

SITE LEGEND

	PROPOSED BUILDING FOOTPRINT		NEW 4" THICK CONCRETE SLAB W/ 4x4 WWF PROVIDE CONTROL JOINTS AS SHOWN, PROVIDE BROOM FINISH		SETBACK / EASEMENT LINE		T - TELEPHONE LINE
	EXISTING BUILDING FOOTPRINT		NEW ASPHALT PAVING		PROPERTY LINE		E - UNDERGROUND ELECTRICAL LINE
			AREA OF LANDSCAPING		7h WROUGHT IRON FENCE		FO - FIBER OPTIC LINE
					7h CHAIN LINK FENCE W/ PRIVACY SLATS AND SECURITY BARBED WIRE		W - WATER LINE
					ACCESSIBLE ROUTE		G - GAS LINE
							S - SANITARY LINE

SITE NOTES

- | | | | |
|-----------------------------------|---|----------------------------------|---|
| 1 (E) CURB AND GUTTER TO REMAIN | 5 'VAND-OFF' PAVILION AND MONUMENT SIGN; RE: SIGN PLAN | 8 NEW CURB AND GUTTER; RE: CIVIL | 12 GABION BASKET / STEEL PATIO RAIL |
| 2 (E) SIDEWALK TO REMAIN | 6 PRE-MANUFACTURED CARPORT | 9 NEW CONCRETE SIDEWALK | 13 COLUMN |
| 3 (E) STAIR AND RAILING TO REMAIN | 7 RESURFACE (E) ASPHALT W/ MILLING AND 2" ASPHALT OVERLAY | 10 MONUMENT SIGN; RE: SIGN PLAN | 14 NEW WROUGHT IRON, TELESCOPIC SLIDING VEHICLE ACCESS GATE W/ KNOX BOX |
| 4 (E) UTILITIES TO REMAIN | | 11 CONCRETE PATIO | 15 DOG RUN |
| | | | 16 PERMEABLE SURFACE PICNIC AREA |
| | | | 17 NEW WROUGHT IRON, DOUBLE SLIDING VEHICLE ACCESS GATE W/ KNOX BOX |

SITE PLAN NOTES

- SIGNAGE IS NOT APPROVED WITH THIS CONCEPT/DEVELOPMENT PLAN. SIGNAGE DESIGN IS TBD AND WILL BE SUBMITTED IN FUTURE SEPARATE SUBMITTAL.
- FLOOD LIGHTING IS PROHIBITED.
- ALL LIGHTING SHALL BE ARRANGED TO REFLECT AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAYS AND SHALL BE SHIELDED TO CONTAIN ALL DIRECT RAYS ON SITE. ALL LIGHTING FIXTURES SHALL BE FULL SHIELD CUT-OFF.

TRAFFIC IMPACT NOTE

- THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 24-377), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

PROJECT DATA

PROJECT SUMMARY: OFFICE AND LIGHT MANUFACTURING RENOVATION
PROJECT ADDRESS: 1570 PAONIA ST, COLORADO SPRINGS, CO 80915
TSN: 5406304016
LEGAL DESCRIPTION: LOT 3 POWERS PLAZA
COUNTY ZONING: I-2 CAD-O
PROJECT TYPE: COMMERCIAL RENOVATION

BUILDING/SITE DATA

TOTAL SITE AREA: 1.78 ACRES
(F) BUILDING FOOTPRINT: 24,233 S.F.
GROSS BUILDING AREA: 24,338 S.F.
OF STORIES: 1 (+ MEZZANINE)
EXISTING LOT COVERAGE: 32%
PROPOSED LOT COVERAGE: 45%
ACTUAL BUILDING HEIGHT: 20' - 0"

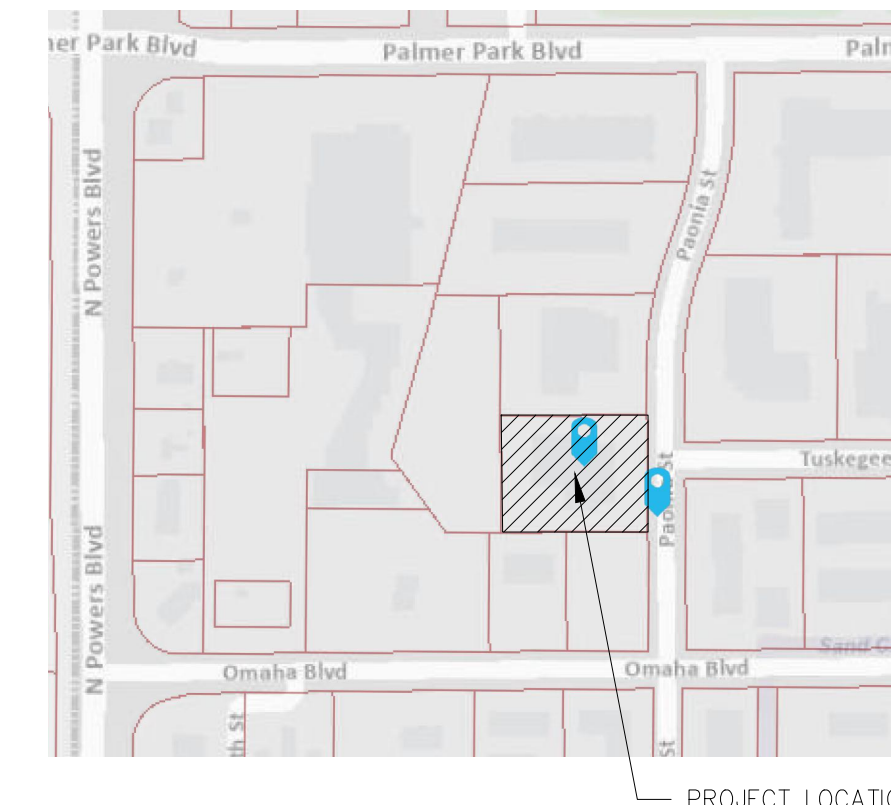
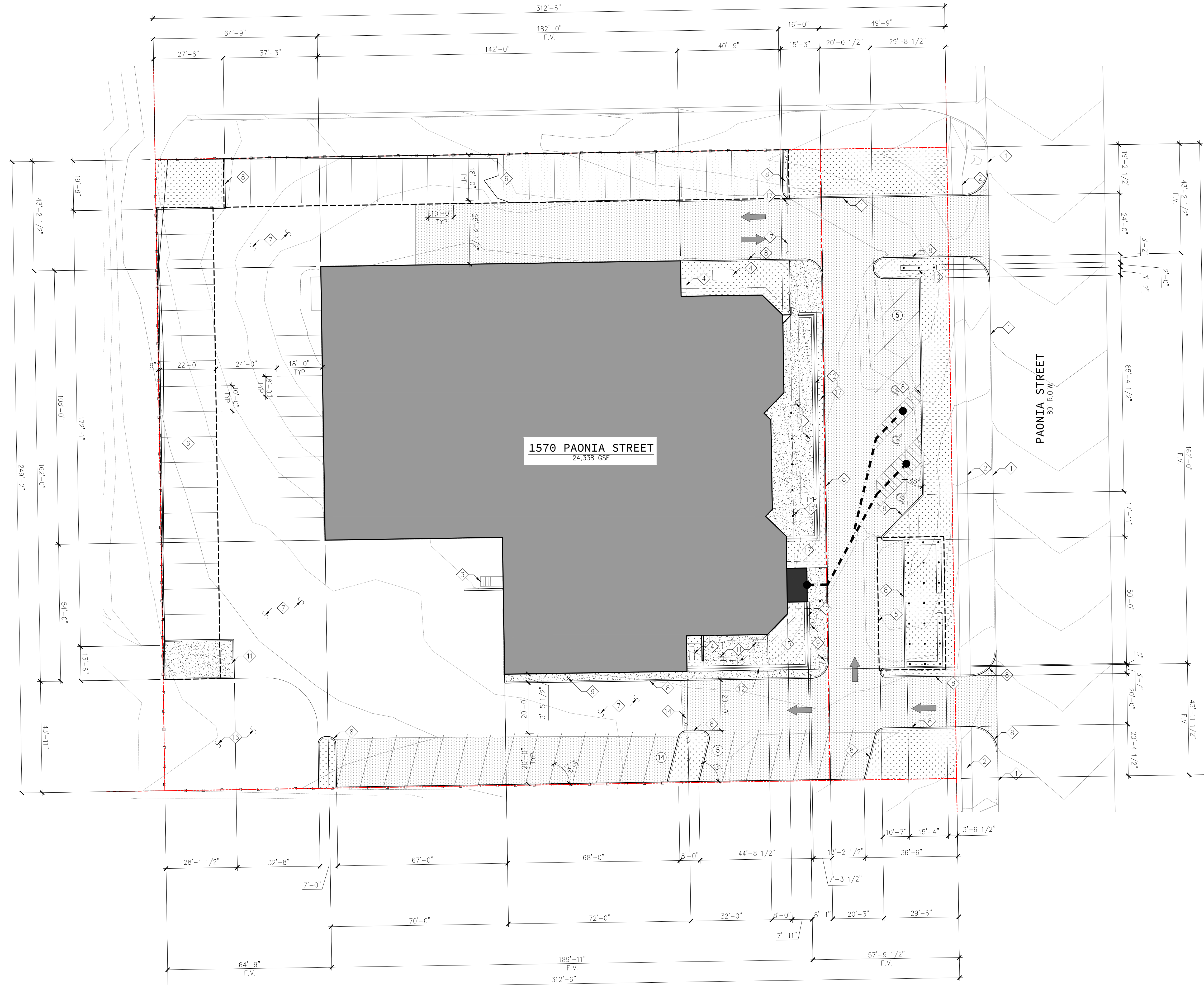
CONTACTS

OWNER: WAYFARER VANS
 2708 GUNNISON ST
 COLORADO SPRINGS, CO 80909
CONTACT: IAN HORGAN
 p. 719.417.8267
 e. cvo@wayfarervans.com

APPLICANT / ARCHITECT: ECHO ARCHITECTURE
 2752 WEST COLORADO AVE
 COLORADO SPRINGS, CO 80904
CONTACT: SCOTT SCHUSTER
 p. 719.387.7836
 e. scott@echo-arch.com

LANDSCAPE: URBAN LANDSCAPE
 2752 W. COLORADO AVE.
 COLORADO SPRINGS, CO 80904
CONTACT: JOHN OLSON
 p. 719.231.3959
 e. john@urbanlandscapes.design

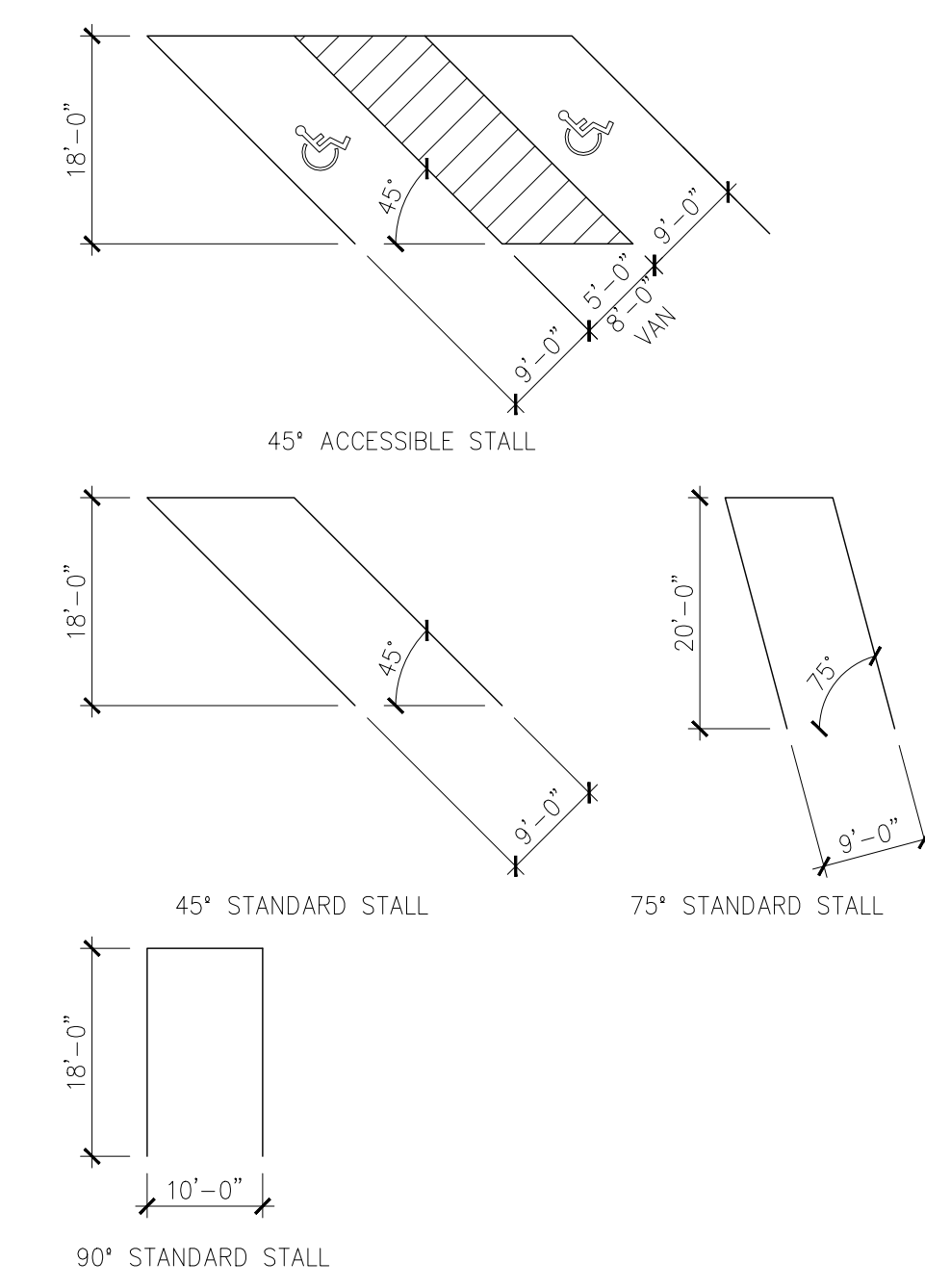
CIVIL: 3 ROCKS ENGINEERING
 6 SOUTH TEJON STREET #614
 COLORADO SPRINGS, CO 80903
CONTACT: GRAHAM FRANK
 p. 719.430.5333
 e. jgraham@3rockseengineering.com



VICINITY MAP

N.T.S.

TYP. PARKING DIMENSIONS



PARKING CALCULATION

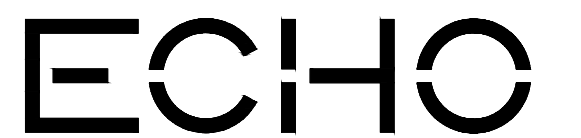
	REQUIRED PER COUNTY CODE	SQUARE FOOTAGE	SUBTOTAL
PROFESSIONAL OFFICE	1 SPACES PER 200 SQUARE FEET	7,225 S.F.	37
INDUSTRIAL USE	1 SPACE PER 750 SQUARE FEET	17,007 S.F.	23
TOTAL REQUIRED			60
TOTAL PROVIDED			65

SHEET INDEX

- GENERAL**
- A1.0 SITE DEVELOPMENT PLAN
 - A2.1 BUILDING FLOOR PLAN
 - AS.1 SIGN PLAN: 'VAND-OFF' PAVILION PLANS
 - AS.2 SIGN PLAN: ELEVATIONS
- SP0.1 SITE PHOTOMETRIC PLAN**
SP0.2 LIGHTING SCHEDULE
SP0.3 LIGHTING SCHEDULE
- LANDSCAPE**
- LA-1 LANDSCAPE PLAN
- CIVIL**
- C1 COVER
 - C2 GENERAL NOTES
 - C3 EXISTING CONDITIONS AND DEMOLITION PLAN
 - C4 SITE PLAN
 - C5 HORIZONTAL CONTROL & PAVING PLAN
 - C6 OVERALL GRADING PLAN
 - C7 DETAILED GRADING PLAN
 - C8 CONSTRUCTION DETAILS

PCD FILE #: X

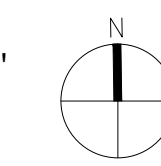
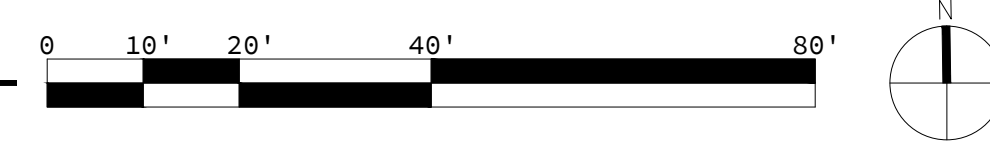
WAYFARER VANS SITE DEVELOPMENT PLAN



2025-036-WAYFARER date: 06.22.2026
 1570 PAONIA ST phase: SITE DEVELOPMENT
 COLORADO SPRINGS, CO 80915
 drawn by: TRM

Echo Architecture, PLLC
 2752 W Colorado Ave #110
 Colorado Springs, CO 80904
 www.echo-arch.com
 T 719.387.7836

A1.0



PRINTED NAME / PLANNING DIRECTOR _____

SIGNATURE _____ DATE _____

WAYFARER VANS

1570 PAONIA ST, COLORADO SPRINGS, CO 80915

SITE DEVELOPMENT PLANS JUNE 22TH, 2026

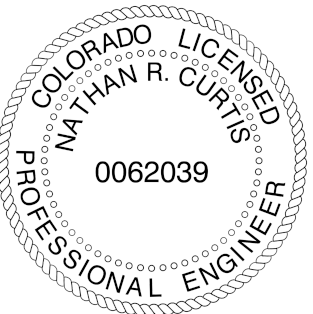
PROJECT ARCHITECT: TOM MAGNUSON
ECHO ARCHITECTURE + INTERIORS
(719) 387-7836
TOM@ECHO-ARCH.COM

OWNER: WAYFARER VANS
(719) 417-8267

PROJECT ENGINEER: 3 ROCKS ENGINEERING
NATHAN CURTIS, P.E. 62039
(719) 430-9596
NATHANC@3ROCKSENGINEERING.COM

SITE DEVELOPMENT PLAN SUMMARY INFORMATION	
PROPERTY TAX SCHEDULE NUMBER	5406304016
LEGAL DESCRIPTION	LOT 3 POWERS PLAZA

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C1	COVER
C2	GENERAL NOTES
C3	EXISTING CONDITIONS & DEMOLITION PLAN
C4	SITE PLAN
C5	HORIZONTAL CONTROL & PAVING PLAN
C6	OVERALL GRADING PLAN
C7	DETAILED GRADING PLAN
C8	CONSTRUCTION DETAILS



SCOPE OF WORK: The scope of work in these plans includes grading and site layout design to support the proposed building renovation.

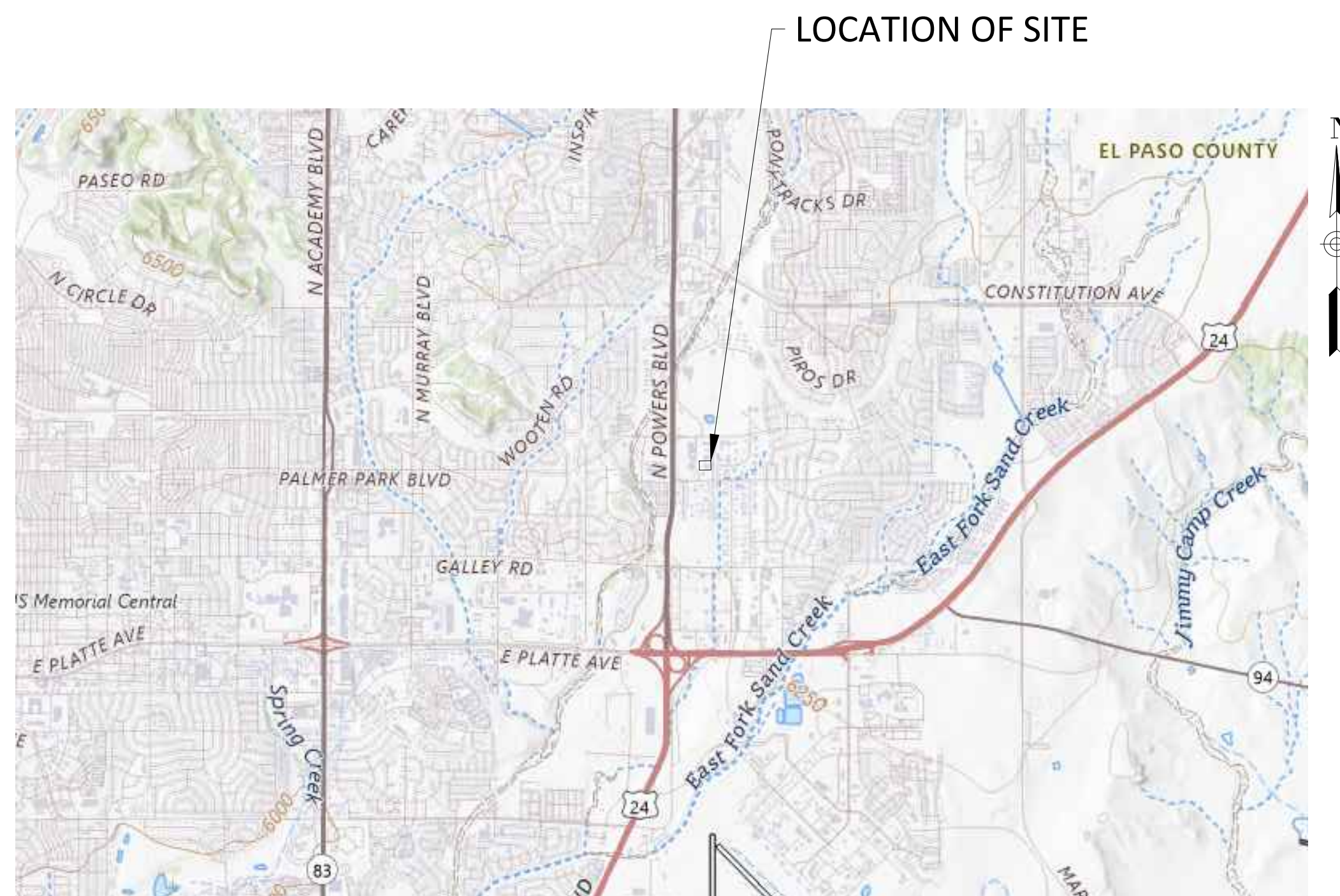
ABBREVIATIONS:
 ABC = AGGREGATE BASE COURSE
 ADA = AMERICANS WITH DISABILITIES ACT OF 1990
 AP = ANGLE POINT
 APPROX = APPROXIMATE
 ARCH = ARCHITECT
 ASPH = ASPHALT
 BLDG = BUILDING
 C&G = CURB AND GUTTER
 CDOT = COLORADO DEPARTMENT OF TRANSPORTATION
 CO = CLEAN OUT
 CONC = CONCRETE
 CONT = CONTINUOUS
 DEMO = DEMOLITION/DEMOLISH
 DR = DRAIN
 E = EASTING
 EA = EACH
 EG = EXISTING GRADE
 EL = ELEVATION
 ELEC = ELECTRIC
 EDA = EDGE OF ASPHALT
 EX = EXISTING
 FFE = FINISHED FLOOR ELEVATION
 FG = FINISHED GRADE
 FH = FIRE HYDRANT
 FHWA = FEDERAL HIGHWAY ADMINISTRATION
 FL = FLOW LINE
 HMA = HOT MIX ASPHALT
 HWY = HIGHWAY
 INV = INVERT
 IRR = IRRIGATION
 LF = LINEAL FEET
 MAX = MAXIMUM
 MH = MANHOLE
 MIN = MINIMUM
 MPH = MILES PER HOUR
 N/A = NOT APPLICABLE
 N = NORTHING
 NTS = NOT TO SCALE
 O.C.E.W. = ON CENTER EACH WAY
 O/S = OFFSET
 OC = ON CENTER
 PL = PROPERTY LINE
 PROP = PROPOSED
 PVC = POLYVINYL CHLORIDE
 R-R = REMOVE AND REPLACE
 RAD = RADIUS
 RAD PNT = CENTER OF RADIUS
 RCP = REINFORCED CONCRETE PIPE
 REF = REFERENCE
 REQ = REQUIRED
 ROW = RIGHT OF WAY
 SF = SQUARE FEET
 SW = SIDEWALK
 TBC = TOP BACK OF CURB
 TELE = TELEPHONE
 TEMP = TEMPORARY
 TYP = TYPICAL
 VP = VALLEY PAN
 WL = WATER LINE

GENERAL NOTES:
 1. EXISTING CONDITIONS BASE MAP INFORMATION PROVIDED BY OTHERS.
 2. ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITY LOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE SIZE, MATERIAL, HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION.
 3. CONTRACTOR RESPONSIBLE FOR SITE CLEAN-UP, DISPOSAL OF EXCESS MATERIALS OR SPOILS, FINAL GRADING, AND RE-LANDSCAPING.

LEGEND:

---	EX TELEPHONE
---	PROP TELEPHONE
---	EX GAS LINE
---	PROP GAS LINE
---	EX ELECTRIC
---	PROP ELECTRIC
---	EX WATER LINE
---	PROP WATER LINE
---	EX SANSWR
---	PROP SANSWR
---	EX STRMSWR
---	PROP STRMSWR
○	DECIDUOUS TREE
○	EVERGREEN TREE
○	MONUMENT MARKER
○	TELE RISER
○	CABLE RISER
○	ELECTRICAL TRANSFORMER
○	EX ELECTRIC MANHOLE METER
○	EX TELEPHONE MANHOLE
○	EX STORM DRAIN MANHOLE
○	EX SEWER MANHOLE
○	EX WATER VALVE
○	NEW WATER VALVE
○	EX FIRE HYDRANT
○	NEW FIRE HYDRANT
○	NEW WATER SHUT-OFF VALVE
○	EX WATER METER
○	NEW WATER METER
○	SPRINKLER IRRIGATION HEAD
○	SOIL BORING LOCATION
○	EX POWER POLE
○	NEW POWER POLE
○	EX STREETLIGHT POLE
○	NEW STREETLIGHT POLE
○	EX SIGN
○	NEW SIGN
○	NEW STORM MANHOLE
○	NEW SEWER MANHOLE

EL PASO COUNTY ENGINEERING REVIEW:
 PLANING & COMMUNITY DEVELOPMENT DIRECTOR _____ DATE _____



VICINITY MAP
(NOT TO SCALE)

WAYFARER VANS

1570 PAONIA ST, COLORADO SPRINGS, CO 80915

ISSUED DATES

V1.0-06/22/2026

PROJECT ENG: NRC

QA/QC: NRC

DRAWN BY: DTP

PRJ # 26.087

DATE: 06/22/2026

C1 / 8

COVER



Know what's below.
Call before you dig.

GENERAL NOTES:

- ALL WORK AND CONSTRUCTION FOR THIS PROJECT SHALL CONFORM TO THE CITY OF COLORADO SPRINGS SPECIFICATIONS, EL PASO COUNTY SPECIFICATIONS, AND THE SPECIFICATIONS AND DETAILS SHOWN ON THESE PLANS. IF CONFLICTING SPECIFICATIONS ARE DISCOVERED, CONTACT THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL OBTAIN THE MOST UP TO DATE STANDARD SPECIFICATIONS AND DETAILS FROM ALL AGENCIES EXERCISING AUTHORITY OVER THIS PROJECT. A COPY OF THESE SPECIFICATIONS SHALL BE MAINTAINED AT THE JOBSITE AT ALL TIMES.
- THE CONTRACTOR SHALL HAVE IN THEIR POSSESSION AT ALL TIMES (1) SIGNED COPY OF THE PLANS AS APPROVED BY THE LOCAL GOVERNMENT AGENCY, THE OWNER, AND ENGINEER. THE CONTRACTOR SHALL NOT DEVIATE FROM THESE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER, ENGINEER, AND GOVERNING AGENCY.
- ALL WORK SHALL CONFORM TO LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FROM ALL JOB SITE SAFETY OF THEIR PERSONNEL, SUBCONTRACTORS, VISITORS, AND THE GENERAL PUBLIC. ALL JOB SITE SAFETY SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE INDICATED ON THE PLANS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE.
- THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY UPON THE DISCOVERY OF ERRORS OR DISCREPANCIES IN THESE PLANS AND SPECIFICATIONS.
- ALL ESTIMATED QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL PROVIDE WORK AND MATERIALS NECESSARY TO CONSTRUCTION THE PROJECT ACCORDING TO THESE PLANS.
- ALL CONTRACTOR PROPOSED DEVIATIONS FROM THESE PLANS, MATERIAL SPECIFICATIONS, OR SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF SUCH CHANGES.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE DESIGNATED LOVES CONSTRUCTION PROJECT MANAGER.
- CONTRACTOR SHALL PROTECT ALL SURVEY CONTROL AND PROPERTY MONUMENTS. ANY DAMAGED MONUMENTS SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL REFER TO OTHER PLAN SETS FOR THE PROJECT ISSUED BY ARCHITECT, STRUCTURAL, ELECTRICAL, AND MECHANICAL ENGINEERS.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED ON THE SITE, THE CONTRACTOR SHALL IMMEDIATELY CEASE CONSTRUCTION AND NOTIFY THE OWNER.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- SOURCE OF MAPPING: EXISTING FIELD CONDITIONS WERE GENERATED BY A SURVEY PERFORMED BY RED ROCK LAND SURVEYS
- THE EXISTING CONDITIONS SURVEY WAS NOT CONDUCTED BY 3 ROCKS ENGINEERING AND THEREFORE 3 ROCKS ENGINEERING IS NOT RESPONSIBLE FOR ANY CHANGE ORDERS OR RE-DESIGNS RESULTING FROM MISSING, MISREPRESENTED OR INCORRECT INFORMATION IN THE EXISTING CONDITIONS SURVEY RECEIVED. 3 ROCKS ENGINEERING CAN ONLY DESIGN OFF OF THE EXISTING CONDITIONS INFORMATION RECEIVED FROM THE THIRD-PARTY SURVEYOR.

UTILITIES

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING ONE CALL OF COLORADO AT #811 OR 800-922-1987 A MINIMUM OF 72 HOURS (EXCLUDING HOLIDAYS AND WEEKENDS) IN ADVANCE OF ANY EXCAVATION.
- THE LOCATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE ADDITIONAL UTILITIES PRESENT AT THE SITE THAT ARE NOT SHOWN ON THE PLANS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXISTENCE, LOCATION, AND SIZE OF UTILITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT, SUPPORT, AND AVOID DAMAGE TO UTILITIES. COSTS OF EXPLORATORY EXCAVATION, AS REQUIRED, ARE THE CONTRACTORS RESPONSIBILITY. DAMAGES TO EXISTING OR PROPOSED UTILITIES AND STRUCTURES SHALL BE REPORTED TO THE OWNER/ENGINEER AND REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR EXPENSE.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND SIZING OF ALL EXISTING UTILITIES AND CONFIRM EXACT LOCATIONS/SIZES OF ALL UTILITY SERVICE LINE HOOKUPS TO BUILDINGS PRIOR TO UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING ONSITE MEETINGS WITH THE CITY, GOVERNING AGENCIES, AND UTILITY OWNERS PRIOR TO THE START OF CONSTRUCTION ON ANY UTILITIES.
- THE CONTRACTOR SHALL CONSTRUCT ALL WATER AND SANITARY SEWER SERVICE LINES AND CONNECTIONS IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF THE UTILITY PROVIDER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYMENTS AND FEES AS REQUIRED FOR SERVICE CONNECTIONS TO UTILITY SERVICE MAINS. THE CONTRACTOR SHALL NOT BACKFILL SERVICE LINE CONNECTIONS UNTIL APPROVED BY THE GOVERNING AGENCY.
- UTILITY TRENCHES AND STRUCTURE EXCAVATIONS ARE TO BE SLOPED, BRACED, OR PROTECTED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE TRENCHING FOR ALL UTILITY SERVICE LINES.
- CONTRACTOR SHALL SET ALL UTILITY STRUCTURES, CLEANOUTS, VALVES, METER PITS, SERVICE STOPS, ETC. TO FINISHED GRADE. EXISTING STRUCTURES SHALL BE RESET OR ADJUSTED TO FINISHED GRADE.
- CONTRACTOR SHALL COORDINATE WITH LOCAL FIRE DEPARTMENT TO ENSURE ADEQUATE FIRE PROTECTION IS AVAILABLE AT ALL TIMES TO THE SITE AND ADJACENT PROPERTIES. CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND PROVIDING REQUESTED WATER MAIN VALVES WITH THE LOCAL GOVERNING AGENCY DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH WATER MAIN SHUTOFFS AT THE REQUEST OF THE GOVERNING AGENCY.
- TEMPORARY POWER, COMMUNICATIONS, SEWER, AND WATER FOR THE SITE DURING CONSTRUCTION ARE THE CONTRACTOR'S RESPONSIBILITY UNLESS SPECIFIED.

DEMOLITION

- CONTRACTOR SHALL PROTECT ALL UTILITY, PAVING, BUILDINGS, ETC. MARKED FOR PROTECTION OR ARE OUTSIDE OF THE PROPOSED CONSTRUCTION LIMITS.
- EDGES OF PAVEMENT REMOVAL ADJOINING PAVEMENT TO BE LEFT IN PLACE SHALL BE SAW-CUT THROUGH THE FULL DEPTH OF THE PAVEMENT.
- ALL DEMOLITION WORK SHALL BE DONE IN CONFORMANCE WITH LOCAL AND STATE STANDARDS. EXISTING PAVEMENT, STRUCTURES, RUBBLE, ETC. SHALL NOT BE USED AS FILL MATERIAL WITHOUT WRITTEN PERMISSION FROM THE OWNER.
- CONTRACTOR SHALL COORDINATE DEMOLITION/REMOVAL OF EXISTING UTILITIES WITH UTILITY OWNERS. SERVICE INTERRUPTIONS SHALL BE COORDINATED WITH THAT UTILITY'S OWNER.
- UNANTICIPATED EXISTING STRUCTURES SUCH AS FOUNDATIONS, FOOTINGS, ETC. THAT ARE NOT DESIGNATED ON THE PLANS ARE THE CONTRACTOR'S RESPONSIBILITY.
- TREES MARKED FOR REMOVAL SHALL BE COMPLETELY REMOVED INCLUDING THE STUMP AND LARGE ROOTS.
- EROSION CONTROL BMPS ARE TO BE INSTALLED PRIOR TO DEMOLITION.

GRADING

- REFER TO GEOTECHNICAL REPORT FOR EARTHWORK RECOMMENDATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS, UNDISTURBED AREAS, OR EXISTING FEATURES TO REMAIN ON THE SITE. CONTRACTOR SHALL PROTECT AREA OUTSIDE CONSTRUCTION LIMITS WITH BMPS, FENCES, BARRICADES, SUPPORTS, ETC. WHERE REQUIRED TO AVOID DAMAGE TO EXISTING FEATURES AND UNDISTURBED AREAS.
- ALL GRADING SHALL BE CONFINED INSIDE THE SITES PROPERTY BOUNDARY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNERS REPRESENTATIVES, AND PAY ALL FEES AS REQUIRED FOR CONSTRUCTION.
- PRIOR TO GRADING, CONTRACTOR SHALL PLACE PERIMETER EROSION CONTROL BMPS. REFER TO SWMPP PLAN FOR REQUIREMENTS.
- SIDEWALKS ALONG BUILDING FRONTAGE SHALL HAVE A 2% CROSS SLOPE AWAY FROM THE BUILDING.
- SOFTSCAPED AREAS TO BE GRADED AWAY FROM BUILDINGS @ MINIMUM 6" FALL IN THE FIRST 10'.
- BUILDING FOUNDATION STAKES SHALL BE SET BASED ON THIS SITE PLAN BY A REGISTERED SURVEYOR. SURVEYOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES NOTED DURING STAKING.
- SPOT ELEVATIONS, CURB ELEVATIONS, AND FINISHED FLOOR ELEVATIONS ON GRADING PLANS ARE FINISHED GRADE ELEVATIONS.
- ON-SITE RECYCLED FILL TO BE PLACED IN 8" LIFTS AND SHOULD BE MOISTURE TREATED TO WITHIN -1% TO +3% OF OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY OR GREATER.

TRAFFIC CONTROL

- THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL AND DEVICES NECESSARY TO COMPLETE THE WORK. ALL TRAFFIC CONTROL DEVICES AND METHODS OF DIRECTING TRAFFIC THROUGH CONSTRUCTION ZONES SHALL BE DONE ACCORDING TO THE LATEST EDITION OF THE MUTCD AND LOCAL/STATE SUPPLEMENTS. ADDITIONAL WORK IN THE ROW AND PERMITS FOR SUCH WORK ARE THE CONTRACTOR'S RESPONSIBILITY.

STORMWATER MANAGEMENT AND EROSION/SEDIMENT CONTROL

- CONTRACTOR SHALL NOT COMMENCE WORK UNTIL AN ACTIVE PERMIT HAS BEEN OBTAINED FROM THE STATE'S GOVERNING AUTHORITY. THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN.
- THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPS) PRIOR TO ANY SITE WORK BEGINS.

- THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BMPS SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.
- CONTRACTOR IS TO ADJUST QUANTITY, LOCATION, AND TYPE OF BMPS AS NECESSARY FOR ON-SITE CONDITIONS DURING CONSTRUCTION. CONTRACTOR SHALL CONTINUALLY ASSESS AND MODIFY BMPS AS WORK PROGRESSES. THE CONTRACTOR WILL INSPECT ALL BMPS EVERY 14 DAYS OR LESS AND AFTER ALL PRECIPITATION EVENTS.
- BMP MAINTENANCE AND REPAIR FROM STORM EVENTS SHALL BE COMPLETED WITHIN 24-HOURS OF SWMPPP INSPECTOR'S DIRECTION.
- ACCUMULATED CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE REMOVED FROM BMPS ON A WEEKLY SCHEDULE OR BEFORE IF ADVERSELY IMPACTING THE FUNCTION OF THE BMPS.
- ADDITIONAL BMPS USED BY THE CONTRACTOR IN EXCESS OF WHAT IS SHOWN IN THESE PLANS REQUIRE PRIOR APPROVAL BY THE ENGINEER FOR PAYMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO USE EROSION CONTROL MEASURES AS NECESSARY.
- INSTALL SILT FENCE OR STRAW WADDLES, PER CDOT M&S STANDARDS AT THE TOE OF EVERY FILL SLOPE.
- TRACKING PAD TO BE INSTALLED AT CONSTRUCTION ENTRANCE.
- PROTECT ALL DISTURBED SLOPES STEEPER THAN 4 FT. HORIZONTAL TO 1 FT. VERTICAL WITH EROSION CONTROL "TURF MATS", VEGETATION OR OTHER MEANS TO PREVENT EROSION. SLOPES SHALL NOT BE STEEPER THAN 2 HORIZ. TO 1 VERT. UNLESS A RETAINING STRUCTURE IS PROVIDED. ALL TEMPORARY SEEDING MIX SHALL BE PROVIDED BY THE CONTRACTOR.
- PERMANENT EROSION CONTROL TO BE PLACED AFTER CUT AND FILL SLOPES ARE IN PLACE. ALL CUT AND FILL SLOPES TO BE RE-VEGETATED AFTER CONSTRUCTION
- TOPSOIL SHALL BE SEPARATED FROM SUBSOIL AND STOCKPILED WITHIN THE CONSTRUCTION LIMITS FOR POST-CONSTRUCTION RESTORATION. STOCKPILES SHALL BE PROTECTED FROM EROSION WITH MEASURES SPECIFIED IN SWPPP. SOILS STOCKPILED FOR MORE THAN 30 DAYS SHALL BE MULCHED AND SEEDED WITH A TEMPORARY GRASS COVER WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY IMPACTS TO ADJACENT PROPERTIES, WATERWAYS, WETLANDS, ETC. THAT RESULT FROM WORK DONE AS PART OF THIS PROJECT.
- A WATER SOURCE MUST BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST. THE CONTRACTOR SHALL ABATE DUST NUISANCE AS NECESSARY BY SPRINKLING WITH WATER OR OTHER MEANS AS NECESSARY. IT IS ANTICIPATED DUST CONTROL WILL BE REQUIRED ON THIS PROJECT.
- THE CONTRACTOR SHALL KEEP ALL DEBRIS, POLLUTANTS, AND SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
- ALL SPILLS INCLUDING, BUT NOT LIMITED TO, PETROLEUM PRODUCTS, SOLVENTS, HYDRAULIC FLUID, AND CEMENT SHALL BE CLEANED UP IMMEDIATELY AND REPORTED AS REQUIRED BY LOCAL AND STATE REGULATIONS.
- TRUCK LOADS FROM AND TO THE SITE SHALL BE PROPERLY COVERED TO PREVENT DEBRIS ON PUBLIC ROW.
- ALL CONCRETE WASTE SHALL BE WASHED OUT AT THE SPECIFIED LOCATION ON THE PLANS. WATER FOR CLEANING TRUCKS AND EQUIPMENT SHALL NOT BE DISPOSED OFF IN THE STORMWATER SYSTEM.
- CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT AND DEBRIS FROM EXISTING AND PROPOSED INLETS, PIPES, MANHOLES, AND BASINS TO THE LEVEL OF QUALITY OF THE OWNER AND LOCAL AUTHORITIES.
- IF GROUNDWATER IS ENCOUNTERED, THE CONTRACTOR SHALL COORDINATE WITH LOCAL AND STATE AGENCIES TO ACQUIRE THE REQUIRED PERMITS. CONTRACTOR IS RESPONSIBLE FOR MEETING THE CONDITIONS OF SUCH PERMITS.
- CONTRACTOR SHALL PROVIDE A COMPLETED "NOTICE OF TERMINATION" TO OWNER, FOR OWNERS SUBMITTAL TO THE STATE AT THE COMPLETION OF THE PROJECT. THE PROJECT IS NOT CONSIDERED COMPLETE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED, SEEDED AREAS SHOW SUBSTANTIAL AND UNIFORM GROWTH, AND ALL TEMPORARY BMPS ARE REMOVED FROM THE SITE.

PAVING NOTES

- CONTRACTOR SHALL CERTIFY THAT ALL AGGREGATES USED ON THIS PROJECT ARE FREE FROM HAZARDOUS COMPONENTS IN EXCESS OF THE THRESHOLD CONCENTRATIONS ESTABLISHED BY THE E.P.A.

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PROJECT CLOSEOUT

- PRIOR TO PROJECT COMPLETION, THE CONTRACTOR SHALL NOTIFY THE OWNER TO SCHEDULE A SITE VISIT WITH THE OWNER OR THEIR REPRESENTATIVE. FINAL COMPLETION SHALL NOT BE ISSUED UNTIL APPROVAL IS GIVEN BY THE OWNER.

COMPACTION STANDARDS

- REFER TO GEOTECHNICAL REPORT FOR COMPACTION STANDARDS. IF THE FOLLOWING COMPACTION STANDARDS CONTRADICT THE RECOMMENDATIONS AND OR REQUIREMENTS OF THE GEOTECHNICAL REPORT OR REQUIREMENTS OF JURISDICTION HAVING REQUIREMENTS, USE THE MORE STRINGENT.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLAN OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOIL AND GEOTECHNICAL REPORT, AND ALL THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION
 - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATION NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLAN SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES AND ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
- EL PASO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN ON THESE PLANS AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTENANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND THE CITY OF COLORADO SPRINGS.



FOR MUNICIPAL USE:



WAYFARER VANS

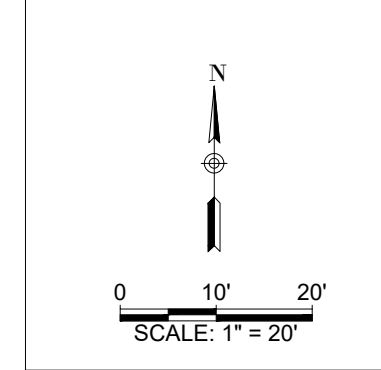
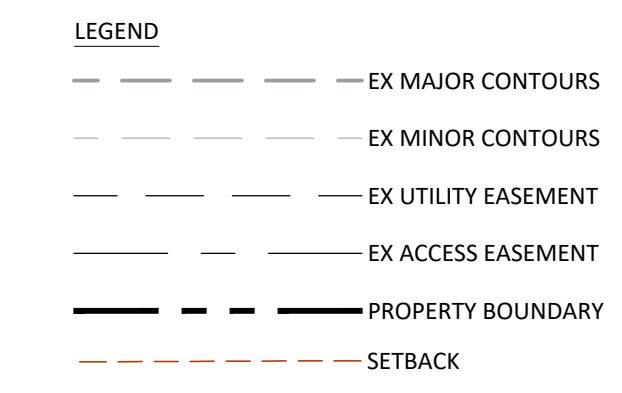
ISSUED DATES

V1.0-06/22/2026

PROJECT ENG-NRC
 QA/QC-NRC
 DRAWN BY-GTP
 PRI # 26.087
 DATE: 06/22/2026

C2 /8

GENERAL NOTES

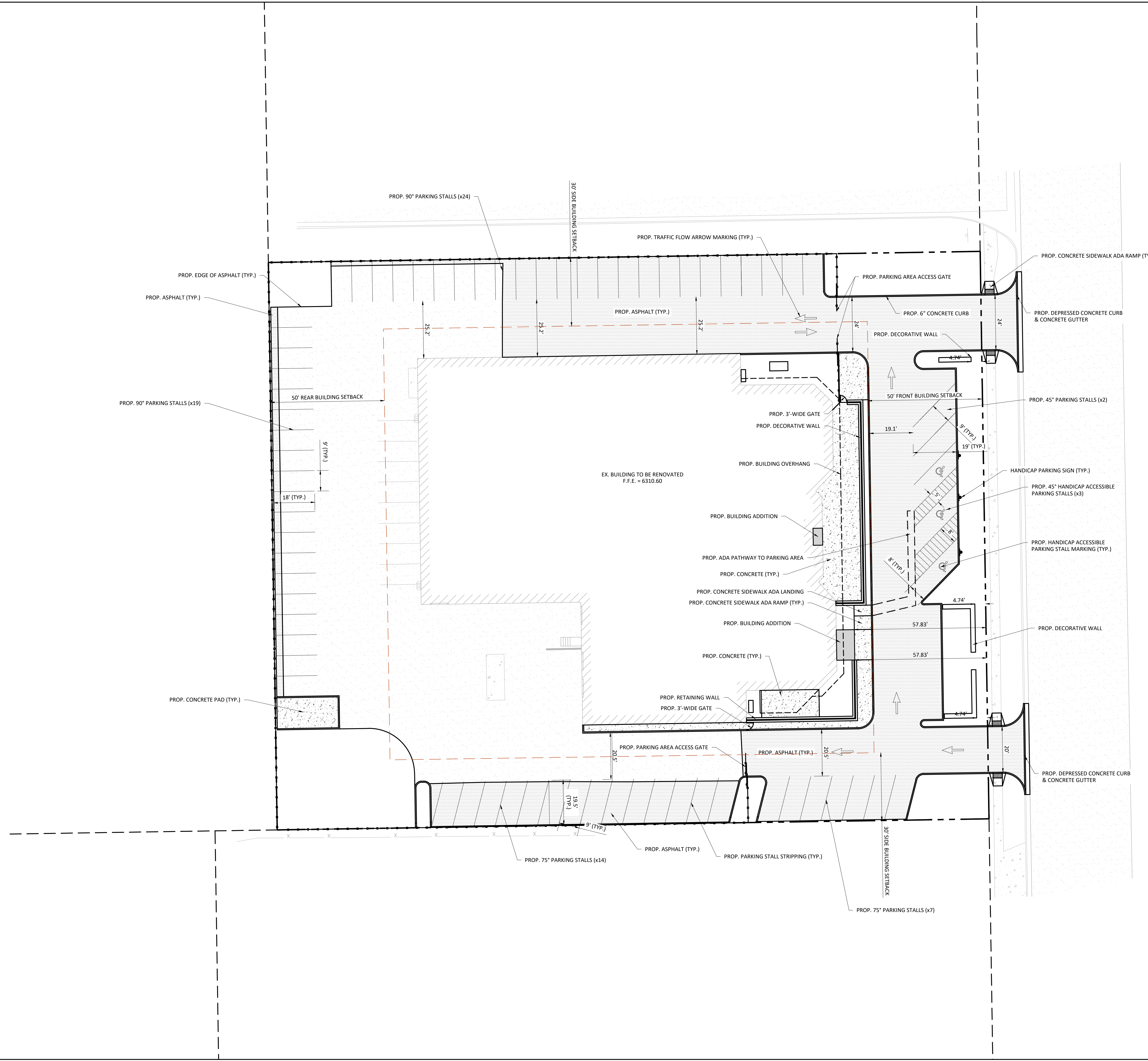
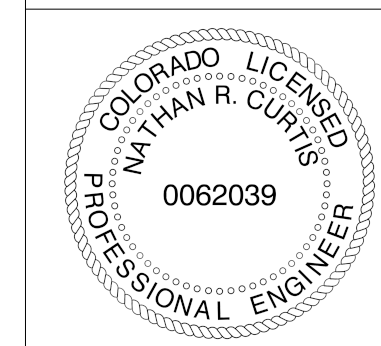


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ZONING DISTRICT REQUIREMENTS (I-2, LIMITED INDUSTRIAL DISTRICT)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	1 ACRE	1.787 ACRES	1.787 ACRES
MIN. FRONT SETBACK	50 FT.	65.73 FT.	57.83 FT.
MIN. REAR SETBACK	50 FT.	64.74 FT.	64.74 FT.
MIN. SIDE SETBACK (NORTH)	30 FT.	41.38 FT.	41.38 FT.
MIN. SIDE SETBACK (SOUTH)	30 FT.	43.96 FT.	43.96 FT.
MAX. LOT COVERAGE	35%	31.08%	31.25%
MAX. BUILDING HEIGHT	45 FT.	< 45 FT.	< 45 FT.
MIN. PARKING SPACES	1 SPACE PER 750 S.F. OF FLOOR AREA (33 SPACES)	29 SPACES	77 SPACES
MAX. IMPERVIOUS COVERAGE	N/A	79.35%	88.08%

LOT COVERAGE CALCULATIONS		
SURFACE TYPE	EXISTING	PROPOSED
BUILDING	24,197 S.F.	24,333 S.F.
TOTAL LOT COVERAGE	24,197 S.F.	24,333 S.F.
LOT AREA	77,857 S.F.	
LOT COVERAGE PERCENTAGE	31.08%	31.25%

IMPERVIOUS COVERAGE CALCULATIONS		
SURFACE TYPE	EXISTING	PROPOSED
BUILDING	24,197 S.F.	24,333 S.F.
CONCRETE	2,554 S.F.	3,679 S.F.
ASPHALT	34,994 S.F.	40,019 S.F.
WALLS	33 S.F.	542 S.F.
TOTAL IMPERVIOUS COVERAGE	61,778 S.F.	68,573 S.F.
LOT AREA	77,857 S.F.	
IMP. COVERAGE PERCENTAGE	79.35%	88.08%

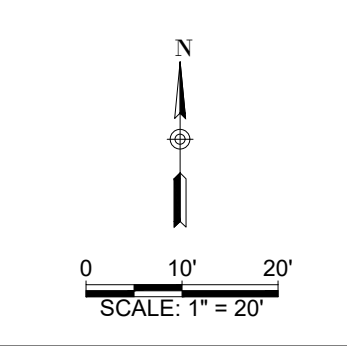


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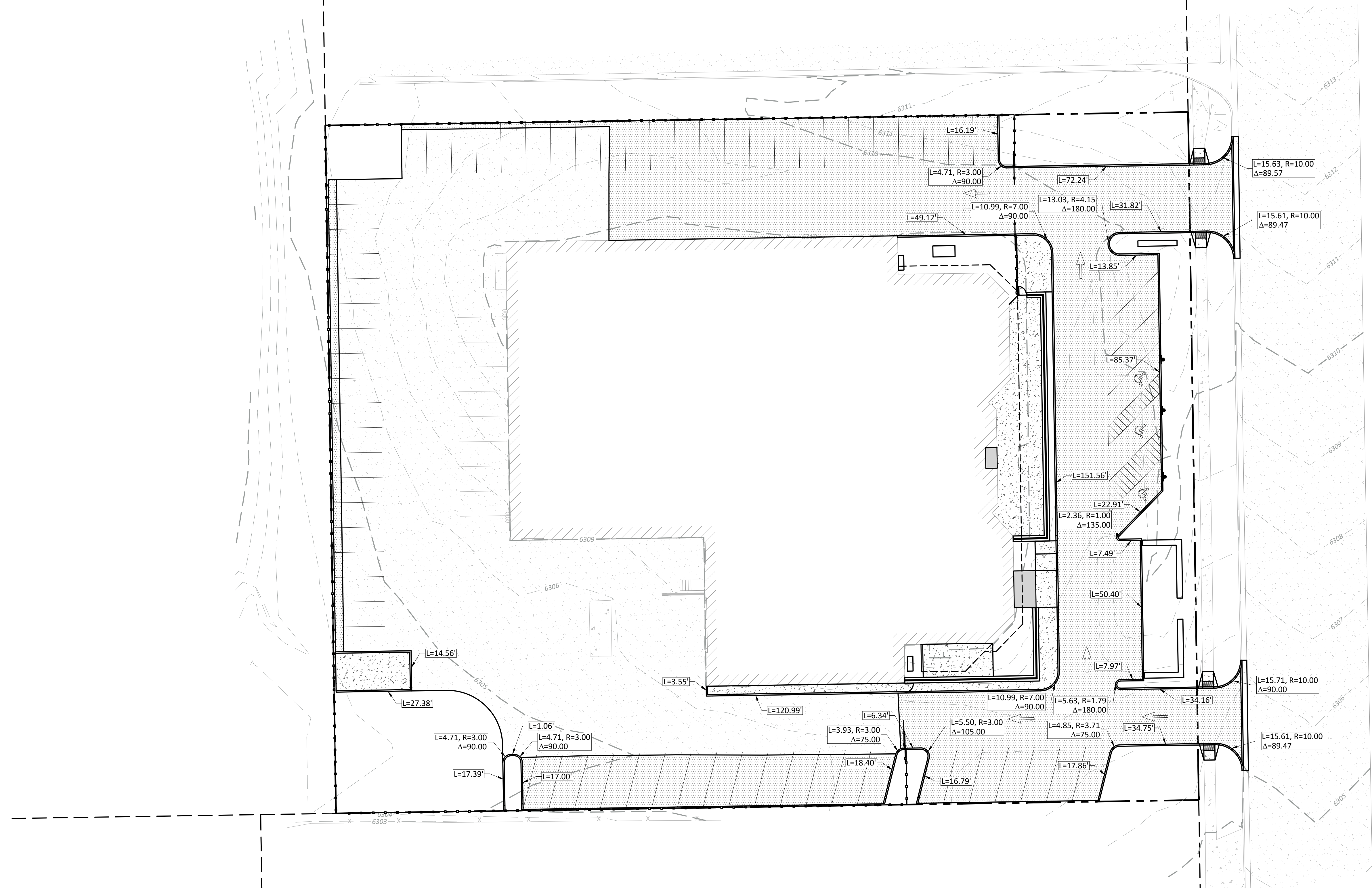
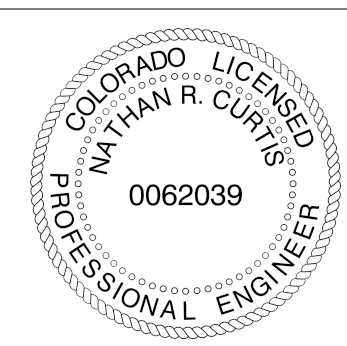
ISSUED DATES
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 QA/QC: NRC
 DRAWN BY: DTP
 PRI # 26.087
 DATE: 06/22/2026
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 SITE PLAN

LEGEND

- EX MAJOR CONTOURS
- EX MINOR CONTOURS
- EX UTILITY EASEMENT
- EX ACCESS EASEMENT
- PROPERTY BOUNDARY
- SETBACK



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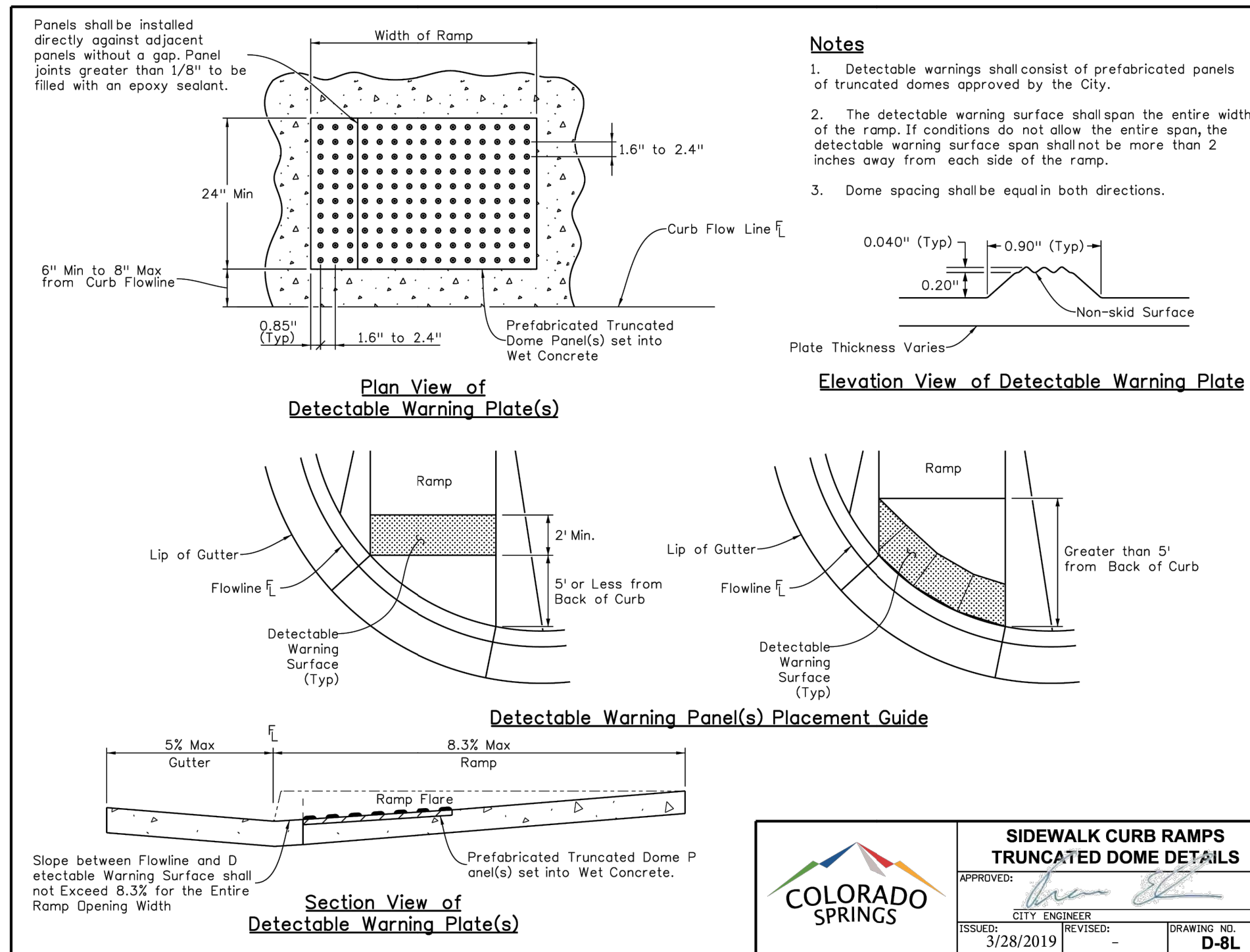
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HORIZONTAL CONTROL & PAVING PLAN

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General Notes

- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
- All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
- Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
- Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
- Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
- Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
- All ramp joints and grade breaks shall be flush (0th/4th). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
- Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.

Slope Table

The table below is intended to be used to convert between the percent (rise/run) and ratio (run/rise) methods of expressing the magnitude of a slope:

PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
RATIO SLOPE	200:1	100:1	50:1	20:1	14:1	12:1	10:1

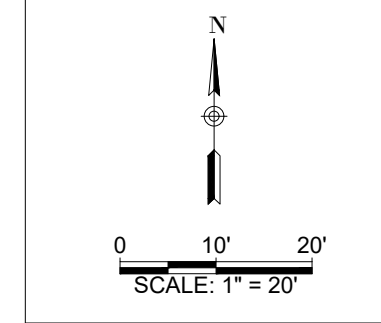
Ramp Cross Slope Transition To Match Roadway Profile

Ramp cross slopes and turning spaces shall be:

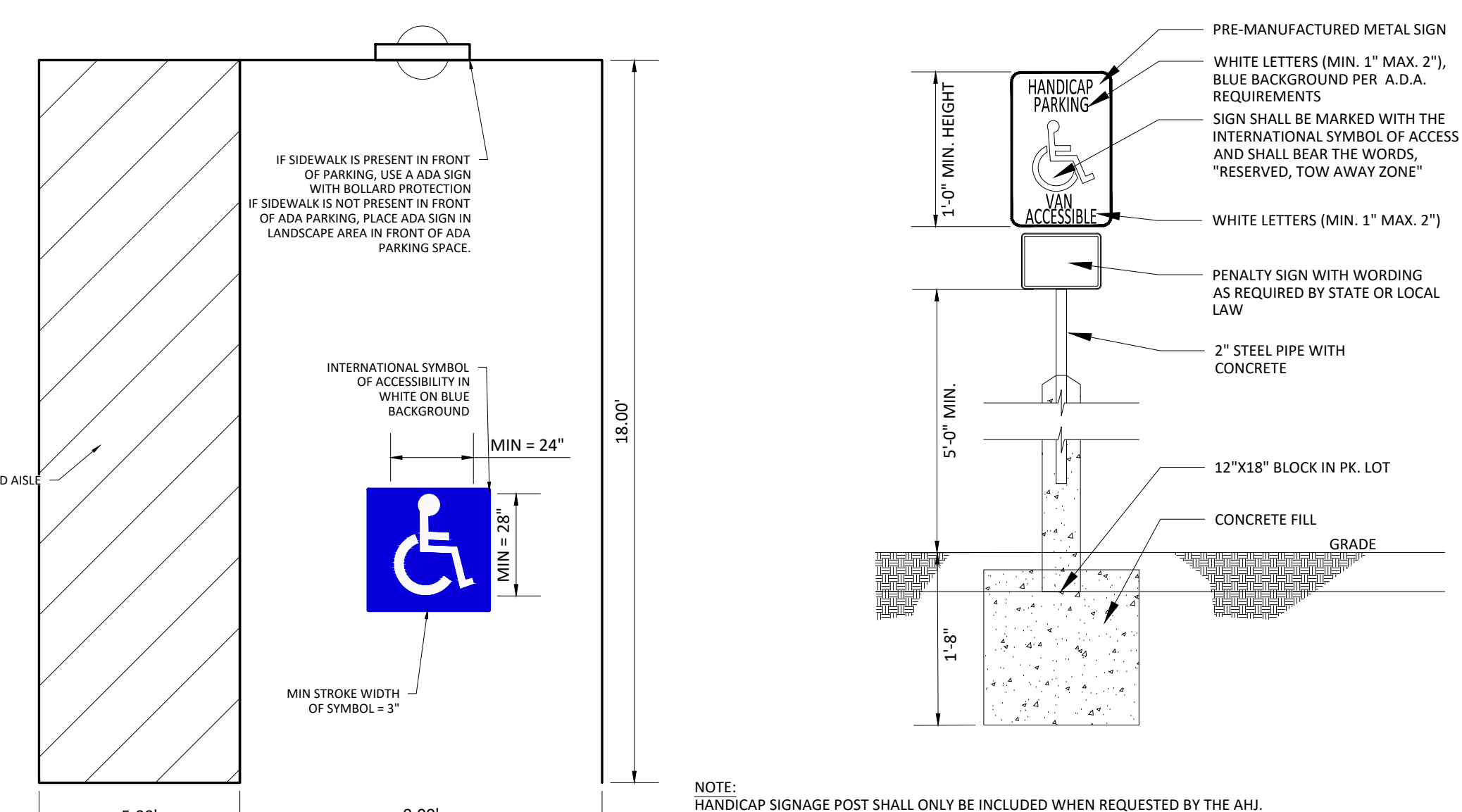
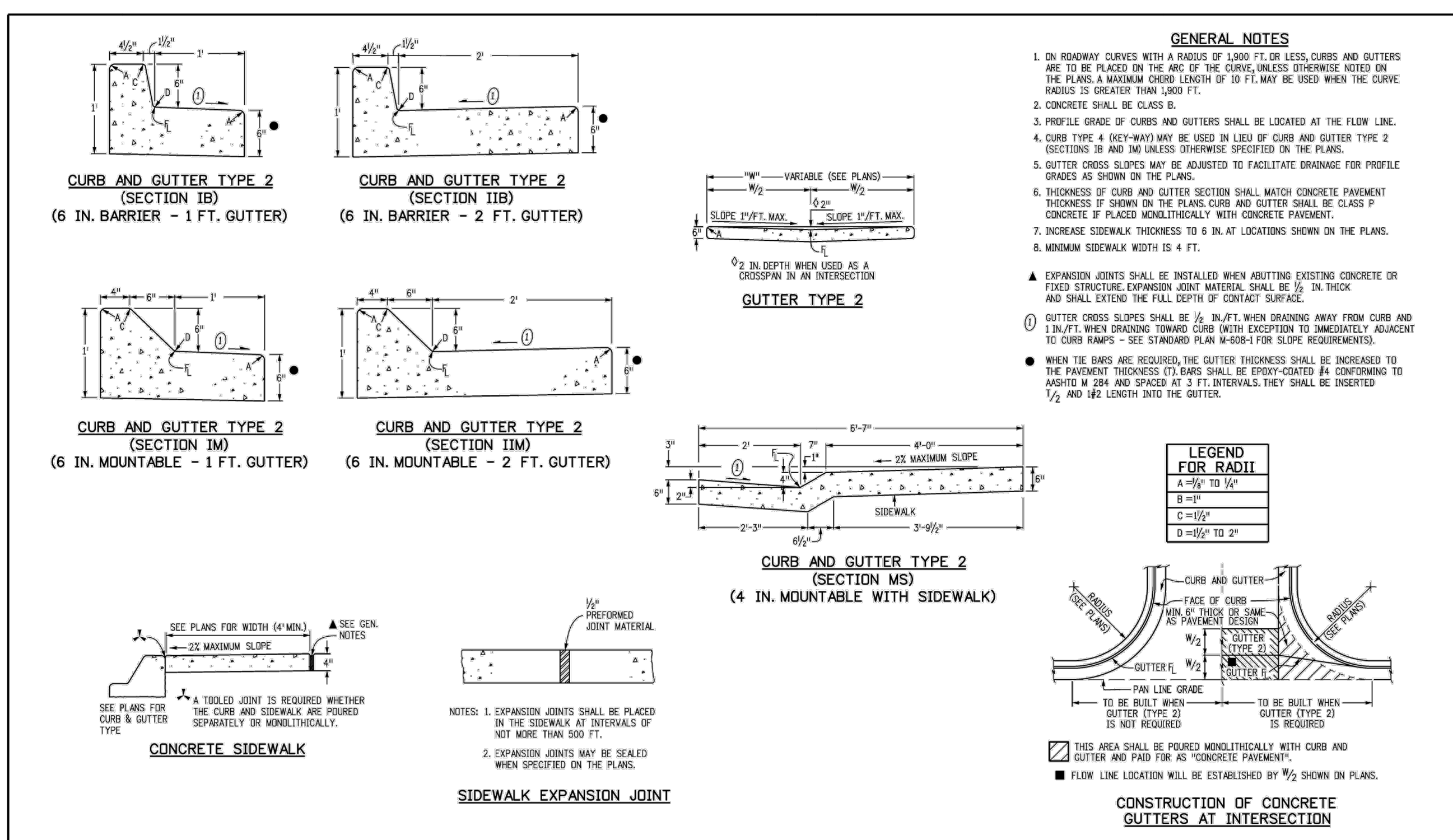
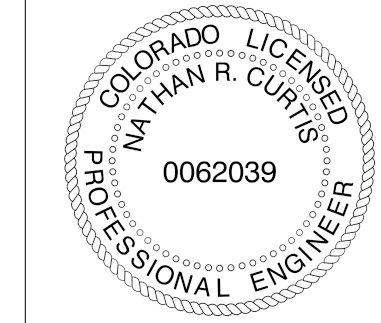
- 2% max when a yield or stop control is present.
- Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.

SIDEWALK CURB RAMPS TRUNCATED DOME DETAILS

APPROVED: [Signature]
CITY ENGINEER
ISSUED: 3/28/2019
DRAWING NO: D-8L



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Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
Creation Date:	07/31/19	Detail:	Comments:	2029 West Howard Place		M-609-1	
Designer Initials:	JBK			5007 HQ, 3rd Floor		Standard Sheet No. 1 of 4	
Last Modification Date:	07/31/19			Denver, CO 80204		Project Sheet Number:	
Checker Initials:	LTA			Phone: 303-757-9021 FAX: 303-757-9868			
CAD User:	MicroStation V8	Scale:	Not to Scale	Project Development Branch		JBK	
Units:	English						

WAYFARER VANS

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CONSTRUCTION DETAILS