

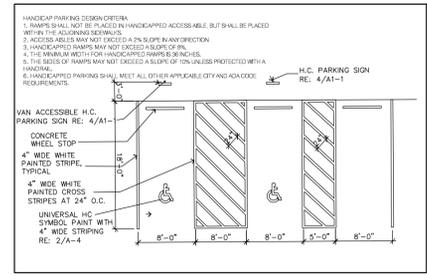
**TRACT L FLYING HORSE
NORTH FILING NO. 1
RECORDED UNDER RECEPTION NO.
218714238
GOLF COURSE
84.66 ACRES**

**LOT 29 FLYING HORSE
NORTH FILING NO. 1
5555 OLD STAGECOACH RD.
RECEPTION NO. 6136003001
RESIDENTIAL
3.56 ACRES**

PARKING

use	Maintenance Building
bdg area	10,800 sf
ratio	1 parking space per anticipated employee
required	11 required (including 1 accessible spaces 1 being van accessible)
provided	11 provided (1 accessible including 1 van accessible space)

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



FLYING HORSE NORTH MAINTENANCE

LOT	USE	LOT SIZE	BUILDING SIZE
TRACT L	MAINTENANCE	84.66 Acres	10,800 SF / 875 SF

**LEGAL DESCRIPTION: TRACT L
FLYING HORSE NORTH FILING NO. 1
84.66 ACRES**

SITE DATA

tax schedule no.:	6136003004
area	84.66 acres
ex use	Vacant
proposed use	Golf course maintenance

OWNER INFO

company name	Flying Horse Country Club LLC
address city/state	2138 Fklyng Horse Club Drive Colorado Springs CO, 80921
phone no	

Approved
By: Ryan Howser
Date: 01/25/2022
El Paso County Planning & Community Development

PCD city file no: COM-21-54

GOLF MAINTENANCE FACILITY

5770 & 5772 Old Stagecoach Road
El Paso County, Colorado

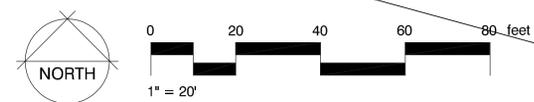
YOW Architects PC

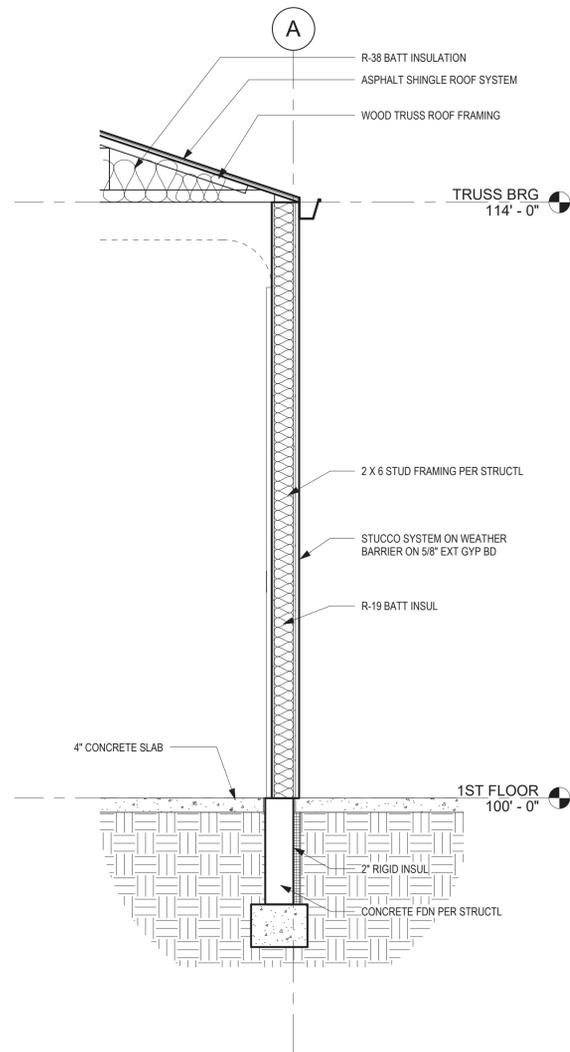
Architecture & Planning
Colorado Springs, Colorado 719-475-8133

Project Number
18.209
Date
1/12/22
Revisions

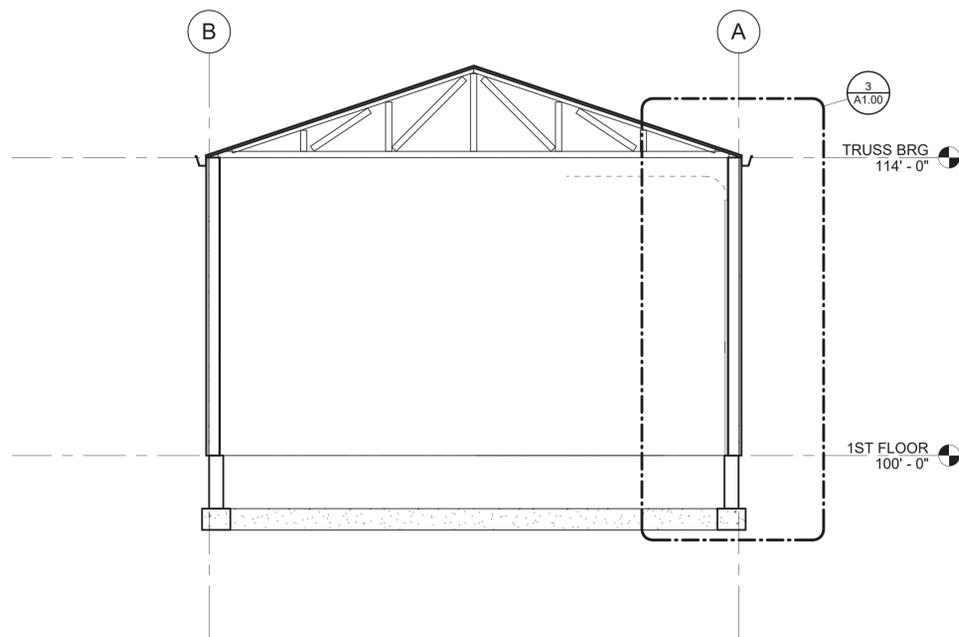
Drawn By
DBN
Checked By

SD1.0
Site Development
Plan
Scale
1" = 20'-0"

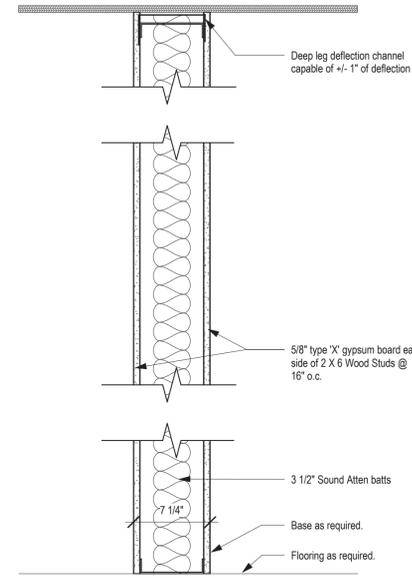




3 TYPICAL WALL SECTION
1/2" = 1'-0"



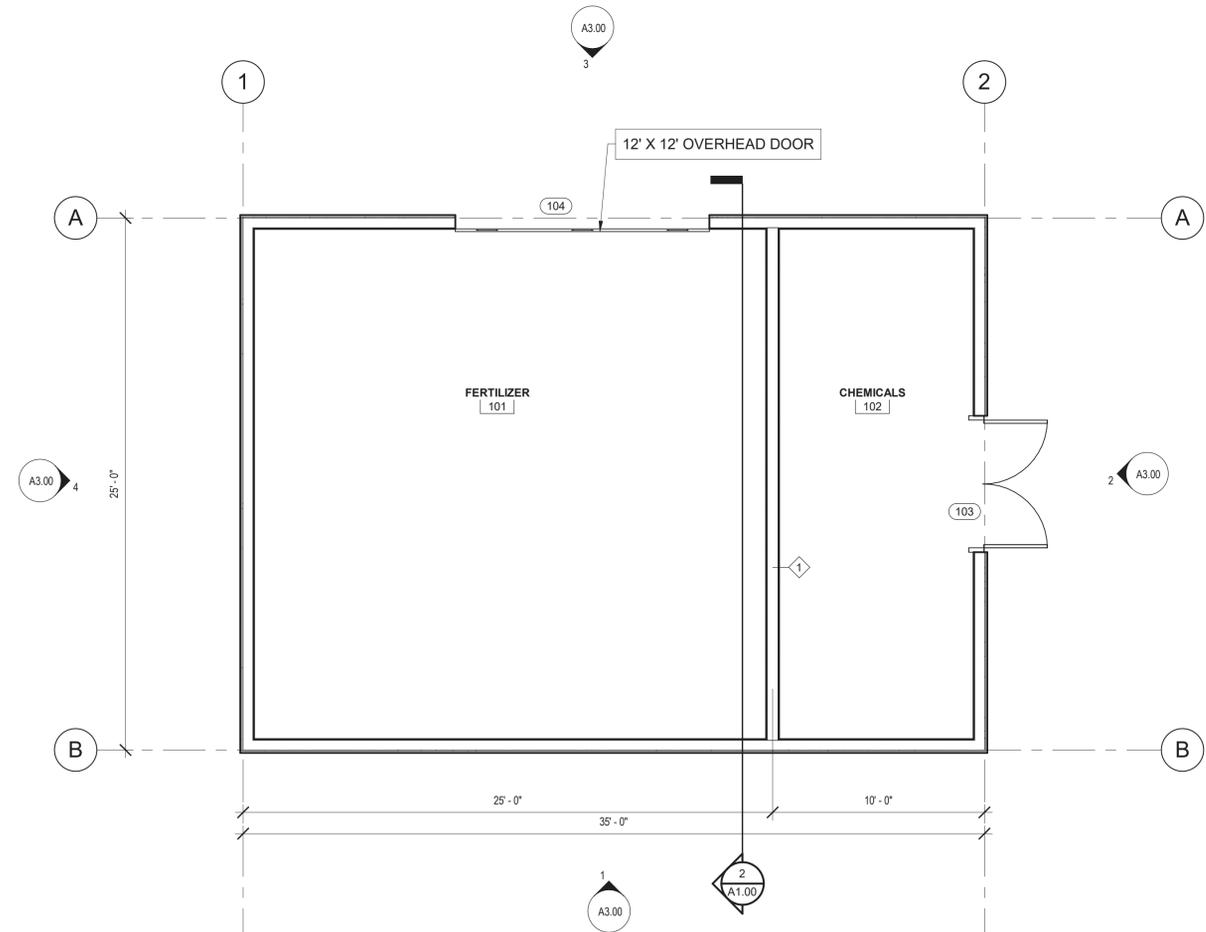
2 BUILDING SECTION
1/4" = 1'-0"



4 PARTITION TYPE 1
1 1/2" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. DIMENSIONS INDICATED ARE FROM FACE OF STUD AND TO FACE OF MASONRY UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. RE: MECH, PLUMBING AND ELECTRICAL. REFER TO STRUCTURAL DRAWINGS FOR LINTEL OR FRAMING REQUIREMENTS.



1 FLOOR PLAN
1/4" = 1'-0"

YOW



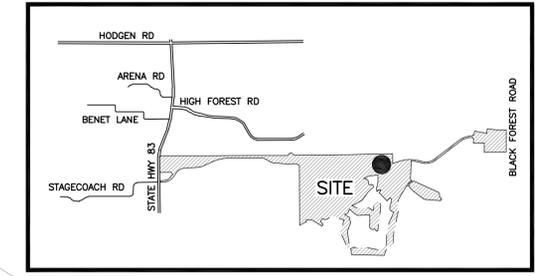
YOW Architects PC
Architecture & Planning
115 S. Weber Colorado Springs, Colorado 719-475-8133

Revision Schedule	

FERTILIZER - CHEMICAL BUILDING
FLYING HORSE NORTH
Colorado Springs, CO

Project Number
19.214
Date
8.12.19
Drawn By
BJM
Checked By

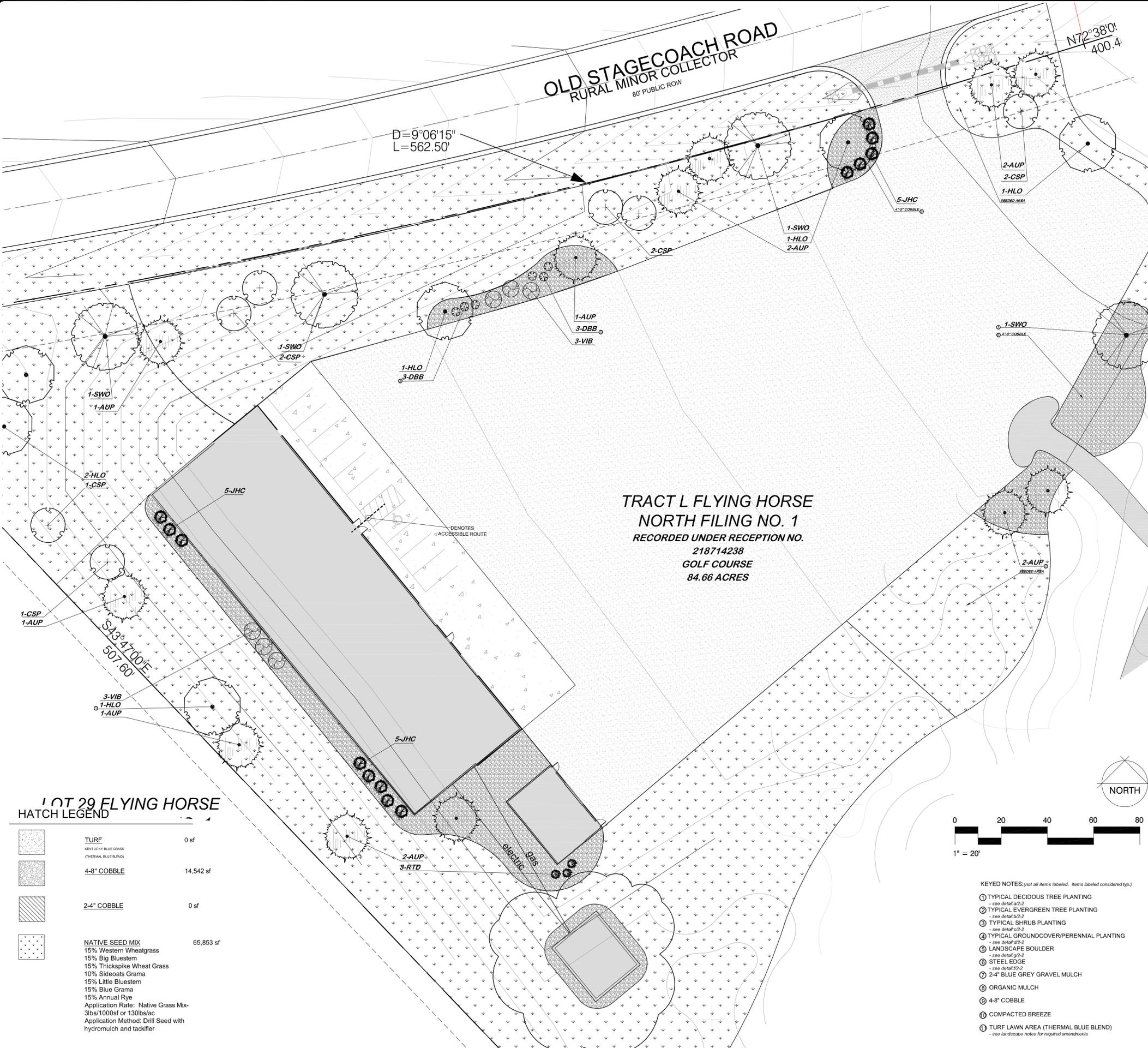
A1.00
FLOOR PLAN
Scale
As indicated



OLD STAGECOACH ROAD
RURAL MINOR COLLECTOR
80' PUBLIC ROW

D=9°06'15"
L=562.50'

N72°38'0"
400.4



TRACT L FLYING HORSE
NORTH FILING NO. 1
RECORDED UNDER RECEPTION NO.
218714238
GOLF COURSE
84.66 ACRES

PUD STREET TREE REQUIREMENT:
561' : 1 TREE PER 30' = 19 TREES REQUIRED
19 TREES PROVIDED

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	NOTES
DECIDUOUS TREES						
HLO	5	Gleditsia inaequalis	Stylish Honeylocust	40' x 30'	2" Calliper	Ball and Burlap
SWO	4	Quercus bicolor	Swamp White Oak	60' x 50'	2" Calliper	Ball and Burlap
CSP	7	Pinus strobus	White Pine	35' x 15'	2" Calliper	Ball and Burlap
EVERGREEN TREES						
AUP	12	Pinus nigra	Austrain Pine	50' x 30'	10" Height	Ball and Burlap
DECIDUOUS SHRUBS						
DBB	6	Quercus prinus	White Oak	8' x 4'	5 Gallon	Container
RTD	3	Conium maculatum	Red Top	8' x 4'	5 Gallon	Container
VIB	6	Viburnum lentago	Nannyberry Viburnum	8' x 7'	5 Gallon	Container
EVERGREEN SHRUBS						
JHC	13	Juniperus communis	Armsstrong Juniper	4' x 4'	5 Gallon	Container

IRRIGATION SUBMITTAL
A Final Irrigation Plan application is due at time of the (core and shell) building Permit.

1. An irrigation plan shall be submitted at the time of building permit application and approved within 180 days subsequent to building permit issuance or prior to issuance of a certificate of occupancy, whichever comes first.
2. Upon request by the applicant, an irrigation plan shall be submitted within ninety (90) days subsequent to building permit issuance and approved prior to the installation of any irrigation components and prior to issuance of a certificate of occupancy.
3. In the case of the conversion of an existing non-irrigated use that does not include the construction of a structure, an irrigation plan shall be submitted and approved concurrent with construction plan review and approval.
4. The irrigation plan shall graphically and through notes depict a water efficient design consistent with the landscape and grading plans.
5. The irrigation plan shall show and note hydrozones. The hydrozones shall take into account the water demand plants, slopes, microclimates, environmental factors, and water pressure.
6. Hydrozone systems shall conform to the irrigation standards and all other provisions of the Landscape Code and landscape policy manual.

GENERAL LANDSCAPE NOTES:

1. PLANT QUANTITY AND SUBSTITUTION: In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
2. ACCEPTABLE PLANT MATERIAL: All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION" and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
3. SOIL AMENDMENTS: All planting areas and turf areas shall be amended as follows:
- 3 cubic yards per 1000 s.f. of well-composted aged manure or premium compost.
RECOMMENDED SOIL AMENDMENT:
TRI-MIX III as supplied by C&C Sand
- To be applied as backfill in planting pits
4. ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 4" PRIOR TO PLANTING.
5. SEEDING AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
6. IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
7. INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
8. STEEL EDGE: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
9. INSPECTION AND APPROVAL: The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION.
10. Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
11. GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.

LEGAL DESCRIPTION: TRACT L
FLYING HORSE NORTH FILING NO. 1
84.66 ACRES



1 OF 29 FLYING HORSE
HATCH LEGEND

	TURF	0 sf
	KENTUCKY BLUE GRASS (THERMAL BLUE BLEND)	
	4-8" COBBLE	14,542 sf
	2-4" COBBLE	0 sf
	NATIVE SEED MIX 15% Western Wheatgrass 15% Big Bluestem 15% Thickspike Wheat Grass 10% Sideoats Grama 15% Little Bluestem 15% Blue Grama 15% Annual Rye Application Rate: Native Grass Mix- 3lbs/1000sf or 130lbs/ac Application Method: Drill Seed with hydromulch and tackifier	65,853 sf

- KEYED NOTES: (not all items labeled. Items labeled considered typ.)
- 1 TYPICAL DECIDUOUS TREE PLANTING
- see detail a2-2
 - 2 TYPICAL EVERGREEN TREE PLANTING
- see detail a2-2
 - 3 TYPICAL SHRUB PLANTING
- see detail a2-2
 - 4 TYPICAL GROUND COVER/PERENNIAL PLANTING
- see detail a2-2
 - 5 LANDSCAPE BOULDER
- see detail g2-2
 - 6 STEEL EDGE
- see detail e2-2
 - 7 2-4" BLUE GREY GRAVEL MULCH
 - 8 ORGANIC MULCH
 - 9 4-8" COBBLE
 - 10 COMPACTED BREEZE
 - 11 TURF LAWN AREA (THERMAL BLUE BLEND)
- see landscape notes for required amendments

SITE DATA

tax schedule no.:	6136003004
area	84.66 acres
ex use	Vacant
proposed use	Golf course maintenance
company name	PRI #2 LLC
address city/state	6385 Corporate Drive, Suite 200 Colorado Springs CO, 80919
phone no	PCD city file no: PPR1934

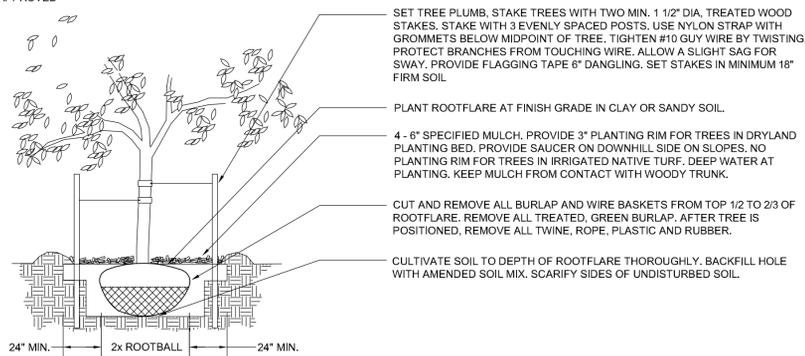
YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
115 S. Weber Colorado Springs, Colorado 475-8133

GOLF MAINTENANCE
FACILITY
5770 & 5772 Old Stagecoach Road
El Paso County, Colorado

Job No. 18-115
Directory Landscape
File ARCH SITE PLAN 10-15-19
Drawn By DBW
Date 8/19/2019
Revised 1/12/2022

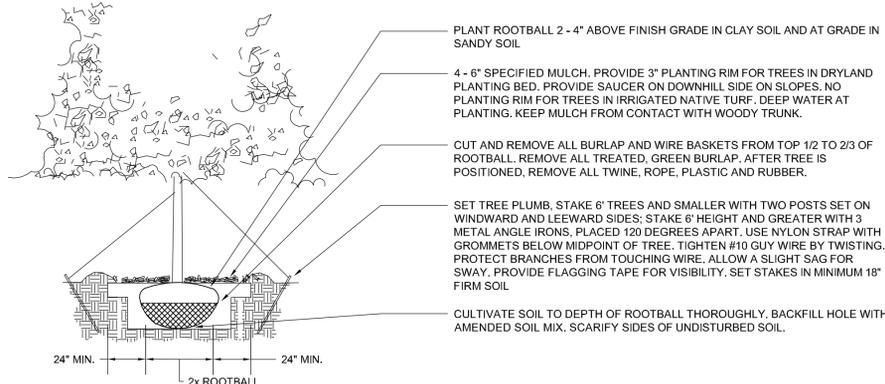
DRAWING NO.
1 of 2
FINAL LANDSCAPE
PLAN

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 80% SOIL FROM PLANTING PIT AND 20% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.
 - STAKING POST SHALL BE 1 1/2" DIA. TREATED WOOD STAKE. METAL POST WILL NOT BE APPROVED



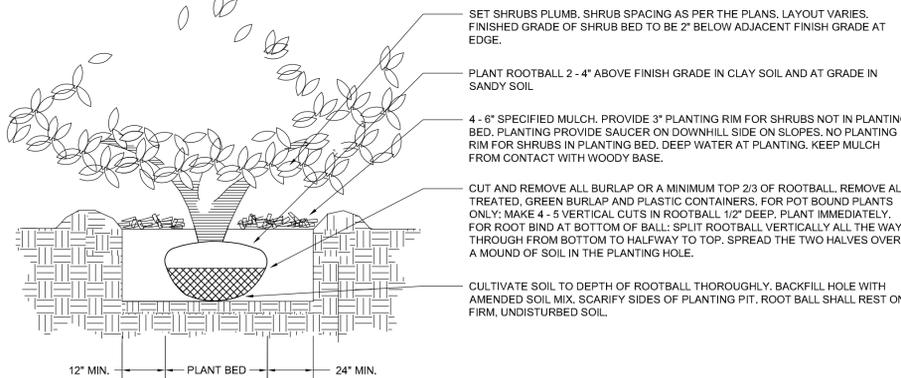
a DECIDUOUS TREE PLANTING DETAIL N.T.S.

- NOTES:
- DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.

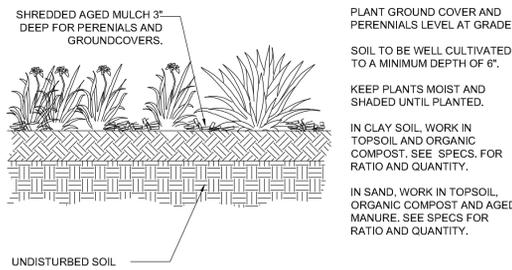


b EVERGREEN TREE PLANTING DETAIL N.T.S.

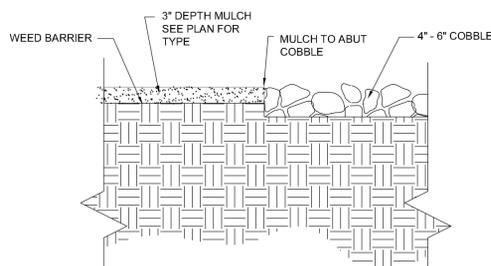
- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL, PREFERABLY CANADIAN PEAT MOSS.



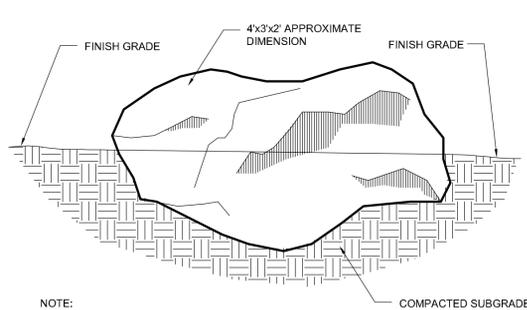
c SHRUB PLANTING DETAIL N.T.S.



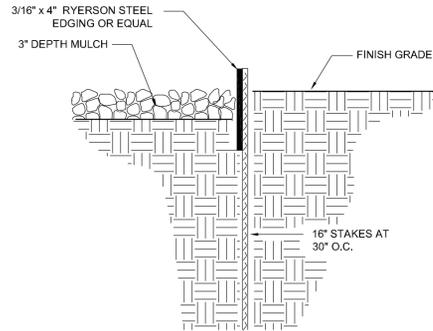
d PERENNIAL/GROUND COVER PLANTING DETAIL N.T.S.



f COBBLE @ MULCH N.T.S.



h LANDSCAPE BOULDER N.T.S.



e STEEL EDGE DETAIL N.T.S.

GENERAL LANDSCAPE NOTES:

- PLANT QUANTITY AND SUBSTITUTION: In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
- ACCEPTABLE PLANT MATERIAL: All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION" and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
- SOIL AMENDMENTS: All planting areas and turf areas shall be amended as follows:
 - 3 cubic yards per 1,000 s.f. of a mixture of aged manure and top soil to increase organic matter.
 - 2.3 lbs per 1,000 s.f. of Sulfur every 4-6 weeks or peat moss(1-3 cy/1000sf) to lower the pH.
 - 3 lbs per 1,000 sf of Nitrate for every 0.1 lb of N apply 1/2 lb urea or 1/2 lb of ammonium sulfate.
 - 3 lbs of P205 per 1,000 sf to increase the Phosphorus
 - 2 lbs of K20 per 1,000 sf to increase the Potassium

- RECOMMENDED BACKFILL:
- TRI-MIX III as supplied by C&C Sand
 - To be applied as backfill in planting pits

- ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO PLANTING.
- SEEDING AREAS: All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
 - IRRIGATION: All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
 - ORGANIC MULCH: All planting areas for trees, shrubs, groundcovers and ornamental grasses shall be mulched with a (3") depth. A 36" diameter of 3" depth wood mulch shall be provided at base of all trees in turf areas. Mulch shall be fibrous in nature, not chipped or in chunks, and watered in after installation. NO FILTER FABRIC IS TO BE USED UNDER WOOD MULCH.
 - INORGANIC MULCH: The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewit or equivalent). Overlap ends 3", turn down edges 6".
 - LANDSCAPE BOULDERS: All landscape boulders shown on plan are to be 10-12 cubic feet minimum. Blue grey river rock boulders unless otherwise specified.
 - STEEL EDGE: All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
 - INSPECTION AND APPROVAL: Notification for IRRIGATION INSPECTION AFFIDAVIT shall be given during construction while trench is open and after completion of system installation prior to seeding or sodding. The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION AFFIDAVIT.
 - Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
 - AN IRRIGATION PLAN MUST BE SUBMITTED FOR REVIEW WITHIN 90 DAYS SUBSEQUENT TO RECEIVING THE BUILDING PERMIT. THE PLAN MUST BE APPROVED PRIOR TO THE INSTALLATION OF ANY IRRIGATION COMPONENTS AND/OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY PER CITY OF COLORADO SPRINGS.
 - GENERAL AREAS OF DISTURBANCE: ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDDED AS REQUIRED.
 - TREE WELLS: ALL TREES LOCATED IN PAVED BUILDING AREAS OR IN PARKING LOT ISLANDS ARE TO UTILIZE STRUCTURAL SOILS A MINIMUM OF 8" OUTSIDE OF DESIGNATED PLANTING PITS. SOILS SHOULD NOT BE STOCKPILED ON SITE FOR MORE THAN 24HRS. IF STORAGE OF SOIL ON SITE IS NECESSARY PROTECTION OF SOIL IS NEEDED TO MINIMIZE CONTAMINATION.

IRRIGATION NOTES:

- IRRIGATION IS TO BE DESIGN-BUILD. THE IRRIGATION PLAN APPLICATION SUBMITTAL AND APPROVAL MUST BE COMPLETED BEFORE ANY IRRIGATION SYSTEM EQUIPMENT IS INSTALLED. CONTRACTOR TO PROVIDE A FINAL IRRIGATION PLAN WITH APPLICABLE SUPPORT MATERIAL. SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- All trees, shrubs, and ground covers shall be irrigated by an automatic drip irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic spray irrigation system also equipped with a rain sensor automatic shutoff device.
- All valve boxes shall be supported by concrete block (min. 4 per box). Install blocks in a manner that will prevent contact with piping, wires, and valve.
- Irrigation control wire shall be common trench with mainline and shall have separate sleeve were crossing all hard construction.
- The contractor shall adjust all valves and spray nozzles for optimum coverage.
- Contractor shall tape closed all sleeve pipe openings to prevent debris from entering sleeves.
- Backflow preventer should be located in a locked/secured metal enclosure.
- Minimum of (2 - 1gph) emitters per shrub and (4 - 1gph) per tree at minimum. Preferred method for irrigating trees would be to utilize tree ring assembly constructed of 2" dripline(diameter to match root ball). Reference Rainbird standard dripline tree detail.
- All seeded areas need to be zoned and scheduled separately. Seeded irrigation zones are for temporary/establishment water purposes only (see seeding notes).
- Contractor to provide irrigation schedule to owner/maintenance group addressing watering schedule for both establishment period and regular watering schedule.
- Irrigation system, as noted, is to be design-build MODIFYING the current system in place. Where possible, all existing valves should be used and incorporated into the revised system design. The use of lower water use spray nozzles is strongly encouraged in all spray zones (i.e: MP Rotators).
- All turf, seeded and drip areas should be zoned SEPARATELY.
- All seeded areas are to be irrigated with permanent in-ground spray irrigation. These areas should be zoned separately as noted above. Irrigation in seeded areas should be used primarily for establishment purposes only. Once seeded areas have been established irrigation zones should not be part of regular watering schedule.

SITE DATA	
tax schedule no.:	6136003004
area	84.66 acres
ex use	Vacant
proposed use	Golf course maintenance

OWNER INFO	
company name	PRI #2 LLC
address	6385 Corporate Drive, Suite 200
city/state	Colorado Springs CO, 80919
phone no	

PCD city file no: PPR1934



YOW ARCHITECTS PC
ARCHITECTURE & PLANNING
115 S. Weber Colorado Springs, Colorado 475-8133

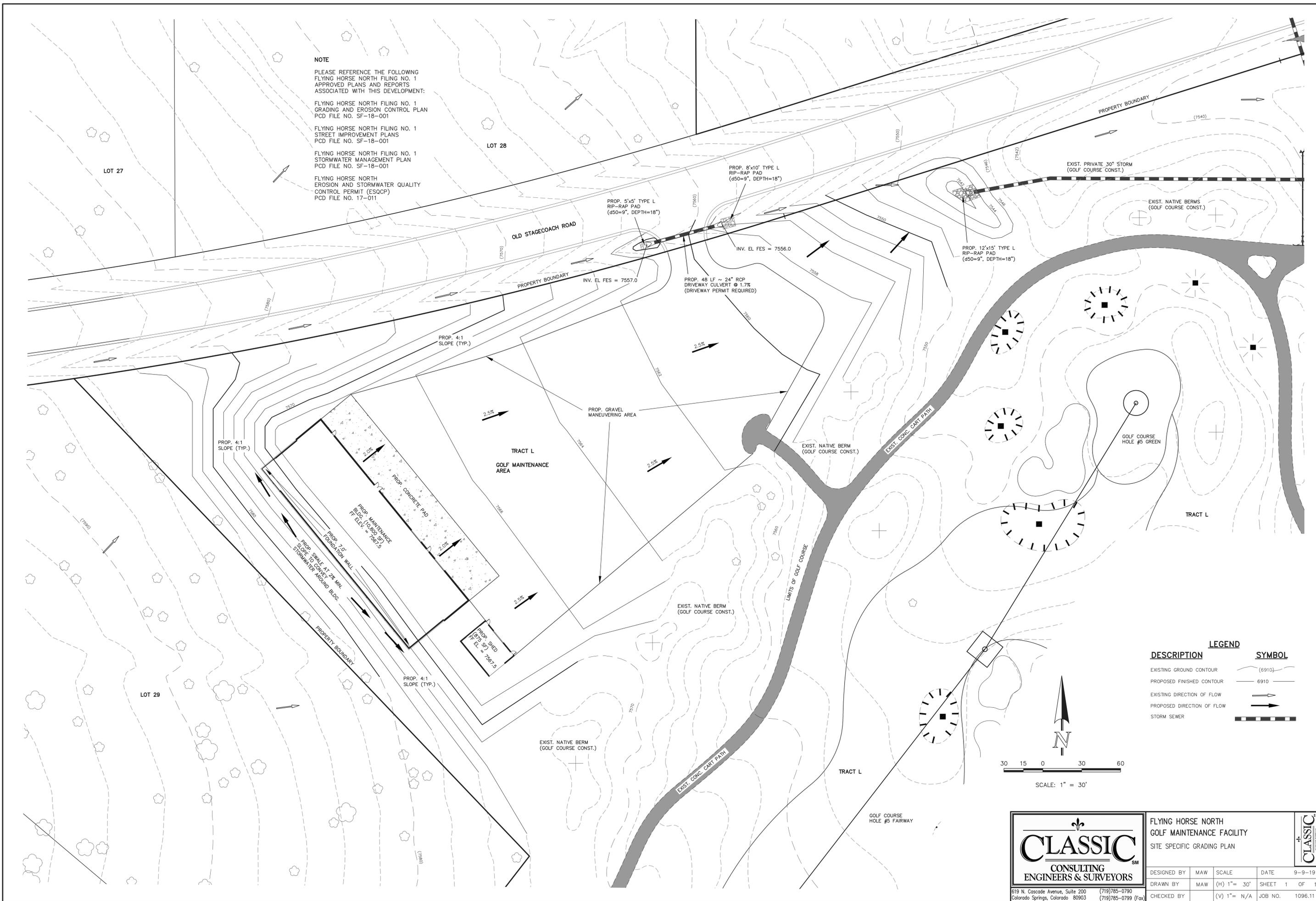
Structural	Electrical	Mechanical	Plumbing
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GOLF MAINTENANCE FACILITY
5770 & 5772 Old Stagecoach Road
El Paso County, Colorado

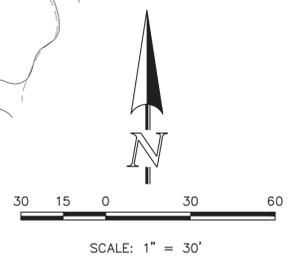
Doc No.	16-115
Directory	Landscape
File	ARCH SITE PLAN 9-13-19
Drawn By	DN
Date	8/19/2019
Revised	

DRAWING NO.
2 of 2
LANDSCAPE DETAILS

NOTE
 PLEASE REFERENCE THE FOLLOWING
 FLYING HORSE NORTH FILING NO. 1
 APPROVED PLANS AND REPORTS
 ASSOCIATED WITH THIS DEVELOPMENT:
 FLYING HORSE NORTH FILING NO. 1
 GRADING AND EROSION CONTROL PLAN
 PCD FILE NO. SF-18-001
 FLYING HORSE NORTH FILING NO. 1
 STREET IMPROVEMENT PLANS
 PCD FILE NO. SF-18-001
 FLYING HORSE NORTH FILING NO. 1
 STORMWATER MANAGEMENT PLAN
 PCD FILE NO. SF-18-001
 FLYING HORSE NORTH
 EROSION AND STORMWATER QUALITY
 CONTROL PERMIT (ESQCP)
 PCD FILE NO. 17-011



LEGEND	
DESCRIPTION	SYMBOL
EXISTING GROUND CONTOUR	(6910)
PROPOSED FINISHED CONTOUR	6910
EXISTING DIRECTION OF FLOW	→
PROPOSED DIRECTION OF FLOW	→
STORM SEWER	—+—+—+—



	FLYING HORSE NORTH GOLF MAINTENANCE FACILITY SITE SPECIFIC GRADING PLAN		
	DESIGNED BY: MAW DRAWN BY: MAW CHECKED BY:	SCALE: (H) 1" = 30' (V) 1" = N/A	

619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719) 785-0790 (719) 785-0799 (Fax)

N:\109611\REPORTS\Maintenance Bldg\Grading Plan.dwg, 10/16/2019 12:57:04 PM, 1/1