PUBLIC)
SCALE: 1"=5'



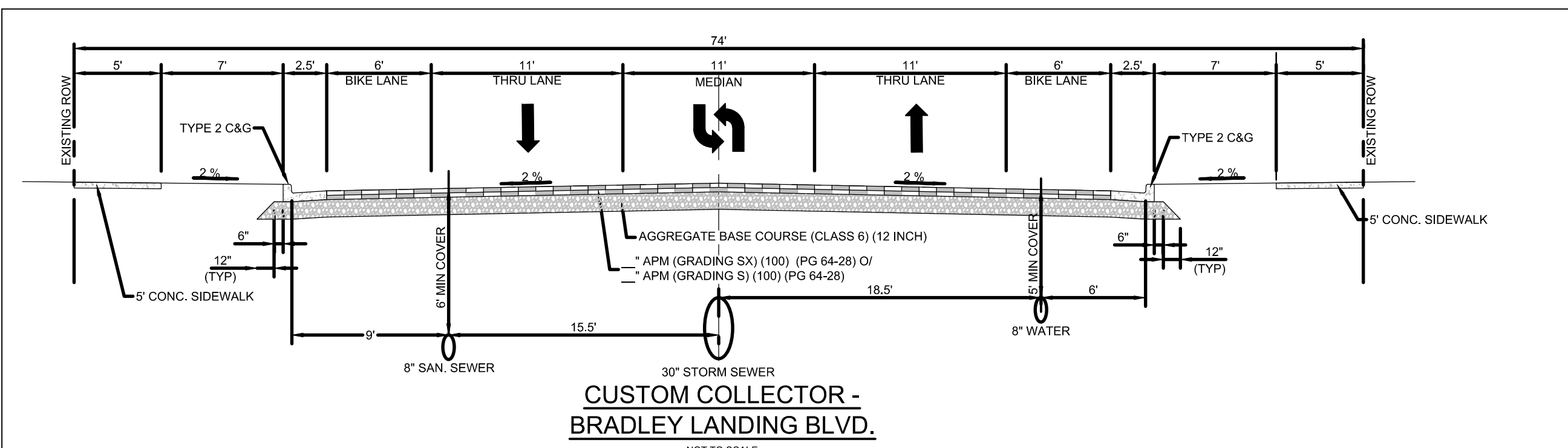
50' R.O.W. LOCAL (PUBLIC) W/ STORM
SCALE: 1"=5'



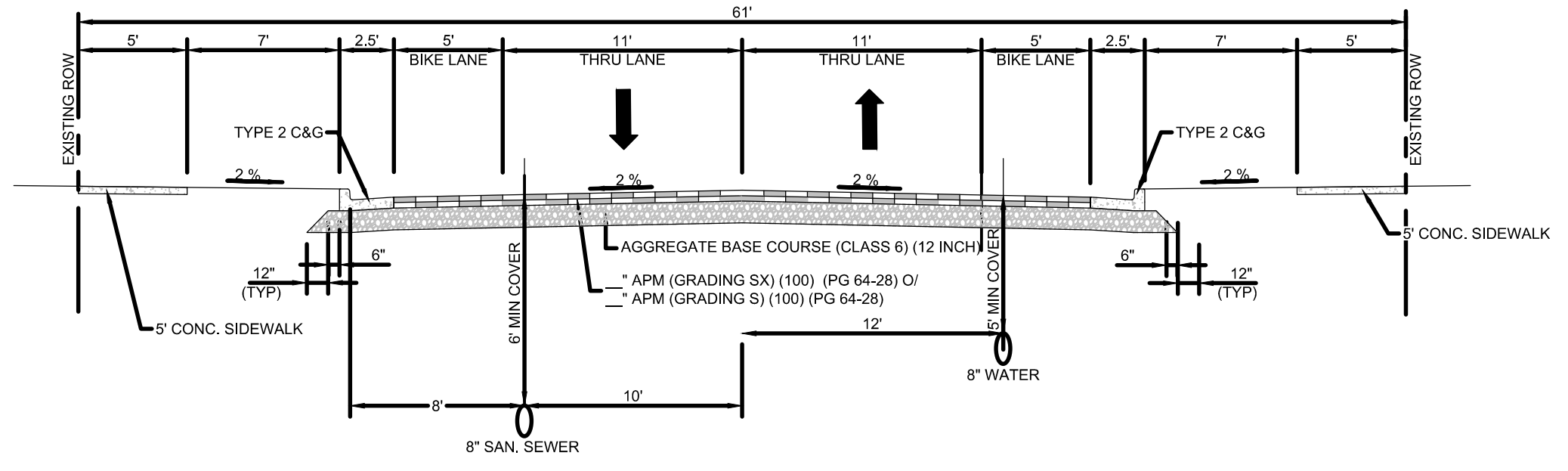
50' R.O.W. LOCAL (PUBLIC) W/OUT STORM
SCALE: 1"=5'

TYPICAL SECTION USED ON THE FOLLOWING STREETS:
- TRUSCOTT ROAD (S OF GRUENTHER CT)
- KRUEGER ROAD (N OF HINES RD)
- HANDEY COURT

TYPICAL SECTION USED ON THE FOLLOWING STREETS:
- TRUSCOTT ROAD (S OF GRUENTHER CT)
- KRUEGER ROAD (S OF HINES RD)
- EDLEMAN COURT
- GRUENTHER COURT
- BESSON COURT
- MACGRUDER COURT
- RUFFNER COURT
- GOODPASTER COURT



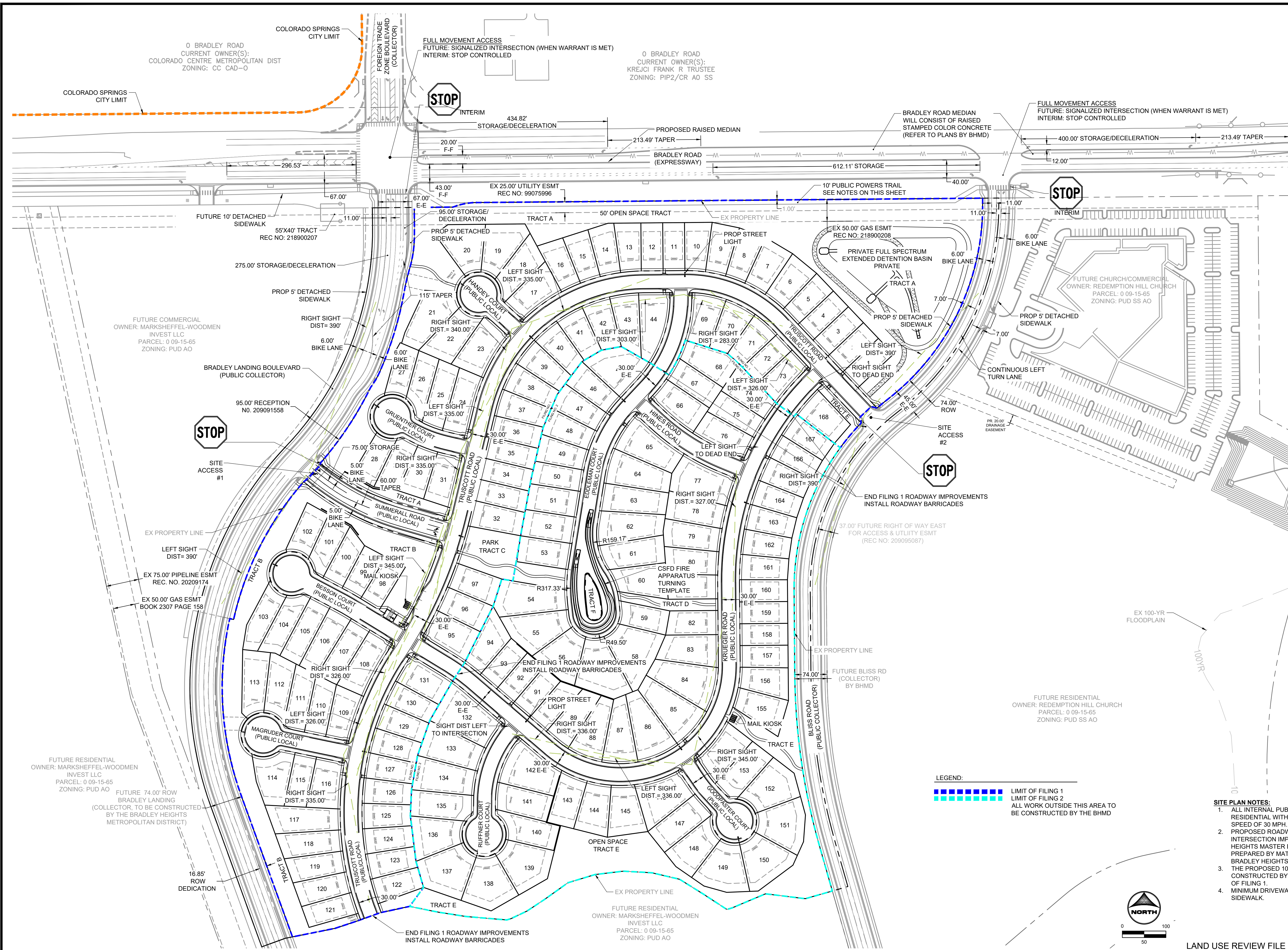
**CUSTOM COLLECTOR -
BRADLEY LANDING BLVD.**
NOT TO SCALE



**CUSTOM COLLECTOR -
BLISS ROAD**
NOT TO SCALE

TYPICAL SECTIONS PROVIDED BY THE BRADLEY HEIGHTS METROPOLITAN DISTRICT
(TO BE CONSTRUCTED BY THE DISTRICT)

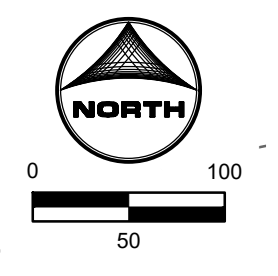
NO.	DATE	BY	REVISION DESCRIPTION



LOT AREA TABLE			
Lot Number	Area	Lot Number	Area
1	5,596.15	85	11,097.37
2	5,588.45	86	10,338.24
3	5,580.74	87	8,462.86
4	5,573.04	88	8,289.34
5	5,811.60	89	7,323.28
6	6,930.17	90	5,990.29
7	7,103.34	91	5,500.00
8	6,331.40	92	5,501.09
9	6,318.65	93	5,502.18
10	6,158.73	94	7,535.38
11	5,500.00	95	8,217.72
12	5,499.95	96	6,982.48
13	6,103.08	97	6,934.48
14	6,192.36	98	5,665.10
15	6,017.11	99	5,782.69
16	6,259.79	100	6,105.22
17	7,984.49	101	6,645.30
18	7,891.88	102	6,377.63
19	8,975.37	103	7,284.41
20	9,170.14	104	7,466.94
21	10,009.28	105	7,654.07
22	8,798.71	106	7,744.62
23	9,018.77	107	7,458.44
24	8,214.03	108	8,764.72
25	7,532.70	109	6,820.27
26	6,684.21	110	6,410.03
27	5,854.69	111	7,048.82
28	6,027.94	112	7,700.66
29	6,295.23	113	8,385.69
30	6,176.14	114	8,866.32
31	6,950.79	115	6,077.86
32	6,904.06	116	7,843.60
33	5,913.26	117	9,181.05
34	5,797.75	118	7,664.69
35	5,767.38	119	6,920.76
36	5,756.67	120	6,443.30
37	6,478.19	121	5,946.39
38	6,686.19	122	5,966.29
39	6,672.77	123	5,982.97
40	6,445.44	124	6,045.42
41	6,291.79	125	5,960.66
42	6,442.62	126	5,961.22
43	7,316.60	127	5,999.70
44	8,835.21	128	5,971.95
45	9,761.99	129	6,001.04
46	6,608.50	130	6,001.53
47	6,639.68	131	7,532.35
48	6,454.51	132	12,706.98
49	6,268.67	133	9,951.94
50	5,871.95	134	9,644.20
51	7,021.16	135	8,464.48
52	7,266.75	136	8,973.45
53	7,129.11	137	11,400.74
54	10,813.04	138	10,625.03
55	10,383.73	139	10,479.83
56	8,848.81	140	7,911.75
57	11,612.13	141	7,968.00
58	11,846.47	142	11,387.17
59	6,156.24	143	7,382.37
60	8,218.76	144	8,274.07
61	8,784.63	145	8,275.35
62	9,729.87	146	10,140.24
63	8,685.82	147	8,512.04
64	9,610.51	148	8,631.98
65	10,434.21	149	10,433.74
66	7,918.77	150	10,497.44
67	7,744.92	151	10,199.15
68	7,690.15	152	10,032.19
69	7,647.05	153	7,990.03
70	6,778.09	154	8,328.13
71	6,310.75	155	7,843.05
72	5,500.00	156	6,843.51
73	6,374.00	157	5,586.77
74	7,270.07	158	5,499.21
75	6,469.45	159	5,500.00
76	7,444.51	160	5,538.74
77	10,640.26	161	5,903.41
78	7,918.83	162	5,928.03
79	7,678.94	163	5,928.03
80	7,078.54	164	5,928.03
81	6,471.81	165	5,928.03
82	6,384.85	166	5,928.03
83	8,802.23	167	5,928.03
84	11,443.77	168	7,304.48
85	11,097.37	AVERAGE	7,479

LEGEND:
 LIMIT OF FILING 1
 LIMIT OF FILING 2
 ALL WORK OUTSIDE THIS AREA TO BE CONSTRUCTED BY THE BHMD

- SITE PLAN NOTES:**
- ALL INTERNAL PUBLIC ROADS ARE CLASSIFIED AS LOCAL RESIDENTIAL WITH A POSTED SPEED OF 25 MPH AND DESIGN SPEED OF 30 MPH.
 - PROPOSED ROADWAY CLASSIFICATIONS, AUXILIARY LANE, AND INTERSECTION IMPROVEMENTS ARE BASED ON THE BRADLEY HEIGHTS MASTER DEVELOPMENT TRAFFIC IMPACT STUDY PREPARED BY MATRIX DESIGN GROUP ON BEHALF OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT. DATE: (PENDING).
 - THE PROPOSED 10' TRAIL ALONG BRADLEY ROAD WILL BE CONSTRUCTED BY THE DEVELOPER WITH THE CONSTRUCTION OF FILING 1.
 - MINIMUM DRIVEWAY LENGTH SHALL BE 20' FROM THE BACK OF SIDEWALK.



LAND USE REVIEW FILE NO: CPC PUD 21-00206

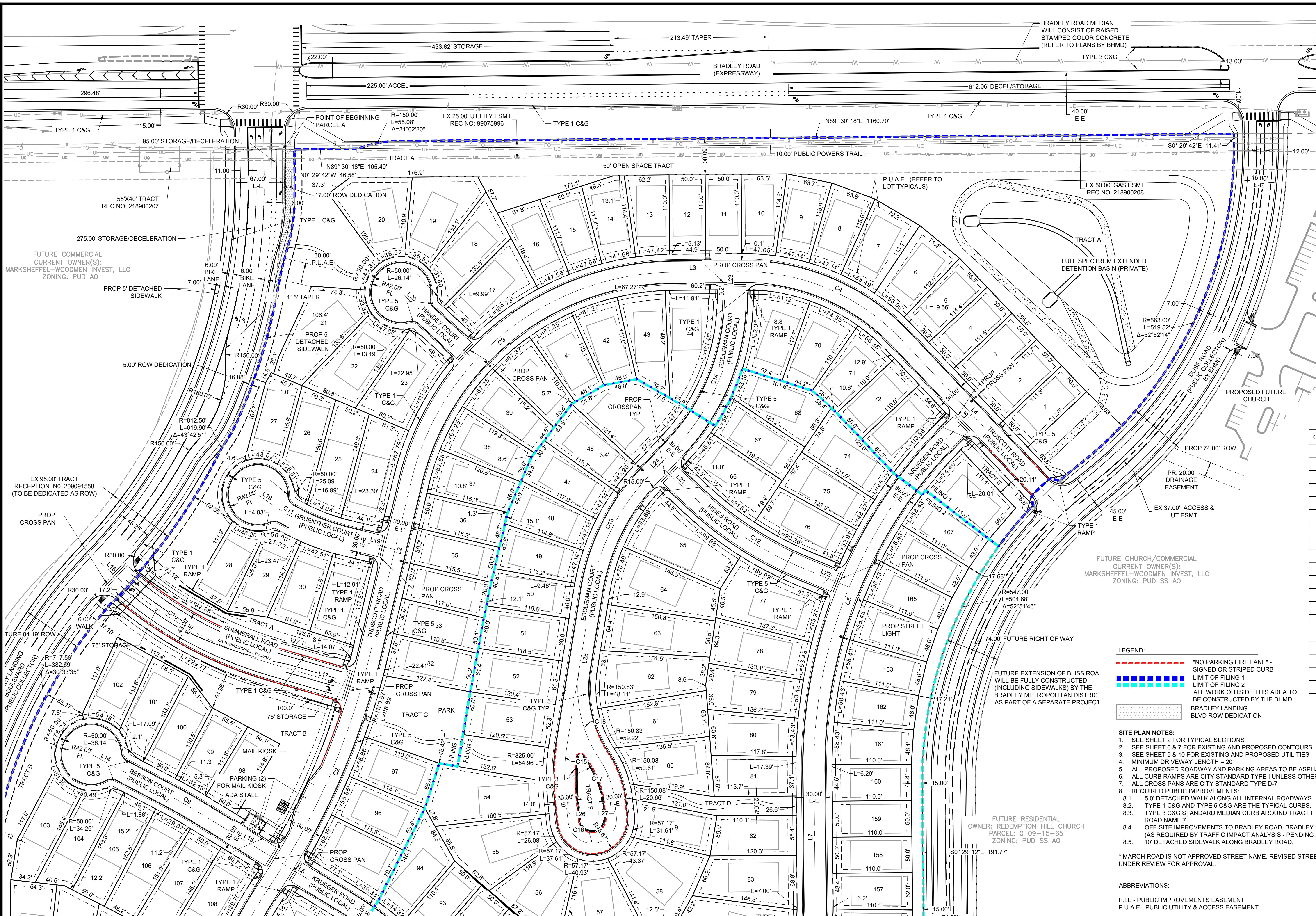
DRAWN BY: MRJ JOB DATE: 1/7/2022
 APPROVED: KMH JOB NUMBER: 201134
 CAD DATE: 1/12/2022
 CAD FILE: J:\2020\201134\CAD\DWG\CSDP\Site_Plan_Overall

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

CHALLENGER HOMES
 PUD DEVELOPMENT PLAN
 OVERALL SITE DISTANCE & PHASING PLAN
 SHEET **OV** 4



Line #	Length	Direction
L1	18.59'	N 19°56'11" W
L2	248.41'	N 13°22'48" E
L3	94.97'	N 89°30'18" E
L4	329.44'	S 43°20'45" E
L5	101.82'	S 58°36'32" E
L6	227.50'	S 49°26'19" E
L7	187.98'	N 0°29'12" W
L8	20.50'	N 46°39'15" E
L9	78.26'	N 0°38'31" E
L10	26.49'	N 40°33'41" E
L11	70.28'	S 34°20'42" E
L12	85.91'	S 42°50'34" E
L13	219.61'	S 78°17'33" E
L14	129.51'	S 62°06'54" E
L15	147.22'	S 58°36'32" E
L16	29.61'	S 47°54'32" E
L17	127.63'	S 73°49'26" E
L18	24.62'	S 55°02'58" E
L19	69.06'	S 76°37'12" E
L20	139.55'	S 47°31'07" E
L21	69.54'	S 46°57'16" E
L22	65.87'	S 67°41'14" E
L23	34.22'	N 0°29'42" W
L24	60.61'	N 43°02'44" E
L25	213.19'	S 9°06'29" W
L26	27.99'	N 6°17'42" W
L27	22.58'	S 6°18'43" E

Curve #	Length	Radius	Delta
C1	607.79'	650.00'	53°34'32"
C2	353.59'	1000.00'	20°15'33"
C3	501.47'	377.43'	76°07'31"
C4	246.87'	300.00'	47°08'56"
C5	534.79'	650.00'	47°08'27"
C6	571.80'	250.00'	131°02'53"
C7	174.18'	250.00'	39°55'10"
C8	37.08'	250.00'	8°29'52"
C9	30.60'	500.00'	3°30'22"
C10	248.77'	550.00'	25°54'54"
C11	112.94'	300.00'	21°34'14"
C12	180.93'	500.00'	20°43'59"
C13	179.81'	300.00'	34°20'26"
C14	227.98'	300.00'	43°32'26"
C15	79.37'	301.50'	15°05'02"
C16	105.77'	33.67'	179°59'40"
C17	60.10'	126.45'	27°13'59"
C18	126.41'	176.39'	41°03'40"
C19	80.02'	500.00'	9°10'12"

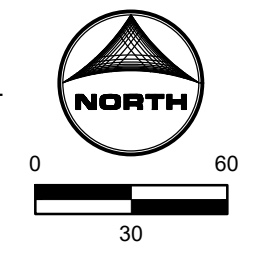
LEGEND:

- "NO PARKING FIRE LANE" - SIGNED OR STRIPED CURB
- LIMIT OF FILING 1
- LIMIT OF FILING 2
- ALL WORK OUTSIDE THIS AREA TO BE CONSTRUCTED BY THE BHMD
- BRADLEY LANDING
- BLVD ROW DEDICATION

SITE PLAN NOTES:

- SEE SHEET 2 FOR TYPICAL SECTIONS
- SEE SHEET 6 & 7 FOR EXISTING AND PROPOSED CONTOURS.
- SEE SHEET 9 & 10 FOR EXISTING AND PROPOSED UTILITIES
- MINIMUM DRIVEWAY LENGTH = 20'
- ALL PROPOSED ROADWAY AND PARKING AREAS TO BE ASPHALT PAVED.
- ALL CURB RAMP ARE CITY STANDARD TYPE 1 UNLESS OTHERWISE NOTED.
- ALL CROSS PANS ARE CITY STANDARD TYPE D-7
- REQUIRED PUBLIC IMPROVEMENTS:
 - 5' DETACHED WALK ALONG ALL INTERNAL ROADWAYS
 - TYPE 1 C&G AND TYPE 5 C&G ARE THE TYPICAL CURBS.
 - TYPE 3 C&G STANDARD MEDIAN CURB AROUND TRACT F AND THE MEDIAN WITHIN ROAD NAME 7
 - OFF-SITE IMPROVEMENTS TO BRADLEY ROAD, BRADLEY LANDING & BLISS ROAD (AS REQUIRED BY TRAFFIC IMPACT ANALYSIS - PENDING APPROVAL)
 - 10' DETACHED SIDEWALK ALONG BRADLEY ROAD.

* MARCH ROAD IS NOT APPROVED STREET NAME. REVISED STREET NAME CURRENT UNDER REVIEW FOR APPROVAL.



SEE SHEET 6

LAND USE REVIEW FILE NO: CPC PUD 21-00206

DRAWN BY: MRJ JOB DATE: 1/12/2022
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 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

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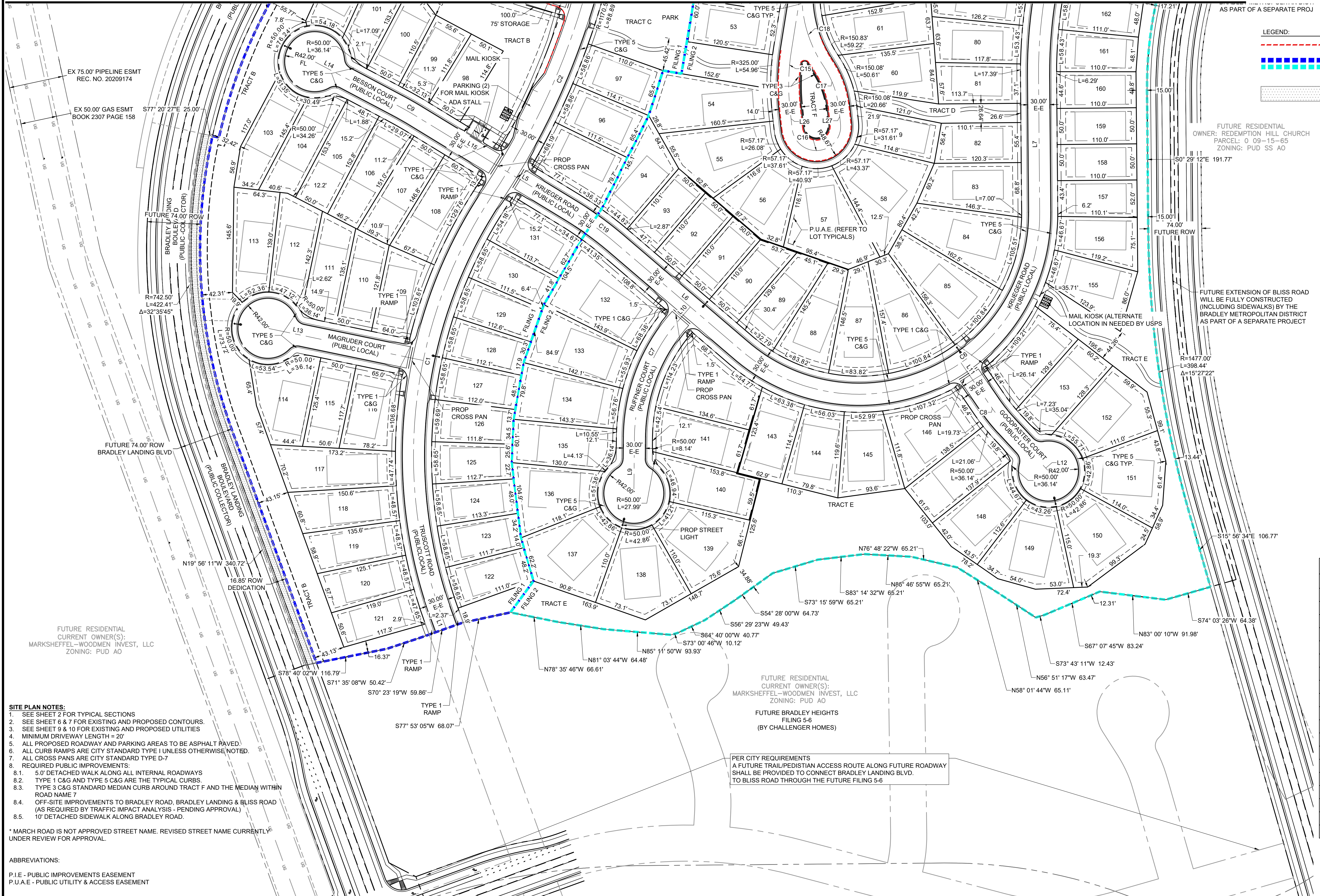
HRGreen
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 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN
 SITE PLAN - NORTH

SHEET
 SP
 5



AS PART OF A SEPARATE PROJ.

LEGEND:

- "NO PARKING FIRE LANE" - SIGNED OR STRIPED CURB
- LIMIT OF FILING 1
- LIMIT OF FILING 2
- ALL WORK OUTSIDE THIS AREA TO BE CONSTRUCTED BY THE BHMD
- BRADLEY LANDING BLVD ROW DEDICATION

FUTURE RESIDENTIAL OWNER: REDEMPTION HILL CHURCH
 PARCEL: 0 09-15-65
 ZONING: PUD SS AO

FUTURE EXTENSION OF BLISS ROAD WILL BE FULLY CONSTRUCTED (INCLUDING SIDEWALKS) BY THE BRADLEY METROPOLITAN DISTRICT AS PART OF A SEPARATE PROJECT

Centerline Line Table

Line #	Length	Direction
L1	18.59'	N 19°56'11" W
L2	248.41'	N 13°22'48" E
L3	94.97'	N 89°30'18" E
L4	329.44'	S 43°20'45" E
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L18	24.62'	S 55°02'58" E
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Centerline Curve Table

Curve #	Length	Radius	Delta
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C10	248.77'	550.00'	25°54'54"
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C12	180.93'	500.00'	20°43'59"
C13	179.81'	300.00'	34°20'26"
C14	227.98'	300.00'	43°32'26"
C15	79.37'	301.50'	15°05'02"
C16	105.77'	33.67'	179°59'40"
C17	60.10'	126.45'	27°13'59"
C18	126.41'	176.39'	41°03'40"
C19	80.02'	500.00'	9°10'12"

- SITE PLAN NOTES:**
- SEE SHEET 2 FOR TYPICAL SECTIONS
 - SEE SHEET 6 & 7 FOR EXISTING AND PROPOSED CONTOURS.
 - SEE SHEET 9 & 10 FOR EXISTING AND PROPOSED UTILITIES
 - MINIMUM DRIVEWAY LENGTH = 20'
 - ALL PROPOSED ROADWAY AND PARKING AREAS TO BE ASPHALT PAVED.
 - ALL CURB RAMP ARE CITY STANDARD TYPE I UNLESS OTHERWISE NOTED.
 - ALL CROSS PANS ARE CITY STANDARD TYPE D-7
 - REQUIRED PUBLIC IMPROVEMENTS:
 - 5'0" DETACHED WALK ALONG ALL INTERNAL ROADWAYS
 - TYPE 1 C&G AND TYPE 5 C&G ARE THE TYPICAL CURBS.
 - TYPE 3 C&G STANDARD MEDIAN CURB AROUND TRACT F AND THE MEDIAN WITHIN ROAD NAME 7
 - OFF-SITE IMPROVEMENTS TO BRADLEY ROAD, BRADLEY LANDING & BLISS ROAD (AS REQUIRED BY TRAFFIC IMPACT ANALYSIS - PENDING APPROVAL)
 - 10' DETACHED SIDEWALK ALONG BRADLEY ROAD.

* MARCH ROAD IS NOT APPROVED STREET NAME. REVISED STREET NAME CURRENTLY UNDER REVIEW FOR APPROVAL.

ABBREVIATIONS:
 P.I.E - PUBLIC IMPROVEMENTS EASEMENT
 P.U.A.E - PUBLIC UTILITY & ACCESS EASEMENT

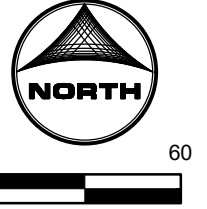
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 PHONE: 719.622.8222
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BRADLEY HEIGHTS F1 & F2
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

CHALLENGER HOMES
 PUD DEVELOPMENT PLAN
 SITE PLAN - SOUTH
 SHEET SP 6



PRELIMINARY
 NOT FOR CONSTRUCTION

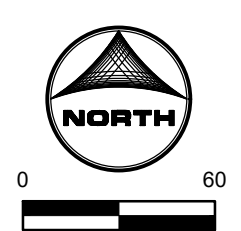


LEGEND:

▬ LIMIT OF FILING 1
▬ LIMIT OF FILING 2
 ALL WORK OUTSIDE THIS AREA TO BE CONSTRUCTED BY THE BHMD

GRADING PLAN LEGEND

- 1 LOT NUMBER
- A LOT TYPE
- A = "A" TYPE LOT
- T = TRANSITIONAL LOT
- B = "B" TYPE LOT
- G = GARDEN LOT
- W = WALKOUT LOT
- HP = HIGH POINT
- LP = LOW POINT
- TOF = TOP OF FOUNDATION
- FOG = FRONT OF GARAGE FLOOR ELEVATION
- LTF = LOWER TOP OF FOUNDATION
- BW = FINISHED GRADE AT BOTTOM OF WALL
- TW = FINISHED GRADE AT TOP OF WALL



LAND USE REVIEW FILE NO: CPC PUD 21-00206

PRELIMINARY NOT FOR CONSTRUCTION

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APPROVED: KMH	JOB NUMBER: 201134	0" = 1"
CAD DATE: 1/11/2022		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
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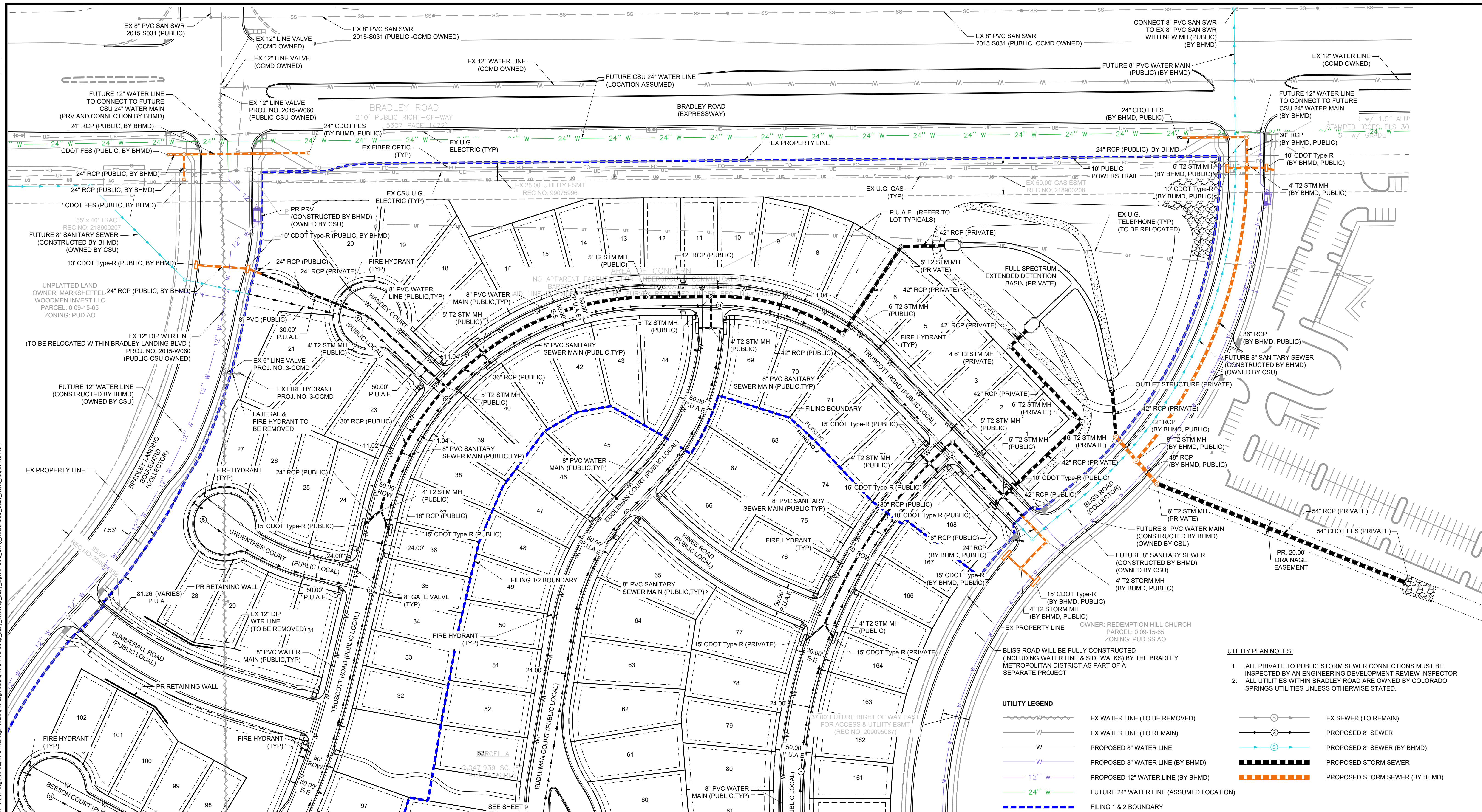
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BRADLEY HEIGHTS F1 & F2
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



SMALL LOT PUD DEVELOPMENT PLAN
 PRELIMINARY GRADING PLAN - SOUTH



GENERAL NOTES

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING

- THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.

- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.

- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

UTILITY PLAN NOTES:

- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR
- ALL UTILITIES WITHIN BRADLEY ROAD ARE OWNED BY COLORADO SPRINGS UTILITIES UNLESS OTHERWISE STATED.

UTILITY LEGEND

- EX WATER LINE (TO BE REMOVED)
- EX WATER LINE (TO REMAIN)
- PROPOSED 8" WATER LINE
- PROPOSED 8" WATER LINE (BY BHMD)
- PROPOSED 12" WATER LINE (BY BHMD)
- FUTURE 24" WATER LINE (ASSUMED LOCATION)
- EX SEWER (TO REMAIN)
- PROPOSED 8" SEWER
- PROPOSED 8" SEWER (BY BHMD)
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER (BY BHMD)

UTILITY PLAN NOTES:

BRADLEY ROAD WILL BE FULLY CONSTRUCTED (INCLUDING WATER LINE & SIDEWALKS) BY THE BRADLEY METROPOLITAN DISTRICT AS PART OF A SEPARATE PROJECT

BLISS ROAD WILL BE FULLY CONSTRUCTED (INCLUDING WATER LINE & SIDEWALKS) BY THE BRADLEY METROPOLITAN DISTRICT AS PART OF A SEPARATE PROJECT

OWNER: REDEMPTION HILL CHURCH
PARCEL: 0 09-15-65
ZONING: PUD SS AO

OWNER: MARKSHEFFEL WOODMEN INVEST LLC
PARCEL: 0 09-15-65
ZONING: PUD AO

OWNER: UNPLATTED LAND
PARCEL: 0 09-15-65
ZONING: PUD AO

OWNER: PR PRV (CONSTRUCTED BY BHMD) (OWNED BY CSU)

OWNER: CSU U.G. ELECTRIC (TYP)

OWNER: EX U.G. GAS (TYP)

OWNER: EX U.G. TELEPHONE (TYP) (TO BE RELOCATED)

OWNER: P.U.A.E. (REFER TO LOT TYPICALS)

OWNER: FULL SPECTRUM EXTENDED DETENTION BASIN (PRIVATE)

OWNER: OUTLET STRUCTURE (PRIVATE)

OWNER: PR 20,000 DRAINAGE EASEMENT

OWNER: FILING BOUNDARY

OWNER: FILING 1/2 BOUNDARY

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 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



PARCEL_B
92,602 SQ. FT
5.083 ACRES

GENERAL NOTES

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak Regional Building Department Codes, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES' STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.

DRAWN BY: CBM JOB DATE: 1/12/2022
 APPROVED: KMH JOB NUMBER: 201134
 CAD DATE: 1/12/2022
 CAD FILE: J:\2020\201134\CAD\DWG\CISDP\Utility_Plan

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



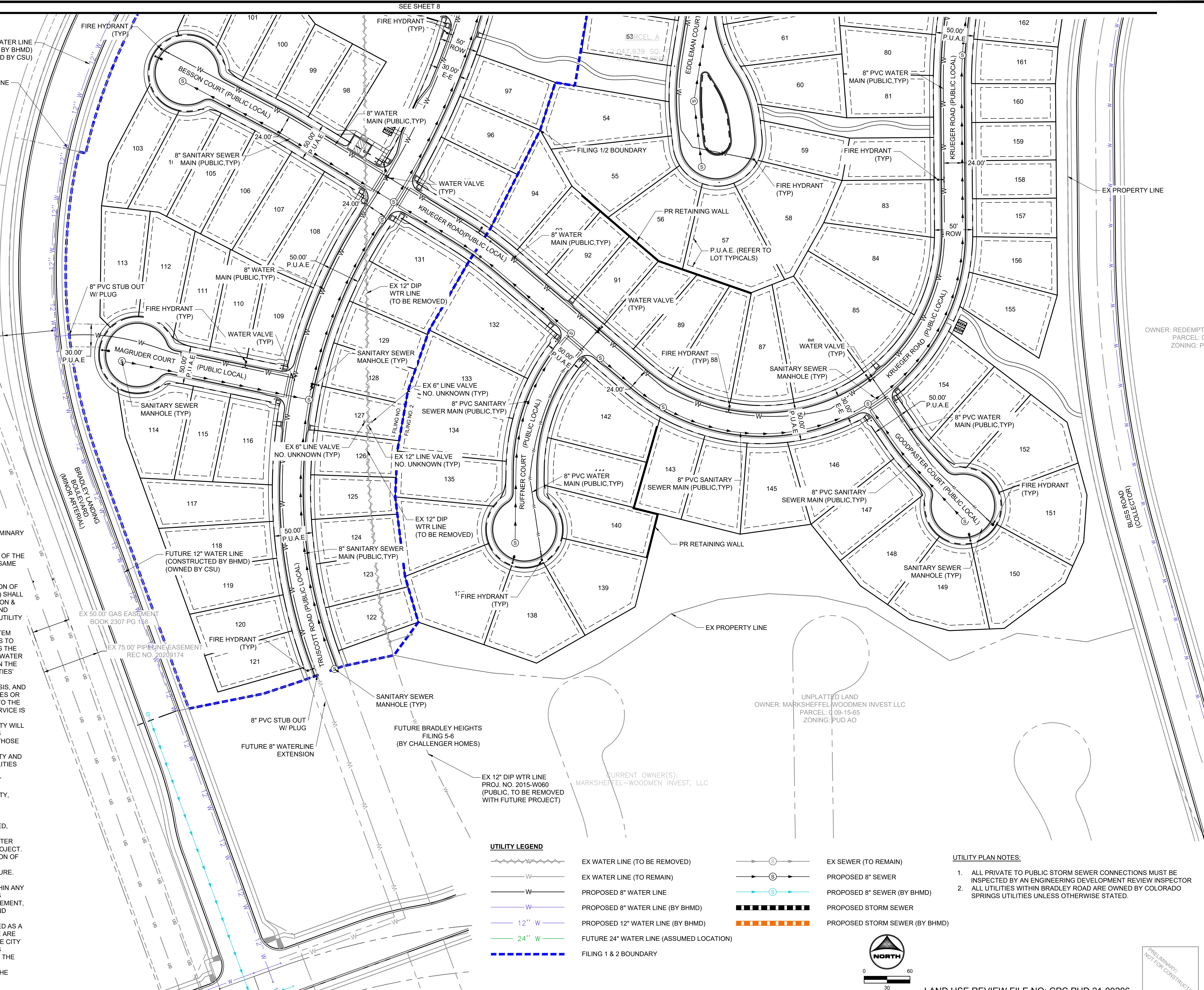
HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO



PUD DEVELOPMENT PLAN
 PUBLIC UTILITY & FACILITY PLAN - SOUTH

SHEET
 UT
 9



UTILITY LEGEND

	EX WATER LINE (TO BE REMOVED)		EX SEWER (TO REMAIN)
	EX WATER LINE (TO REMAIN)		PROPOSED 8" SEWER
	PROPOSED 8" WATER LINE		PROPOSED 8" SEWER (BY BHMD)
	PROPOSED 8" WATER LINE (BY BHMD)		PROPOSED STORM SEWER
	PROPOSED 12" WATER LINE (BY BHMD)		PROPOSED STORM SEWER (BY BHMD)
	FUTURE 24" WATER LINE (ASSUMED LOCATION)		
	FILING 1 & 2 BOUNDARY		

- UTILITY PLAN NOTES:**
- ALL PRIVATE TO PUBLIC STORM SEWER CONNECTIONS MUST BE INSPECTED BY AN ENGINEERING DEVELOPMENT REVIEW INSPECTOR
 - ALL UTILITIES WITHIN BRADLEY ROAD ARE OWNED BY COLORADO SPRINGS UTILITIES UNLESS OTHERWISE STATED.



LAND USE REVIEW FILE NO: CPC PUD 21-00206

PRELIMINARY
NOT FOR CONSTRUCTION

SCHEMATIC LANDSCAPE DIAGRAM

SCALE - N.T.S.

TO BE SUBMITTED IN CONFORMANCE WITH POLICY 311
CLIMATE ZONE (FROM FIGURE 4 OF LANDSCAPE POLICY MANUAL) - CIRCLE ONE:

FOOTHILLS **FOOTHILLS & PLAINS** PLAINS

PLANT COMMUNITIES
- TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

- 1 - SEMIARID SHRUBLANDS
- 2 - PION JUNIPER WOODLANDS
- 3 - PRAIRIE
- 4 - LOWER ELEVATION RIPARIAN
- 5 - FOOTHILL SHRUBLANDS
- 6 - PONDEROSA PINE FOREST
- 7 - UPPER ELEVATION RIPARIAN
- 8 - DOUGLAS-FIR FOREST

HYDROZONES
- TO BE LABELED BY NUMBER(S) ON DIAGRAM IN FLP

- V - V - VERY LOW (0 TO 7 INCHES PER YEAR)
- L - LOW (7 TO 15 INCHES PER YEAR)
- M - MODERATE (15 TO 25 INCHES PER YEAR)
- H - HIGH (MORE THAN 25 INCHES PER YEAR)

GROUND COVER LEGEND/QUANTITIES

SYMBOL	DESCRIPTION	QUANTITY	UNITS
	SOD TURF	74,984	SQUARE FEET
	SHRUB BED	5,429	SQUARE FEET
	NATIVE SEEDING	328,488	SQUARE FEET
	DETENTION SEEDING	61,449	SQUARE FEET

SEEDING SPECIFICATIONS

EL PASO COUNTY ALL PURPOSE LOW GROW MIX
NATIVE SEEDING

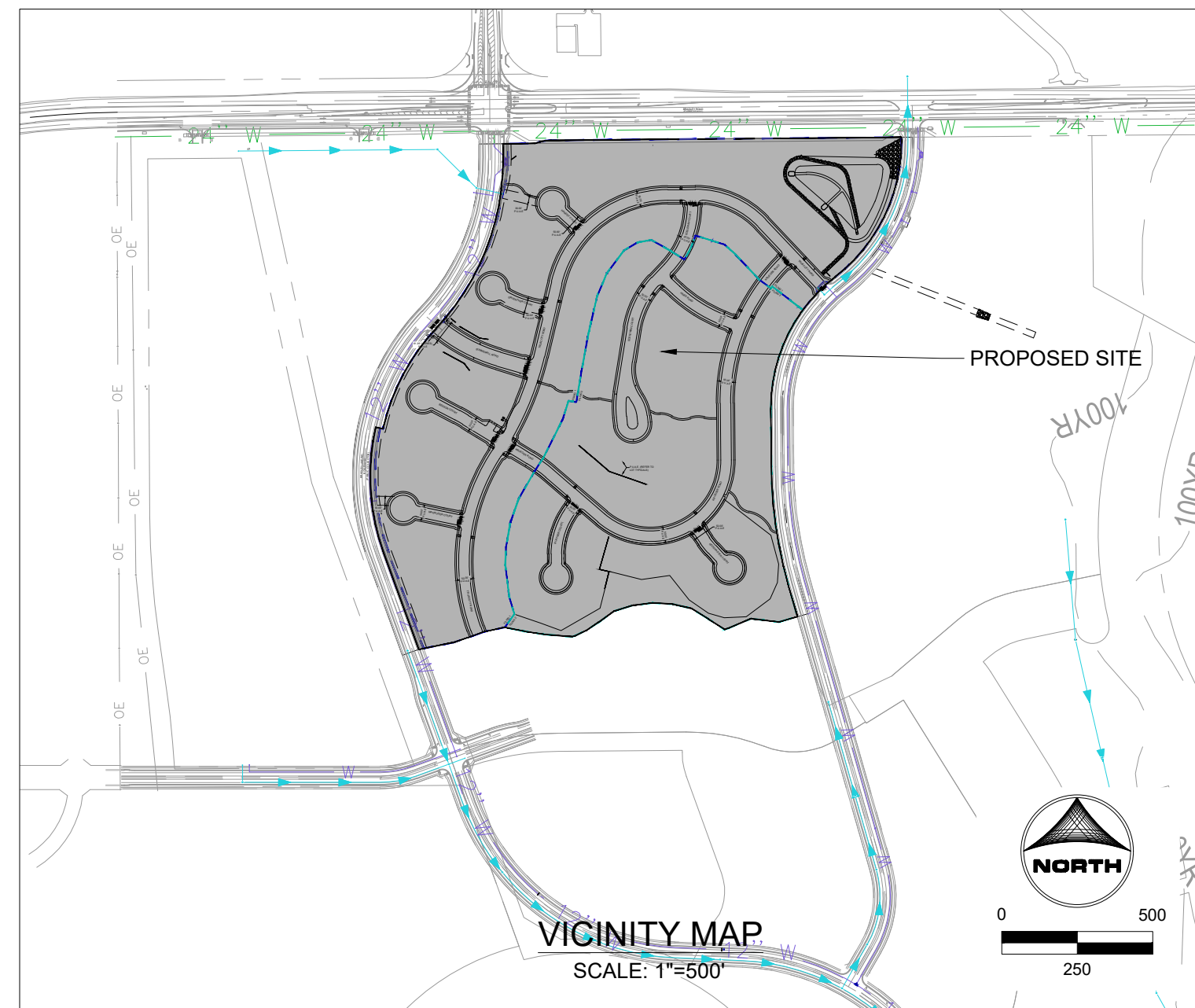
- 25% BUFFALOGRASS
- 20% GRAMA, BLUE
- 29% GRAMA, SIDEOATS
- 20% WHEATGRASS, WESTERN
- 1% DROPSEED, SAND

SEEDING RATE: 42 LBS PLS/ACRE

EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE
DETENTION SEEDING

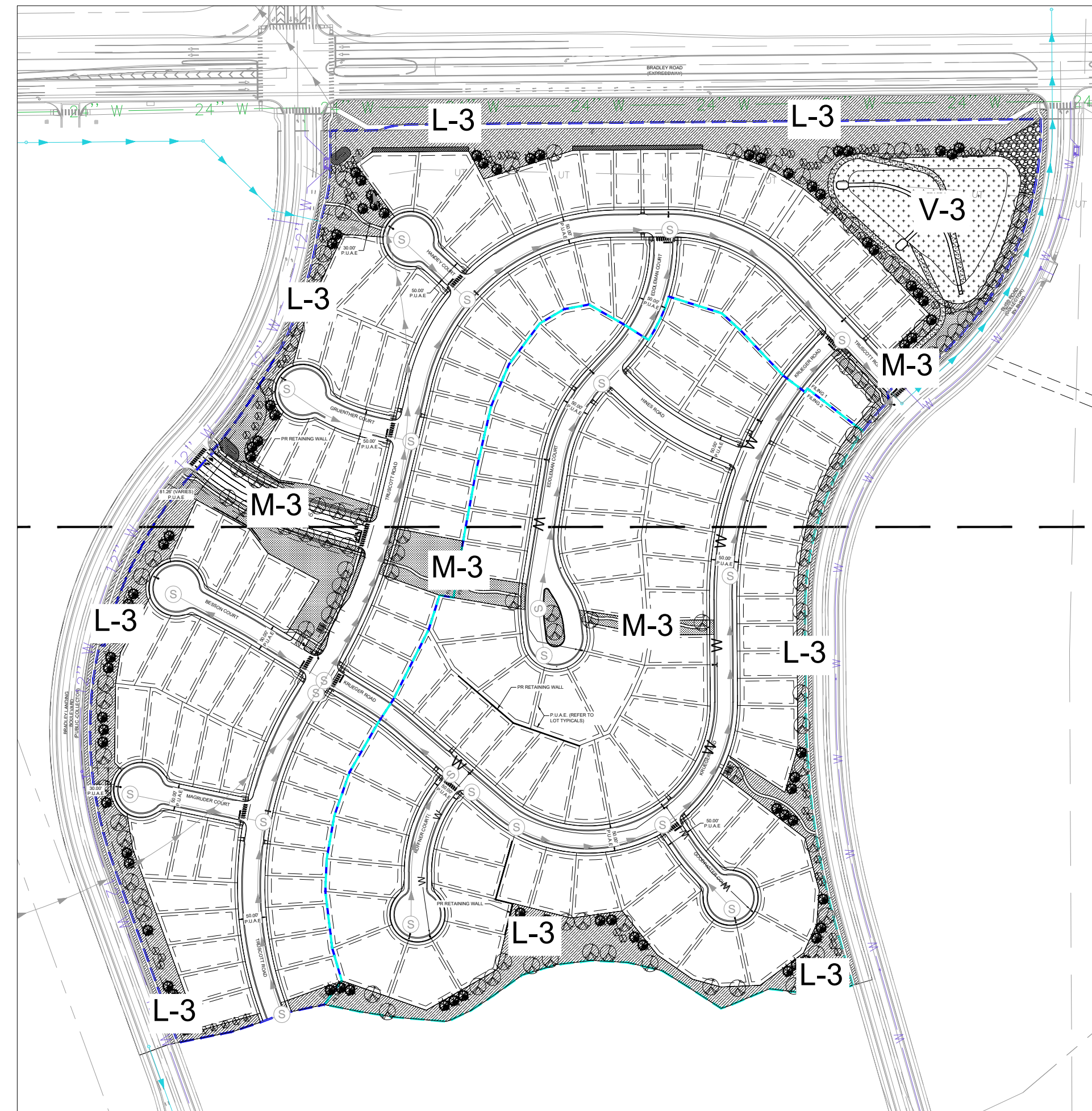
- 20% BLUESTEM, BIG
- 10% GRAMA, BLUE
- 10% GREEN NEEDLEGRASS
- 20% WHEATGRASS, WESTERN
- 10% GRAMA, SIDEOATS
- 10% SWITCHGRASS
- 10% PRAIRIE SANDREED
- 10% YELLOW INDIANGRASS

SEEDING RATE: 19.3 LBS PLS/ACRE



GENERAL LANDSCAPE NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING THE MUNICIPAL PUBLIC WORKS DEPARTMENT, THE COUNTY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS. THE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS APPARENT THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR CLARIFICATION. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL LIABILITIES, INCLUDING NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1" IN HEIGHT PER 1' IN ISLAND WIDTH.
- THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS AS NOTED ON THE FOLLOWING PLANS, AS WELL AS, TREE LOCATIONS AND THE PERIMETER OF SHRUB/PERENNIAL BEDS PRIOR TO INSTALLATION AND CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL. FINAL LOCATION AND STAKING OF ALL IMPROVEMENTS SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE IN ADVANCE OF INSTALLATION.
- IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO INSTALLATION.
- WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN THE PLANT LIST ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. IN CASE OF ANY DISCREPANCIES, PLANS TAKE PRECEDENCE OVER CALL-OUTS AND/OR THE PLANT LIST(S).
- ALL PLANTS SHALL BE NURSERY GROWN PLANTS MEETING AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) STANDARDS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION). PLANTS ARE TO BE TYPICAL IN SHAPE AND SIZE FOR SPECIES. PLANTS PLANTED IN ROWS OR GROUPS SHALL BE MATCHED IN FORM. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. PLANTS SHALL NOT BE ROOT-BOUND OR LOOSE IN THEIR CONTAINERS. HANDLE ALL PLANTS WITH CARE IN TRANSPORTING, PLANTING AND MAINTENANCE UNTIL INSPECTION AND FINAL ACCEPTANCE. FIELD COLLECTED, PARK GRADE, OR BARE ROOT MATERIAL SHALL NOT BE USED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- ALL PLANTING BED EDGES TO BE SHOVEL CUT.
- CONTRACTOR SHALL USE CAUTION WHEN DIGGING TREE PITS IN THE VICINITY OF UNDERGROUND UTILITY LINES AND MAY NEED TO HAND DIG THE PITS IN MANY OF THESE INSTANCES.
- ALL AREAS DESIGNED TO RECEIVE SOLID SOD SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO GRASSING OPERATIONS. FINISH GRADE AT TURF AREAS SHALL BE 3/4"-1" BELOW TOP OF ADJACENT PAVEMENT OR CURBS.
- CONTRACTOR SHALL FIELD ADJUST PLANT LOCATIONS TO ACCOMMODATE ALL LIGHTING AND ENSURE PLANTS WILL NOT INTERFERE WITH LIGHTING.
- FERTILIZING, AS SPECIFIED, STAKING, WATERING AND TWO (2) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
- MUSHROOM COMPOST SHALL BE FINELY SCREENED, HOMOGENOUS, DECOMPOSED ORGANIC MATERIAL SUITABLE FOR HORTICULTURAL USE AS AVAILABLE FROM MIDWEST TRADING HORTICULTURAL SUPPLIES, INC. ST. CHARLES, IL 60174 (630) 365-1990 OR APPROVED EQUAL. MIX THOROUGHLY IN PLANT BED BEFORE INSTALLING PLANTS.
- WARRANTY: TWO (2) YEAR REPLACEMENT WARRANTY FOR ALL PLANT MATERIALS SHALL BE CONSIDERED INCIDENTAL TO THIS PROJECT. WARRANTY SHALL COVER PLANTS WHICH HAVE DIED OR PARTIALLY DIED (THEREBY RUINING THEIR NATURAL SHAPE), BUT SHALL NOT INCLUDE DAMAGE BY VANDALISM, BROWSING, HAIL, ABNORMAL FREEZES, DROUGHT OR NEGLIGENCE BY THE OWNER. THE WARRANTY IS INTENDED TO COVER CONTRACTOR NEGLIGENCE, INFESTATIONS, DISEASE AND DAMAGE OR SHOCK TO PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND WATERING THE PLANT MATERIAL AS NECESSARY, TO ENSURE GROWTH AND ESTABLISHMENT DURING THE 2-YEAR WARRANTY PERIOD. ANY PLANTS THAT ARE NOT IN A LIVE, HEALTHY, GROWING CONDITION AT THE END OF THE 1-YEAR WARRANTY PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. PLANTS REPLACED UNDER WARRANTY WILL BE WARRANTED FOR TWO (2) YEAR FOLLOWING REPLACEMENT.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE BRADLEY HEIGHTS METROPOLITAN DISTRICT.
- ALL STREET TREES AND STREETScape IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE BRADLEY HEIGHTS METROPOLITAN DISTRICT.
- ALL TREES, SHRUBS, PERENNIALS AND GRASSES ARE TO BE DRIP IRRIGATED. TURF SOD SHALL BE IRRIGATED BY POP UP OR ROTARY SYSTEMS. NATIVE SEEDING WILL BE DETERMINED ON THE FINAL LANDSCAPE PLAN.
- A FINAL LANDSCAPE AND IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF BUILDING PERMIT.



PLANT LIST

KEY	HEIGHT	WIDTH	SIZE	COND
DECIDUOUS TREES				
AG	30'	30'	2"	B&B
CO	45'	45'	2"	B&B
GT	40'	30'	2"	B&B
TA	50'	40'	2"	B&B
UF	40'	30'	2"	B&B
EVERGREEN TREES				
PF	25'	15'	6'	B&B
PN	50'	25'	8'	B&B
PP	30'	12'	6'	B&B
ORNAMENTAL TREES				
MP	20'	20'	1-1/2"	B&B
PM	25'	20'	1-1/2"	B&B
RP	40'	30'	1-1/2"	B&B
SHRUBS				
BT	2'	3'	5 GAL	CONT
CS	5'	6'	5 GAL	CONT
EA	5'	5'	5 GAL	CONT
JH	1'	8'	5 GAL	CONT
RS	4'	4'	5 GAL	CONT
PC	6'	6'	5 GAL	CONT
SJ	4'	4'	5 GAL	CONT
SM	5'	5'	5 GAL	CONT
GRASSES				
CA	5'	2'	1 GAL	CONT
HS	2'	1.5'	1 GAL	CONT
PV	4'	1.5'	1 GAL	CONT
PERENNIALS				
AA	1'	1.5'	1 GAL	CONT
HD	1'	1'	1 GAL	CONT
LS	2.5'	2'	1 GAL	CONT
PB	3'	1.5'	1 GAL	CONT
SS	1.5'	1.5'	1 GAL	CONT
SA	2'	1.5'	1 GAL	CONT

LANDSCAPE REQUIREMENTS

INTERNAL LANDSCAPING

*NOTE: STREET TREES ARE ONLY REQUIRED ALONG INTERNAL OPEN SPACE ADJACENT TO AN INTERNAL R.O.W. AND ENTRANCE DRIVES WITHOUT LOT ACCESS. THIS INCLUDES PARKS, DRAINAGE CORRIDORS, TRAIL CONNECTIONS AND ENTRANCE DRIVES.

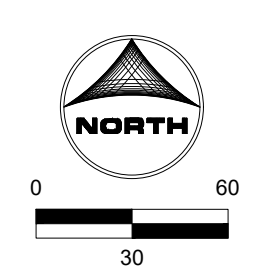
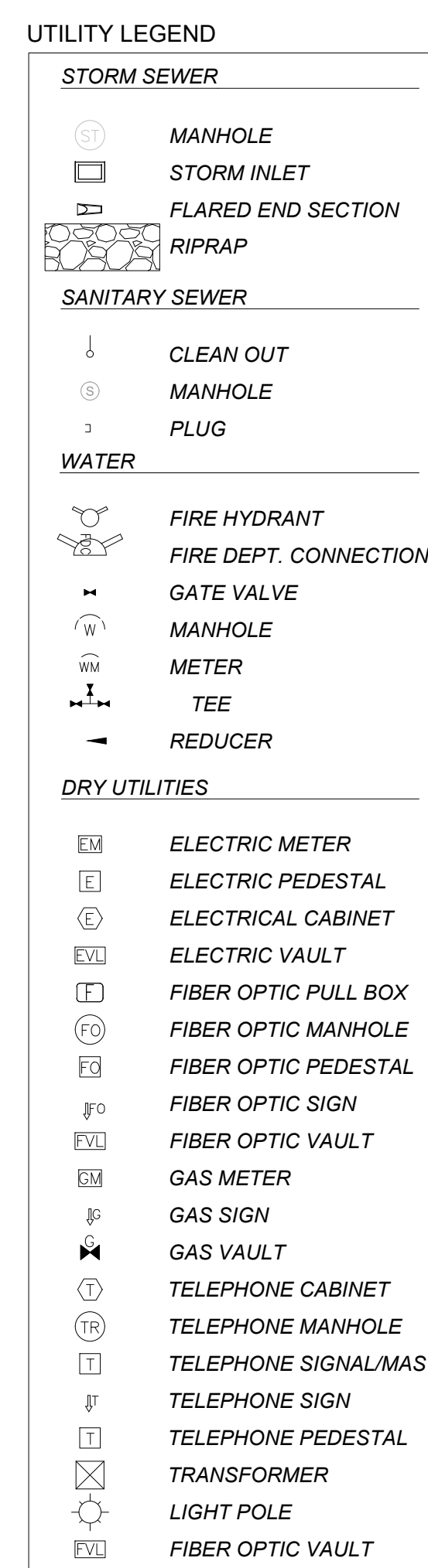
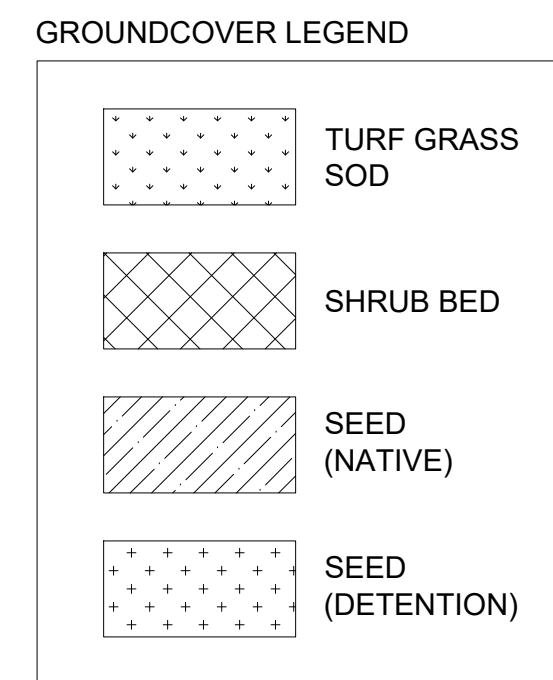
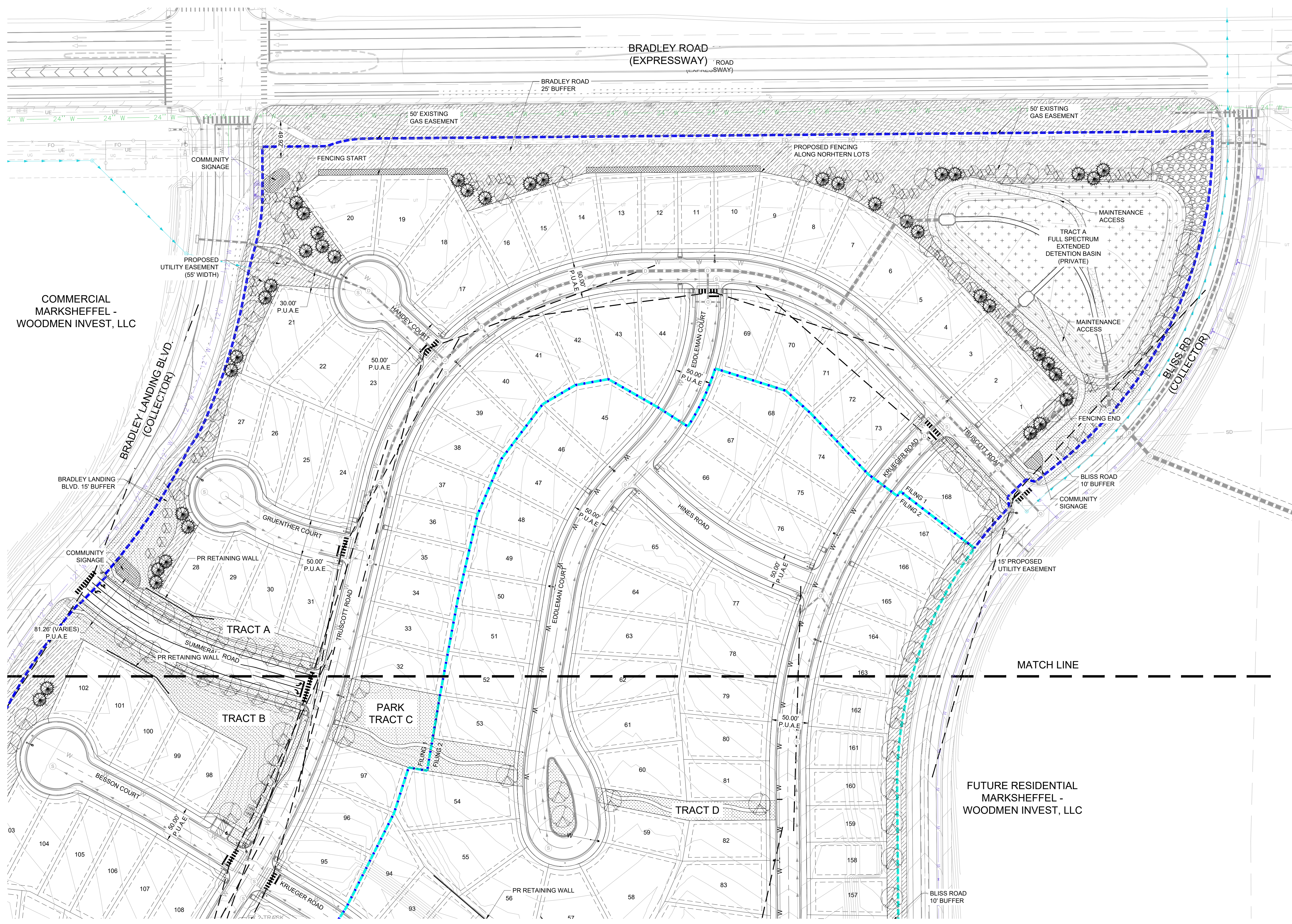
LINEAR FOOTAGE OF INTERNAL OPEN SPACE TRACTS	ROAD CLASSIFICATION	ROADWAY TREES PER LINEAR FOOT	ROADWAY TREES REQUIRED/PROVIDED
1,076	LOCAL RESIDENTIAL (PUBLIC)	1 TREE / 30 FT	36 / 36

LANDSCAPE BUFFER/SCREENING

STREET NAME OR PROPERTY LINE	ROAD CLASSIFICATION	BUFFER WIDTH REQUIRED	LINEAR FOOTAGE	BUFFER TREES PER LINEAR FOOT	BUFFER TREES REQUIRED/PROVIDED	SHRUB SUBSTITUTIONS REQUIRED/PROVIDED
BRADLEY LANDING BLVD.	MINOR ARTERIAL	20	1786'	1 TREE / 25 FT	72 / 72	- / -
BRADLEY RD.	EXPRESSWAY	25	1320'	1 TREE / 20 FT	66 / 66	- / -
BLISS RD.	MAJOR COLLECTOR	10	1683'	1 TREE / 30 FT	57 / 50	70 / TBD
SOUTH PROPERTY LINE	N/A	N/A	1327'	1 TREE / 30 FT	45 / 45	- / -

HUHN, KEN, 11/12/2022 9:45 AM

HR GREEN Xref: xref-1-sarcon.dwg; xref-2-dgn; xref-3-dgn; xref-4-dgn; xref-5-dgn; xref-6-dgn; xref-7-dgn; xref-8-dgn; xref-9-dgn; xref-10-dgn; xref-11-dgn; xref-12-dgn; xref-13-dgn; xref-14-dgn; xref-15-dgn; xref-16-dgn; xref-17-dgn; xref-18-dgn; xref-19-dgn; xref-20-dgn; xref-21-dgn; xref-22-dgn; xref-23-dgn; xref-24-dgn; xref-25-dgn; xref-26-dgn; xref-27-dgn; xref-28-dgn; xref-29-dgn; xref-30-dgn; xref-31-dgn; xref-32-dgn; xref-33-dgn; xref-34-dgn; xref-35-dgn; xref-36-dgn; xref-37-dgn; xref-38-dgn; xref-39-dgn; xref-40-dgn; xref-41-dgn; xref-42-dgn; xref-43-dgn; xref-44-dgn; xref-45-dgn; xref-46-dgn; xref-47-dgn; xref-48-dgn; xref-49-dgn; xref-50-dgn; xref-51-dgn; xref-52-dgn; xref-53-dgn; xref-54-dgn; xref-55-dgn; xref-56-dgn; xref-57-dgn; xref-58-dgn; xref-59-dgn; xref-60-dgn; xref-61-dgn; xref-62-dgn; xref-63-dgn; xref-64-dgn; xref-65-dgn; xref-66-dgn; xref-67-dgn; xref-68-dgn; xref-69-dgn; xref-70-dgn; xref-71-dgn; xref-72-dgn; xref-73-dgn; xref-74-dgn; xref-75-dgn; xref-76-dgn; 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LAND USE REVIEW FILE NO: CPC PUD 21-00206

PRELIMINARY
NOT FOR CONSTRUCTION

DRAWN BY: JAG JOB DATE: 1/12/2022
 APPROVED: DLR JOB NUMBER: 201134
 CAD DATE: 1/12/2022
 CAD FILE: J:\2020\201134\CAD\DWG\CSDPLandscape_Plan

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

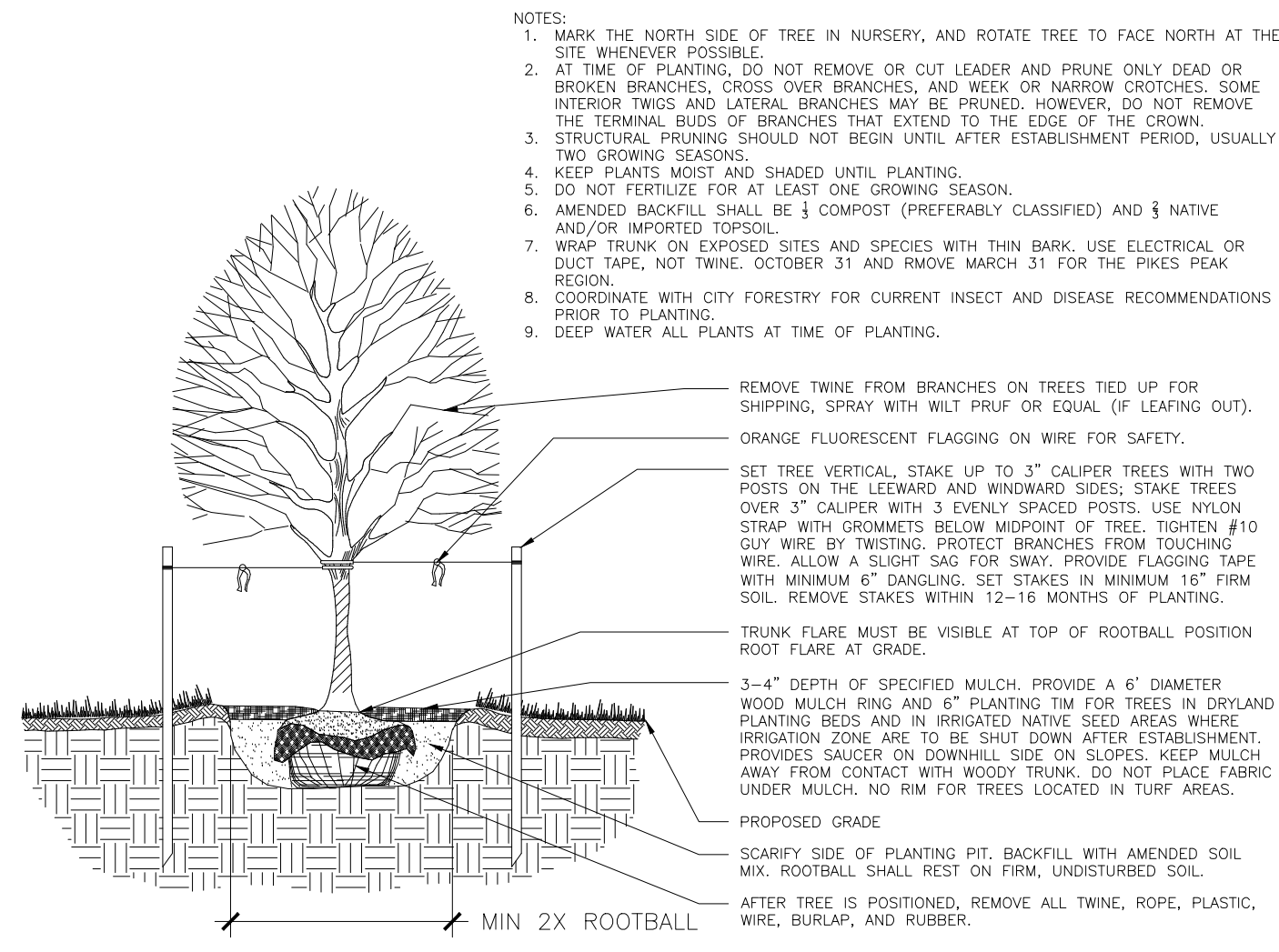
HRGreen
 HR GREEN - COLORADO SPRINGS
 7222 COMMERCE CENTER DR. SUITE 220
 COLORADO SPRINGS CO 80919
 PHONE: 719.622.6222
 FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2
 CHALLENGER HOMES
 COLORADO SPRINGS, COLORADO

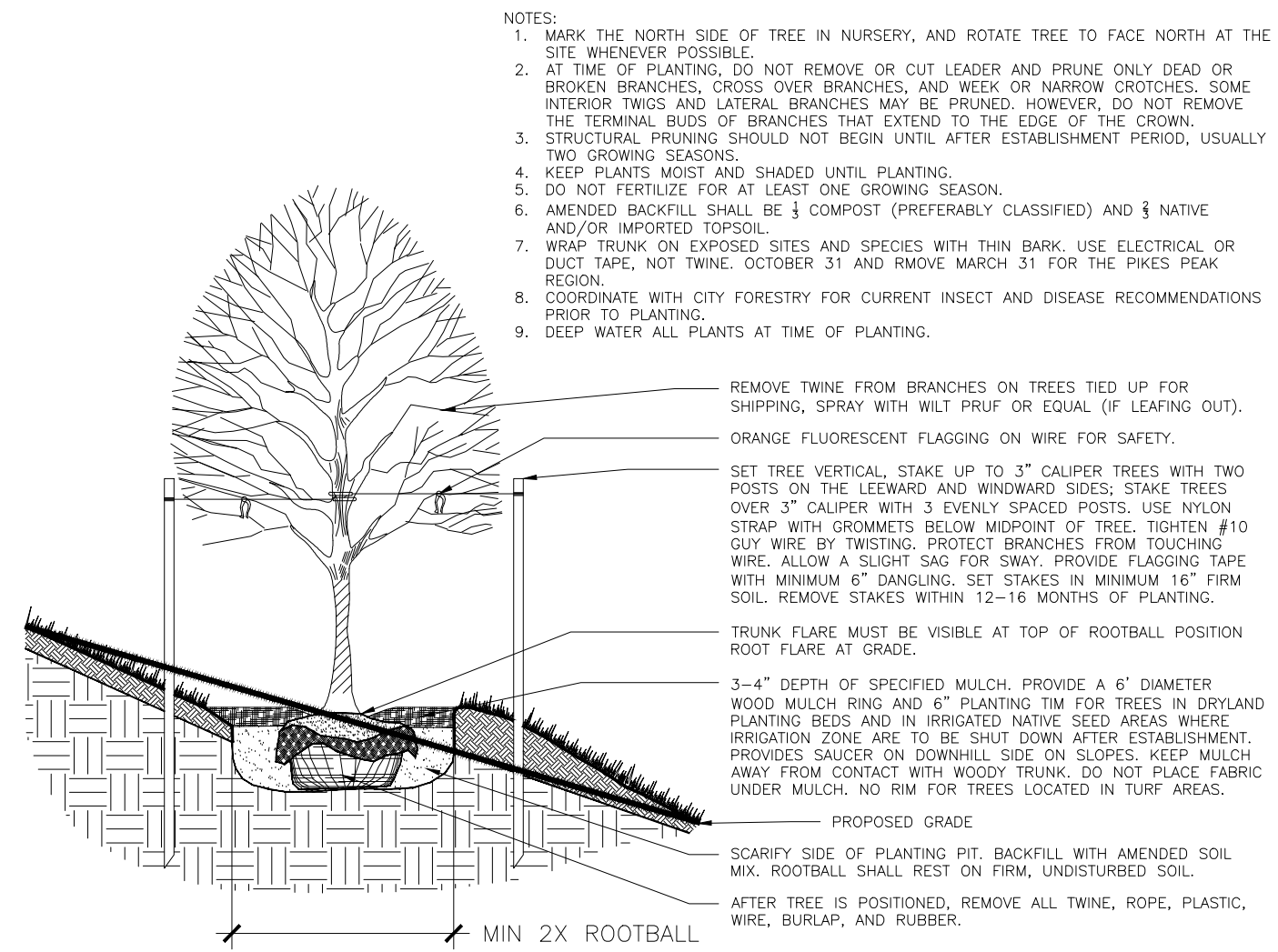
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PRELIMINARY LANDSCAPE PLAN
 LANDSCAPE NORTH

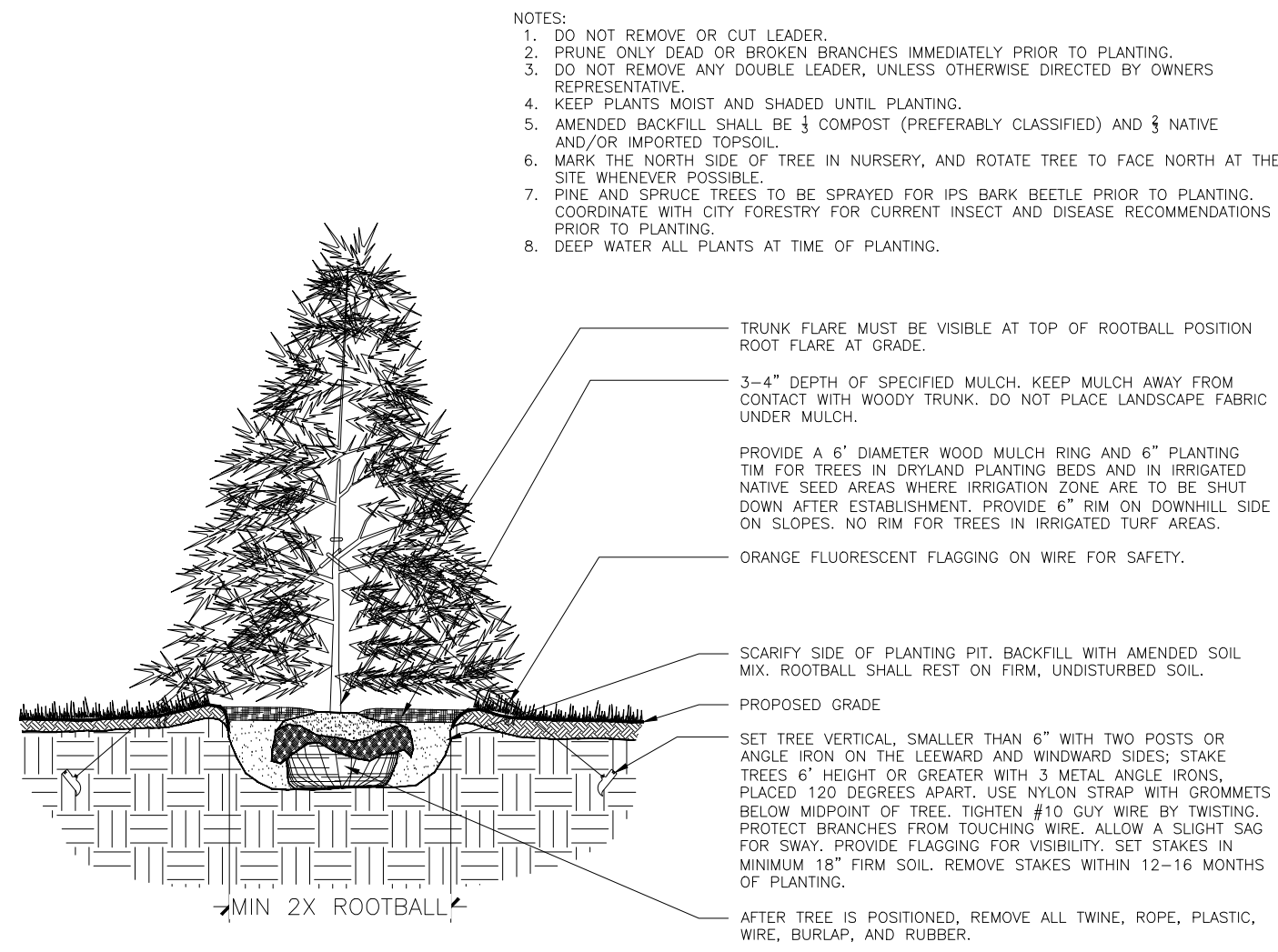
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L1.2 11



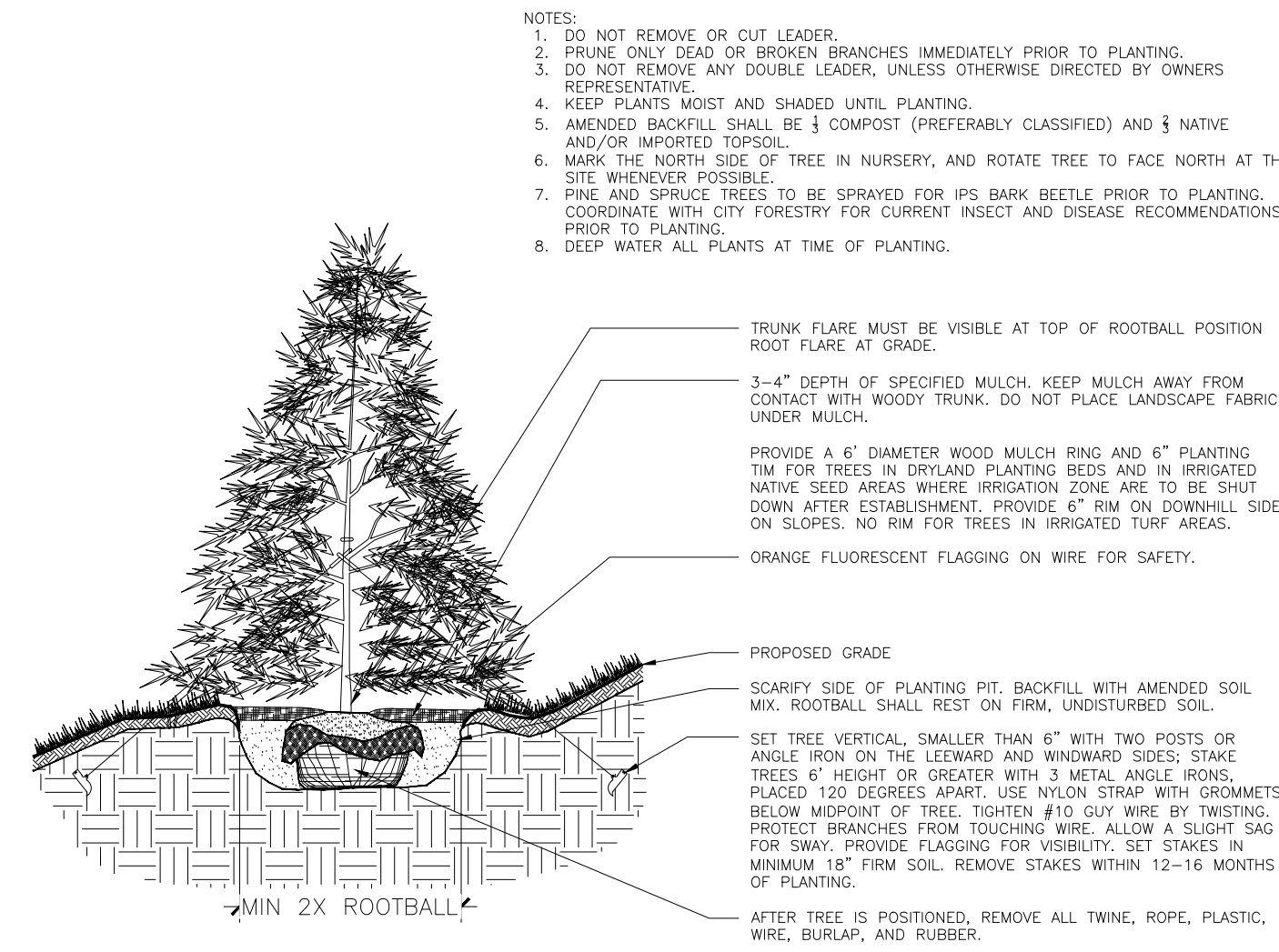
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SCALE: NTS



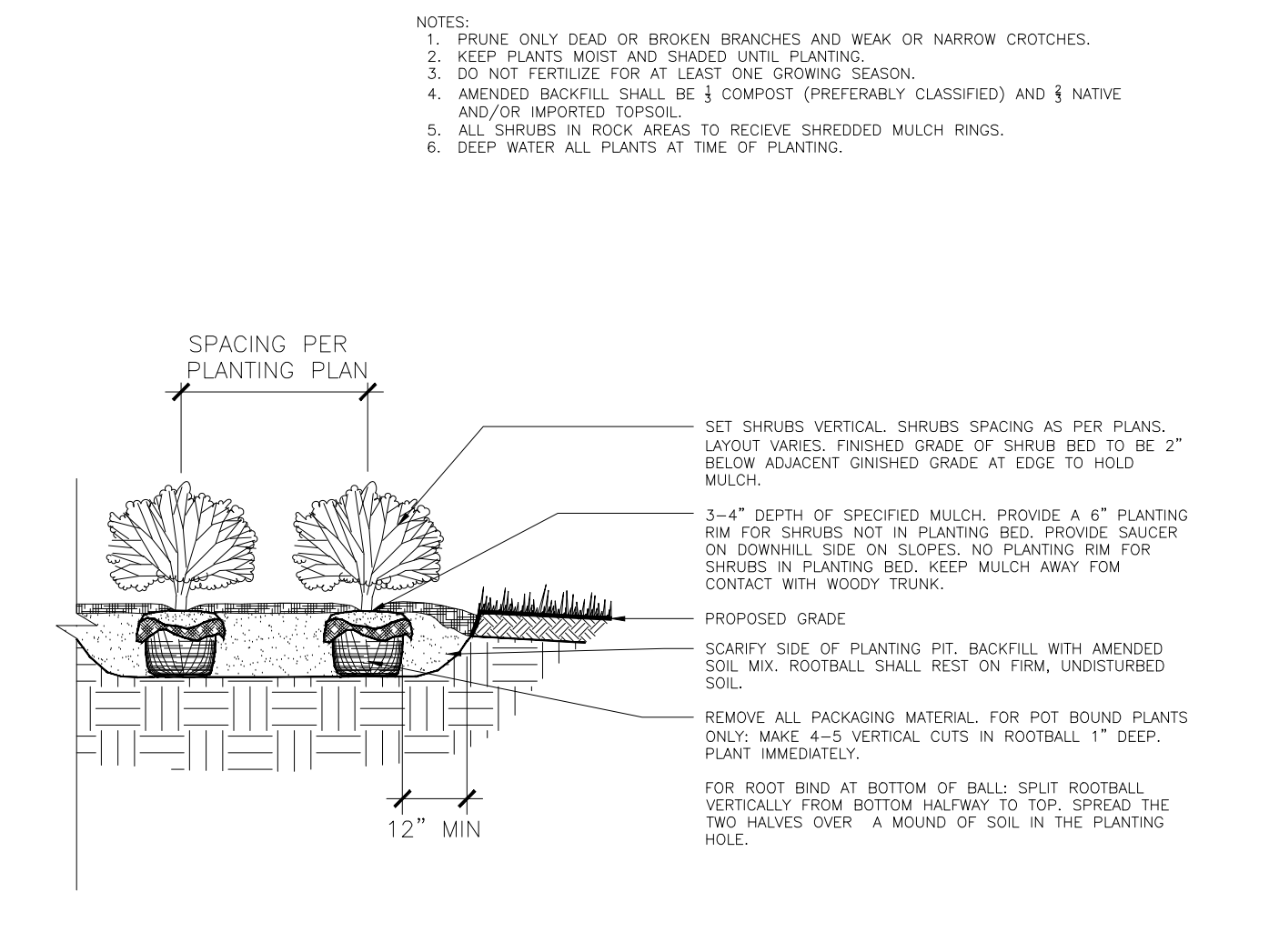
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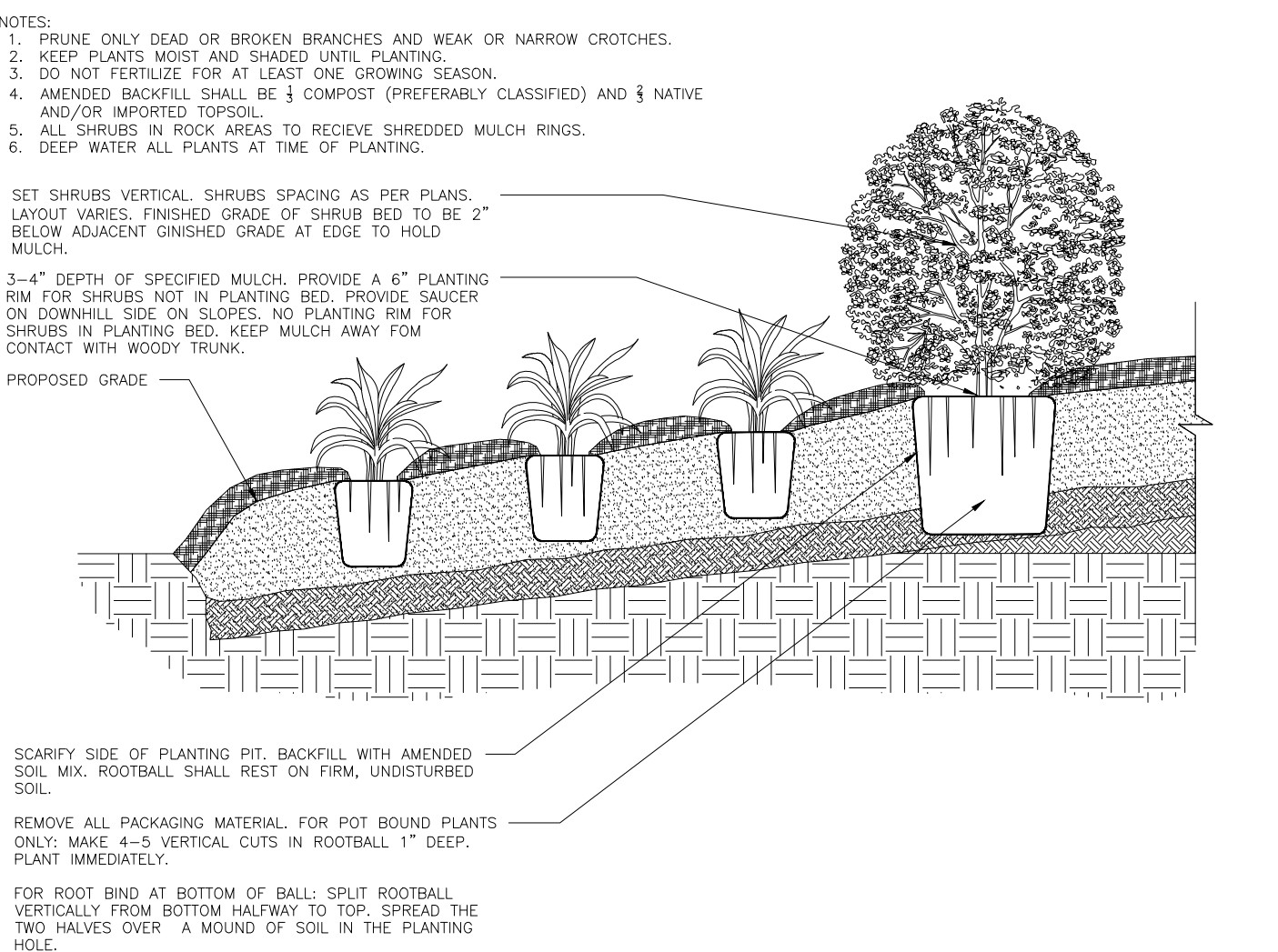
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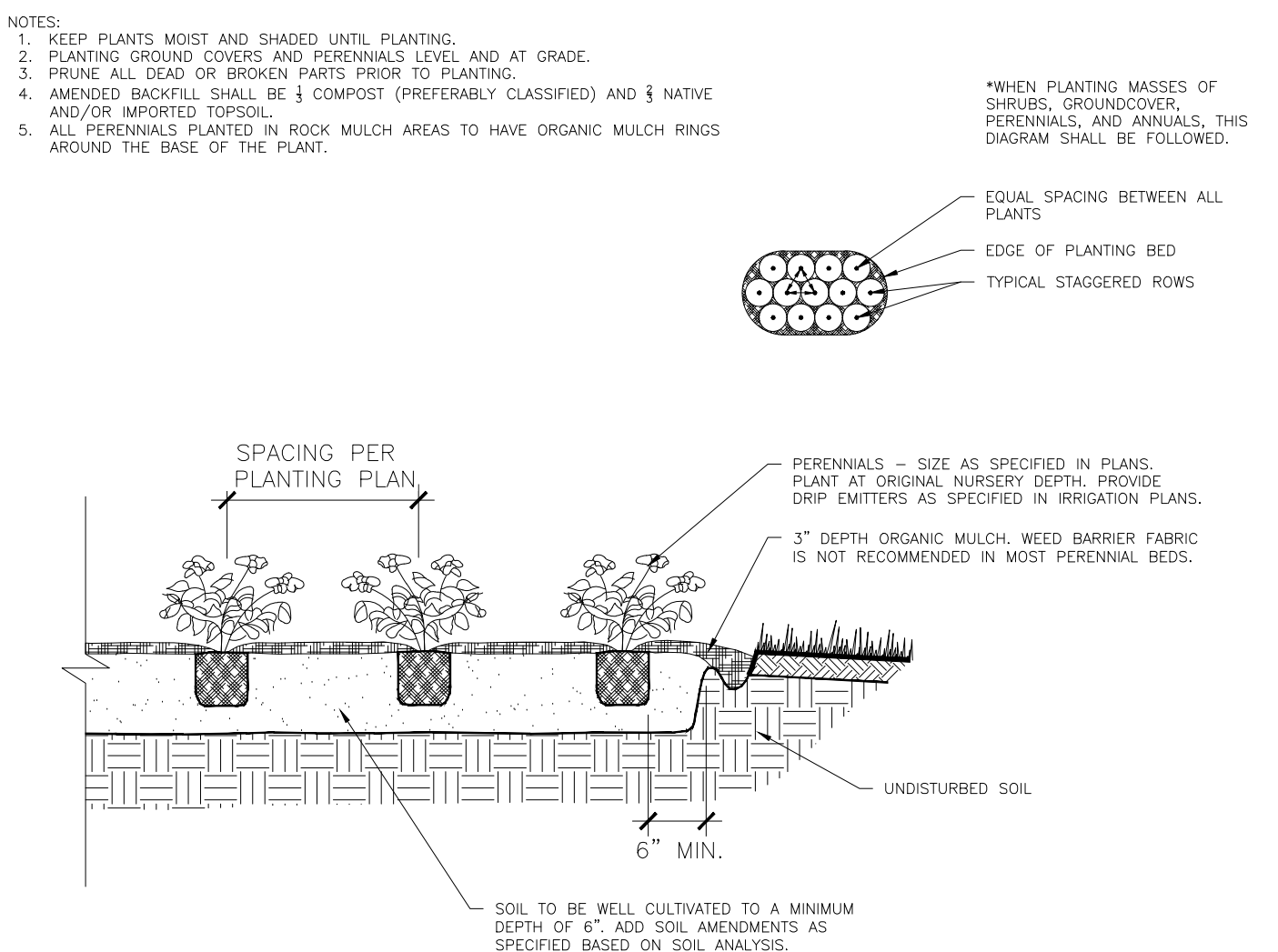
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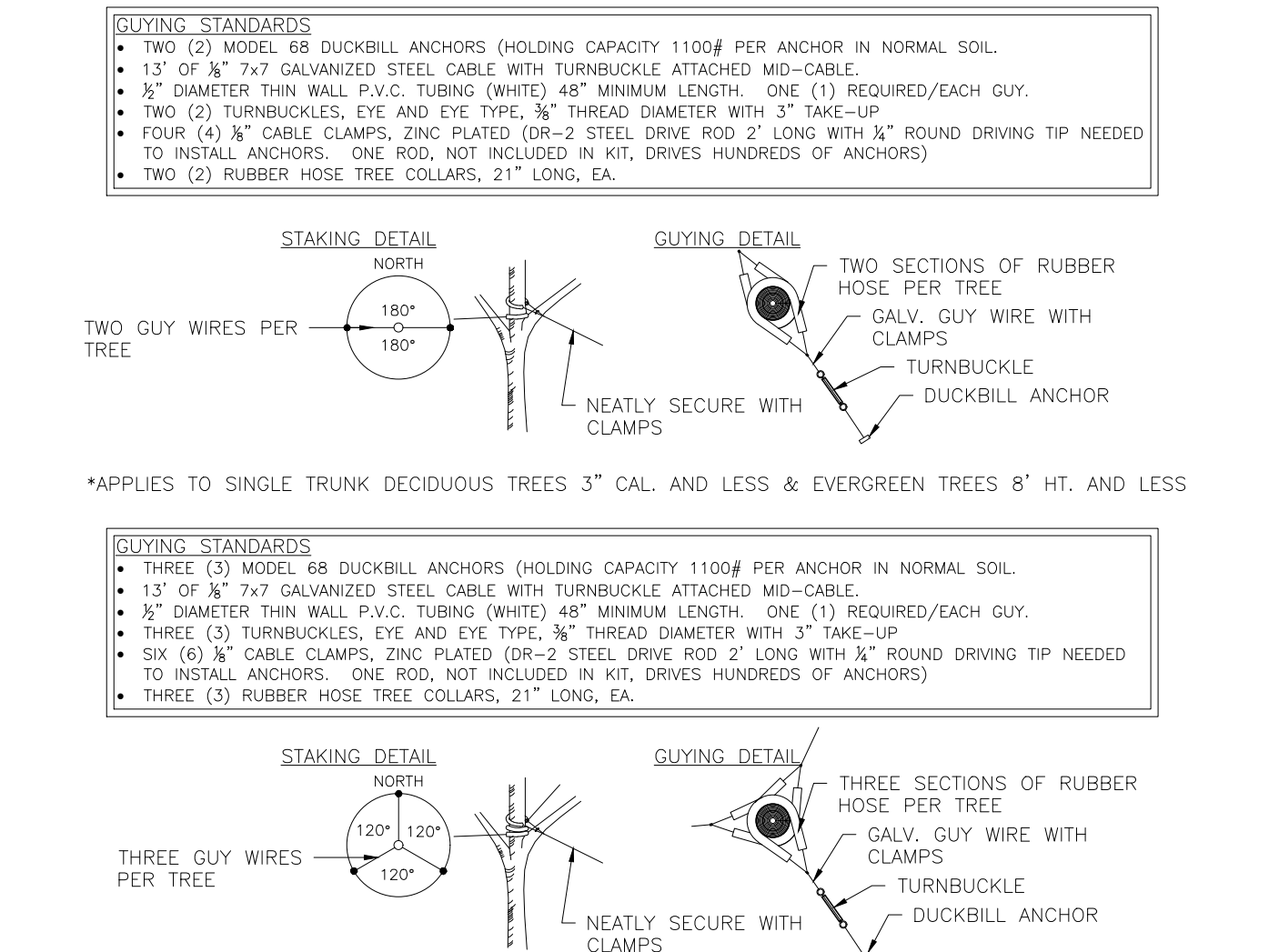
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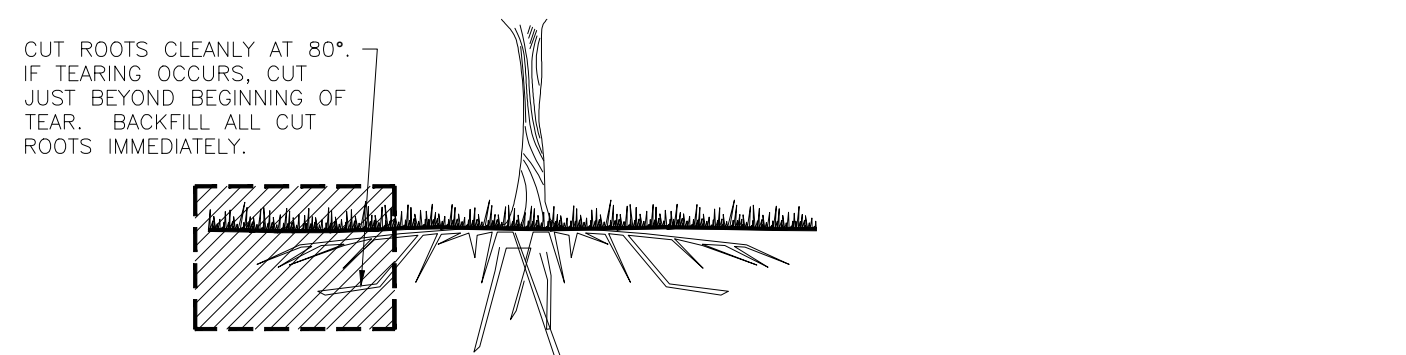
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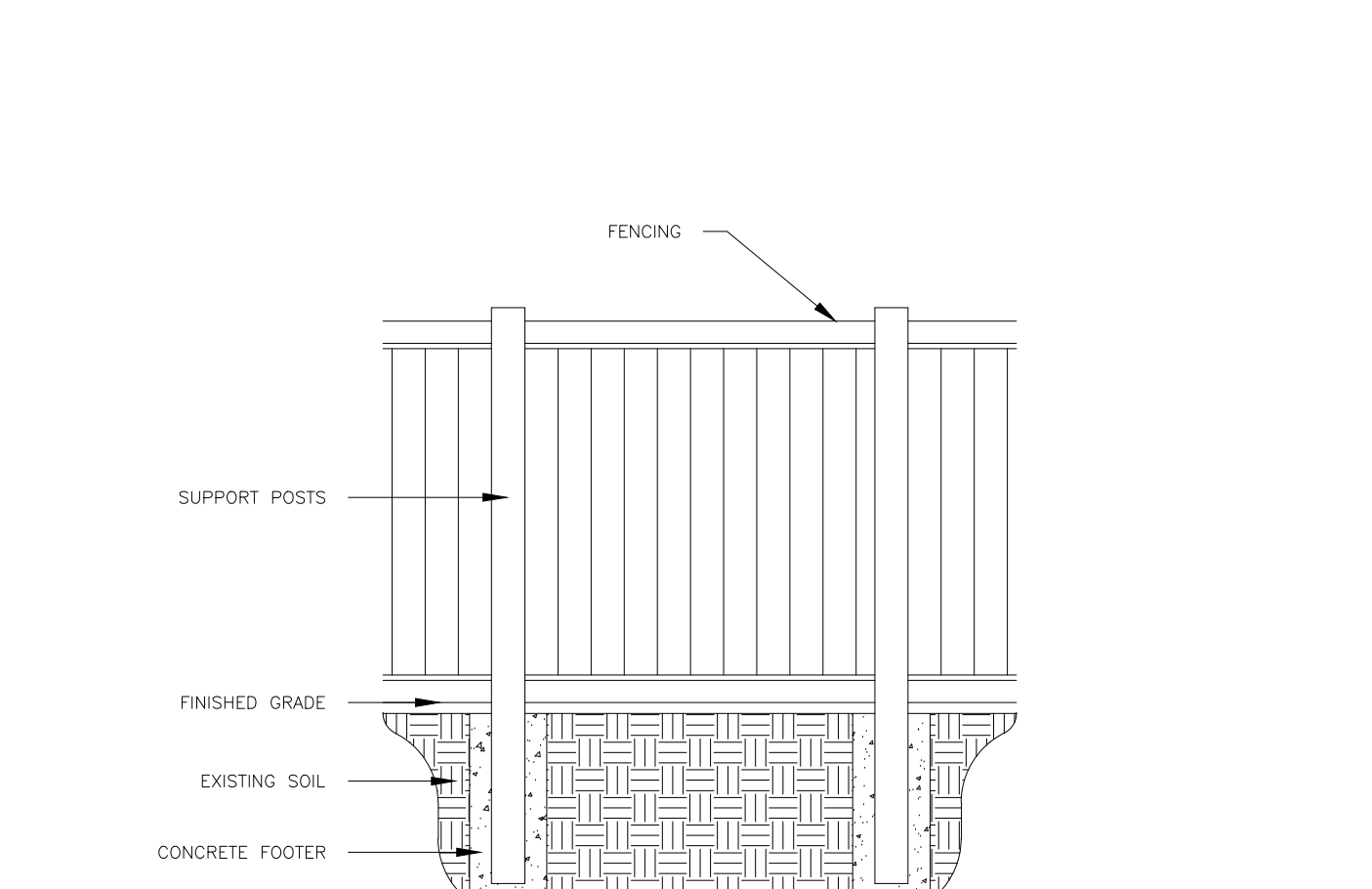
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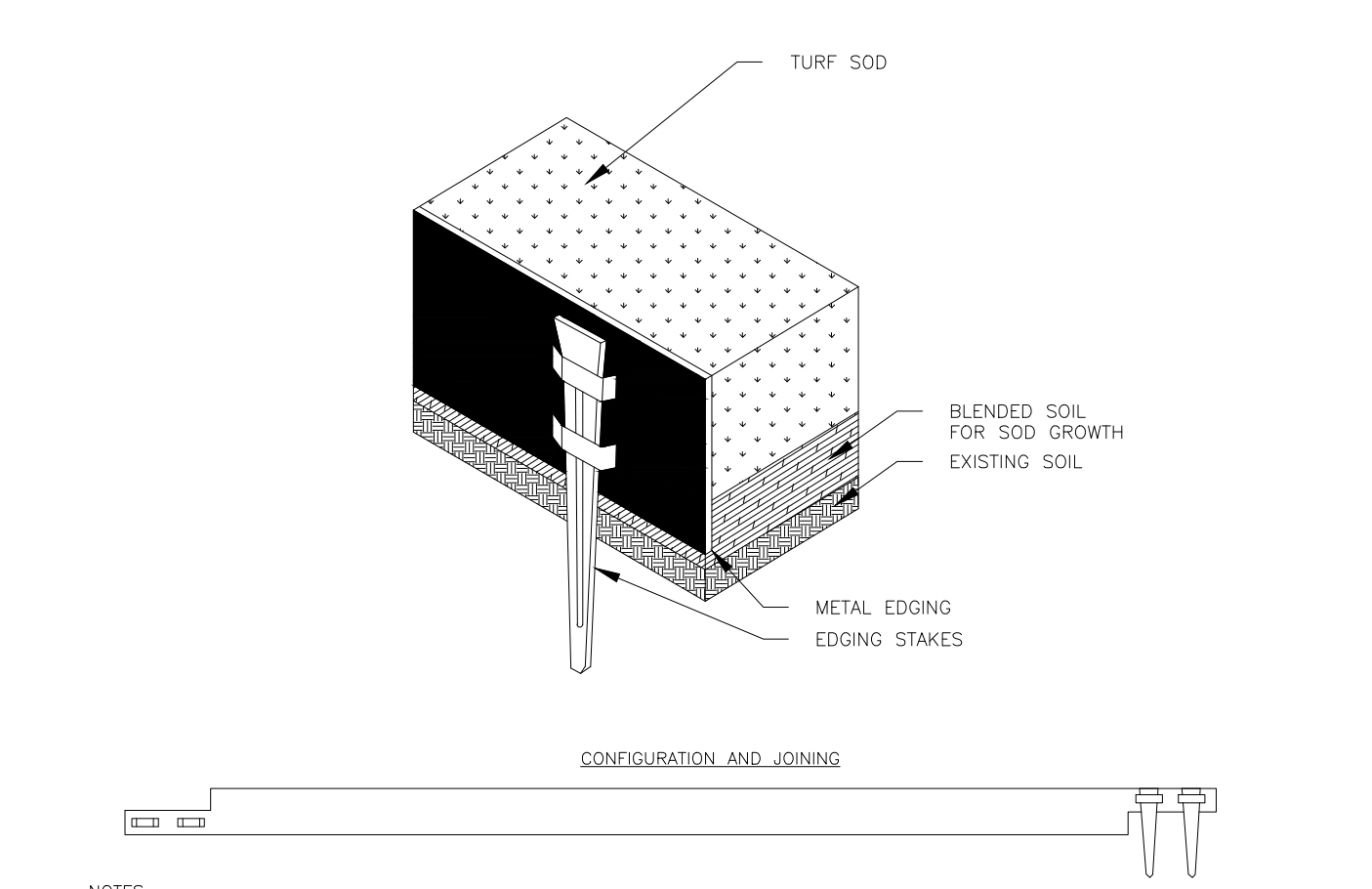
8 TYP. STAKING/GUYING DETAIL
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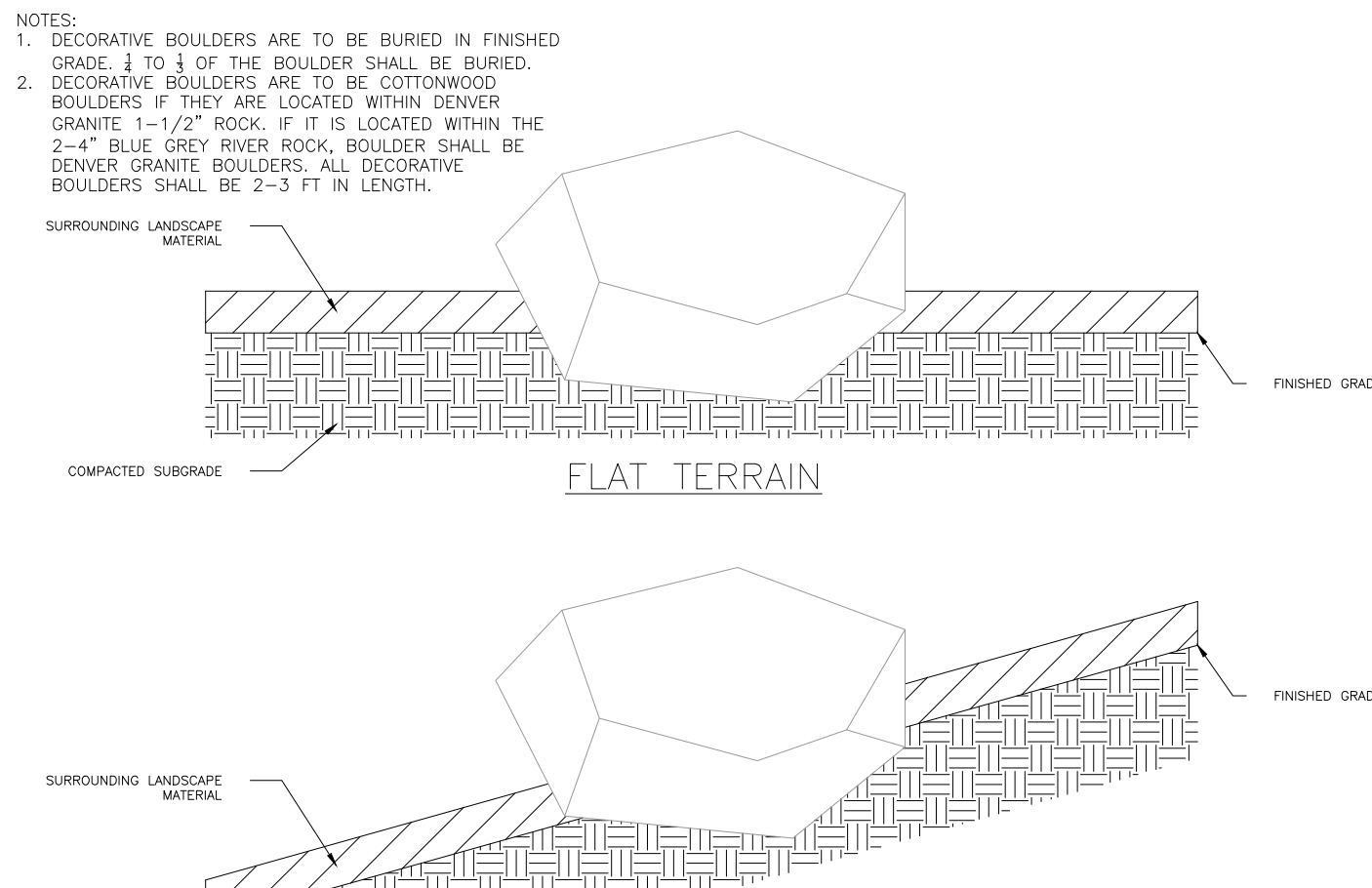
9 TYP. ROOT PRUNING DETAIL
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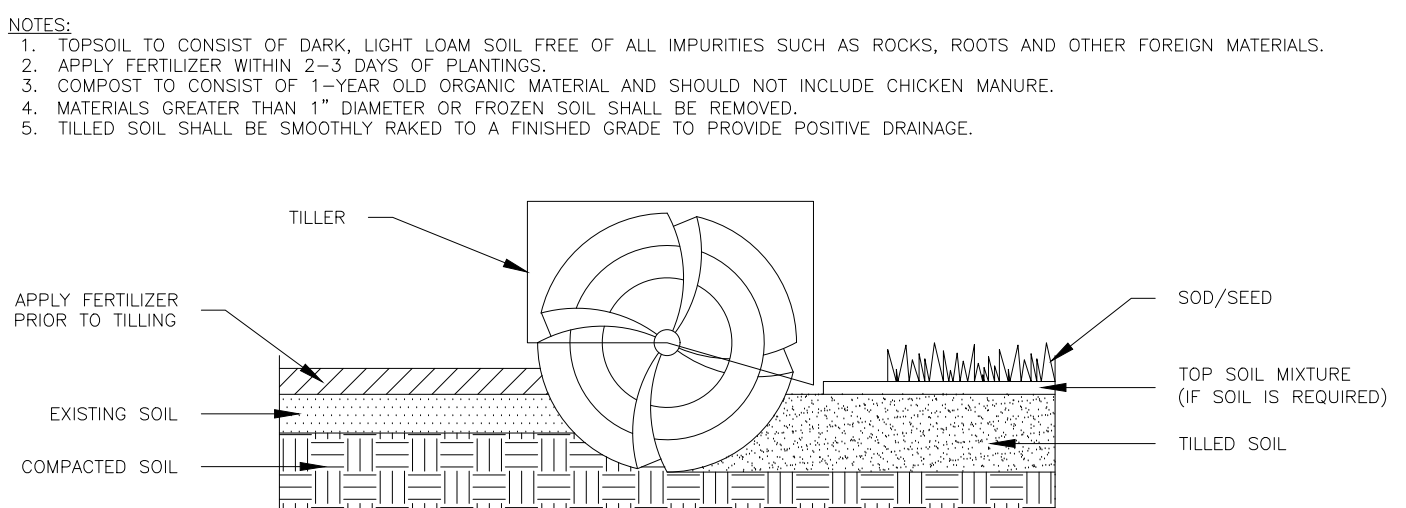
10 TYP. 5' - 6' FENCING DETAIL
SCALE: NTS



11 TYP. METAL EDGING DETAIL
SCALE: NTS



12 TYP. DECORATIVE BOULDER IN TERRAIN
SCALE: NTS



13 TYP. SOIL PREPARATION (ALL AREAS)
SCALE: NTS

14 TYP. 5' - 6' FENCING DETAIL
SCALE: NTS

15 TYP. METAL EDGING DETAIL
SCALE: NTS

16 TYP. DECORATIVE BOULDER IN TERRAIN
SCALE: NTS

DRAWN BY: JAG	JOB DATE: 1/12/2022	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: DLR	JOB NUMBER: 201134	0" = 1"
CAD DATE: 1/12/2022		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201134\CAD\DWG\CISDPLandscape_Plan		

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen

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7222 COMMERCE CENTER DR. SUITE 220
COLORADO SPRINGS CO 80919
PHONE: 719.622.6222
FAX: 844.273.1057

BRADLEY HEIGHTS F1 & F2

CHALLENGER HOMES
COLORADO SPRINGS, COLORADO

CHALLENGER HOMES

PRELIMINARY LANDSCAPE PLAN
LANDSCAPE DETAILS

LAND USE REVIEW FILE NO: CPC PUD 21-00206

SHEET
L1.4
13