

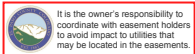
SFD26672  
PLAT-15013  
PUD

APPROVED  
Plan Review  
07/22/2026 11:16:26 AM  
dsdhills  
EPC Planning & Community  
Development Department

DESERT ASPEN HORIZON  
VIEW  
HOMES

✓LOT 177

SCHEDULE NUMBER ✓5509313011



Released for Permit  
07/16/2026 10:20:50 AM  
brent  
ENUMERATION

ANY APPROVAL GIVEN BY  
EL PASO COUNTY  
DOES NOT OVIATE THE NEED  
TO COMPLY WITH APPLICABLE  
FEDERAL, STATE, OR LOCAL  
LAWS AND/OR REGULATION  
Planning & Community Development Department  
approval is contingent upon compliance with all  
applicable rules on the recorded plat.  
An access permit must be granted by the  
Planning & Community Development Department  
prior to the establishment of any driveway onto a  
County road.  
Division of storage of any drainage way  
is not permitted without approval of the  
Planning & Community Development Department

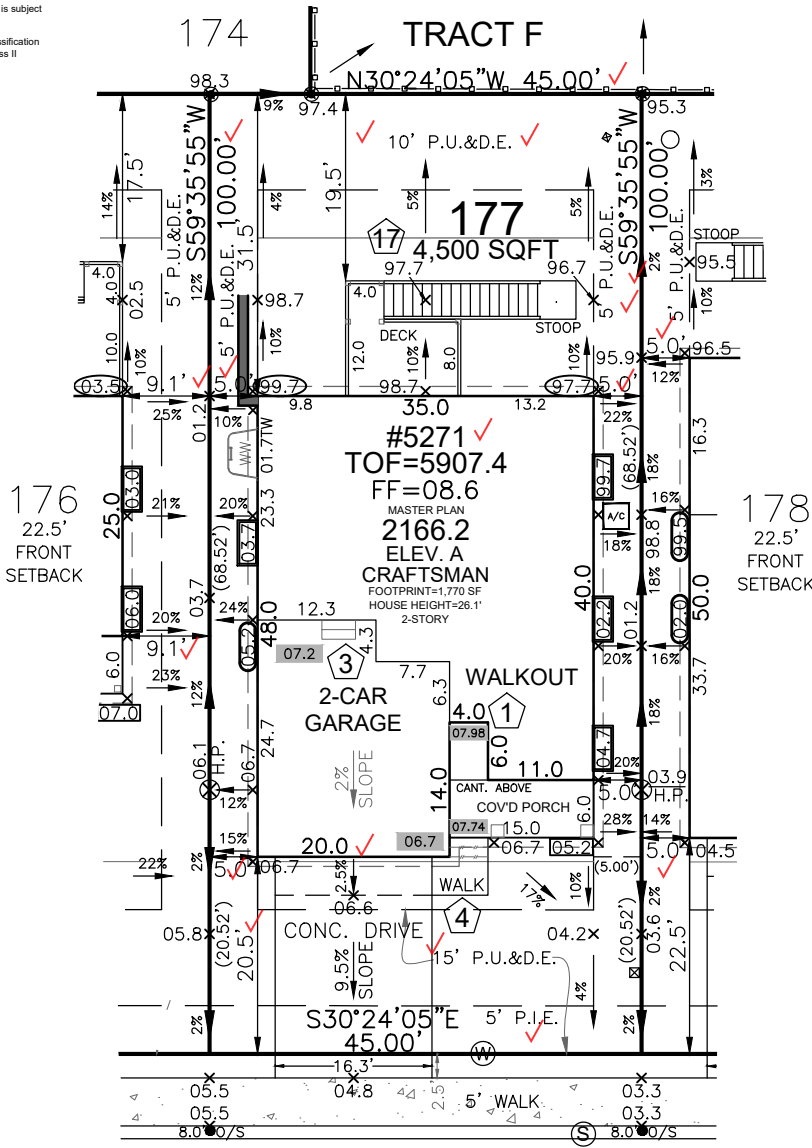
## PLOT PLAN



HAYLEY YOUNG, P.E.  
DATE: 07.07.26  
I HEREBY CERTIFY ONLY THE ELEMENTS  
OF THIS DOCUMENT THAT FALL WITHIN  
THE SCOPE OF MY DUTIES AS A P.E.



T. CHRIS MADRID, P.L.S.  
DATE: 07.07.26  
I HEREBY CERTIFY ONLY THE ELEMENTS  
OF THIS DOCUMENT THAT FALL WITHIN  
THE SCOPE OF MY DUTIES AS A P.L.S.



SIDEWINDER DRIVE  
50' R.O.W.

### SITE SPECIFIC PLOT PLAN NOTES:

TOF = 07.4

GARAGE SLAB = 06.7

GRADE BEAM = 12"

(07.4 - 06.7 = 00.7 \* 12 = 8' + 4" = 12")  
\*FROST DEPTH MUST BE MAINTAINED

LOWERED FINISH GRADE ALONG HOUSE

LOWERED FINISH GRADE AT PORCH 26"

STEP FOUNDATION AT LOCATIONS INDICATED

POUR TALLER WALL IN GARAGE  
TO MAINTAIN FROST PROTECTION

RETAINING WALL PROPOSED

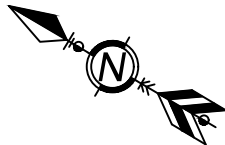
### LEGEND

#### LOWERED FINISH GRADE:

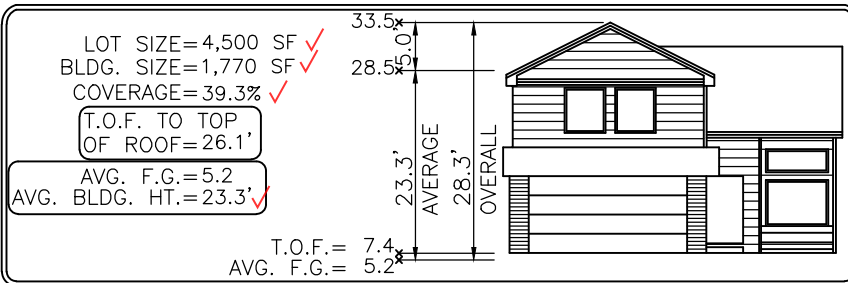
- (XX.X) HOUSE
- (XX.X) PORCH
- (XX.X) GARAGE/CRAWL SPACE
- (XX.X) FOUNDATION STEP
- (XX) CONCRETE
- (X) RISER COUNT
- (XX.XX) CONCRETE ELEVATION
- (XX.X) GRADING PLAN ELEVATION

WINDOW WELLS ARE CORRUGATED METAL AND DO NOT REQUIRE  
PERMISSION OF THE AGENCY OR AGENCIES HAVING JURISDICTION  
OVER THE EASEMENT TO PROJECT INTO ANY DRAINAGE EASEMENT

FRONT SETBACK DRIVE COVERAGE  
FRONT SETBACK= 900 SF  
DRIVE COVERAGE IN  
FRONT SETBACK= 327 SF  
COVERAGE=36.3 %



0 20 40  
SCALE: 1"=20'



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: 2166.2-A/CRAFTSMAN/2-CAR/WALKOUT BSMT/8' WALLS

SUBDIVISION: THE TRAILS AT ASPEN RIDGE FILING NO. 3 ✓

COUNTY: EL PASO

07.07.26 / LEFT / NAIL TO NAIL=78.00'  
Front 15': N=6939.2952 E=12446.6579  
Rear 15': N=6978.7674 E=12513.9332

ADDRESS: 5271 SIDEWINDER DRIVE ✓

MINIMUM SETBACKS: ✓

DRAWN BY: DEV

DATE: 07.02.26

FRONT: 15' SIDE: 5'  
GARAGE: 20' SEP.: 10'  
REAR: 15'  
CORNER: 10'



6841 South Yosemite Street #100  
Centennial, CO 80112 USA  
Phone: (303) 850-0559  
Fax: (303) 850-0711  
E-mail: info@bjsurvey.net

#### GENERAL NOTES:

- PLOT PLAN NOT TO BE USED FOR EXCAVATION  
PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY  
ZONING/BUILDING AUTHORITY PRIOR TO  
STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM  
THE RECORDED PLAT AND MAY NOT INCLUDE ALL  
EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER  
PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 02.19.24

# SITE



2023 PPRBC  
2024 IECC and CO MERSRC

Address: 5271 SIDEWINDER DR, COLORADO SPRINGS

Parcel: 5509313011

Plan Track #: 215198

Received: 16-Jul-2026 (BRENT)

## Description:

### RESIDENCE

Type of Unit:

|               |      |                   |
|---------------|------|-------------------|
| Garage        | 458  |                   |
| Lower Level 2 | 1085 |                   |
| Main Level    | 1083 |                   |
| Upper Level 1 | 1083 |                   |
|               | 3709 | Total Square Feet |

## Required PPRBD Departments (3)

### Enumeration

APPROVED

BRENT

7/16/2026 10:21:22 AM

### Floodplain

(N/A) RBD GIS

### Construction

Released for Permit

07/17/2026 2:07:31 PM



CONSTRUCTION

## Required Outside Departments (1)

### County Zoning

APPROVED

Plan Review

07/22/2026 11:18:07 AM



EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations.  
This plan set must be present on the job site for every inspection.