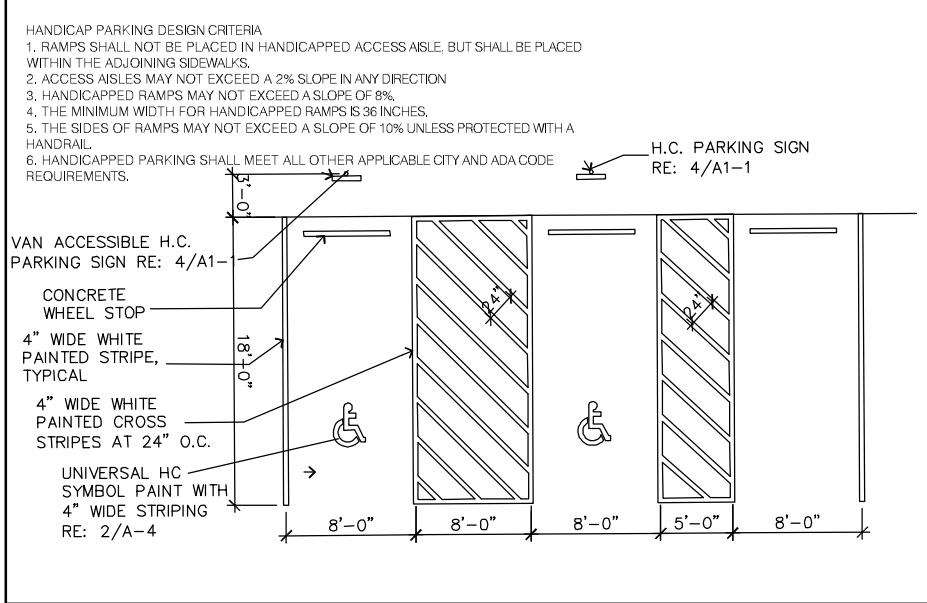


PARKING	use	Maintenance Building
	bldg area	10,800 sf
	ratio	1 parking space per anticipated employee
	required	11 required (including 1 accessible spaces 1 being van accessible)
	provided	11 provided (1 accessible including 1 van accessible space)

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



A TYPICAL HANDICAP PARKING DETAIL
N.T.S.

FLYING HORSE NORTH MAINTENANCE			
LOT	USE	LOT SIZE	BUILDING SIZE
TRACT L	MAINTENANCE	84.66 Acres	10,800 SF / 875 SF

LEGAL DESCRIPTION: TRACT L
FLYING HORSE NORTH FILING NO. 1
84.66 ACRES

SITE DATA	tax schedule no.:	6136003004
	area	84.66 acres
	ex use	Vacant
	proposed use	Golf course maintenance

OWNER INFO	company name	Flying Horse Country Club LLC
	address city/state	2138 Fklyng Horse Club Drive Colorado Springs CO, 80921
	phone no	
	PCD city file no:	COM-21-54

Approved
By: Ryan Howser
Date: 01/25/2022



El Paso County Planning & Community Development



YOW Architects PC

Architecture & Planning

115 S. Weber Colorado Springs, Colorado 719-475-8133

GOLF MAINTENANCE FACILITY

5770 & 5772 Old Stagecoach Road
El Paso County, Colorado

Project Number
18.209

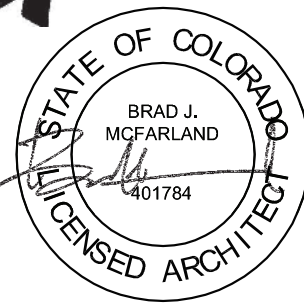
Date
1/12/22

Revisions

Drawn By
DBN

Checked By

SD1.0
Site Development
Plan
Scale
1" = 20'-0"



FLOOR PLAN GENERAL NOTES

1. DIMENSIONS INDICATED ARE FROM FACE OF STUD AND TO FACE OF MASONRY UNLESS NOTED OTHERWISE. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL DIMENSIONS NOT INDICATED ON OVERALL PLANS.

2. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH U.O.N.

3. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. RE: MECH, PLUMBING AND ELECTRICAL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL OR FRAMING REQUIREMENTS

KEYNOTES:

- 1 HI-LO DRINKING FOUNTAIN
- 2 LOCKERS
- 3 DROP-IN ADA SHOWER STALL
- 4 MOP SINK
- 5 TUB STYLE SINK
- 6 CASEWORK BY OWNER

YOW Architects PC

Architecture & Planning

15 S. Weber Colorado Springs, Colorado 719-475-8133

GOLF MAINTENANCE FACILITY

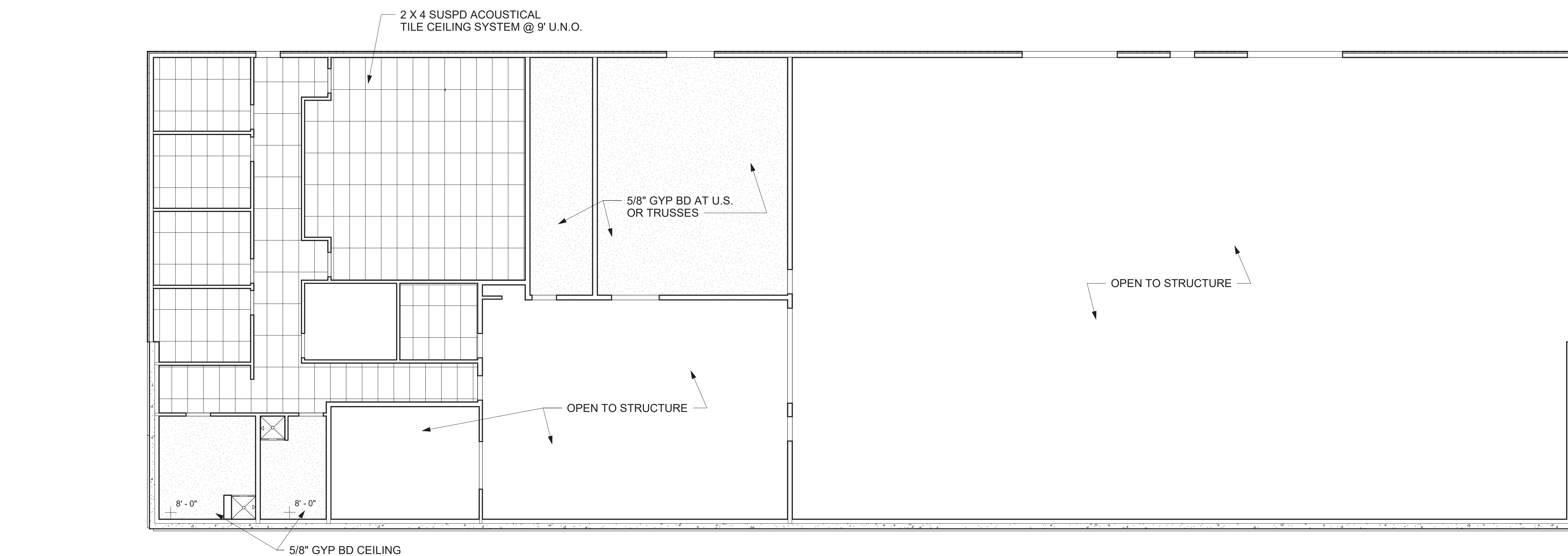
FLYING HORSE NORTH
Colorado Springs, CO

Project Number	19.214
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Date
8.12.19

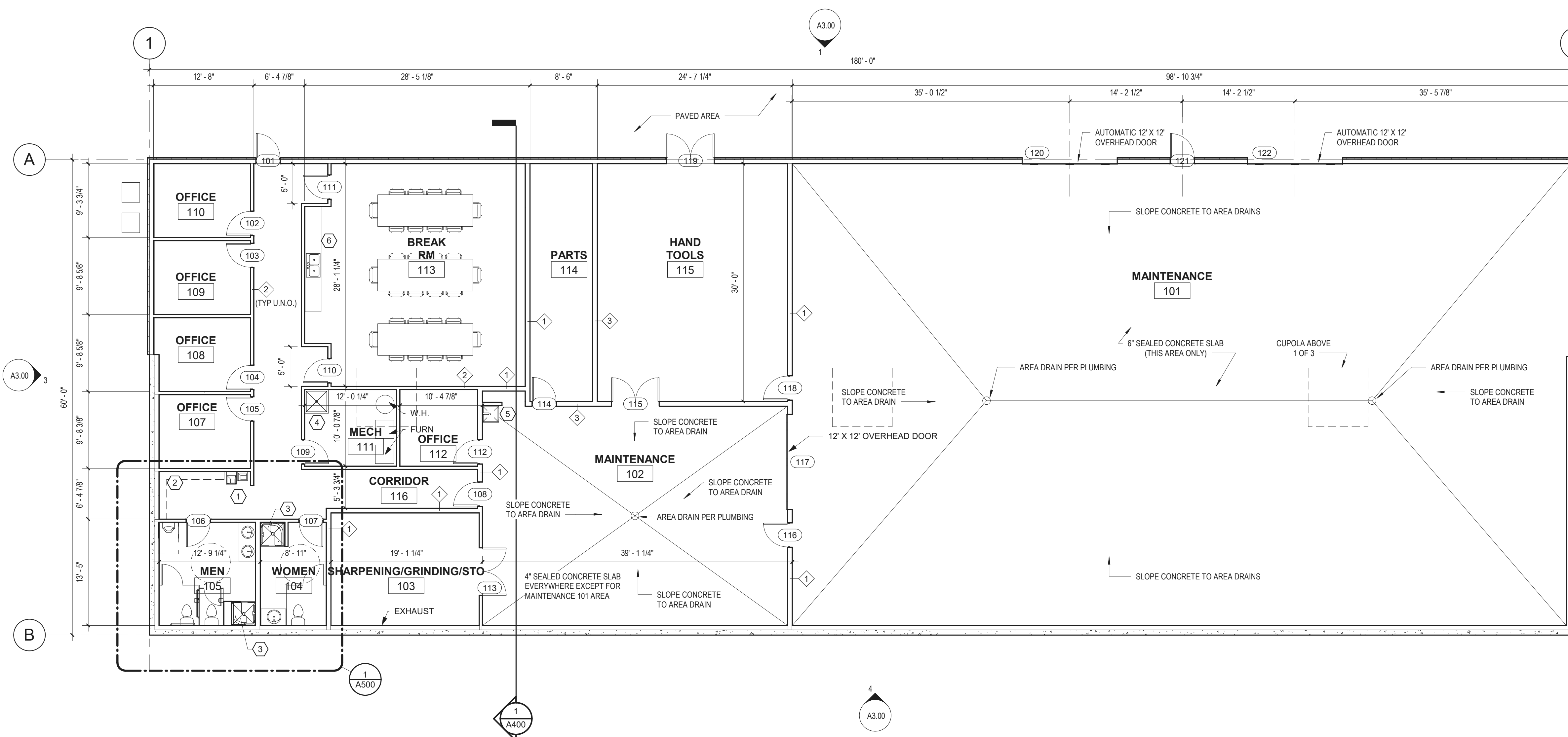
Drawn By
bjm
Checked By
YOW

A1.00
FIRST FLOOR PLAN
Scale
As indicated

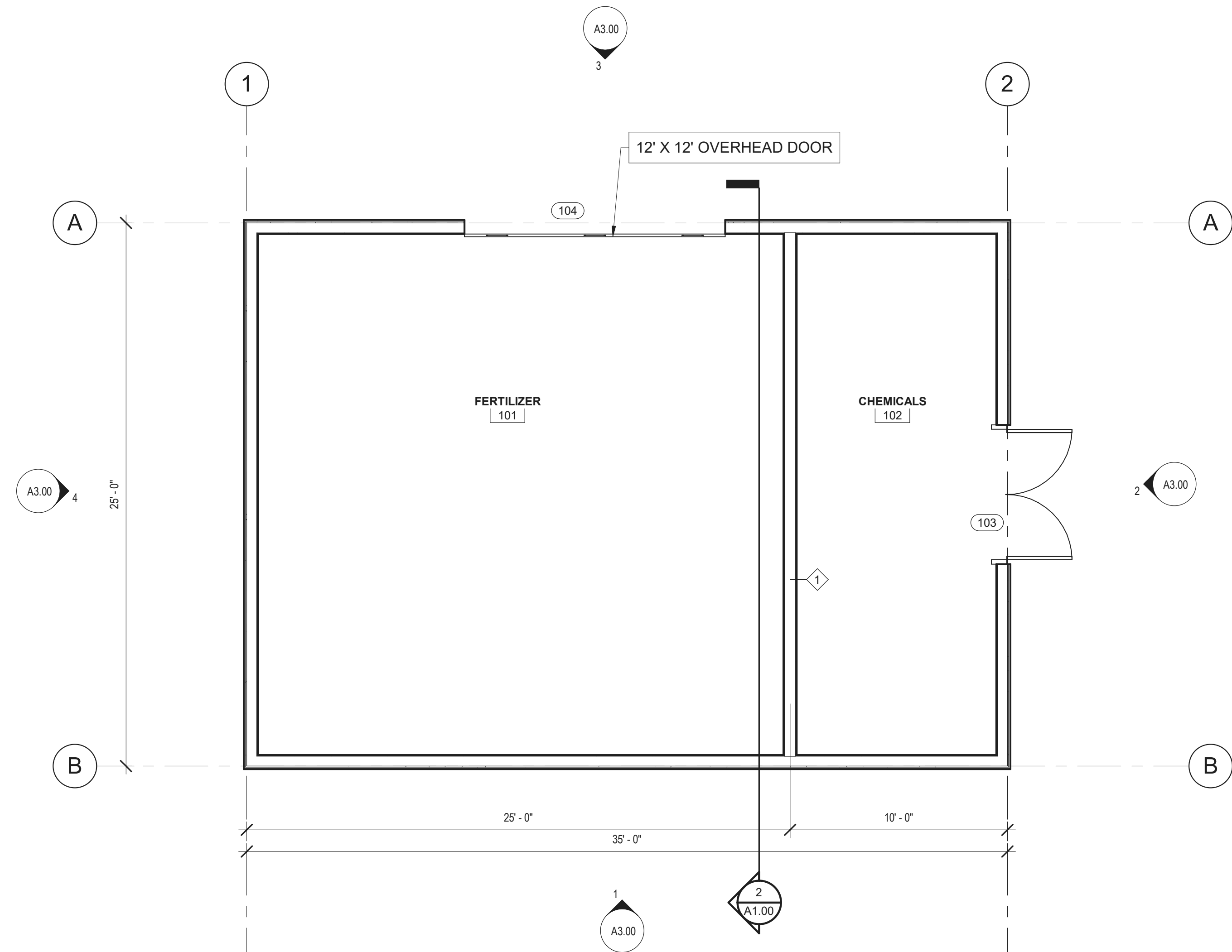
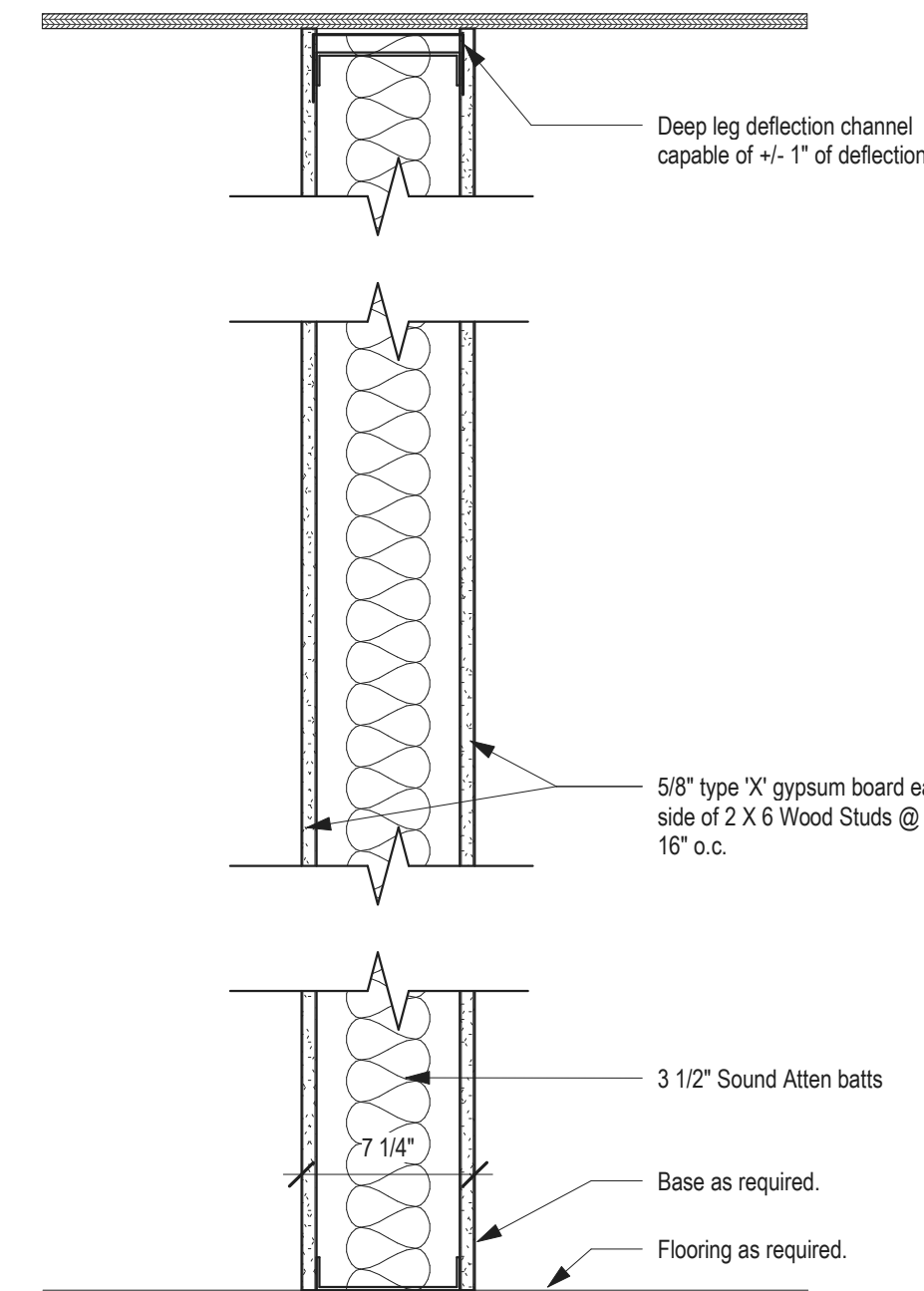
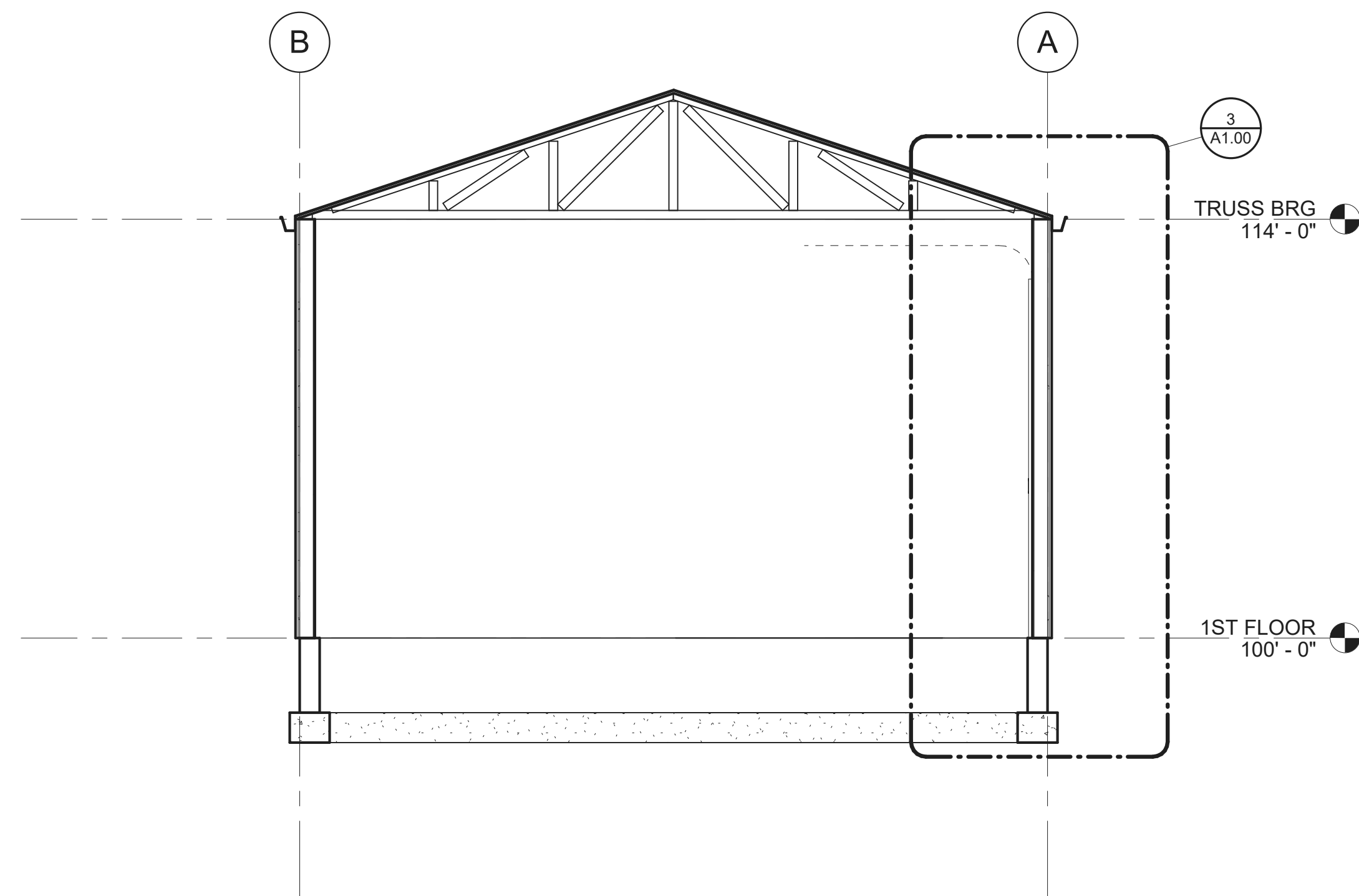


NOTE: SEE 3/A400 FOR LIMITS OF 5/8" GYP BD
@ U.S. OF WOOD TRUSS SYSTEM

③ REFLECTED CEILING PLAN
1/8" = 1'-0"

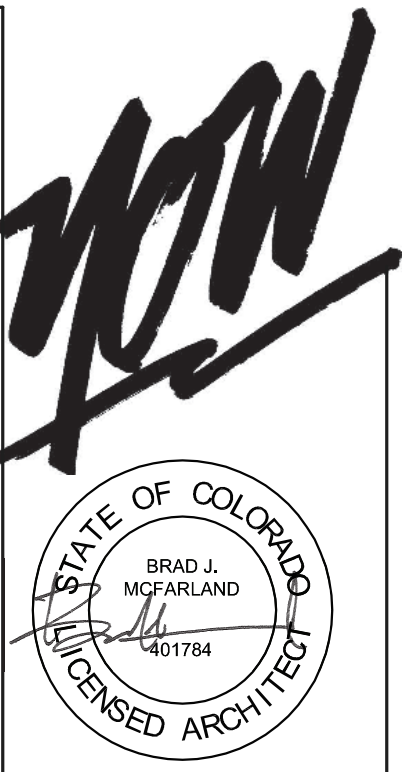


① FLOOR PLAN
1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

1. DIMENSIONS INDICATED ARE FROM FACE OF STUD AND TO FACE OF MASONRY UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. RE: MECH. PLUMBING AND ELECTRICAL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL OR FRAMING REQUIREMENTS.



YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-

[illegible]

FERTILIZER - CHEMICAL BUILDING

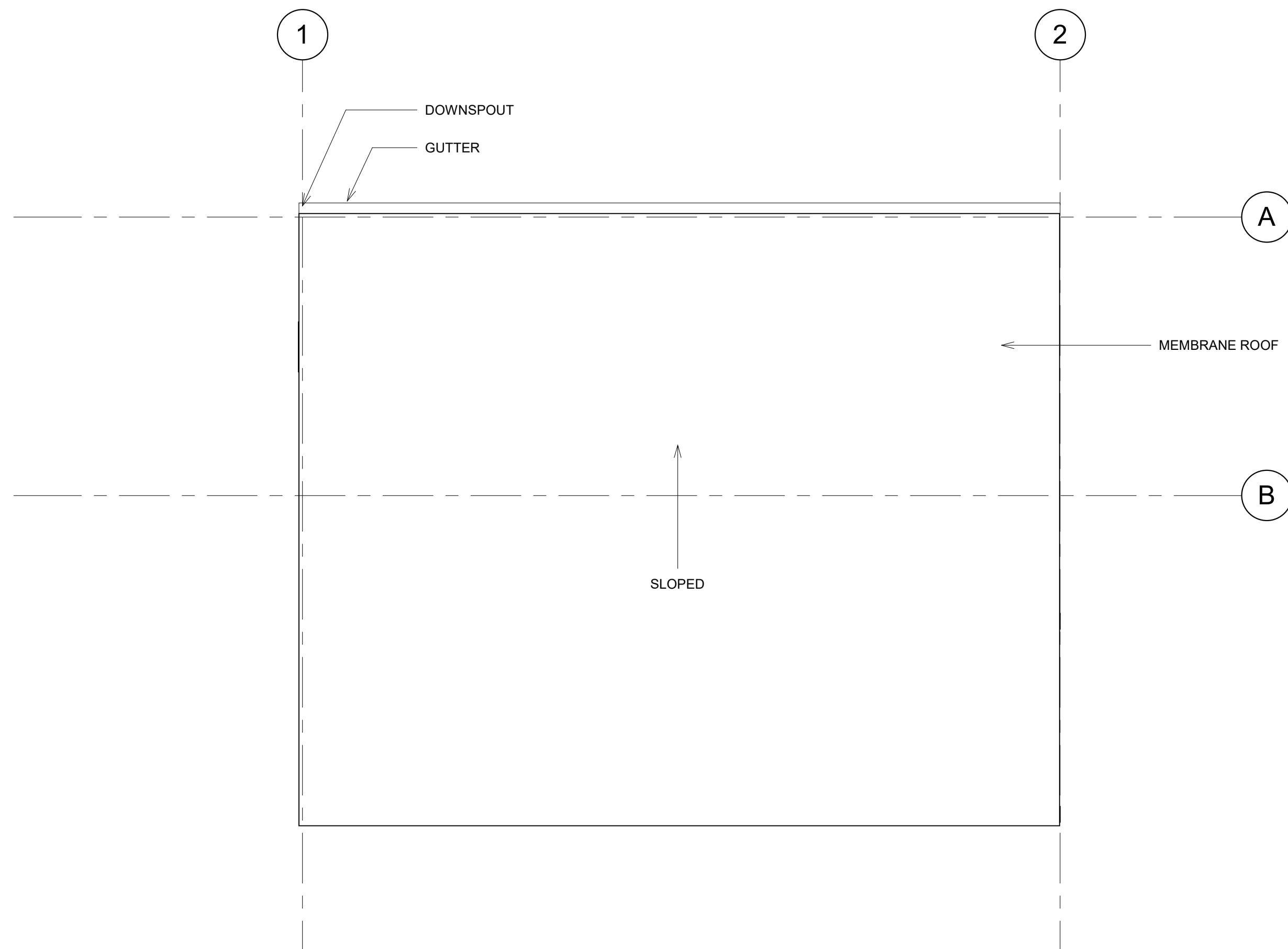
FLYING HORSE NORTH
Colorado Springs, CO

Project Number 19.214
Date 8.12.19
Drawn By BJM Checked By
A1.00 FLOOR PLAN Scale As indicated

1.

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MEMBRANE ROOFING

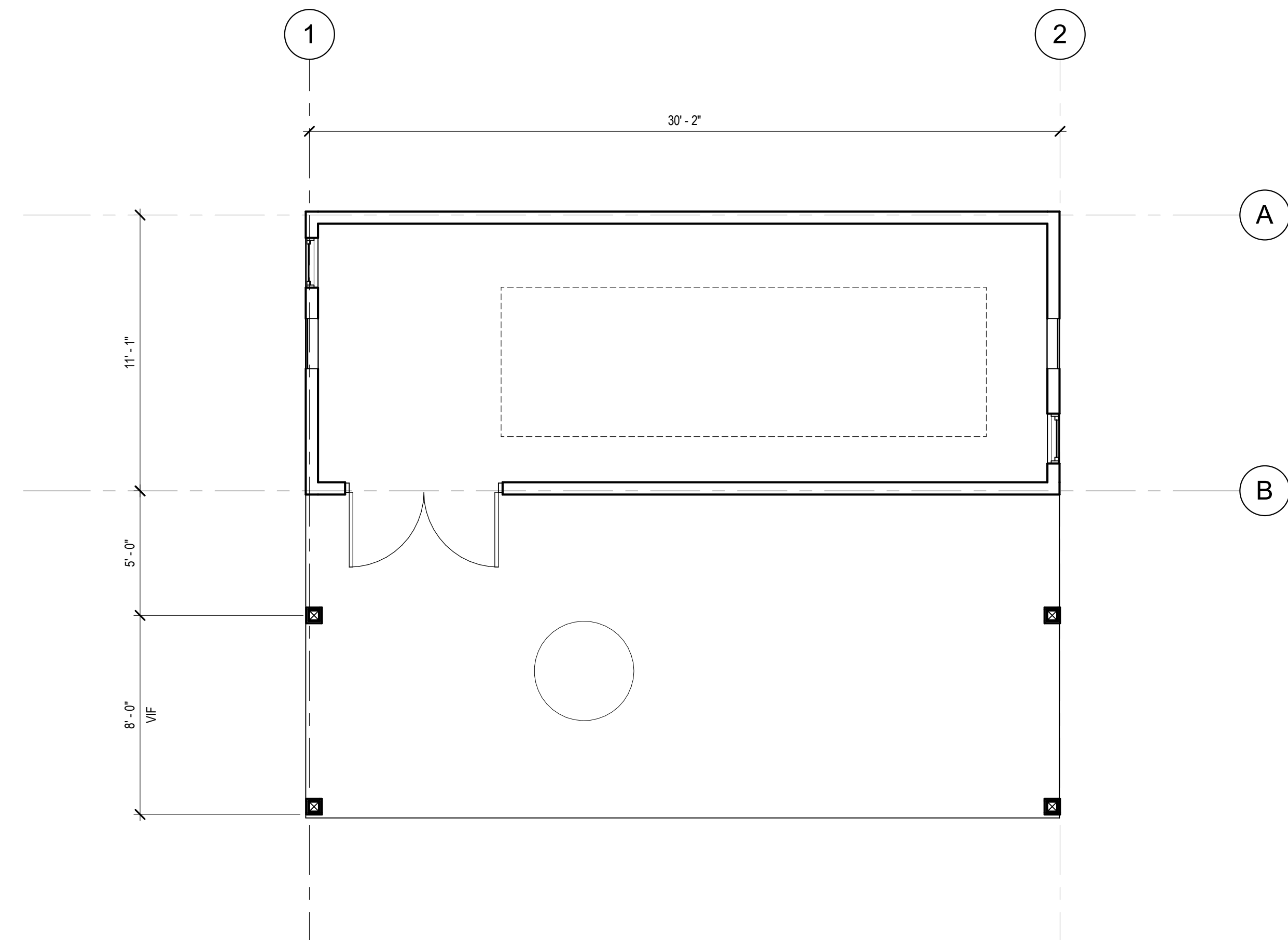


2 ROOF PLAN
1/4" = 1'-0"

$$\frac{1}{4}'' = 1'-0''$$

FLOOR PLAN GENERAL NOTES

1. DIMENSIONS INDICATED ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL DIMENSIONS NOT INDICATED ON OVERALL PLANS.
2. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH U.O.N.
3. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. RE: MECH, PLUMBING AND ELECTRICAL. REFER TO STRUCTURAL DRAWINGS FOR LITEIL OR FRAMING REQUIREMENTS.
4. ALL STUD WALL ASSEMBLIES SHALL BE



1 1ST FLOOR PLAN
1/4" = 1'-0"

$$1/4'' = 1'-0''$$

YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-

[illegible]

FLYING HORSE NORTH
PUMP HOUSE

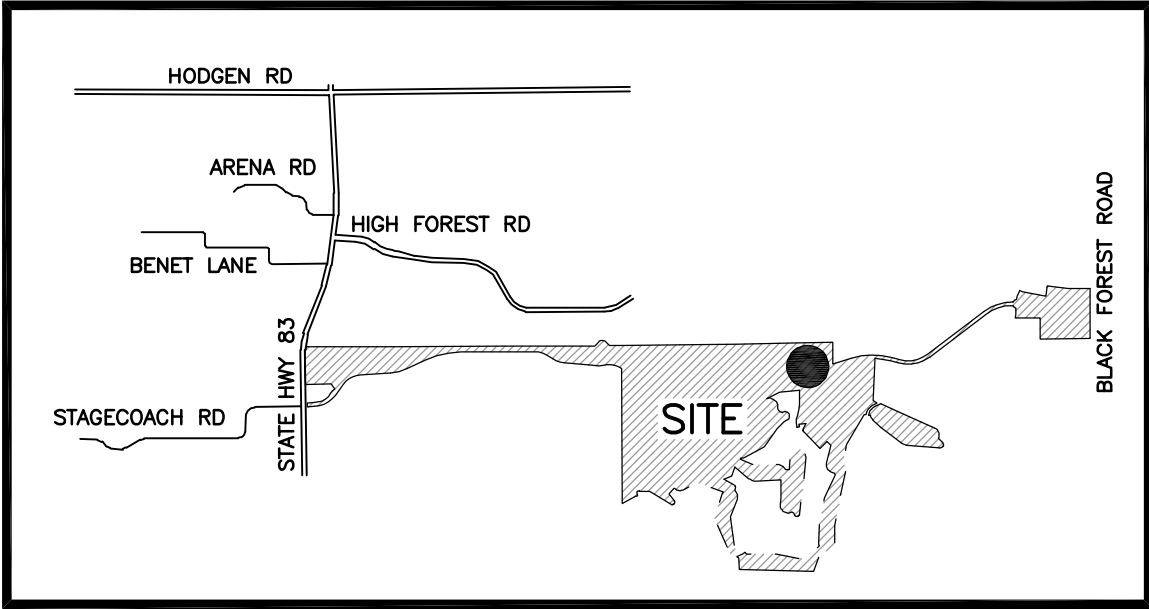
Project Number
19.358

Date
04/06/2020

Drawn By
JRW
Checked By
YOW

A110

FLOOR PLANS



PUD STREET TREE REQUIREMENT:
561' : 1 TREE PER 30' =19 TREES REQUIRED
19 TREES PROVIDED

LANDSCAPE PLANT SCHEDULE

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	NOTES
DECIDUOUS TREES						
		<i>Quercus laevis</i>	Shingle Hicorybush	40' x 30'	2' Caliper	Bolt and Burpee
SWO	4	<i>Quercus borealis</i>	Sawsp White Oak	60' x 50'	2' Caliper	Bolt and Burpee
CSP	7	<i>Pinus catorum</i> <i>var. serotina</i>	Clawfoot Scaled Pine	30 x 15'	2" Caliper	Bolt and Burpee
EVERGREEN TREES						
		<i>Austroba</i>		50' x 30'	10" Height	Bolt and Burpee
DECIDUOUS SHRUBS						
RTD	6	<i>Eucornia alabamica</i> <i>var. commersonii</i>	Redd Burning Bush	5' x 4'	5 Gal/lon	Container
DBB	3	<i>Cornus alternifolia</i>	Doan's Dogwood	6' x 5'	5 Gal/lon	Container
		<i>Viburnum acerifolium</i>	Nancyberry Viburnum	9' x 7'	5 Gal/lon	Container
EVERGREEN SHRUBS						
JWC	13	<i>Juniperus communis</i> <i>var. horizontalis</i>	Armstrong Juniper	4' x 4'	5 Gal/lon	Container

IRRIGATION SUBMITTAL

A Final Irrigation Plan application is due at time of the (core and shell) building Permit.

Submitted Requirements:

4. An indication also shall

7. The applicant shall submit a permit application and supporting information to the Department of Environmental Protection (DEP) for review and approval. The applicant shall also submit a copy of the permit application to the local government having jurisdiction over the project.
8. Upon request by the applicant, an inspection plan shall be submitted within ninety (90) days subsequent to obtaining the permit. The inspection plan shall include:
 - a. A schedule of inspections to be conducted at intervals not exceeding thirty (30) days.
 - b. A list of personnel who will conduct the inspections.
 - c. A list of equipment to be used during the inspections.
9. In the case of the construction of vacant land to normal residential use that does not involve the construction of a structure, an inspection plan shall be submitted and approved consistent with development plan review and approval procedures.
10. The inspection plan shall graphically and through notes depict a water efficient design consistent with the landscape and grading plans.
11. The inspection plan shall show and note hydronic zones. The hydronic zones shall take into account the water demand pattern, building orientation, environmental factors, and weather patterns.
12. Inspection systems shall conform to the inspection standards and all other provisions of the Landscape Code and landscape policy manual.

GENERAL LANDSCAPE NOTES:

1. **PLANT QUANTITY AND SUBSTITUTION:** In case of discrepancy in plant quantities shown on the planting table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum quantities of plants to be measured before pruning shall conform to the planting sizes as specified on the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
2. **ACCEPTABLE PLANT MATERIAL:** All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION" and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
3. **SOIL AMENDMENTS:** All planting areas and turf areas shall be amended as follows:
3 - cubic yards per 1000 s.f. of well-composted aged manure or premium compost.
RECOMMENDED SOIL AMENDMENT:
TRI-MIX (II) as supplied by C&S Sand
To be applied as backfill in planting pits

ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 4" PRIOR TO PLANTING.

4. SEEDED AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
5. IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
6. INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
7. STEEL EDGER: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
8. INSPECTION AND APPROVAL: The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION.
9. Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
10. GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.

LEGAL DESCRIPTION: TRACT L
FLYING HORSE NORTH FILING NO. 1
84.66 ACRES

SITE DATA	tax schedule no.:	61360003004
	area	84.66 acres
	ex use	Vacant
	proposed use	Golf course maintenance
OWNER INFO	company name	PRI #2 LLC
	address city/state	6385 Corporate Drive, Suite 200 Colorado Springs CO, 80919
	phone no	PCD city file no: PPR1934



YOW ARCHITECTS PC

ARCHITECTURE & PLANNING

115 S. Weber Colorado Springs, Colorado 475-8133

GOLF MAINTENANCE

FACILITY

5770 & 5772 Old Stagecoach Road
El Paso County, Colorado

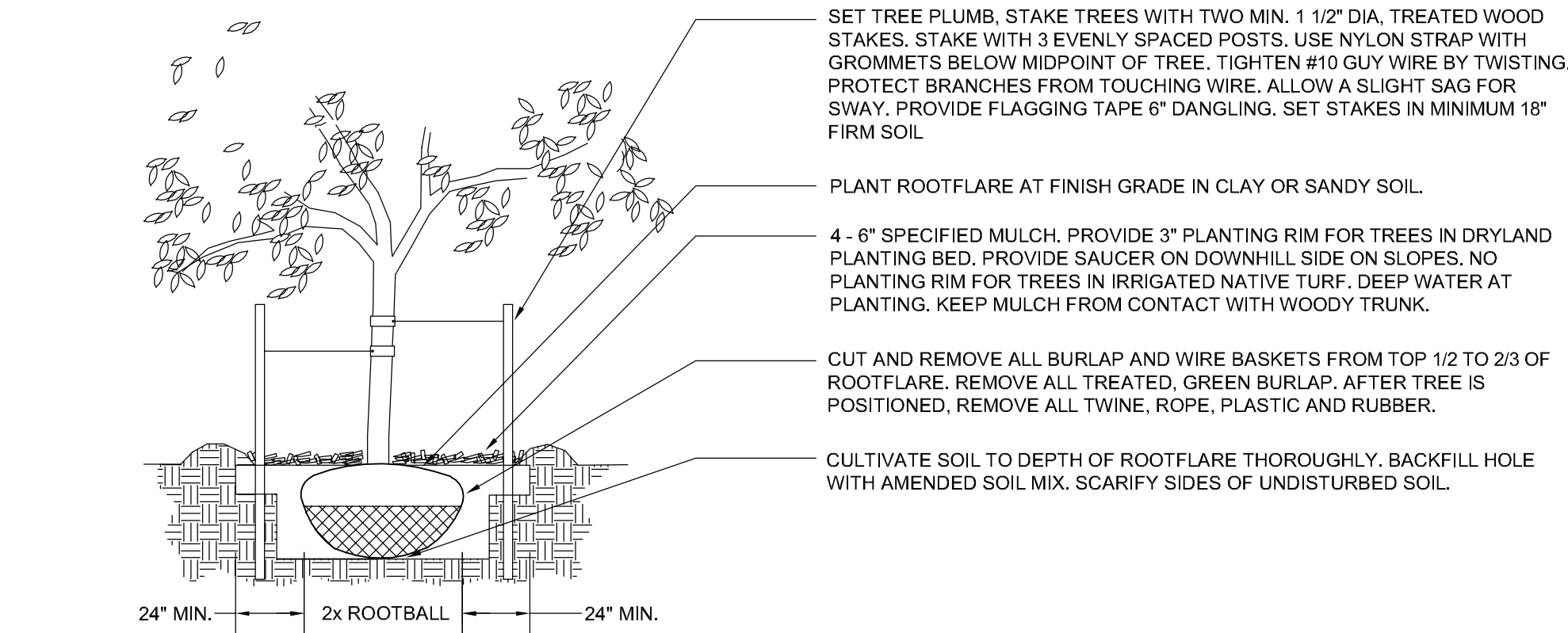
Job No.	18.115
Directory	Landscape
File	ARCH SITE PLAN 10-15-19
Drawn By	DBN
Date	8/19/2019
Revised	1/12/2022

DRAWING NO.

1 of 2

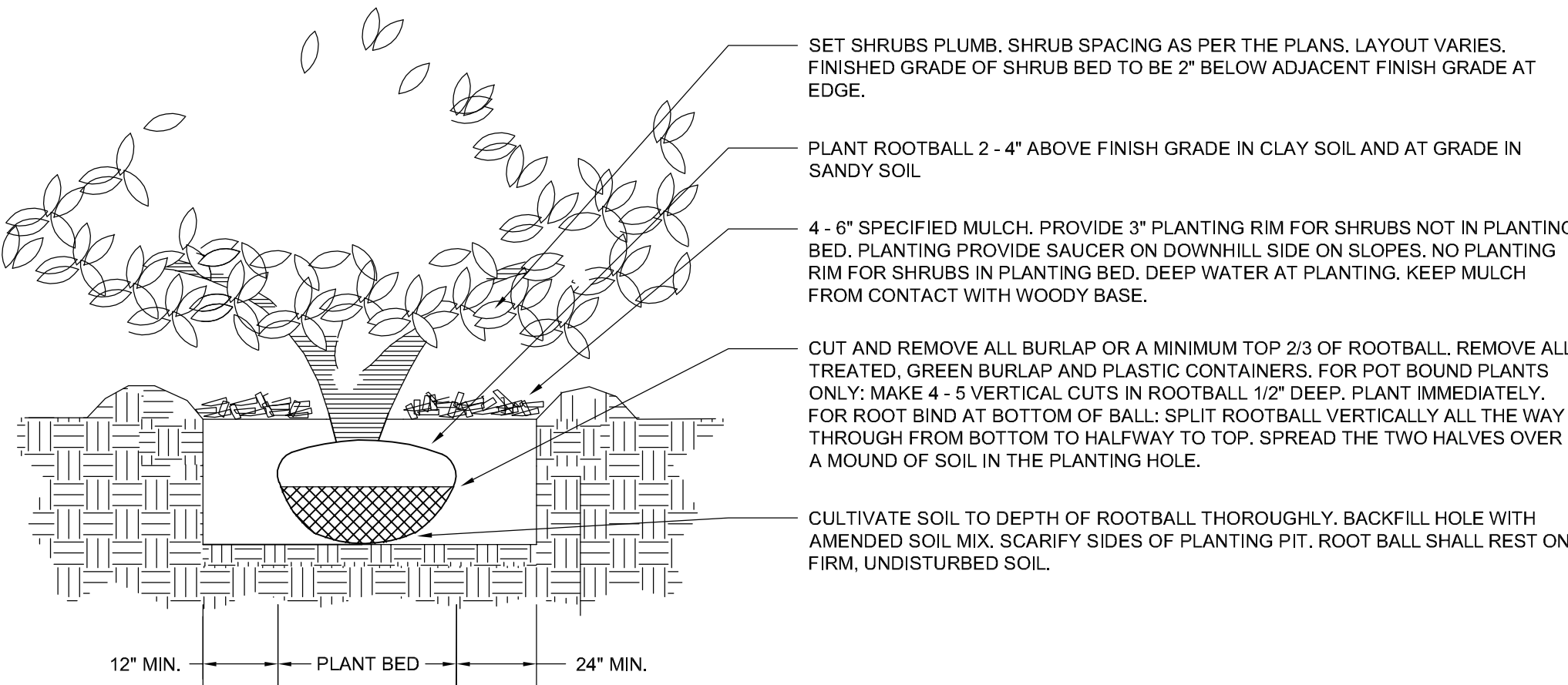
FINAL LANDSCAPE
PLAN

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 80% SOIL FROM PLANTING PIT AND 20% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.
 - STAKING POST SHALL BE 1 1/2" DIA. TREATED WOOD STAKE. METAL POST WILL NOT BE APPROVED

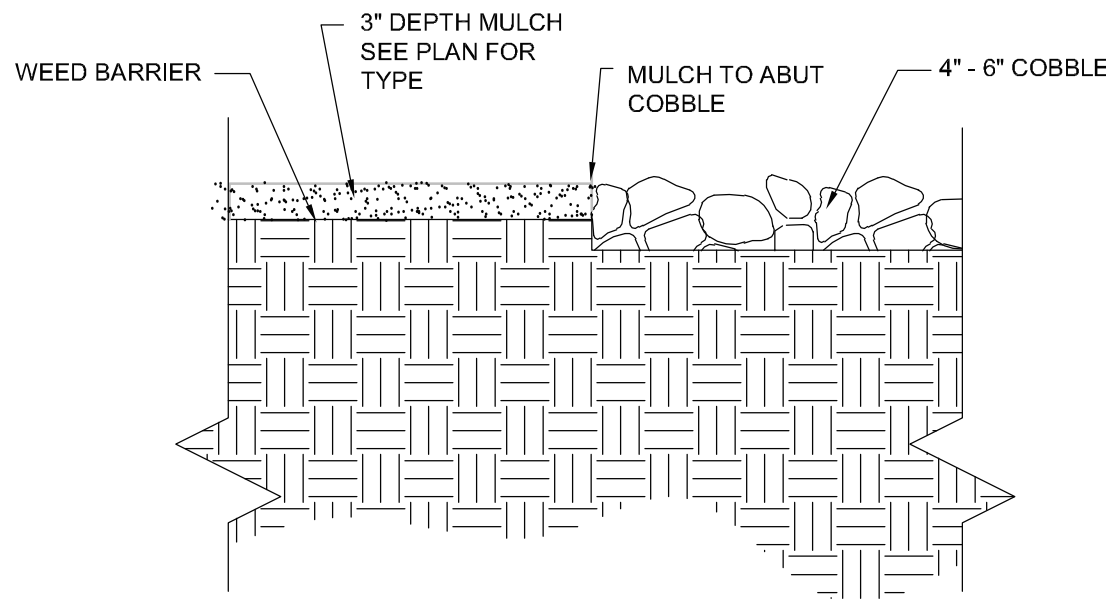


a
2-8
DECIDUOUS TREE PLANTING DETAIL
N.T.S.

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.

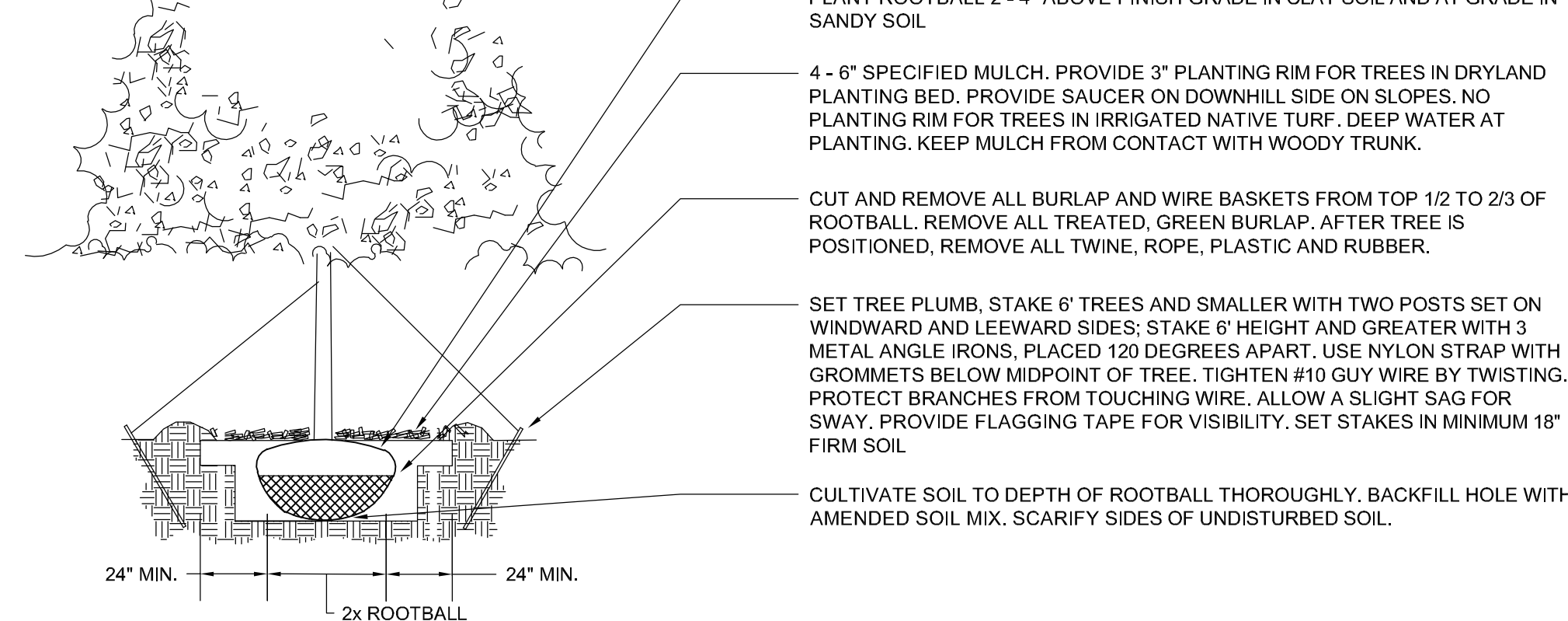


c
2-8
SHRUB PLANTING DETAIL
N.T.S.

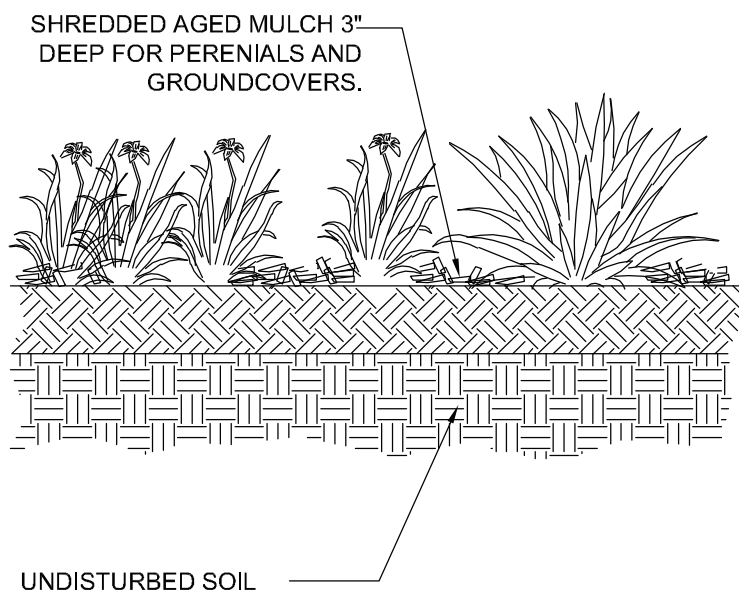


f
2-8
COBBLE @ MULCH
N.T.S.

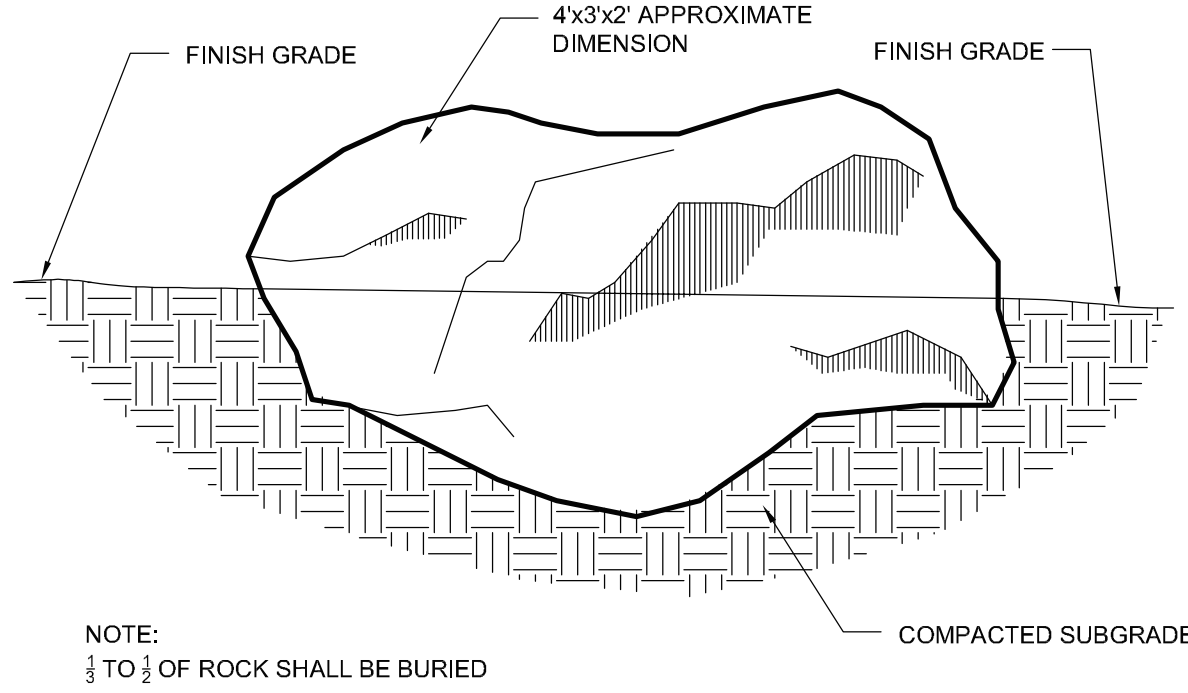
- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.



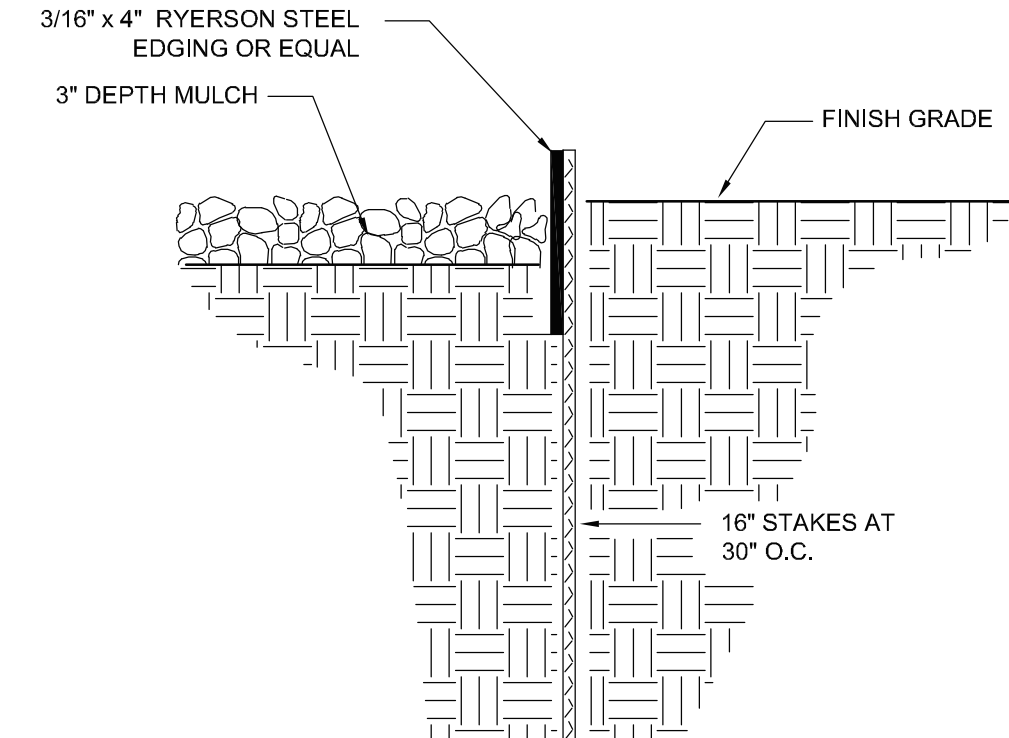
b
2-8
EVERGREEN TREE PLANTING DETAIL
N.T.S.



d
2-8
PERENNIAL/GROUND COVER PLANTING DETAIL
N.T.S.



h
2-8
LANDSCAPE BOULDER
N.T.S.



e
2-8
STEEL EDGE DETAIL
N.T.S.

GENERAL LANDSCAPE NOTES:

1. PLANT QUANTITY AND SUBSTITUTION: In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
2. ACCEPTABLE PLANT MATERIAL: All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION," and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
3. SOIL AMENDMENTS: All planting areas and turf areas shall be amended as follows:
 - 3 cubic yards per 1000 s.f. of a mixture of aged manure and top soil to increase organic matter.
 - 2-3 lbs per 1000 s.f. of Sulfur every 4-6 weeks or peat moss(1-3 cy/1000sf) to lower the pH.
 - 3 lbs per 1,000 sf of Nitrate for every 0.1 lb of N apply 1/2 lb urea or 1/2 lb of ammonium sulfate.
 - 3 lbs of P205 per 1,000 sf to increase the Phosphorus
 - 2 lbs of K20 per 1,000 sf to increase the Potassium

RECOMMENDED BACKFILL:
TRI-MIX III as supplied by C&C Sand
-To be applied as backfill in planting pits

- ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
4. SEEDED AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
 5. IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
 6. ORGANIC MULCH: All planting areas for trees, shrubs, groundcovers and ornamental grasses shall be mulched with a (3") depth. A 36" diameter of 3" depth wood mulch shall be provided at base of all trees in turf areas. Mulch shall be fibrous in nature, not chipped or in chunks, and watered in after installation. NO FILTER FABRIC IS TO BE USED UNDER WOOD MULCH.
 7. INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
 8. LANDSCAPE BOULDERS: All landscape boulders shown on plan are to be 10-12 cubic feet minimum, blue grey river rock boulders unless otherwise specified.
 9. STEEL EDGE: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
 10. INSPECTION AND APPROVAL: Notification for IRRIGATION INSPECTION AFFIDAVIT shall be given during construction while trench is open and after completion of system installation prior to seeding or sodding. The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION AFFIDAVIT.
 11. Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
 12. AN IRRIGATION PLAN MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING THE BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY PER CITY OF COLORADO SPRINGS.
 13. GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.
 14. TREE WELLS: ALL TREES LOCATED IN PAVED BUILDING AREAS OR IN PARKING LOT ISLANDS ARE TO UTILIZE STRUCTURAL SOILS A MINIMUM OF 8"-9" OUTSIDE OF DESIGNATED PLANTING PITS. SOILS SHOULD NOT BE STOCKPILED ON SITE FOR MORE THEN 24HRS. IF STORAGE OF SOIL ON SITE IS NECESSARY PROTECTION OF SOIL IS NEEDED TO MINIMIZE CONTAMINATION.

IRRIGATION NOTES:

1. IRRIGATION IS TO BE DESIGN-BUILD. THE IRRIGATION PLAN APPLICATION SUBMITTAL AND APPROVAL MUST BE COMPLETED BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED. CONTRACTOR TO PROVIDE A FINAL IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
2. All trees, shrubs, and ground covers shall be irrigated by an automatic drip irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic spray irrigation system also equipped with a rain sensor automatic shutoff device.
3. All valve boxes shall be supported by concrete block (min. 4 per box). Install blocks in a manner that will prevent contact with piping, wires, and valve.
4. Irrigation control wire shall be common trench with mainline and shall have separate sleeve were crossing all hard construction.
5. The contractor shall adjust all valves and spray nozzles for optimum coverage.
6. Contractor shall tape closed all sleeve pipe openings to prevent debris from entering sleeves.
7. Backflow preventer should be located in a locked/secured metal enclosure.
8. Minimum of (2 - 1gph) emitters per shrub and (4 - 1gph) per tree at minimum. Preferred method for irrigating trees would be to utilize tree ring assembly constructed of 1/2" dripline(diameter to match root ball). Reference Rainbird standard dripline tree detail.
9. All seeded areas need to be zoned and scheduled separately. Seeded irrigation zones are for temporary/establishment water purposes only (see seeding notes).
10. Contractor to provide irrigation schedule to owner/maintenance group addressing watering schedule for both establishment period and regular watering schedule.
11. Irrigation system, as noted, is to be design-build MODIFYING the current system in place. Where possible, all existing valves should be used and incorporated into the revised system design. The use of lower water use spray nozzles is strongly encouraged in all spray zones (i.e: MP Rotators).
12. All turf, seeded and drip areas should be zoned SEPARATELY.
13. All seeded areas are to be irrigated with permanent in-ground spray irrigation. These areas should be zoned separately as noted above. Irrigation in seeded areas should be used primarily for establishment purposes only. Once seeded areas have been established irrigation zones should not be part of regular watering schedule.

SITE DATA

tax schedule no.: 6136003004
area: 84.66 acres
ex use: Vacant
proposed use: Golf course maintenance

OWNER INFO

company name: PRI #2 LLC
address: 6385 Corporate Drive, Suite 200
city/state: Colorado Springs CO, 80919
phone no:

PCD city file no: PPR1934



YOW ARCHITECTS PC

ARCHITECTURE & PLANNING

115 S. Weber Colorado Springs, Colorado 475-8133

Structural: ---
Electrical: ---
Mechanical: ---
Plumbing: ---

GOLF MAINTENANCE FACILITY

5770 & 5772 Old Stagecoach Road
El Paso County, Colorado

Doc No: 18115
Directory: Landscape
File: ARCH SITE PLAN 9-13-19
Drawn By: DBN
Date: 8/19/2019
Revised:

DRAWING NO.

2 of 2

LANDSCAPE DETAILS

PLEASE REFERENCE THE FOLLOWING
FLYING HORSE NORTH FILING NO. 1
APPROVED PLANS AND REPORTS
ASSOCIATED WITH THIS DEVELOPMENT:

FLYING HORSE NORTH FILING NO. 1
STREET IMPROVEMENT PLANS
PCD FILE NO. SF-18-001

FLYING HORSE NORTH
EROSION AND STORMWATER QUALITY
CONTROL PERMIT (ESQCP)

OLD STAGECOACH ROAD

PROP. 5'x5' TYPE L
RIP-RAP PAD
(d50=9", DEPTH=18")

PROP. 8'x10' TYPE L
RIP-RAP PAD
(d50=9", DEPTH=18")

PROP. 48 LF ~ 24" RCP
DRIVEWAY CULVERT @ 1.7%
(DRIVEWAY PERMIT REQUIRED)

PROP. GRAVEL
MANEUVERING AREA

TRACT L

OLF MAINTENANCE
REA

PROP. 4:1
SLOPE (TYP.)

PROP. M
BLDG.
FF E

PROP. 7
FOUND.

PROP. 4:1
SLOPE (TYP.)

EXIST. NATIVE BERM
(GOLF COURSE CONST.)

TRACT L

GOLF COURSE
HOLE #5 FAIRWAY

PROPERTY BOUNDARY

EXIST. PRIVATE 30" STORM
(GOLF COURSE CONST.)

EXIST. NATIVE BERMS
(GOLF COURSE CONST.)






PROP. 12'x15' TYPE L
RIP-RAP PAD
(d50=9", DEPTH=18")

GOLF C
HOLE #

TRACT L


LIMITS OF GOLF COURSE

EXIST. CONC. CART PATH

<u>LEGEND</u>	
<u>DESCRIPTION</u>	<u>SYMBOL</u>
EXISTING GROUND CONTOUR	 (6910)
PROPOSED FINISHED CONTOUR	 6910
EXISTING DIRECTION OF FLOW	
PROPOSED DIRECTION OF FLOW	
STORM SEWER	

30 15 0 30 60

SCALE: 1" = 30'


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FLYING HORSE NORTH
GOLF MAINTENANCE FACILITY
SITE SPECIFIC GRADING PLAN

DESIGNED BY	MAW	SCALE	DATE	9-9-19
DRAWN BY	MAW	(H) 1"= 30'	SHEET 1	OF 1
CHECKED BY		(V) 1"= N/A	JOB NO.	1096.11

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