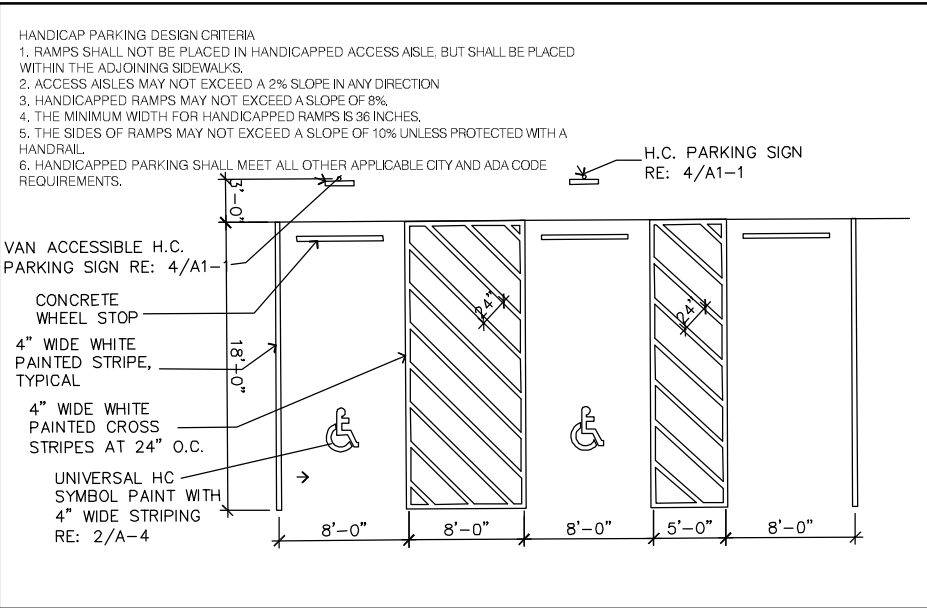


PARKING	use	Maintenance Building
	bldg area	10,800 sf
	ratio	1 parking space per anticipated employee
	required	11 required (including 1 accessible spaces 1 being van accessible)
	provided	11 provided (1 accessible including 1 van accessible space)

The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.



**A TYPICAL HANDICAP PARKING DETAIL**  
N.T.S.

FLYING HORSE NORTH MAINTENANCE			
LOT	USE	LOT SIZE	BUILDING SIZE
TRACT L	MAINTENANCE	84.66 Acres	10,800 SF / 875 SF

**LEGAL DESCRIPTION: TRACT L FLYING HORSE NORTH FILING NO. 1**  
**84.66 ACRES**

SITE DATA	tax schedule no.:	6136003004
	area	84.66 acres
	ex use	Vacant
	proposed use	Golf course maintenance

OWNER INFO	company name	Flying Horse Country Club LLC
	address city/state	2138 Fklyng Horse Club Drive Colorado Springs CO, 80921
	phone no	

PCD city file no: COM-21-54

**YOW Architects PC**  
**Architecture & Planning**  
 115 S. Weber Colorado Springs, Colorado 719-475-8133

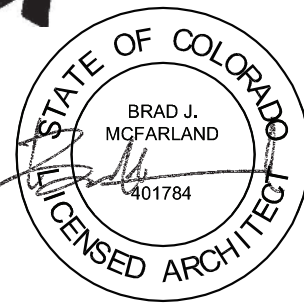
**GOLF MAINTENANCE FACILITY**  
**5770 & 5772 Old Stagecoach Road**  
**El Paso County, Colorado**

Project Number  
**18.209**  
 Date  
 1/12/22  
 Revisions

Drawn By  
 DBN  
 Checked By

**SD1.0**  
 Site Development  
 Plan  
 Scale  
**1" = 20'-0"**





### FLOOR PLAN GENERAL NOTES

1. DIMENSIONS INDICATED ARE FROM FACE OF STUD AND TO FACE OF MASONRY UNLESS NOTED OTHERWISE. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL DIMENSIONS NOT INDICATED ON OVERALL PLANS.

2. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH U.O.N.

3. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. RE: MECH, PLUMBING AND ELECTRICAL. REFER TO STRUCTURAL DRAWINGS FOR Lintel OR FRAMING REQUIREMENTS.

**KEYNOTES:**

- 1 HI-LO DRINKING FOUNTAIN
- 2 LOCKERS
- 3 DROP-IN ADA SHOWER STALL
- 4 MOP SINK
- 5 TUB STYLE SINK
- 6 CASEWORK BY OWNER

**YOW Architects PC**  
Architecture & Planning

115 S. Weber Colorado Springs, Colorado 719-475-8133

## GOLF MAINTENANCE FACILITY

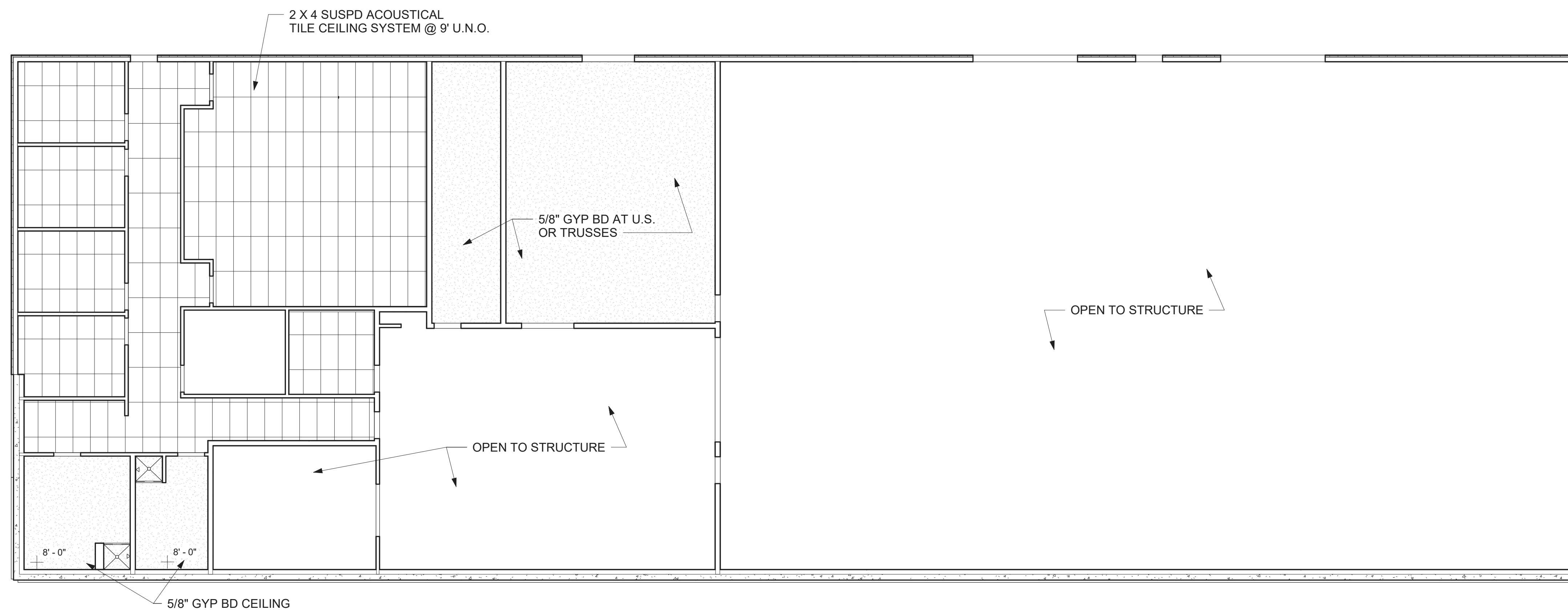
FLYING HORSE NORTH  
Colorado Springs, CO

Project Number	19.214
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Date  
8.12.19

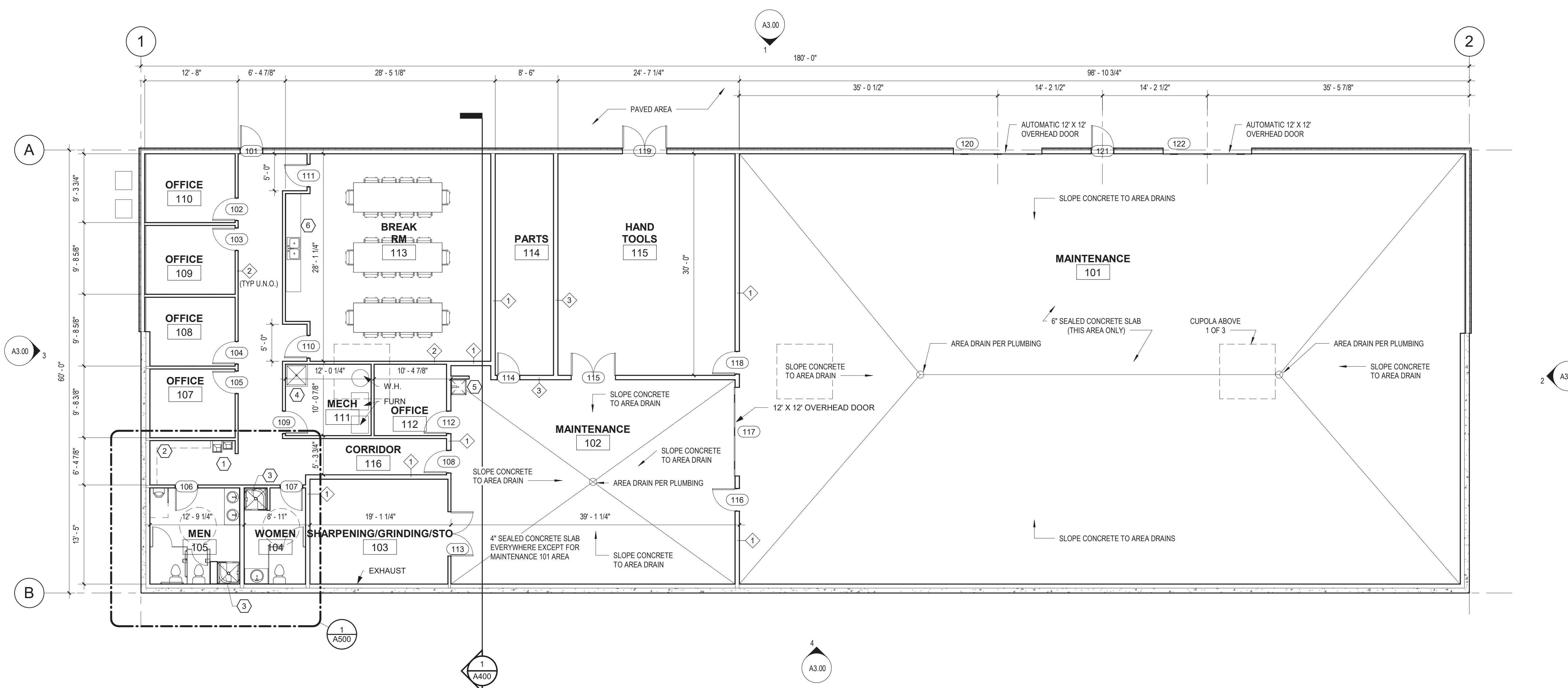
Drawn By  
bjm  
Checked By  
YOW

**A1.00**  
FIRST FLOOR PLAN  
Scale  
As indicated



**NOTE:** SEE 3/A400 FOR LIMITS OF 5/8" GYP BD  
@ U.S. OF WOOD TRUSS SYSTEM

③ REFLECTED CEILING PLAN  
1/8" = 1'-0"



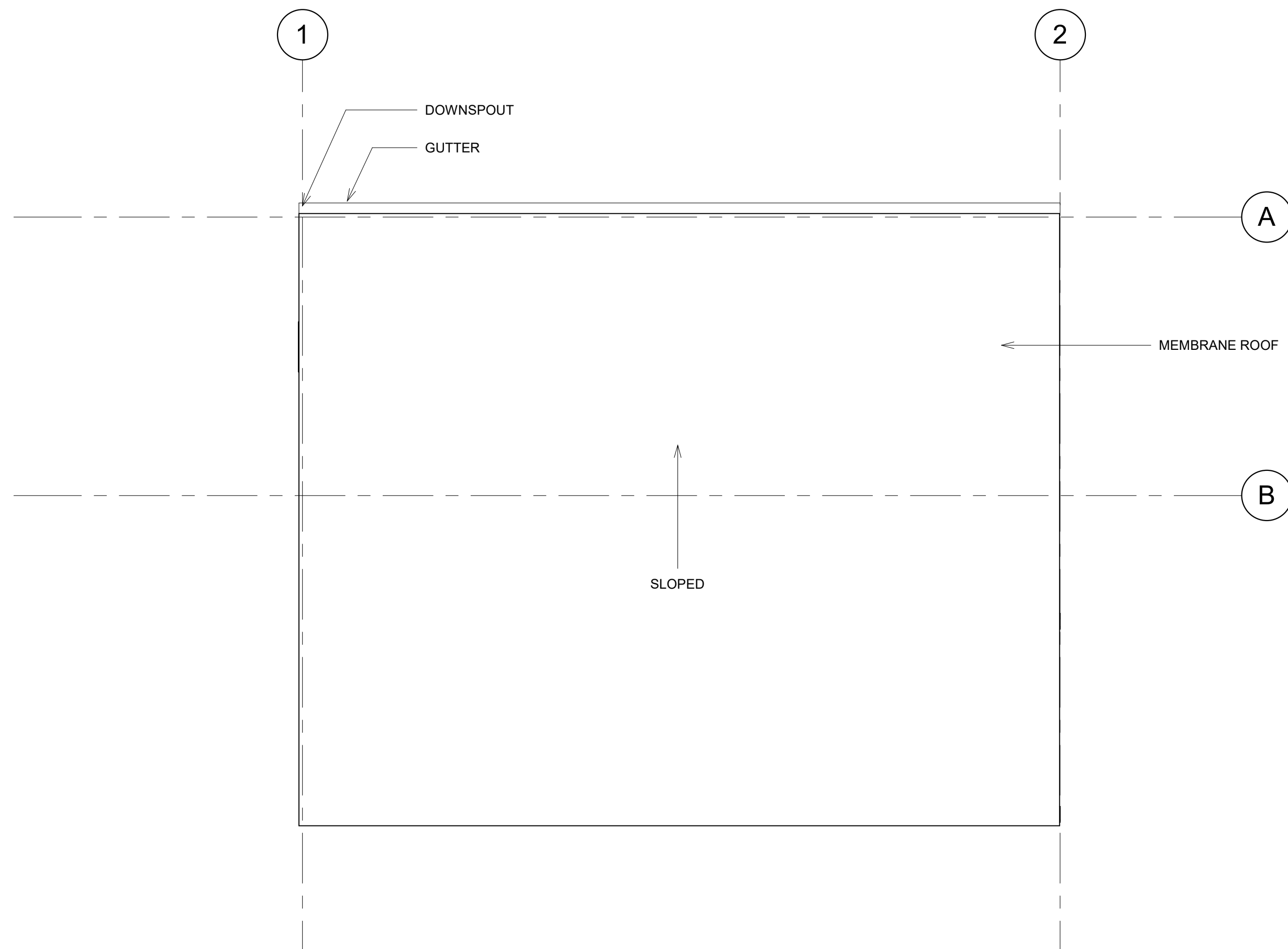
① FLOOR PLAN  
1/8" = 1'-0"



## 1.

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## MEMBRANE ROOFING

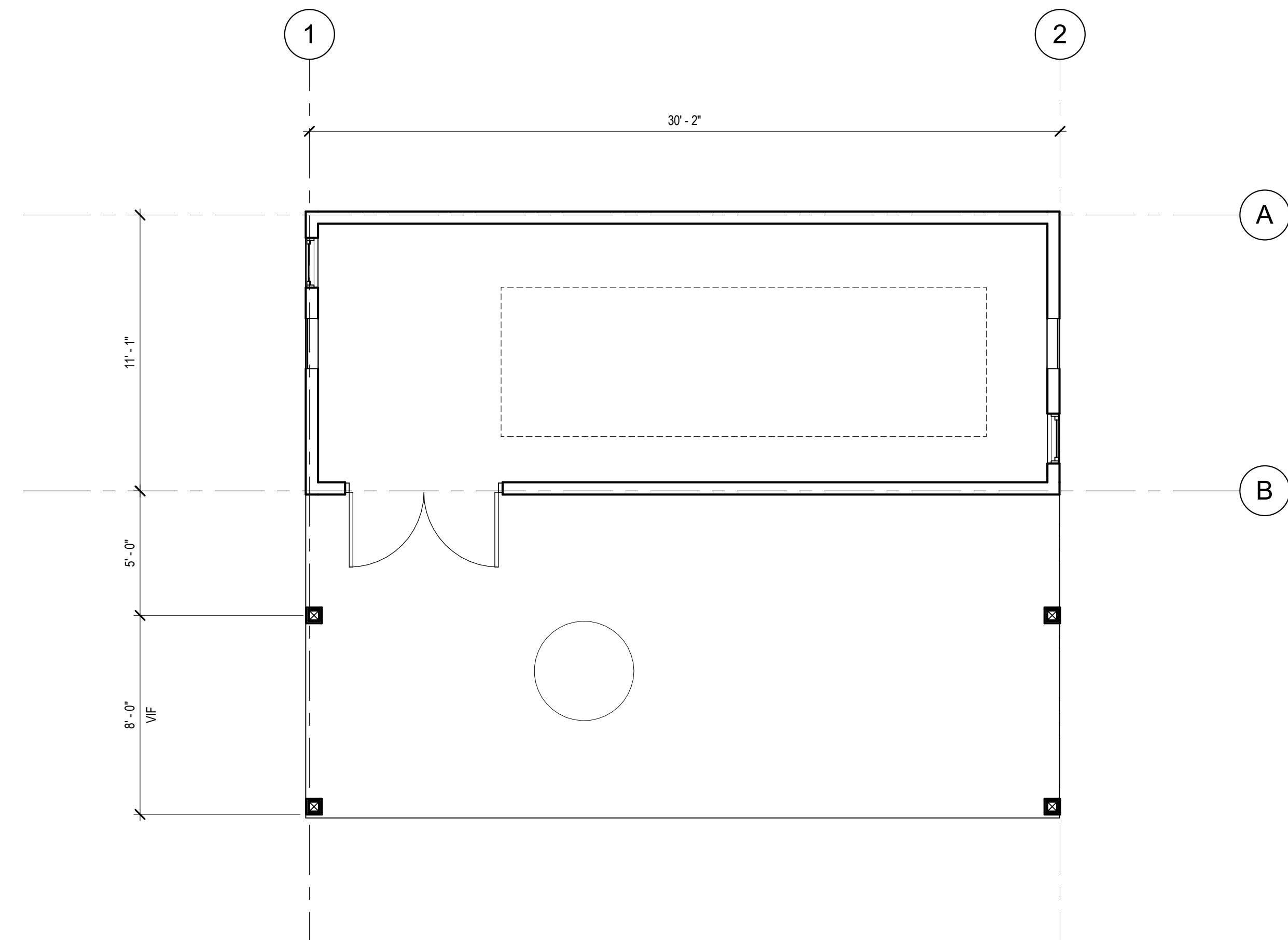


2 ROOF PLAN  
1/4" = 1'-0"

$$\frac{1}{4}'' = 1'-0''$$

### FLOOR PLAN GENERAL NOTES

1. DIMENSIONS INDICATED ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE. SEE ENLARGED FLOOR PLANS FOR ADDITIONAL DIMENSIONS NOT INDICATED ON OVERALL PLANS.
2. DIMENSIONS TO EXISTING WALLS ARE TO FACE OF FINISH U.O.N.
3. CONTRACTOR TO COORDINATE LOCATIONS OF ADDITIONAL PENETRATIONS THROUGH WALLS AND FLOORS NOT INDICATED ON ARCHITECTURAL DRAWINGS. RE: MECH, PLUMBING AND ELECTRICAL. REFER TO STRUCTURAL DRAWINGS FOR LITEIL OR FRAMING REQUIREMENTS.
4. ALL STUD WALL ASSEMBLIES SHALL BE



1 1ST FLOOR PLAN  
1/4" = 1'-0"

$$\overline{1/4'' = 1'-0''}$$

**YOW Architects PC**  
Architecture & Planning  
115 S. Weber Colorado Springs, Colorado 719-

[illegible]

FLYING HORSE NORTH  
PUMP HOUSE

Project Number  
19.358

Date  
04/06/2020

Drawn By  
JRW  
Checked By  
YOW

## A110

### FLOOR PLANS



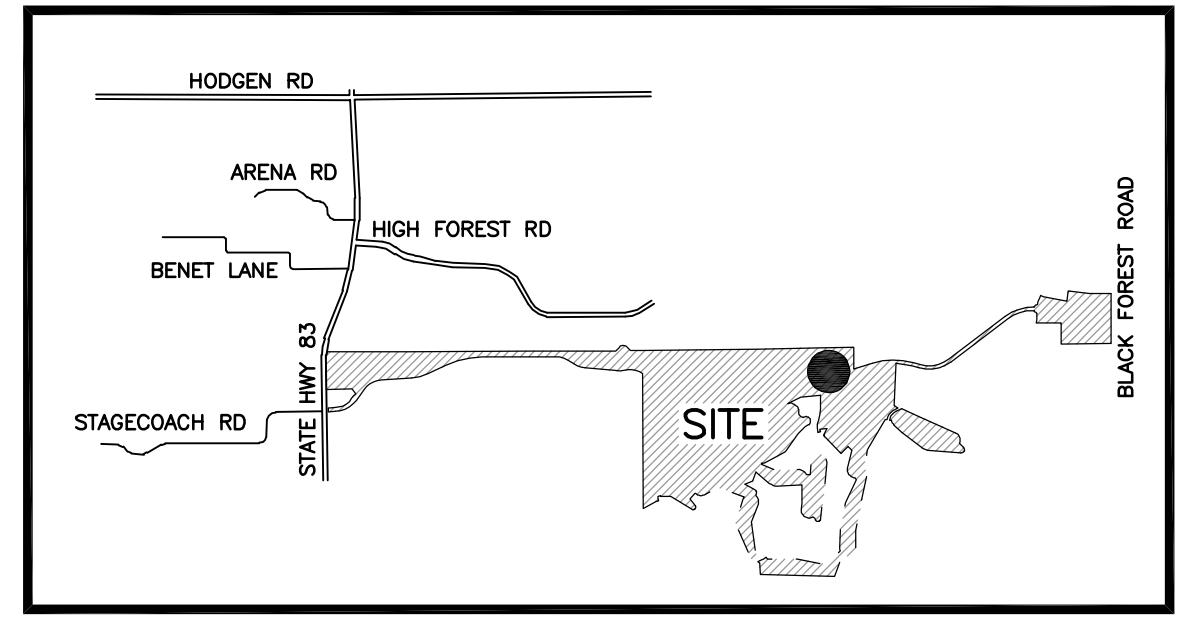


**YOW ARCHITECTS PC**  
ARCHITECTURE & PLANNING  
115 S. Weber Colorado Springs, Colorado 475-8133

**GOLF MAINTENANCE FACILITY**  
5770 & 5772 Old Stagecoach Road  
El Paso County, Colorado

Job No. 18.115  
Directory Landscape  
File ARCH SITE PLAN 10-15-19  
Drawn By DBN  
Date 8/19/2019  
Revised 1/12/2022

DRAWING NO.  
**1 of 2**  
FINAL LANDSCAPE PLAN



**PUD STREET TREE REQUIREMENT:**  
561' : 1 TREE PER 30' = 19 TREES REQUIRED  
19 TREES PROVIDED

**LANDSCAPE PLANT SCHEDULE**

SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	NOTES
<b>DECIDUOUS TREES</b>						
HLO	5	Gleditsia Inocentifolia	Stylized Honeylocust	40' x 30'	2" Caliper	Ball and Burlap
SWO	4	Quercus bicolor	Swamp White Oak	60' x 50'	2" Caliper	Ball and Burlap
CSP	7	Prunella pennsylvanica	Cleveland Select Pear	35' x 15'	2" Caliper	Ball and Burlap
<b>EVERGREEN TREES</b>						
AUP	12	Pinus rigida	Austran Pine	50' x 30'	10" Height	Ball and Burlap
<b>DECIDUOUS SHRUBS</b>						
DBB	6	Euonymus Alatus Torreyana	Dwarf Burning Bush	3' x 4'	5 Gallon	Container
RTD	3	Cornus canadensis	Redtwig Dogwood	12' x 8'	5 Gallon	Container
VIB	6	Viburnum ferrugineum	Nannyberry Viburnum	9' x 7'	5 Gallon	Container
<b>EVERGREEN SHRUBS</b>						
JHC	13	Juniperus horizontalis	Armstrong Juniper	4' x 4'	3 Gallon	Container

**IRRIGATION SUBMITTAL**  
A Final Irrigation Plan application is due at time of the (core and shell) building Permit.  
General Requirements:

1. An irrigation plan shall be submitted at the time of building permit application and approved within thirty (30) days subsequent to building permit issuance or prior to issuance of a certificate of occupancy, whichever comes first.
2. Upon request by the applicant, an irrigation plan shall be submitted within ninety (90) days subsequent to building permit issuance and approved prior to the installation of any irrigation components and prior to issuance of a certificate of occupancy.
3. In the case of the conversion of vacant land to nonresidential use that does not include the construction of a structure, an irrigation plan shall be submitted and approved concurrent with development plan review and approval.
4. The irrigation plan shall graphically and through notes depict a water efficient design consistent with the landscape and grading plans.
5. The irrigation plan shall show and note hydrozones. The hydrozones shall take into account the water demand plants, slopes, microclimates, environmental factors, and water pressure.
6. Irrigation systems shall conform to the irrigation standards and all other provisions of the Landscape Code and landscape policy manual.

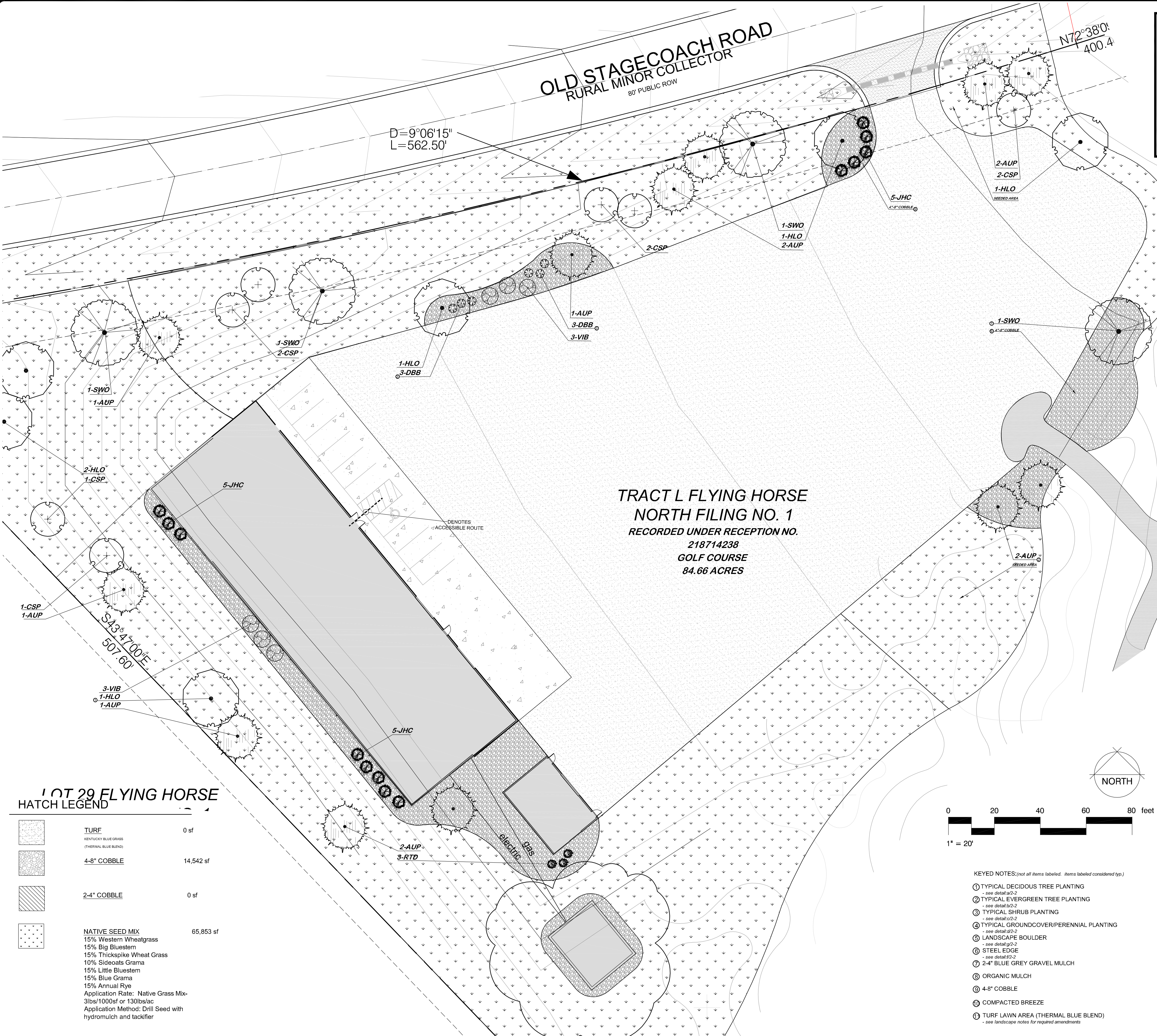
**GENERAL LANDSCAPE NOTES:**

1. **PLANT QUANTITY AND SUBSTITUTION:** In case of discrepancy in plant quantities shown on the plant table and those shown on the planting plan, the quantities shown on the planting plan shall govern. The minimum acceptable sizes of plants measured before pruning shall conform to the planting sizes as specified in the planting table. Any substitution of plant size or species must be submitted to the Landscape Architect in writing for approval prior to installation.
2. **ACCEPTABLE PLANT MATERIAL:** All plants shall meet or exceed standards set by the "COLORADO NURSERY ASSOCIATION," and the "AMERICAN STANDARD OF NURSERY STOCK". All plants shall be typical of their species, healthy, free of disease, insect pests, mechanical injuries, and have adequate root systems. Trees shall be fully branched in proportion to width and height and have a relatively straight trunk with a central leader. The contractor shall prune lower branches of deciduous trees to 6 feet above finish grade. All trees, shrubs, and ground covers shall be installed per planting details. All plant material shall be inspected by the Landscape Architect or owner prior to installation.
3. **SOIL AMENDMENTS:** All planting areas and turf areas shall be amended as follows:  
- 3 cubic yards per 1000 s.f. of well-composted aged manure or premium compost.  
**RECOMMENDED SOIL AMENDMENT:**  
TRI-MIX III as supplied by C&C Sand  
-To be applied as backfill in planting pits
- ALL AMENDED AREAS SHALL BE TILLED TO A DEPTH OF 4" PRIOR TO PLANTING.
4. **SEEDED AREAS:** All seeded or hydromulched areas shall demonstrate 95% germination prior to final acceptance.
5. **IRRIGATION:** All trees, shrubs, and ground covers shall be irrigated by an automatic drip or spray irrigation system equipped with a rain sensor shutoff device. All turf areas to be irrigated by underground, automatic irrigation system also equipped with a rain sensor automatic shutoff device.
6. **INORGANIC MULCH:** The type of inorganic mulch as specified within the KEYED NOTES on the landscape plan shall be applied at a standard depth of 3"-4" over geo-textile filter fabric. Filter fabric shall be min. 4 oz. woven needle punched polypropylene (dewitt or equivalent). Overlap ends 3", turn down edges 6".
7. **STEEL EDGE:** All edger shall be 3/16" x 4" RYERSON or PRO STEEL EDGER with 16" stakes at 30" O.C., color shall be green.
8. **INSPECTION AND APPROVAL:** The Landscape Architect shall be notified at least 48 hours prior to client seeking certificate of occupancy for FINAL LANDSCAPE INSPECTION.
9. Any field changes or deviations to these plans without prior City Approval of an Amended Development Plan may result in a delay of final approval and issuance of a Certificate of Occupancy.
10. **GENERAL AREAS OF DISTURBANCE:** ANY AREAS OF CONSTRUCTION DISTURBANCE NOT SHOWN AS LANDSCAPED ARE TO BE RE-VEGETATED AND/OR OVERSEEDED AS REQUIRED.

**LEGAL DESCRIPTION: TRACT L FLYING HORSE NORTH FILING NO. 1**  
84.66 ACRES

**SITE DATA**

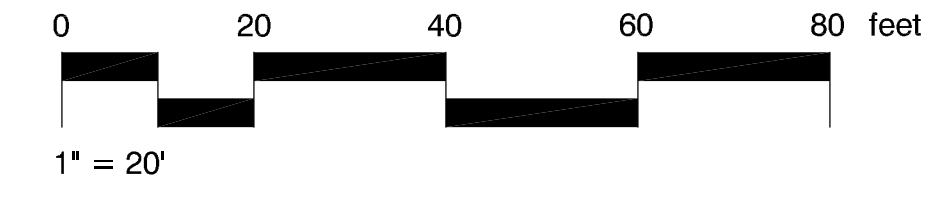
tax schedule no.: 6136003004  
area 84.66 acres  
ex use Vacant  
proposed use Golf course maintenance  
company PRI #2 LLC  
name  
address 6385 Corporate Drive, Suite 200  
city/state Colorado Springs CO, 80919  
phone no  
PCD city file no: PPR1934



**TRACT L FLYING HORSE**  
**NORTH FILING NO. 1**  
**RECORDED UNDER RECEPTION NO.**  
**218714238**  
**GOLF COURSE**  
**84.66 ACRES**

**NOT 29 FLYING HORSE**  
**HATCH LEGEND**

	<b>TURF</b>	0 sf
	KENTUCKY BLUE GRASS (THERMAL BLUE BLEND)	
	<b>4-8" COBBLE</b>	14,542 sf
	<b>2-4" COBBLE</b>	0 sf
	<b>NATIVE SEED MIX</b>	65,853 sf
15% Western Wheatgrass 15% Big Bluestem 15% Thickspike Wheat Grass 10% Sideoats Grama 15% Little Bluestem 15% Blue Grama 15% Annual Rye Application Rate: Native Grass Mix- 3lbs/1000sf or 130lbs/ac Application Method: Drill Seed with hydromulch and tackifier		



- KEYED NOTES:**(not all items labeled. Items labeled considered typ.)
- ① TYPICAL DECIDUOUS TREE PLANTING  
- see detail a/2-2
  - ② TYPICAL EVERGREEN TREE PLANTING  
- see detail a/2-2
  - ③ TYPICAL SHRUB PLANTING  
- see detail c/2-2
  - ④ TYPICAL GROUND COVER/PERENNIAL PLANTING  
- see detail g/2-2
  - ⑤ LANDSCAPE BOULDER  
- see detail g/2-2
  - ⑥ STEEL EDGE  
- see detail f/2-2
  - ⑦ 2-4" BLUE GREY GRAVEL MULCH
  - ⑧ ORGANIC MULCH
  - ⑨ 4-8" COBBLE
  - ⑩ COMPACTED BREEZE
  - ⑪ TURF LAWN AREA (THERMAL BLUE BLEND)  
- see landscape notes for required amendments







PLEASE REFERENCE THE FOLLOWING  
FLYING HORSE NORTH FILING NO. 1  
APPROVED PLANS AND REPORTS  
ASSOCIATED WITH THIS DEVELOPMENT:

FLYING HORSE NORTH FILING NO. 1  
STREET IMPROVEMENT PLANS  
PCD FILE NO. SF-18-001

FLYING HORSE NORTH  
EROSION AND STORMWATER QUALITY  
CONTROL PERMIT (ESQCP)

—

1

11) (

— — —

EXISTING GROUND CONT

(6910)

PROPOSED FINISHED CONTOUR

PROPOSED DIRECTION OF FLOW

SCALE 1" = 10'

619 N. Cascade Avenue, Suite 200 (719)785-0790

[illegible]

DRAWN BY	MAW	(H) 1" = 30'	SHEET 1 OF 1
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-9-19