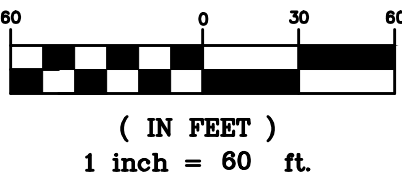


LAND USE TABLE (TAX SCHEDULE #6421308002)		
DEVELOPMENT STANDARDS	REQUIRED/EXISTING	PROPOSED
ZONING	GENERAL COMMERCIAL (CG)	GENERAL COMMERCIAL (CG)
PROPOSED LAND USE	N/A	CONVENIENCE STORE WITH FUEL SALES
TOTAL PROJECT AREA	1.50 AC ( 65,364 SF)	1.50 AC ( 65,340 SF)
GROSS		65,364 SF
NET		65,364 SF
MAX BUILDING HEIGHT (CONVENIENCE STORE)	90' 0"	29' 1"
MAX BUILDING HEIGHT (CANOPY)	90' 0"	19' 3"
FLOOR AREA (CONVENIENCE STORE)	N/A	4,425 SF
RATIO OF FLOOR AREA TO LOT SIZE	N/A	0.07
BUILDING/LANDSCAPE SETBACK	25'	25'
	IMPERVIOUS COVERAGE	PERCENT OF LOT
ROOF	9,508 SF	14.55%
PAVEMENT (CONCRETE)	9,566 SF	14.63%
PAVEMENT (ASPHALT)	27,235 SF	41.67%
LANDSCAPE AREA	19,055 SF	29.15%
PARKING TABULATION	REQUIRED/EXISTING	PROPOSED
TOTAL OFFSTREET VEHICLE PARKING	12 MIN - 25 MAXIMUM	30
STANDARD SPACES	N/A	28
LONG TERM	N/A	0
SHORT TERM	N/A	0
COMPACT SPACES	N/A	0
STANDARD ACCESSIBLE SPACES	1	1
VAN ACCESSIBLE SPACES	1	1
MOTORCYCLE SPECIFIC SPACES	0	0
TOTAL BICYCLE PARKING	2 MIN	2
EXTERIOR	N/A	0
ENCLOSED/COVERED	1	4

GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HYD	HYDRANT
I.E.	INVERT ELEVATION
INV	INVERT
IRR	IRRIGATION WATER
LF	LINEAR FEET
MH	MANHOLE
MJ	MECHANICAL JOINT
P	POWER
PV	POST INDICATOR VALVE
PP	POWER POLE
PL	PROPERTY LINE
RAD (R)	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RET	RETAINING
ROW	RIGHT OF WAY
SD	STORM DRAIN
S.F.	SQUARE FEET
SS	SANITARY SEWER
STA	STATION
TOE	TOE OF WALL, OR SLOPE
T	TELEPHONE WIRE
TBM	TEMPORARY BENCH MARK
T.C.	TOP OF CURB
TG	TOP OF GRATE
TOP	TOP OF SLOPE
TOW	TOP OF WALL
TV	TELEVISION WIRE



RUSSELL MILLS STUDIO  
2245 CURTIS STREET SUITE 100  
DENVER, CO 80205  
CONTACT: NATE STARK, R.L.A.  
PHONE: (303) 709-0704

1. REFER TO SITE CONSTRUCTION PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
2. REFER TO THE SUBDIVISION PLAT AND SITE CONSTRUCTION PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
3. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SITE CONSTRUCTION PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
4. ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
5. ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
6. ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN THE CITY'S LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
7. SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
8. FIRE HYDRANTS MUST MEET OR EXCEED COLORADO SPRINGS FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
9. ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
10. ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
11. COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY THE PROPERTY OWNER OF THE COMMON AREA. THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
12. DESIGN AND INSTALLATION OF ALL PARKWAY/TREE LAWN AND MEDIAN AREAS IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY STANDARDS. UNLESS OTHERWISE AGREED TO BY THE CITY WITH THE FINAL PLANS, ALL ONGOING MAINTENANCE OF SUCH AREAS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
13. ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY COLORADO SPRINGS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

COVER SHEET	1
EXISTING SITE SURVEY	2
HORIZONTAL CONTROL PLAN	3
SITE PLAN	4
GRADING PLAN	5
RETAINING WALL PLAN	6
CIRCULATION PLAN	7
UTILITY PLAN	8
DETAILS	9
DETAILS	10
DETAILS	11
DETAILS	12
DETAILS	13
ARCHITECTURAL FLOOR PLAN	14
ARCHITECTURAL PERSPECTIVE VIEW	15
ARCHITECTURAL EXTERIOR ELEVATIONS	16
ARCHITECTURAL EXTERIOR ELEVATIONS	17
ARCHITECTURAL CANOPY ELEVATIONS	18
ARCHITECTURAL EXTERIOR MATERIAL BOARD	19
ELECTRICAL PHOTOMETRIC PLAN	20
LANDSCAPE PLAN	21
LANDSCAPE DETAILS	22

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**MAVERIK INC. STORE**  
FOUNTAIN BLVD. AND UNION BLVD.  
**COLORADO SPRINGS, CO**

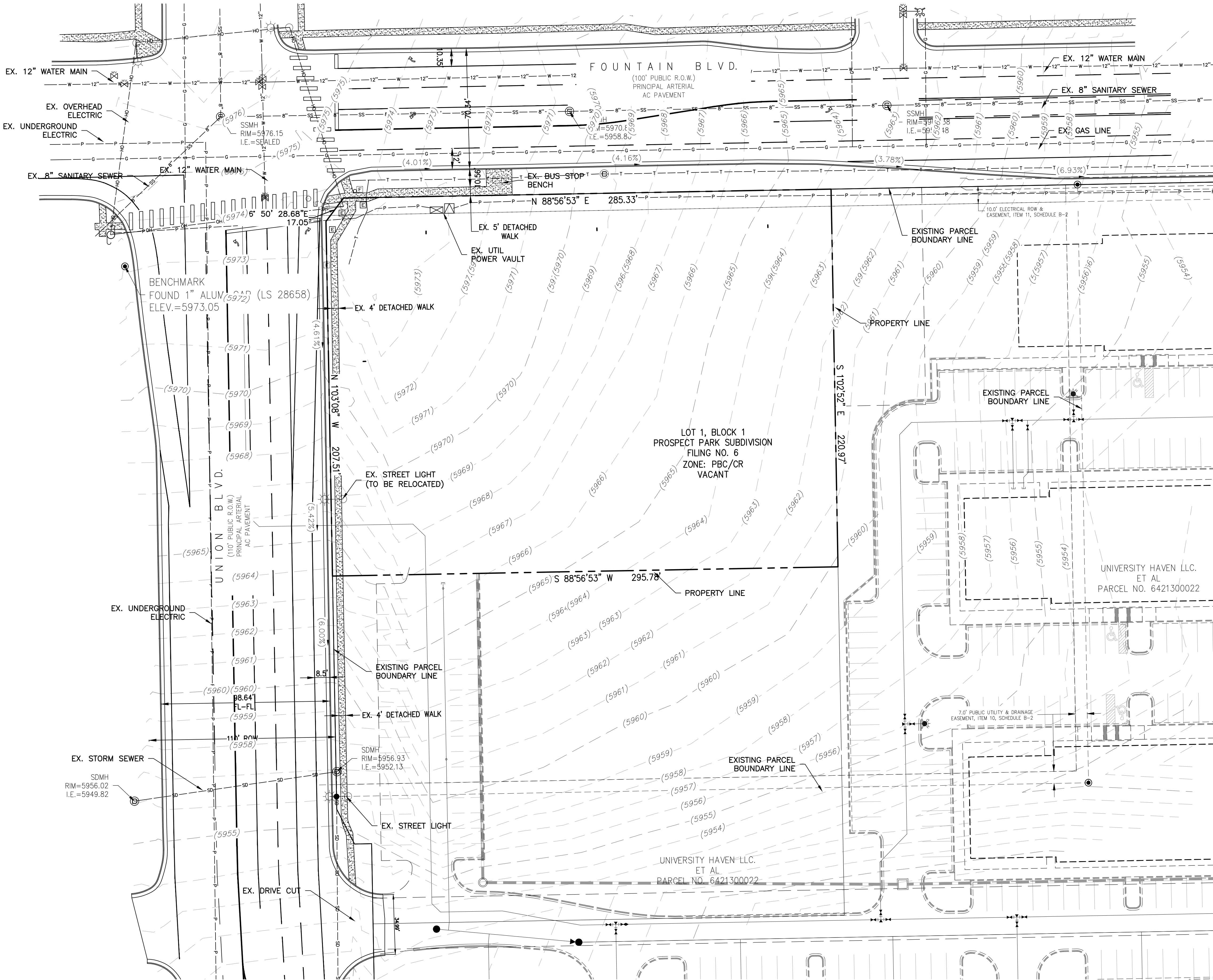
**DCI**  
engineers  
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# COVER SHEET





DEVELOPMENT PLAN  
FOR  
MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041



VERTICAL DATUM/BENCHMARK:

VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (GROUND SURVEY),  
CONTOUR INTERVAL = 1 FOOT, DATUM, BENCHMARK IS A 1" ALUMINUM CAP (LS  
28658)

ELEVATION = 5973.05 FEET

BASIS OF BEARING:

BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF LOT 1,  
BLOCK 1, ALSO BEING THE SOUTH RIGHT-OF-WAY OF FOUNTAIN BOULEVARD,  
A 100-FOOT-WIDE PUBLIC RIGHT-OF-WAY, BEARS NORTH 89°22'02" EAST

SURVEY PREPARED BY:

ROSENBERG AND ASSOCIATES  
352 EAST RIVERSIDE DRIVE, SUITE A-2  
ST. GEORGE, UT 84790  
PHONE: 435-673-8586  
BRANDON E. ANDERSON, PLS 38484

DATE OF SURVEY: MAY 4, 2020

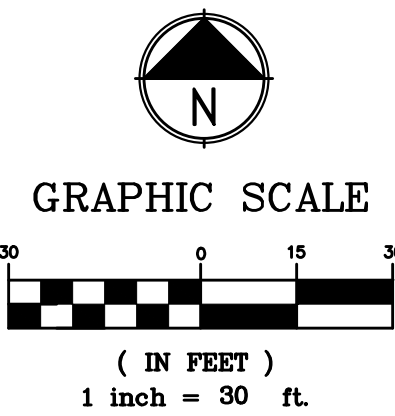
EASEMENTS PER SCHEDULE B - SECTION 2:

ITEM 10: EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS  
SHOWN ON THE PLAT OF PROSPECT PARK SUBDIVISION NO. 6, RECORDED APRIL 4,  
1978 AT RECEPTION NO. 419755. - PLOTTED.

ITEM 11: TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND  
AGREEMENTS AS SET FORTH IN THE GRANT OF RIGHT-OF-WAY RECORDED AUGUST  
6, 1982 IN BOOK 3595 AT PAGE 852. - PLOTTED.

ITEM 12: TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND  
AGREEMENTS AS SET FORTH IN THE NONEXCLUSIVE INGRESS AND EGRESS EASEMENT  
RECORDED MAY 6, 1996 IN BOOK 6879 AT PAGE 722. IT IS NOT ON, OR DOES NOT  
TOUCH, THE SURVEYED PROPERTY.

ITEM 13: TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND  
AGREEMENTS AS SET FORTH IN THE RIGHT-OF-WAY AGREEMENT RECORDED MAY 22,  
1996 IN BOOK 6891 AT PAGE 37. IT IS NOT ON, OR DOES NOT TOUCH, THE  
SURVEYED PROPERTY.



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PROJECT NUMBER

20-122-0012

ISSUE DATE:

OCTOBER 15, 2021

REVISIONS:

No.	Date	Description

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FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO

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EXISTING CONDITION BASED ON  
SURVEY INFO PROVIDED BY  
ROSENBERG AND ASSOCIATES  
MAY 4, 2020

EXISTING  
SITE SURVEY



AR DP XX-XXXX



DEVELOPMENT PLAN  
FOR  
MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041

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FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO

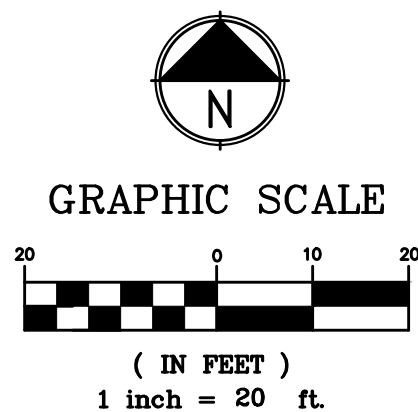
VERTICAL DATUM/BENCHMARK:

VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (GROUND SURVEY).  
CONTOUR INTERVAL = 1 FOOT, DATUM, BENCHMARK IS A 1" ALUMINUM CAP (LS 28658)

ELEVATION = 5973.05 FEET

BASIS OF BEARING:

BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF LOT 1, BLOCK 1, ALSO BEING THE SOUTH RIGHT-OF-WAY OF FOUNTAIN BOULEVARD, A 100-FOOT-WIDE PUBLIC RIGHT-OF-WAY, BEARS NORTH 89°22'02" EAST



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HORIZONTAL  
CONTROL  
PLAN



AR DP XX-XXXX



DEVELOPMENT PLAN  
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MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
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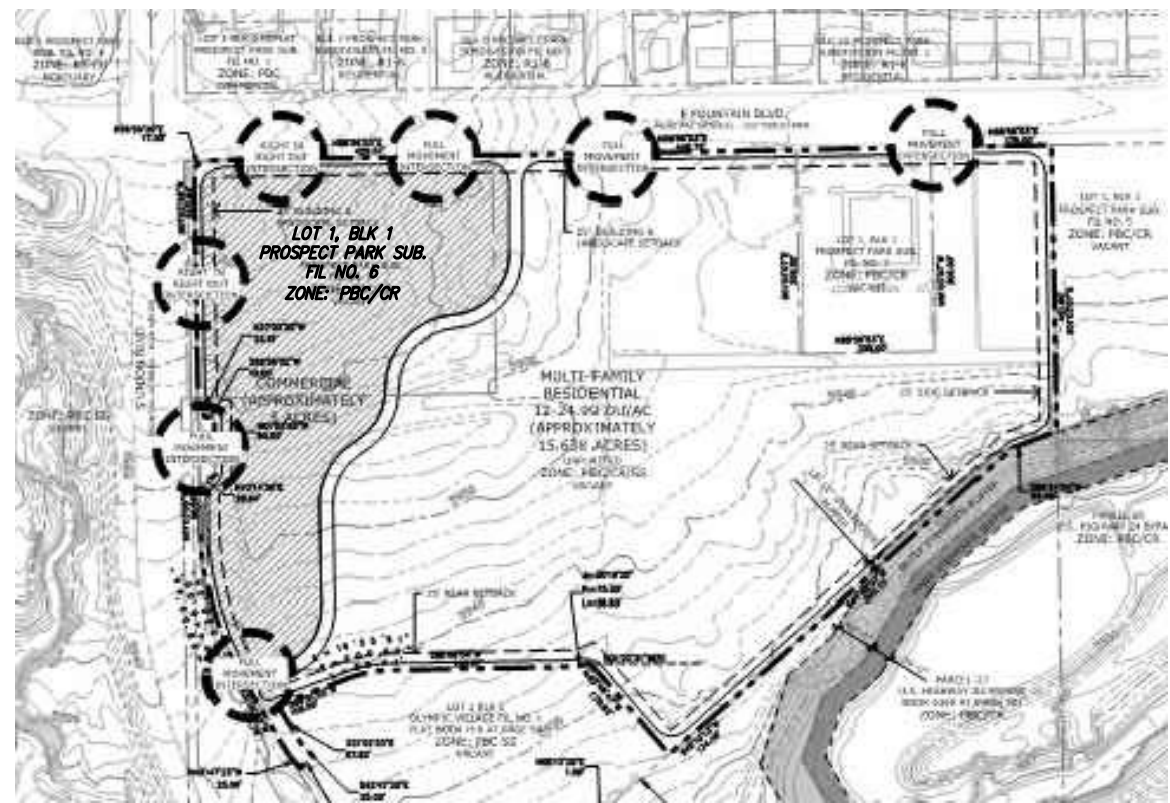
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SITE  
PLAN



EXISTING SITE ZONING  
N.T.S.

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LEGEND:

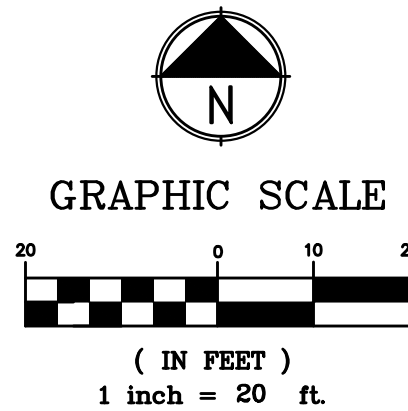
NEW ASPHALT PAVEMENT	
NEW CEMENT CONCRETE	
NEW 6" TYPE 2 CATCH CURB & GUTTER	
NEW 6" TYPE 3 SPILL CURB & GUTTER	
CURB & GUTTER TRANSITION	
NEW RETAINING WALL	
PEDESTRIAN/ADA ACCESS ROUTE	

PARKING COUNT TABLE

NEW STANDARD SPACES (9'X20')	28
(SEE DETAIL 6/SHEET 10)	
NEW COMPACT SPACES	NONE
NEW STANDARD ACCESSIBLE SPACES	1
(SEE DETAILS 5, 6/SHEET 10)	
NEW STANDARD VAN ACCESSIBLE SPACES	1
TOTAL SPACES PROVIDED	30

ENGINEER'S NOTE ON ADA DESIGN:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES  
WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE  
PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE  
APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY  
THE U.S. DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF  
COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR  
ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS  
OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO  
SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND  
STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

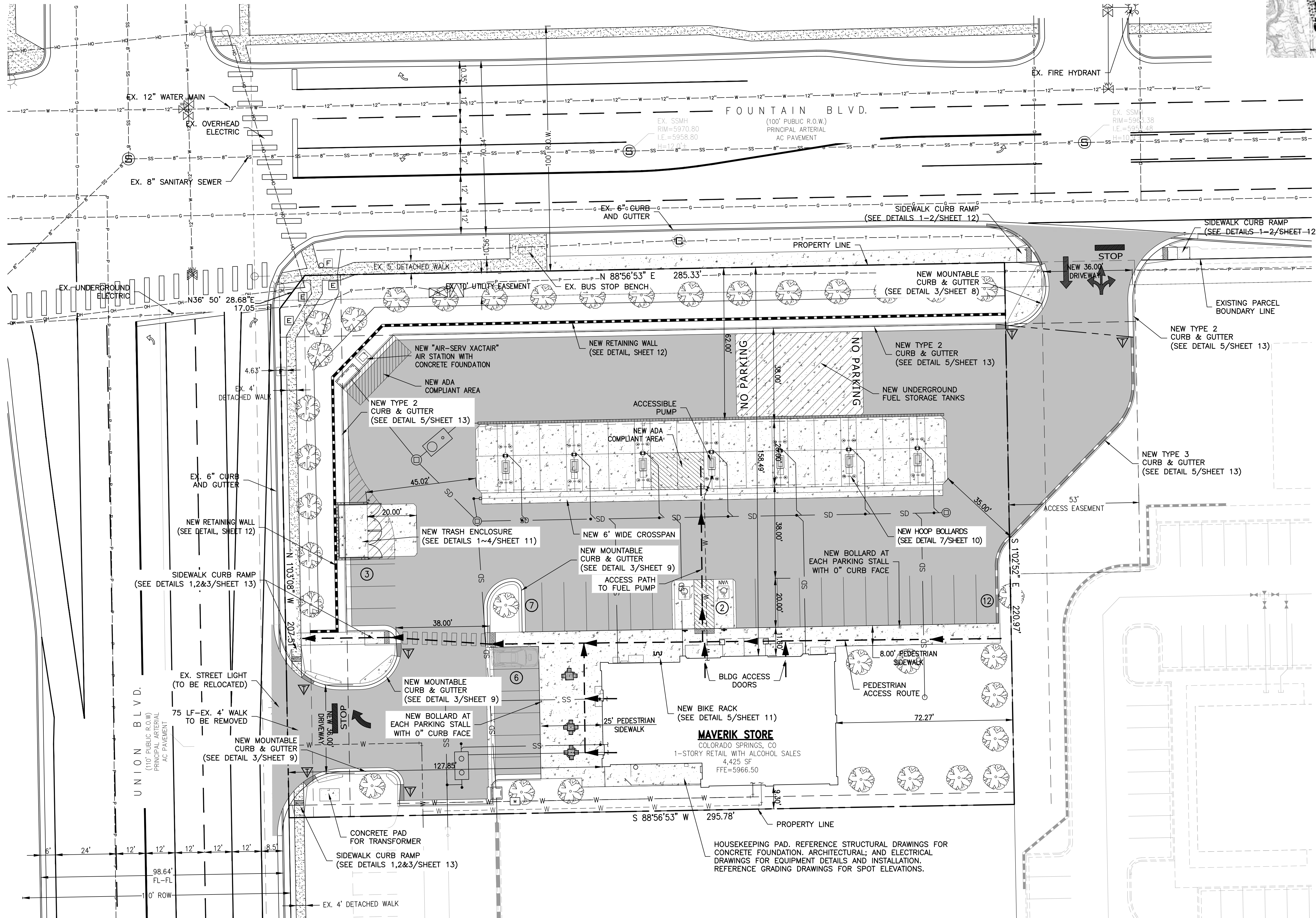


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AR DP XX-XXXX





DEVELOPMENT PLAN  
FOR  
MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041

PROJECT NUMBER

20-122-0012

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COLORADO SPRINGS, CO

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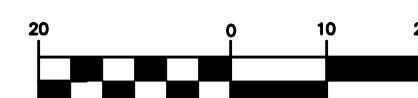
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GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft.

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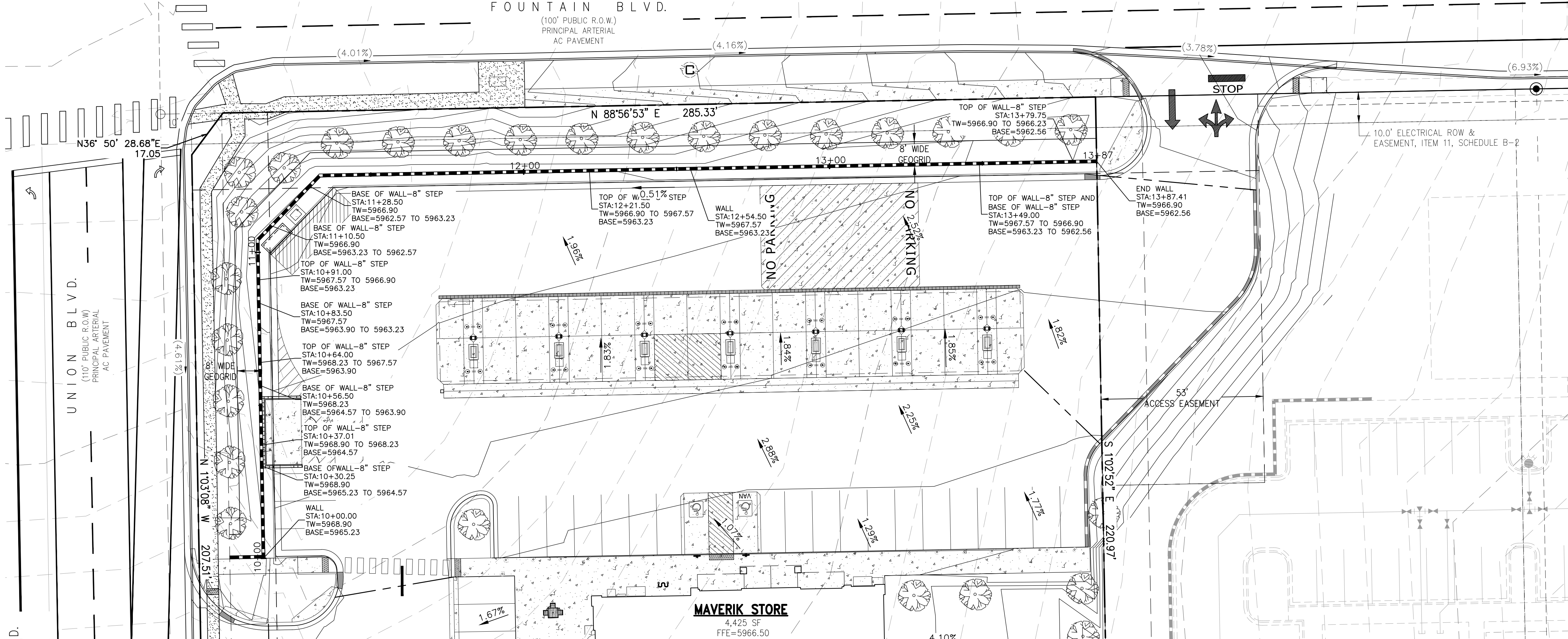
AR DP XX-XXXX

GRADING  
PLAN

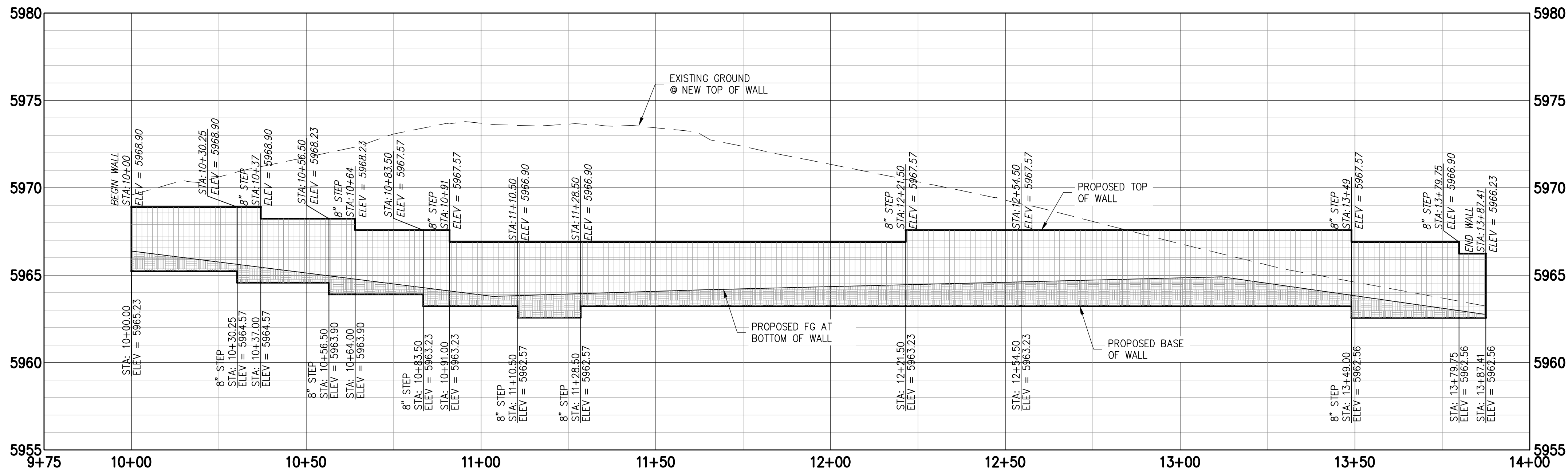
5 OF 22



DEVELOPMENT PLAN  
FOR  
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FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041



RETAINING WALL - A  
PLAN VIEW  
STA: 10+00-13+87.41



RETAINING WALL - A  
PROFILE VIEW  
STA: 10+00-13+87.41

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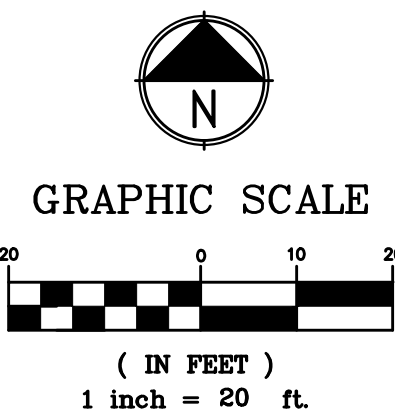
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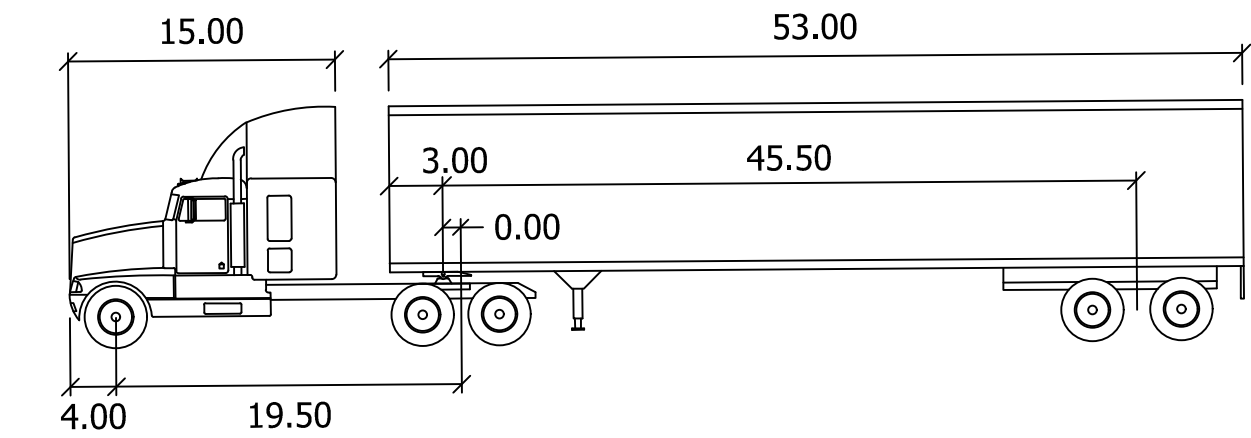
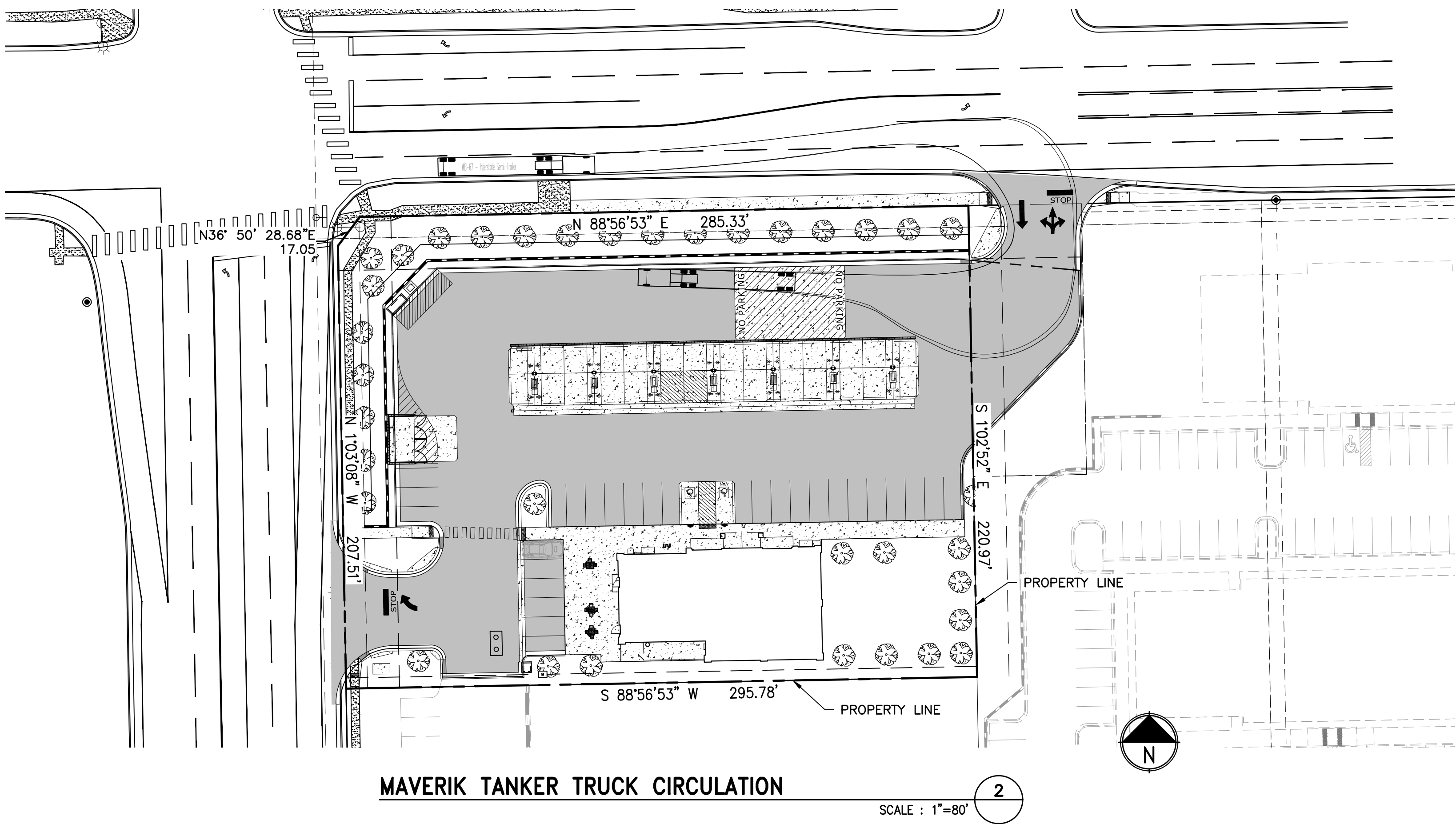
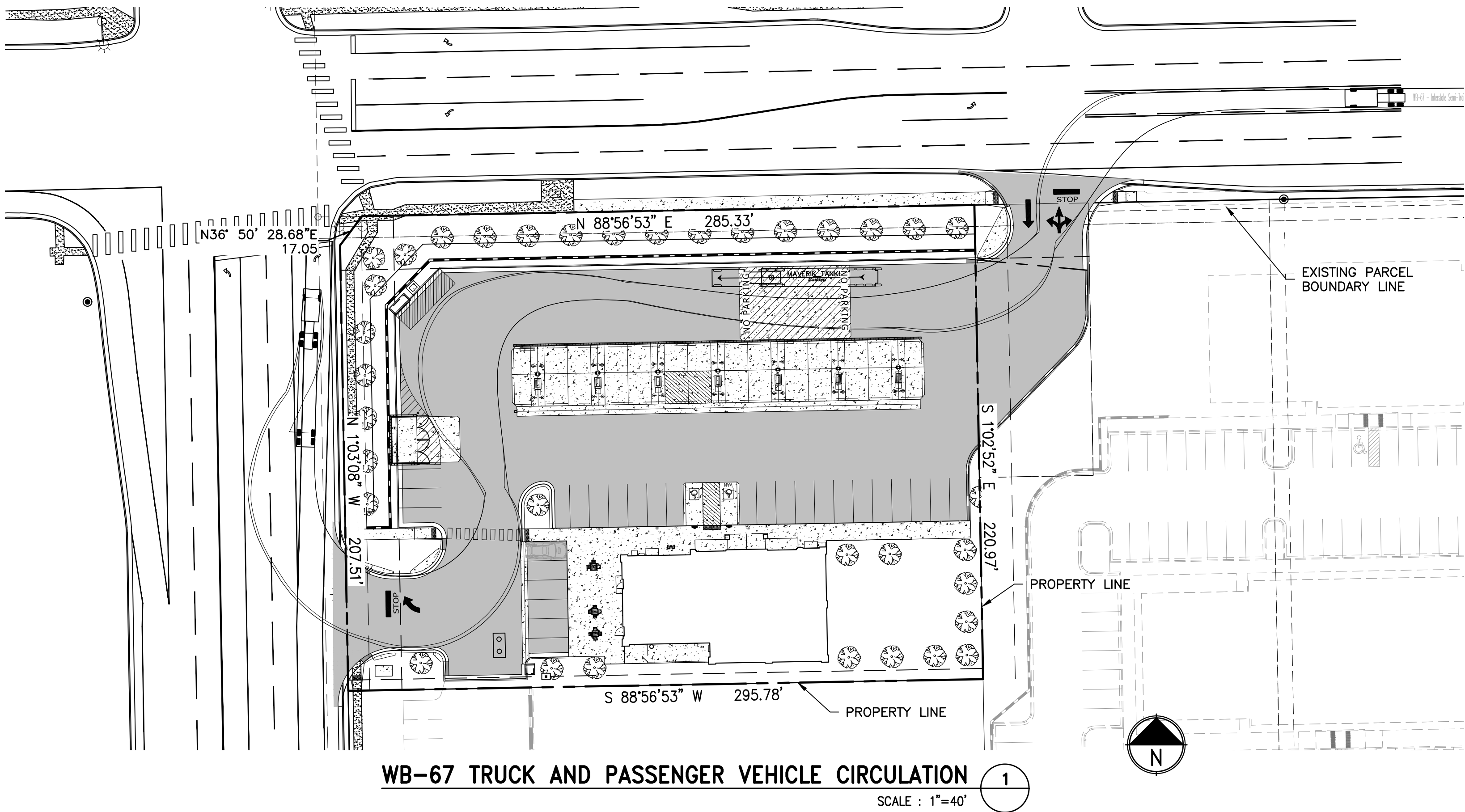
RETAINING  
WALL PLAN  
AND PROFILE



AR DP XX-XXXX



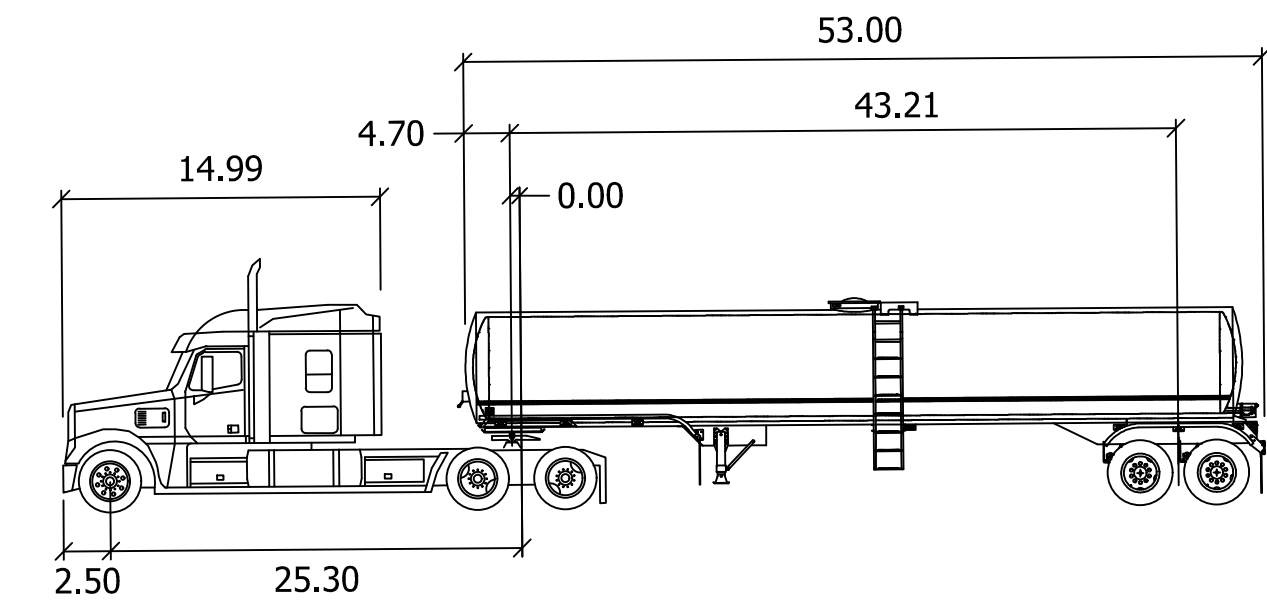
DEVELOPMENT PLAN  
FOR  
MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041



WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

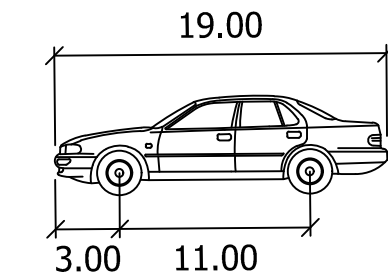
WB-67 TRANSPORT TRUCK



MAVERIK TANKER

	feet		
Tractor Width	: 8.01	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.01	Articulating Angle	: 75.0
Trailer Track	: 8.50		

MAVERIK TANKER TRUCK



PM

	feet	
Width	: 7.00	
Track	: 6.00	
Lock to Lock Time	: 6.0	
Steering Angle	: 31.6	

PASSENGER VEHICLE

**CONTRACTOR NOTE:**  
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PROJECT NUMBER

20-122-0012

ISSUE DATE:

OCTOBER 15, 2021

REVISIONS:

No.	Date	Description

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FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO

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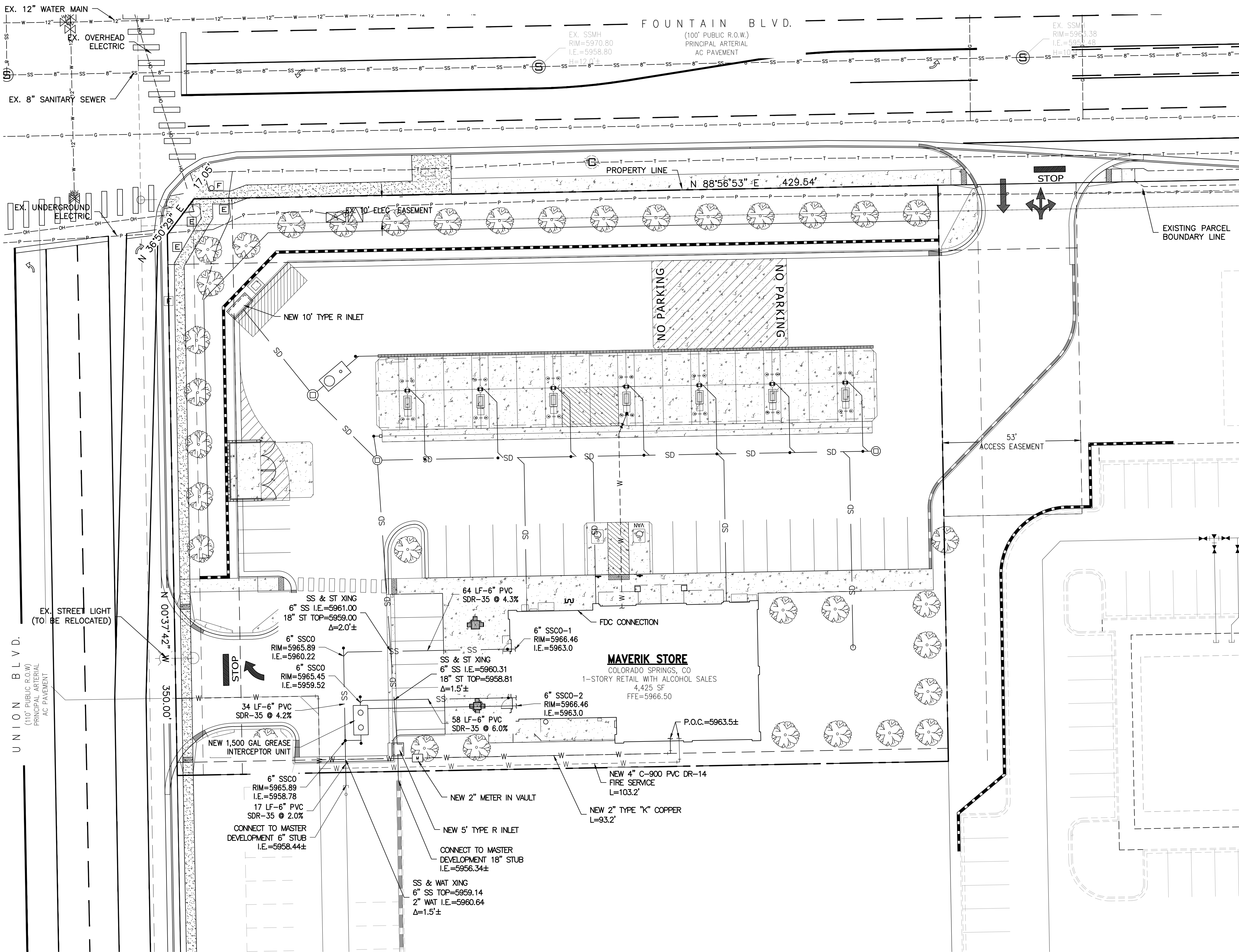
CIRCULATION  
PLAN



AR DP XX-XXXX



DEVELOPMENT PLAN  
FOR  
MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041



VERTICAL DATUM/BENCHMARK:

VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (GROUND SURVEY),  
CONTOUR INTERVAL = 1 FOOT, DATUM, BENCHMARK IS A 1" ALUMINUM CAP (LS  
28658)

ELEVATION = 5973.05 FEET

BASIS OF BEARING:

BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF LOT 1,  
BLOCK 1, ALSO BEING THE SOUTH RIGHT-OF-WAY OF FOUNTAIN BOULEVARD,  
A 100-FOOT-WIDE PUBLIC RIGHT-OF-WAY, BEARS NORTH 89°22'02" EAST

GENERAL NOTES FOR PRELIMINARY UTILITY PLANS

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

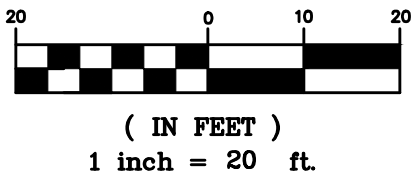
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COST TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AT TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUCTED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICES OF SPRINGS UTILITIES.

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GRAPHIC SCALE



AR DP XX-XXXX

PROJECT NUMBER

20-122-0012

ISSUE DATE:

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No.	Date	Description

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UTILITY  
PLAN



DEVELOPMENT PLAN  
FOR  
MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041

PROJECT NUMBER

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REVISIONS:

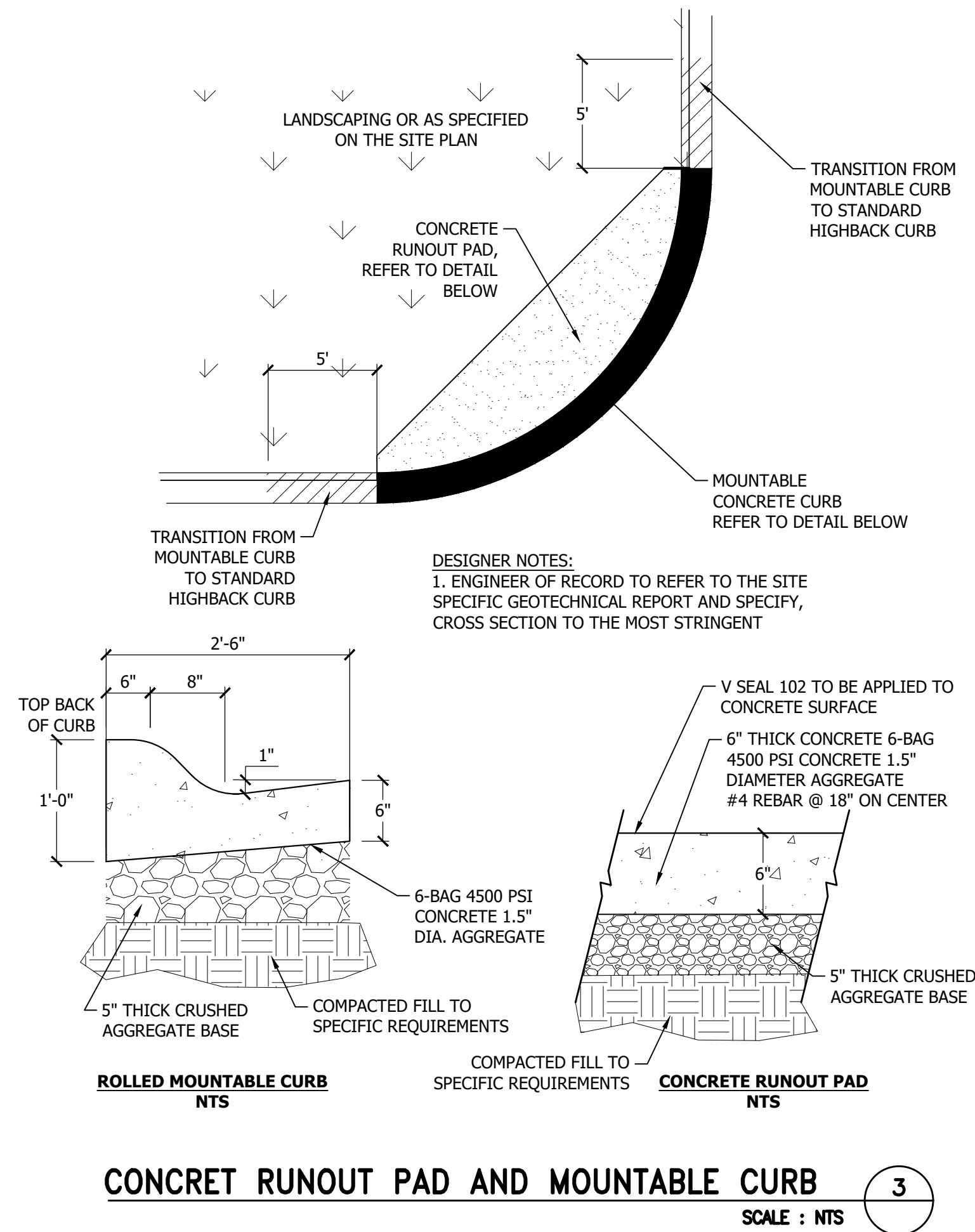
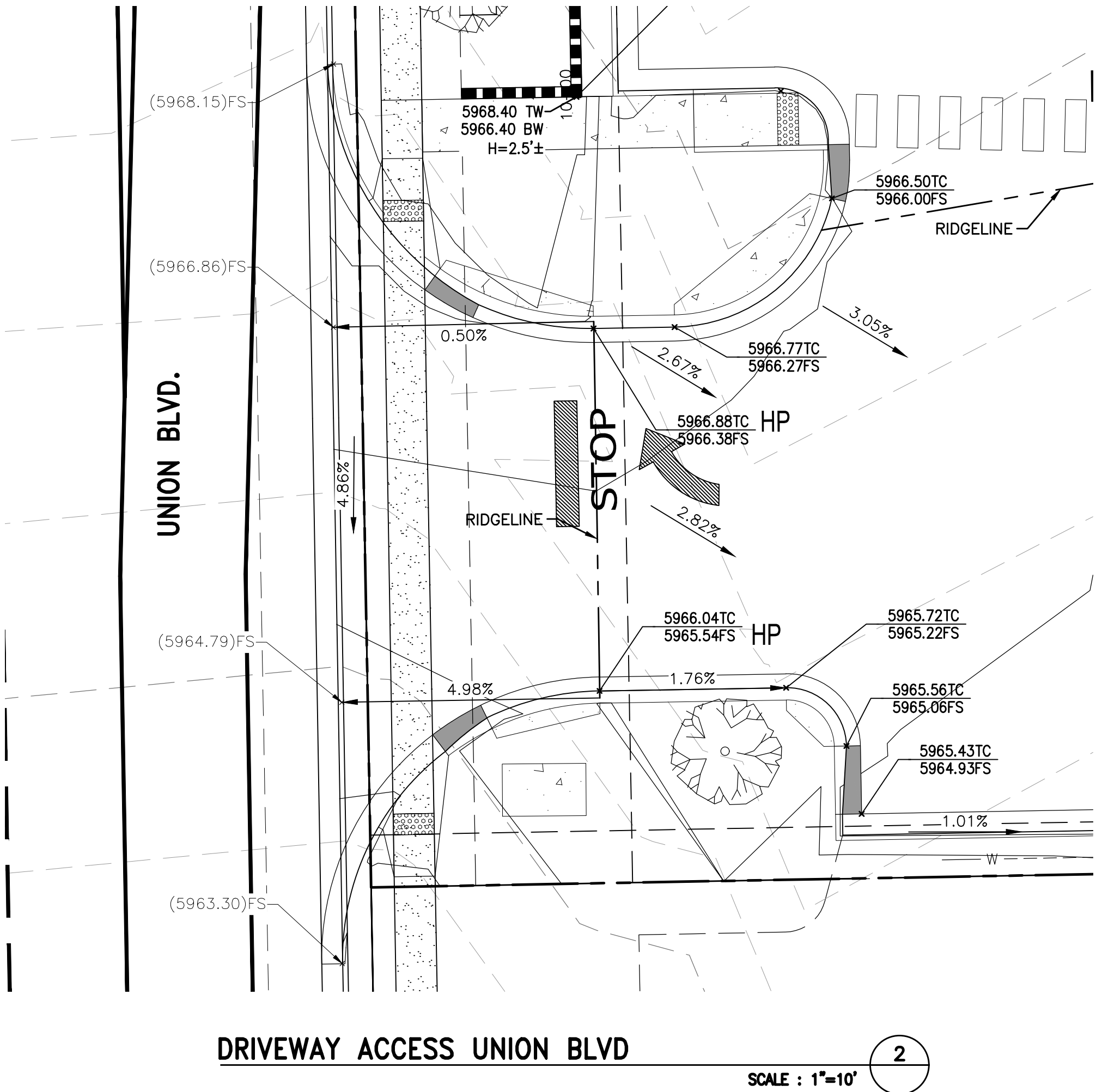
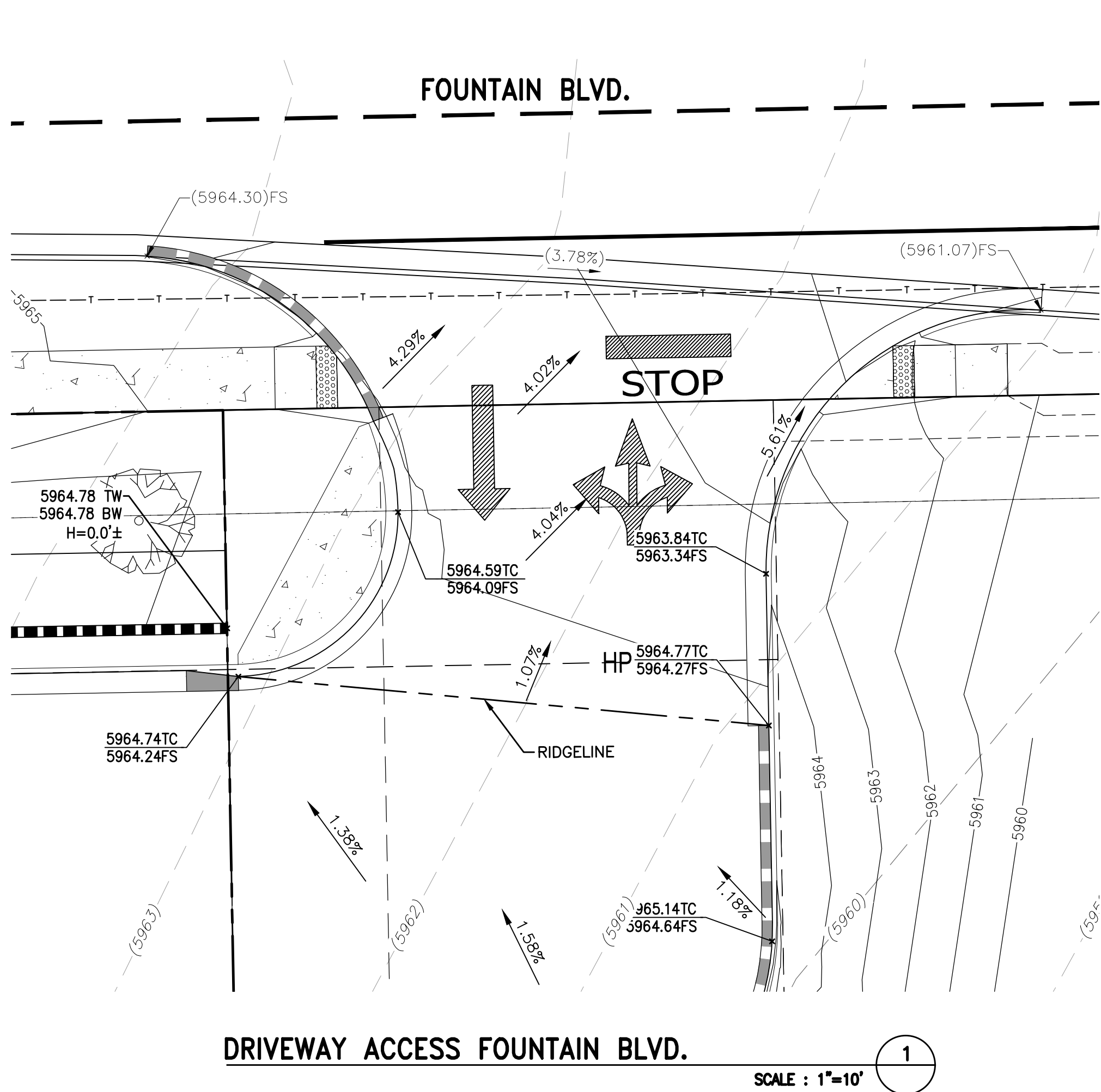
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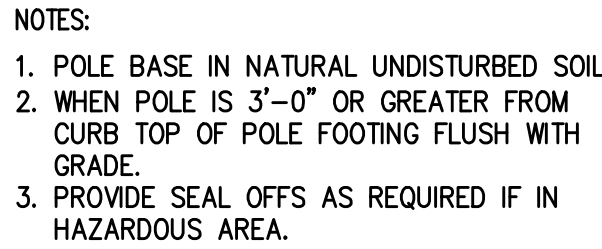
DETAILS



AR DP XX-XXXX



CITY FILE # XXXXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041



1. FIRE LANE ENTRANCE SIGN(S) SHALL ALSO BE PROVIDED.
2. CURBS SHALL BE PAINTED OSHA SAFETY RED.
3. "FIRE LANE- NO PARKING" SHALL BE PAINTED ON TOP OF CURB IN 3" WHITE LETTERING AT A SPACING OF 30' ON CENTER OR PORTION THEREOF.



THIS SIGN SHALL BE POSTED AT ALL FIRE LANE ENTRANCES WITH LANES MARKED BY EITHER RED CURBING OR SIGNS. THE SIGN SHALL BE NO SMALLER THAN EIGHTEEN (18) INCHES WIDE BY THIRTY (30) INCHES HIGH.

1. THE WORDS "FIRE LANE" SHALL BE WHITE REFLECTIVE ON RED BACKGROUND AND NO SMALLER THAN TWO AND THREE-QUARTER (2-3/4) INCHES IN HEIGHT.
2. LETTERING SHALL BE RED ON WHITE REFLECTIVE BACKGROUND, NO SMALLER THAN ONE AND THREE-EIGHTHS (1-3/8) INCHES IN HEIGHT.
3. LETTERING SHALL BE RED ON WHITE REFLECTIVE BACKGROUND, NO SMALLER THAN 1 INCH IN HEIGHT.
4. THE SIGN SHALL BE SECURELY MOUNTED FACING THE DIRECTION OF TRAVEL AND BE CLEARLY VISIBLE TO ONCOMING TRAFFIC ENTERING THE DESIGNATED AREA. SIGNS SHALL BE OF DURABLE MATERIAL.



20-122-0012

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## DETAILS



SPPWC STD. PLAN 120-2

SCALE : N/A



**SCALE : NTS**

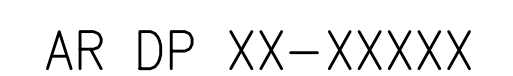


**SCALE : NTS**



SPPWC STD. PLAN 120-2

SCALE : N/A





DEVELOPMENT PLAN  
FOR  
MAVERIK INC. STORE  
FOUNTAIN BLVD. AND UNION BLVD.  
COLORADO SPRINGS, CO  
CITY FILE # XXXXXX  
TAX SCHEDULE #6421308002  
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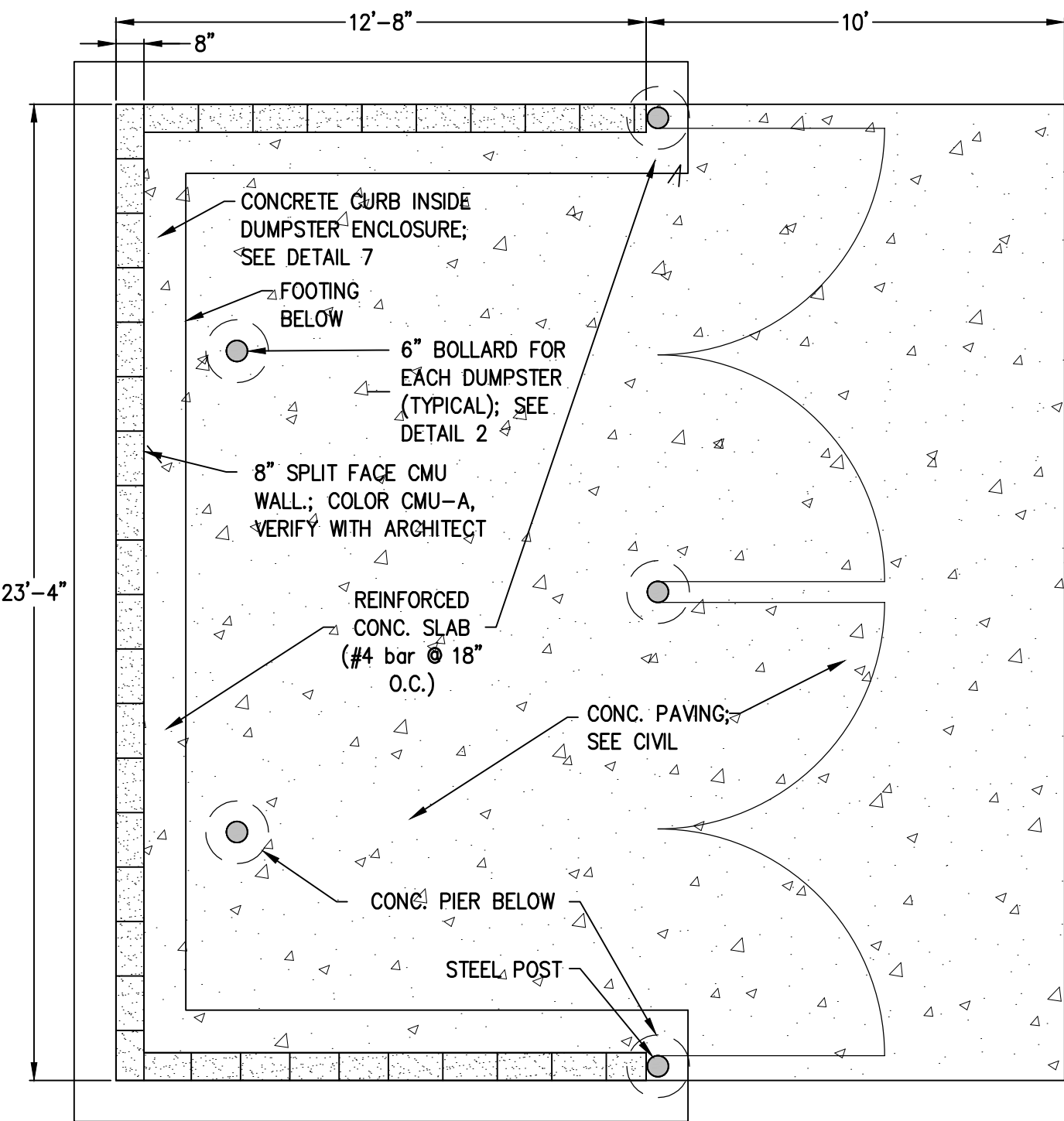
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DETAILS



AR DP XX-XXXX

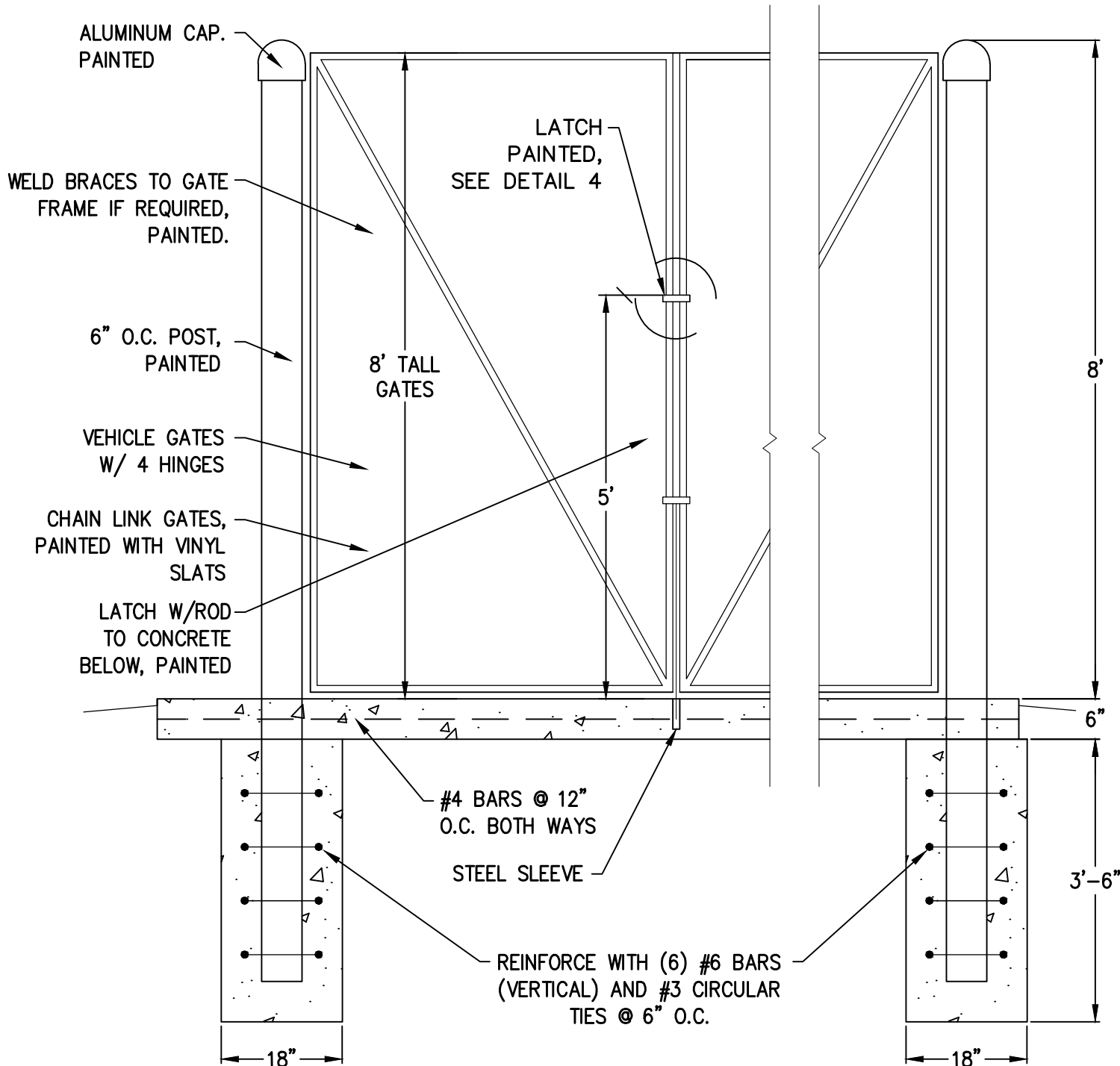
11 OF 22



DOUBLE TRASH ENCLOSURE DETAIL

SCALE : NTS

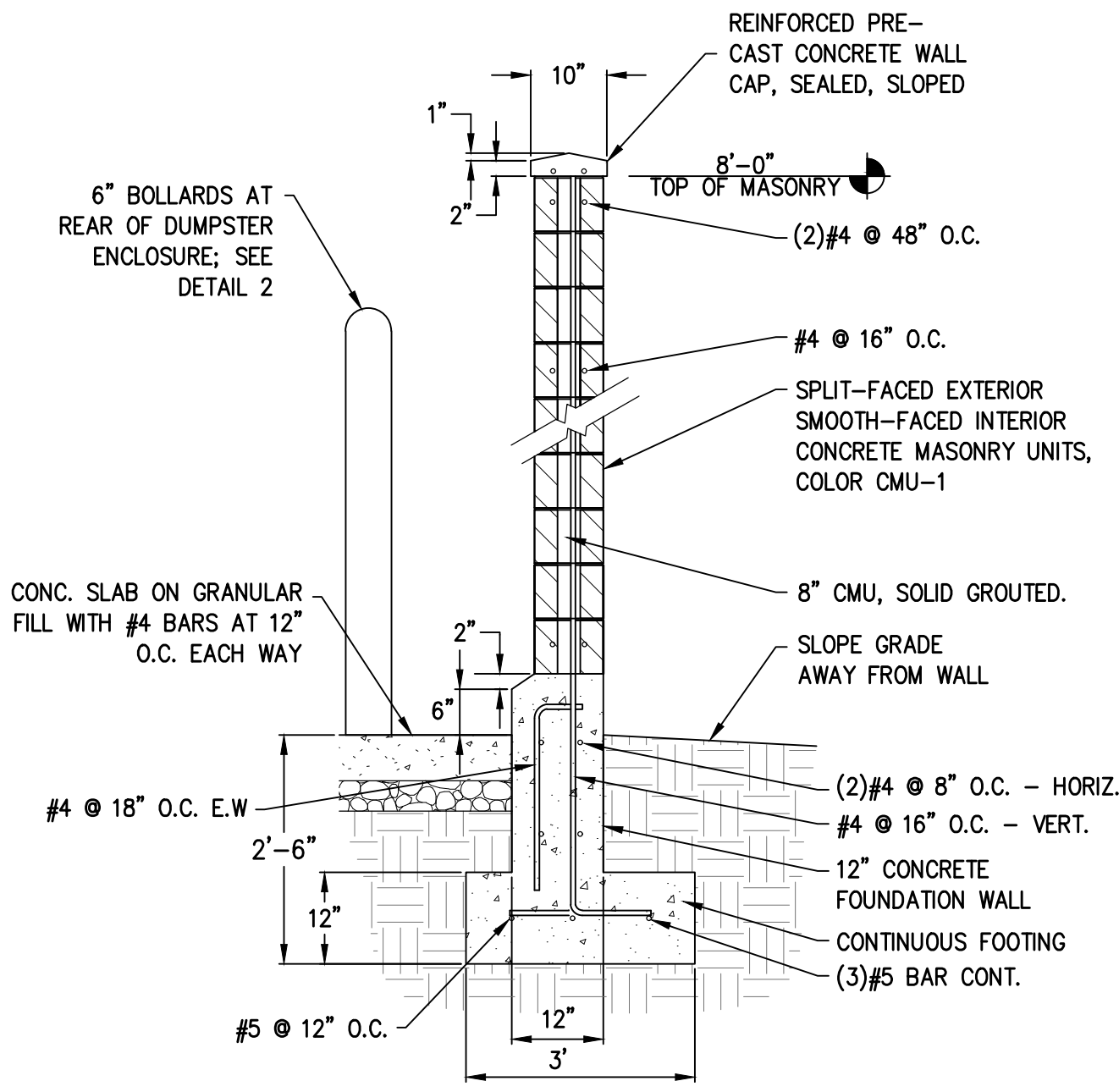
1



TRASH ENCLOSURE GATE DETAIL

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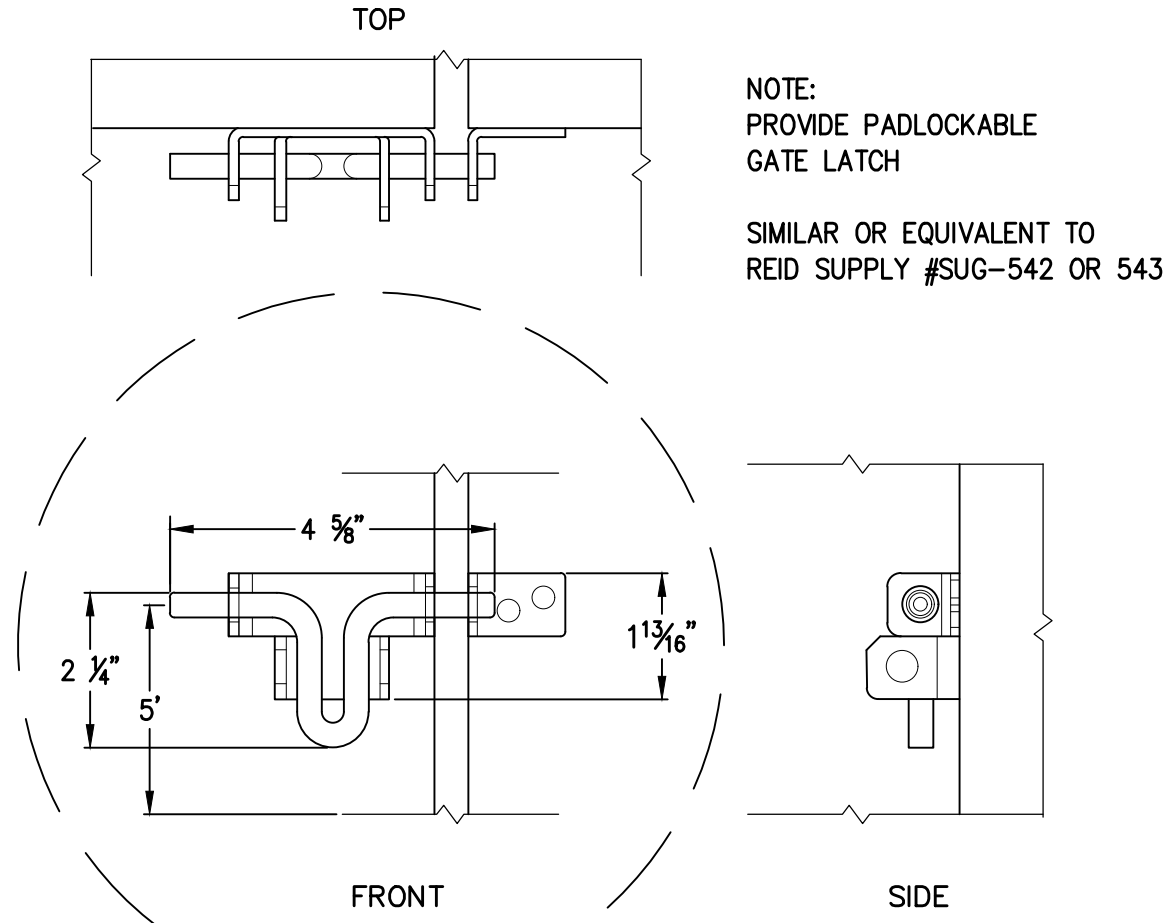
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TRASH ENCLOSURE WALL SECTION

SCALE : NTS

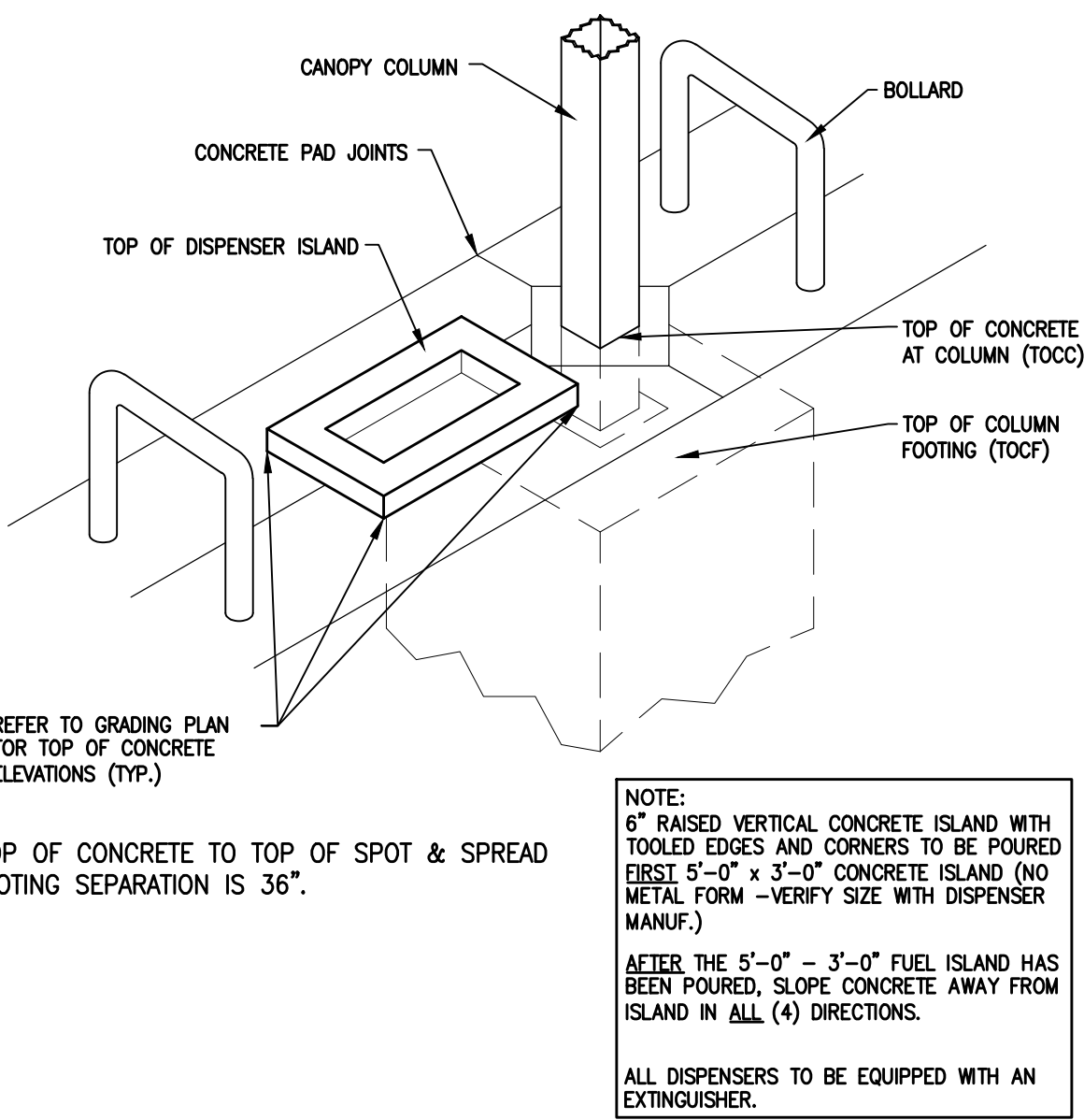
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TRASH ENCLOSURE GATE LATCH DETAIL

SCALE : NTS

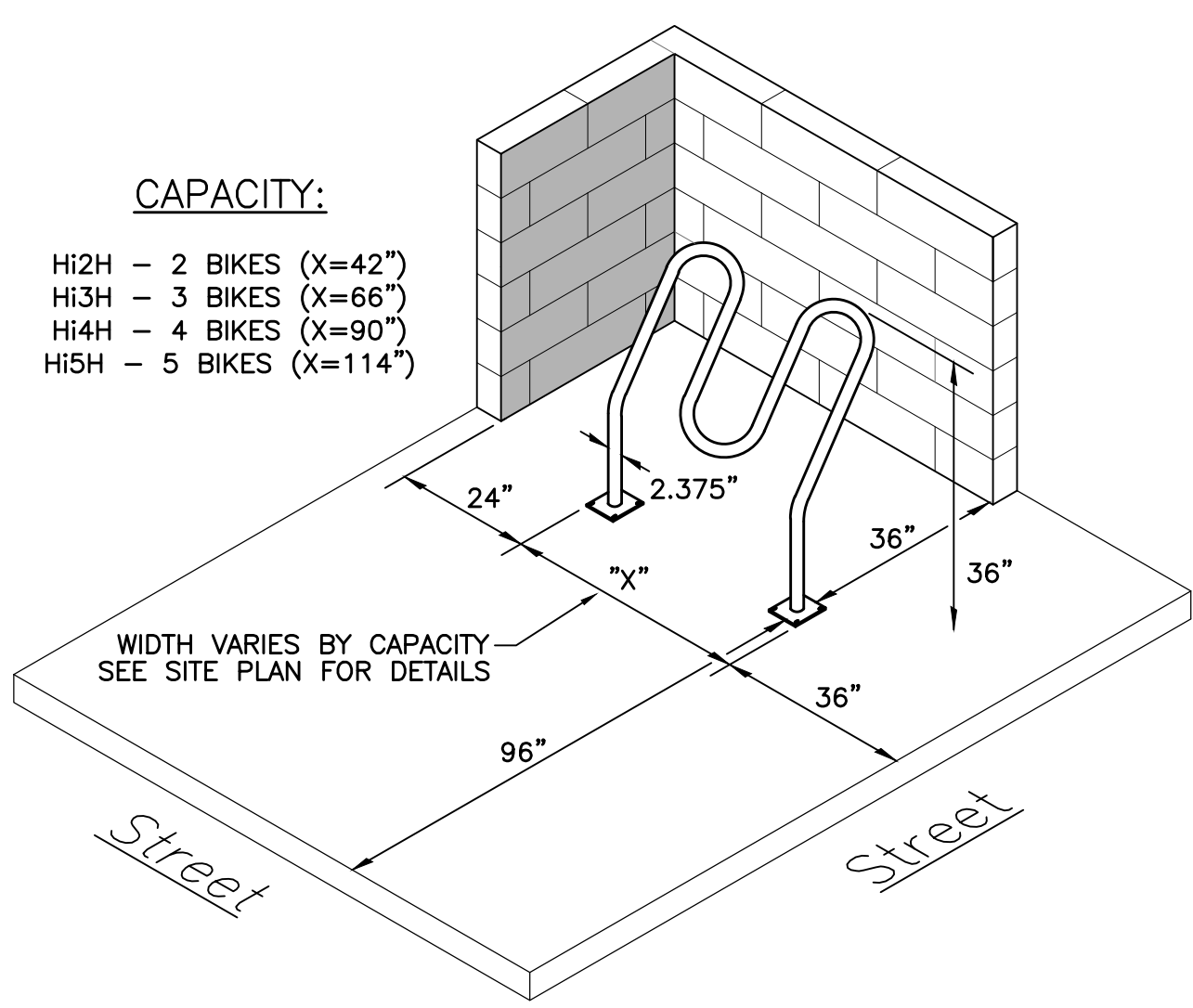
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FUEL DISPENSER DETAIL

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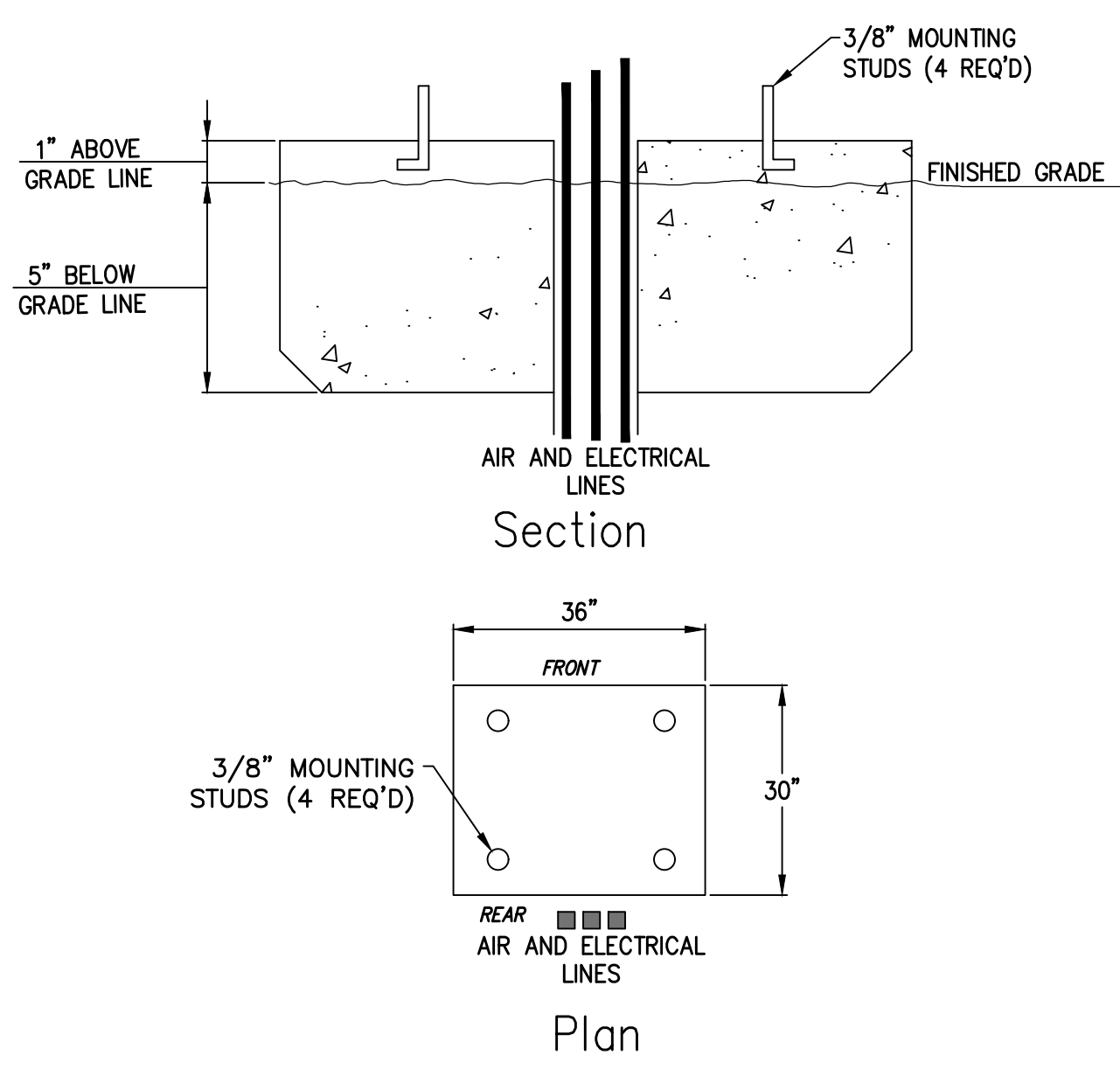
5



"HI-ROLLER" BIKE RACK DETAIL

SCALE : NTS

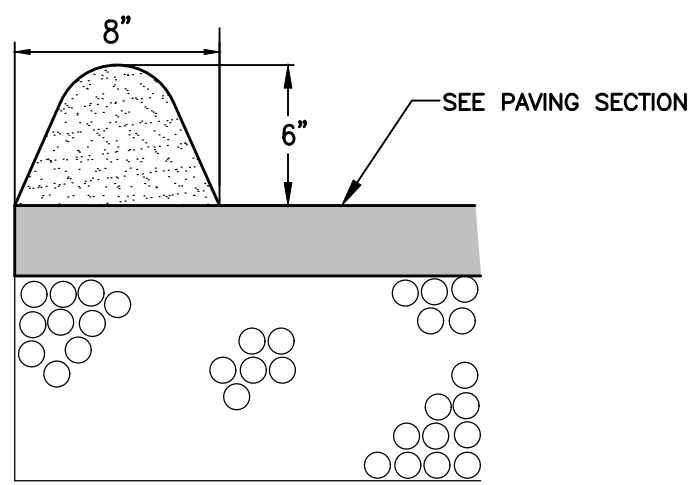
6



"XACTAIR" AIR STATION FOUNDATION DETAIL

SCALE : NTS

7



ASPHALT CURB DETAIL

SCALE : NTS

8



DEVELOPMENT PLAN  
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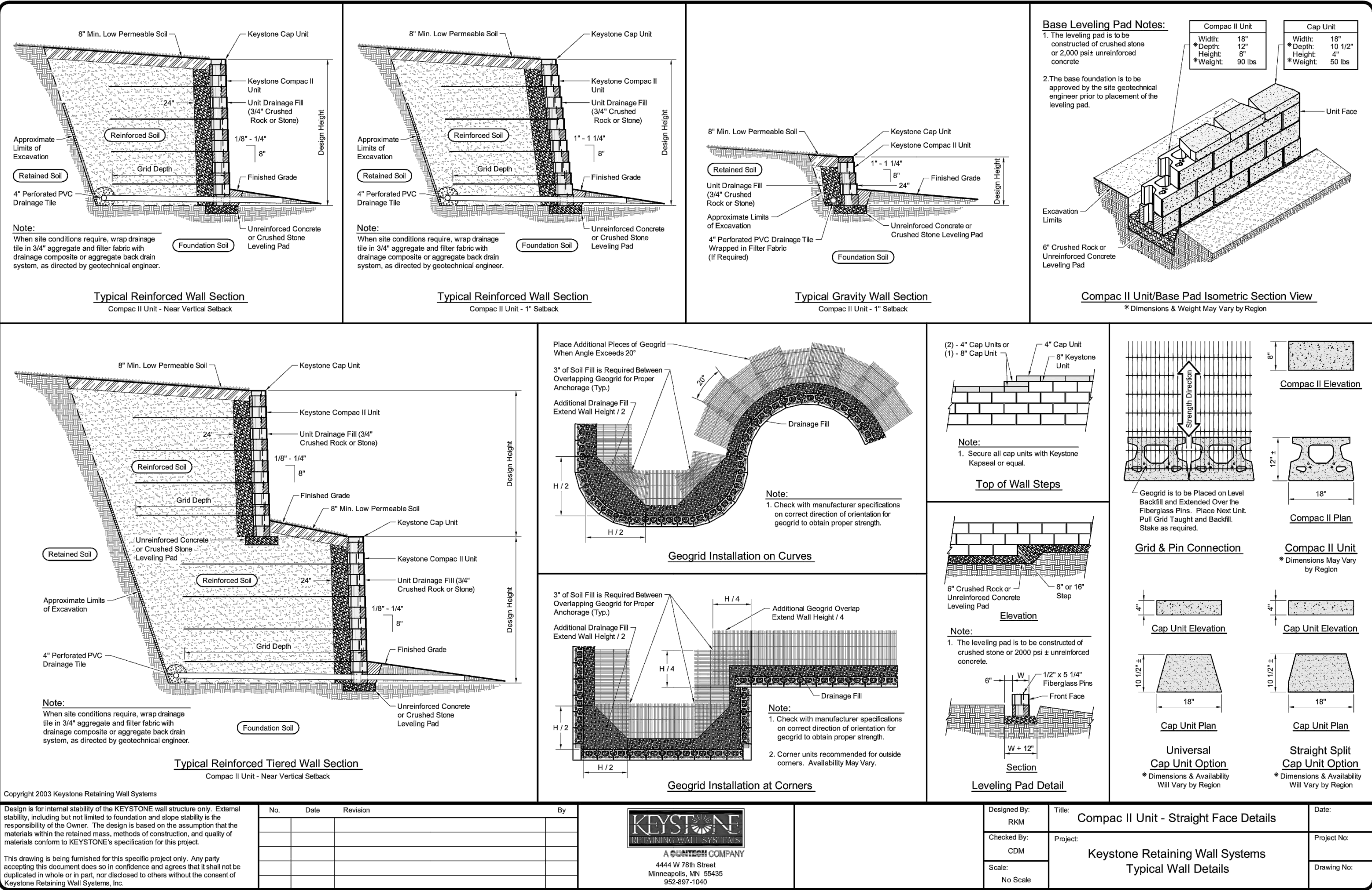
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DETAILS



AR DP XX-XXXX

12 OF 22





DEVELOPMENT PLAN  
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DETAILS



AR DP XX-XXXX

13 OF 22

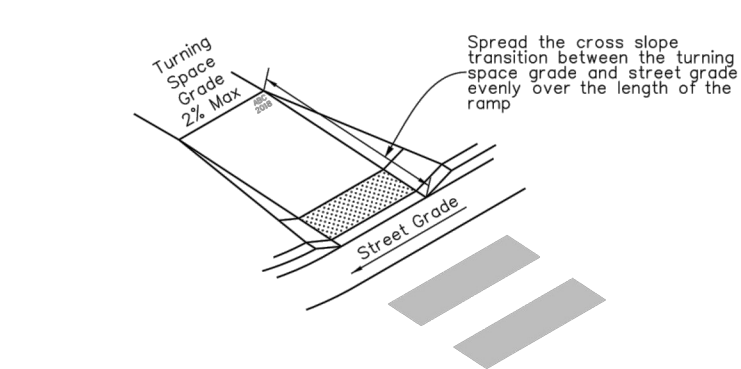
General Notes

- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (The City) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
- All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
- Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
- Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
- Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
- Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalks and/or the pedestrian street crossing that they serve.
- All ramp joints and grade breaks shall be flush (0"±1/4"). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications, to avoid chasing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
- Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.
- The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curb, the turning space shall be 5 feet by 5 feet.
- Contact the City Forestry Division if it is necessary to disturb trees or roots.
- All curb ramps shall have a minimum concrete thickness of 6 inches.
- All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
- Ramps shall align with each other across the street.

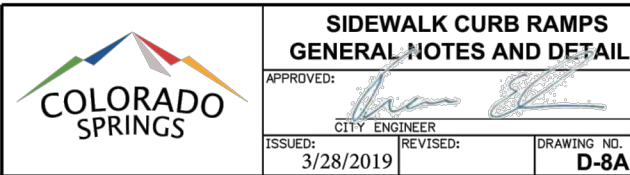
Slope Table

The table below is intended to be used to convert the percent (rise/run) and ratio (run/rise) methods of expressing the magnitude of a slope:

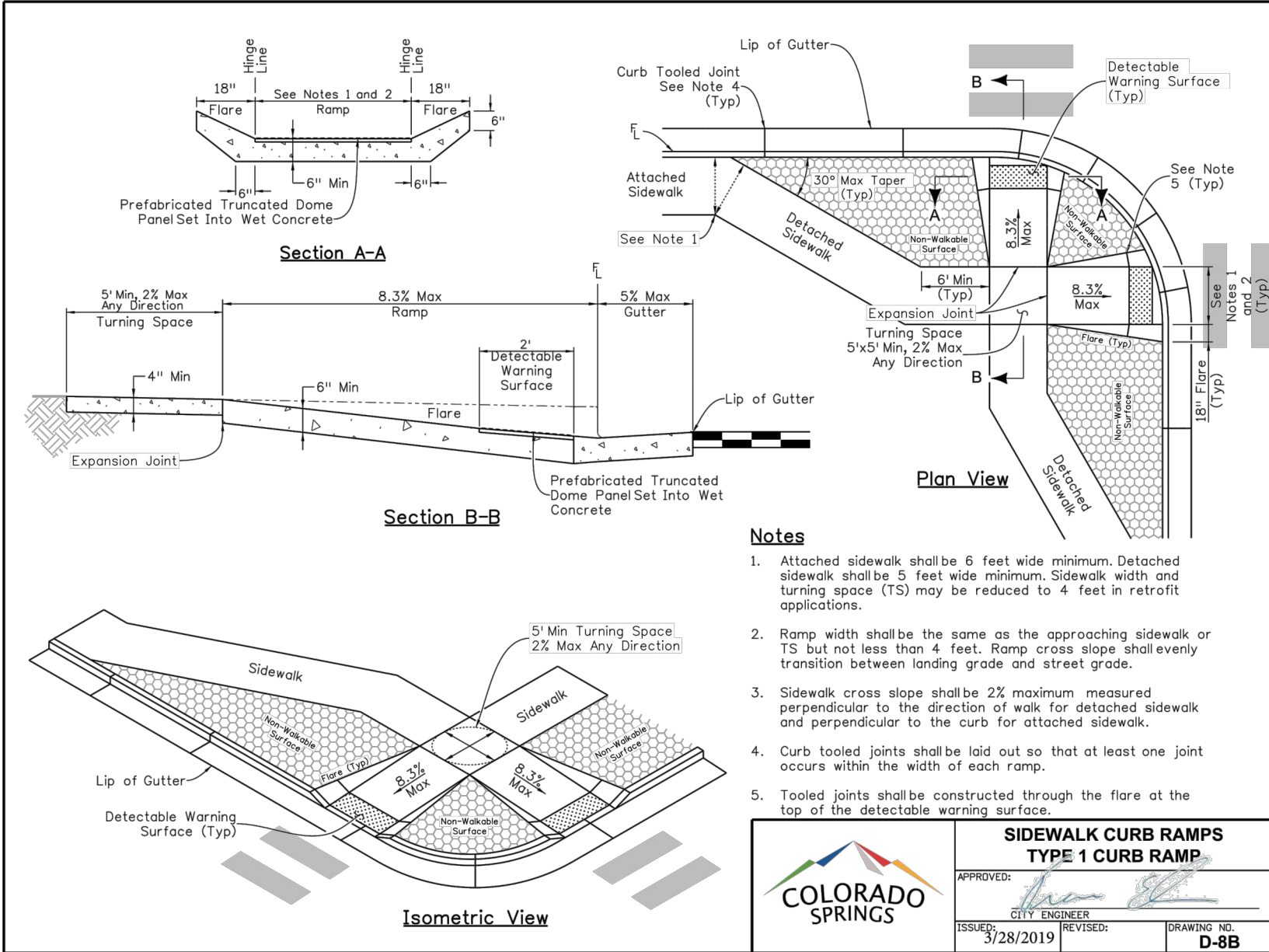
PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
RATIO SLOPE	20:1	100:1	50:1	20:1	14:1	12:1	10:1



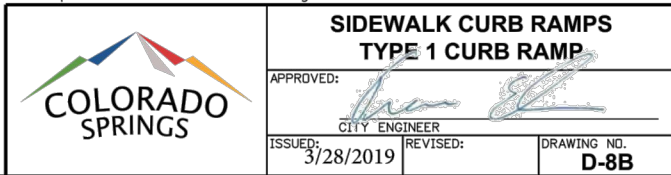
Ramp Cross Slope Transition To Match Roadway Profile  
Ramp cross slopes and turning spaces shall be:  
A. 2% max when a yield or stop control is present.  
B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.



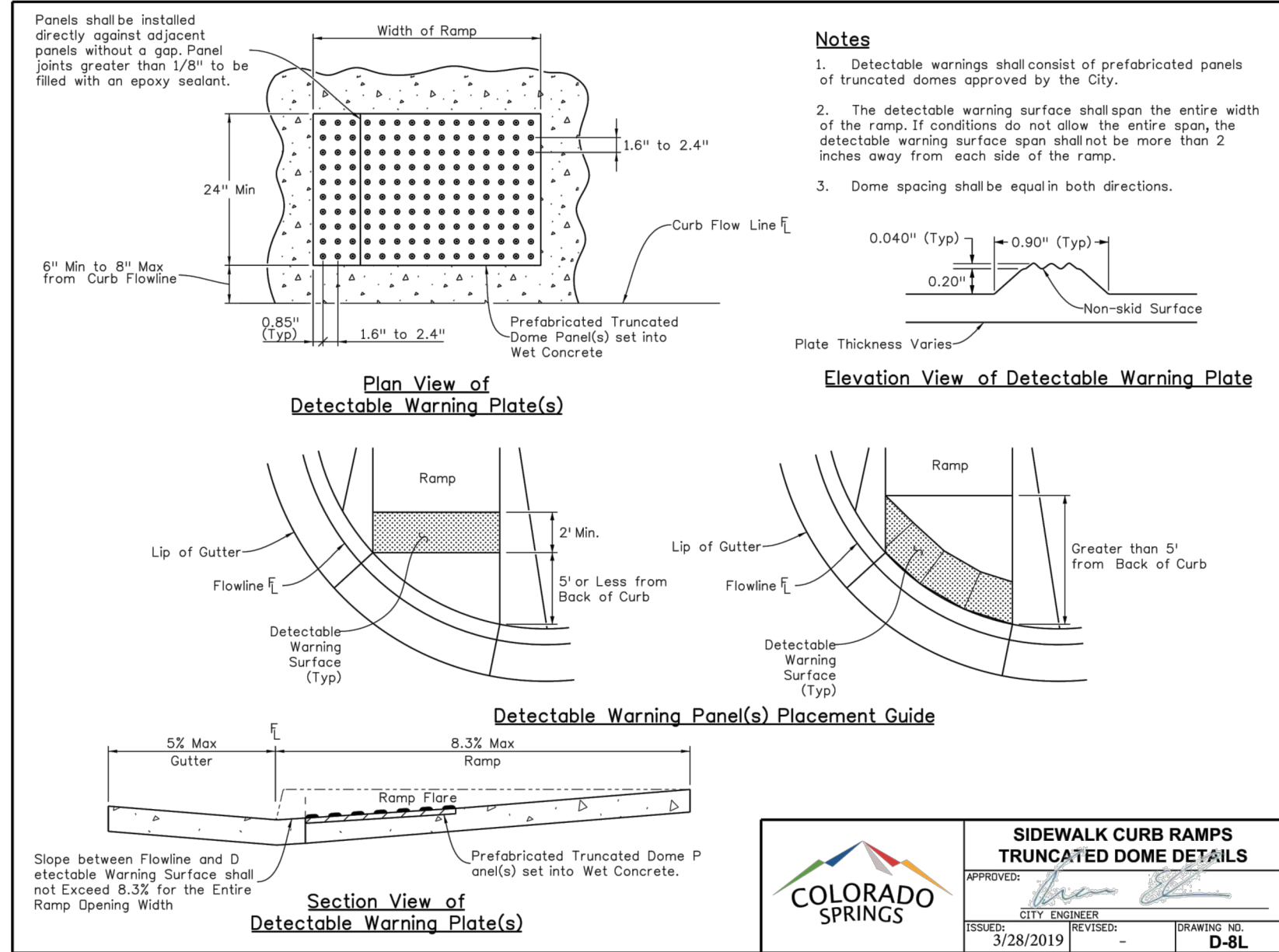
SIDEWALK CURB RAMPS  
GENERAL NOTES & DETAILS  
APPROVED: [Signature]  
CITY ENGINEER  
ISSUED: 3/28/2019  
REVISIONS: [Blank]  
DRAWING NO: D-8A



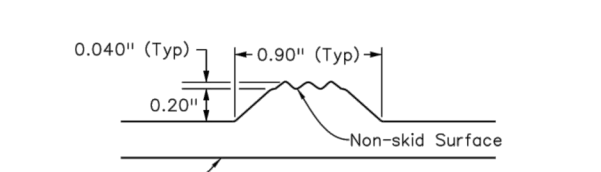
- Notes
- Attached sidewalk shall be 6 feet wide minimum. Detached sidewalk shall be 5 feet wide minimum. Sidewalk width and turning space (TS) may be reduced to 4 feet in retrofit applications.
  - Ramp width shall be the same as the approaching sidewalk or TS but not less than 4 feet. Ramp cross slope shall evenly transition between landing grade and street grade.
  - Sidewalk cross slope shall be 2% maximum measured perpendicular to the direction of walk for detached sidewalk and perpendicular to the curb for attached sidewalk.
  - Curb tooled joints shall be laid out so that at least one joint occurs within the width of each ramp.
  - Tooled joints shall be constructed through the flare at the top of the detectable warning surface.



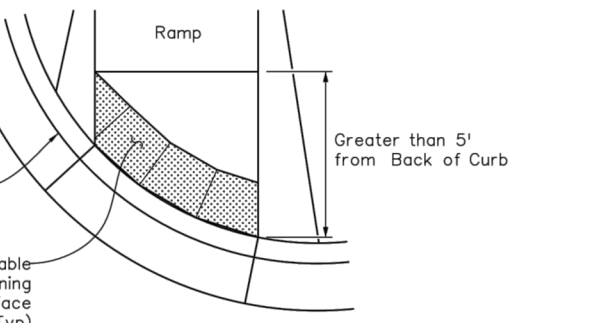
SIDEWALK CURB RAMPS  
TYPE 1 CURB RAMP  
APPROVED: [Signature]  
CITY ENGINEER  
ISSUED: 3/28/2019  
REVISIONS: [Blank]  
DRAWING NO: D-8B



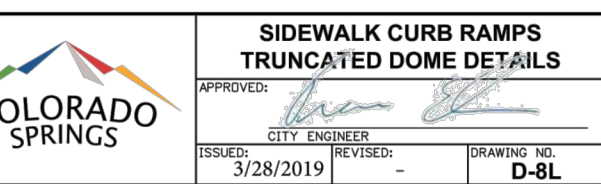
- Notes
- Detectable warnings shall consist of prefabricated panels of truncated domes approved by the City.
  - The detectable warning surface shall span the entire width of the ramp. If conditions do not allow the entire span, the detectable warning surface span shall not be more than 2 inches away from each side of the ramp.
  - Dome spacing shall be equal in both directions.



Elevation View of Detectable Warning Plate



Detectable Warning Panel(s) Placement Guide



SIDEWALK CURB RAMPS  
TRUNCATED DOME DETAILS  
APPROVED: [Signature]  
CITY ENGINEER  
ISSUED: 3/28/2019  
REVISIONS: [Blank]  
DRAWING NO: D-8L

SIDEWALK CURB RAMPS

SCALE : NTS

1

SIDEWALK CURB RAMPS

SCALE : NTS

2

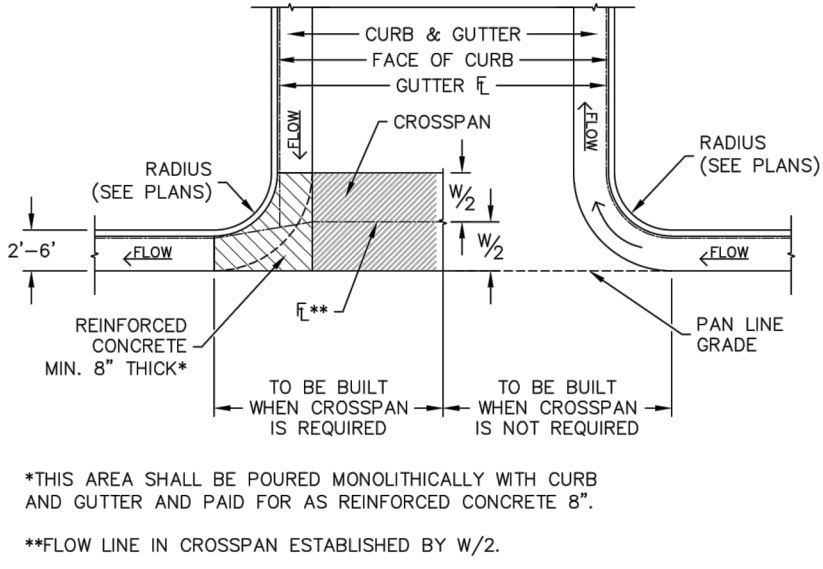
SIDEWALK CURB RAMPS TRUNCATED DOMES

SCALE : NTS

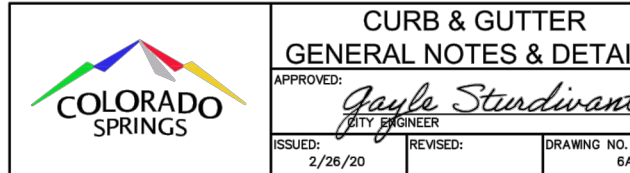
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GENERAL NOTES:

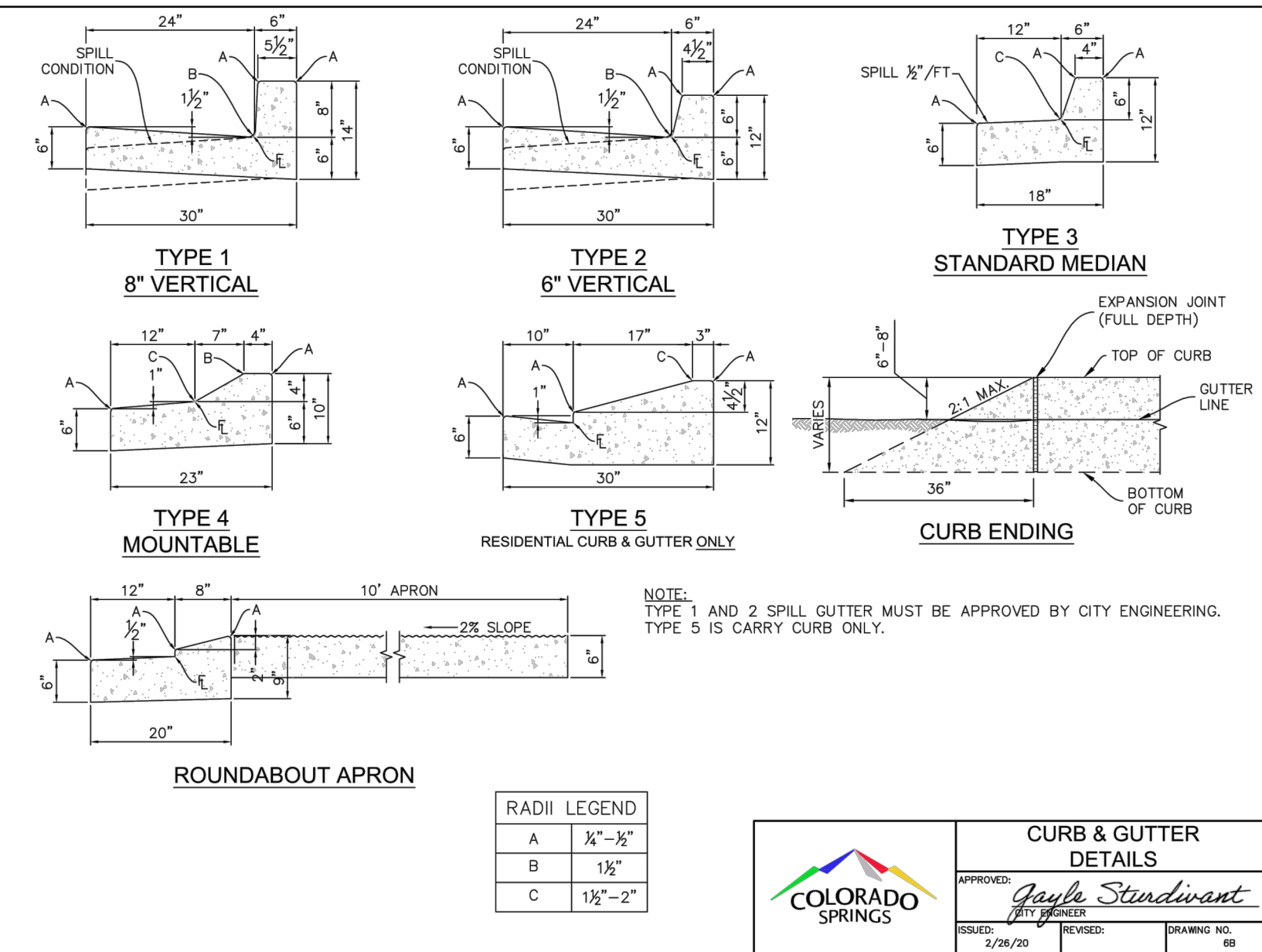
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. FOR CITY PERMITS CONTRACTORS SHALL USE THE ACCELA ON-LINE PERMIT SYSTEM. ONCE CITY PERMITS ARE APPROVED AND PAID, THEN APPROPRIATE SCHEDULING AND NOTIFICATIONS SHALL BE IN ACCELA.
- PRIOR TO OPENING TO TRAFFIC, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS, AND USE A CITY APPROVED CONCRETE MIX.
- 1-INCH DEEP TOOL JOINTS SHALL BE INSTALLED AT 10-FOOT SPACING.
- A BROOM FINISH, WITH SWEEPS IN THE DIRECTION OF FLOW SHALL BE APPLIED TO ALL GUTTER PANS.
- THE CONTRACTOR SHALL STAMP THEIR COMPANY NAME AND CONSTRUCTION DATE A MINIMUM EVERY 100-FOOT OR FRACTION THEREOF ON FRONT FACE OF CURB.
- NEW ASPHALT SHALL NOT BE PLACED AGAINST FRESHLY POURED CONCRETE. CONCRETE SHALL BE 5-DAYS OLD OR HAVE A COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS.
- ALL CURB TRANSITIONS (ONE TYPE TO ANOTHER) WILL BE 10-FOOT UNLESS OTHERWISE NOTED.
- CONTACT THE CITY FORESTRY DIVISION, PRIOR TO STARTING WORK, IF IT IS NECESSARY TO DISTURB TREES OR ROOTS.
- WHITE CURE SHALL BE PLACED WITH 100% COVERAGE, AND MEET THE SPECIFICATION OF SECTION 500.
- GUTTER IN/OUT SLOPES AT CURB CUTS FOR CURB RAMPS SHALL BE LESS THAN 5% AND BE A.D.A. COMPLIANT (SEE CURB RAMP DETAILS).
- CURB ENDINGS SHALL BE PLACED WHERE CURB AND GUTTER DEAD-ENDS.
- CURB CUTS FOR DRIVEWAYS ARE SHOWN ON THE DRIVEWAY DETAILS.



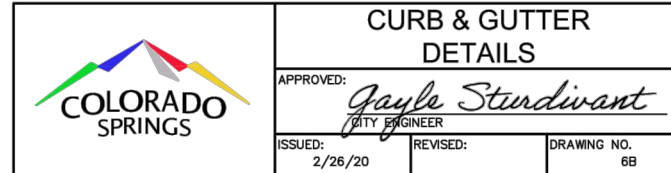
CONSTRUCTION OF CONCRETE GUTTERS AT INTERSECTION



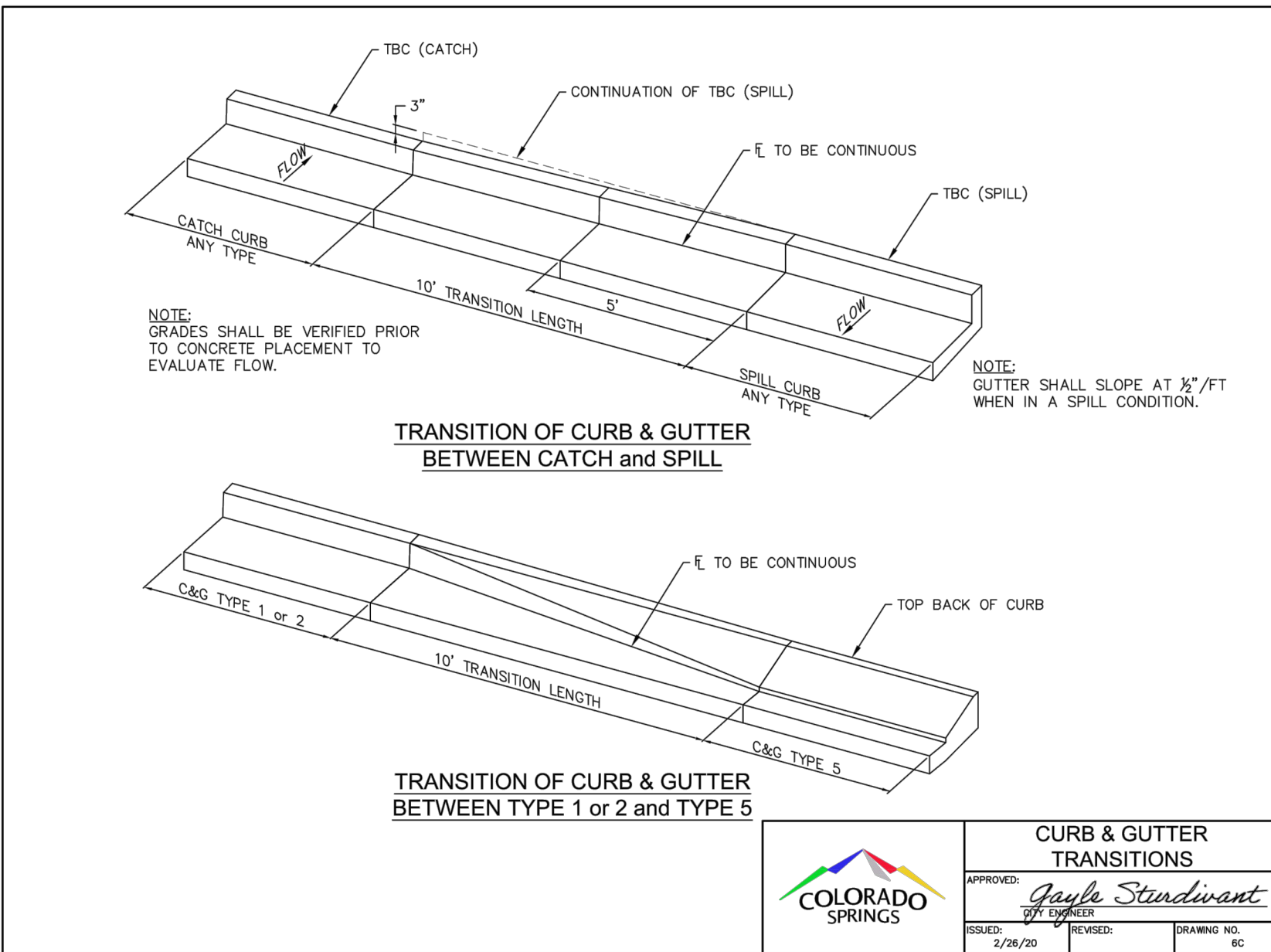
CURB & GUTTER  
GENERAL NOTES & DETAILS  
APPROVED: [Signature]  
CITY ENGINEER  
ISSUED: 3/28/20  
REVISIONS: [Blank]  
DRAWING NO: 8A



NOTE:  
TYPE 1 AND 2 SPILL GUTTER MUST BE APPROVED BY CITY ENGINEERING.  
TYPE 5 IS CARRY CURB ONLY.

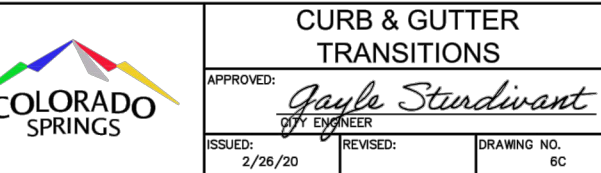


CURB & GUTTER  
DETAILS  
APPROVED: [Signature]  
CITY ENGINEER  
ISSUED: 3/28/20  
REVISIONS: [Blank]  
DRAWING NO: 8B



TRANSITION OF CURB & GUTTER BETWEEN CATCH and SPILL

TRANSITION OF CURB & GUTTER BETWEEN TYPE 1 or 2 and TYPE 5



CURB & GUTTER  
TRANSITIONS  
APPROVED: [Signature]  
CITY ENGINEER  
ISSUED: 3/28/20  
REVISIONS: [Blank]  
DRAWING NO: 8C

CURB AND GUTTER NOTES

SCALE : NTS

4

CURB AND GUTTER DETAILS

SCALE : NTS

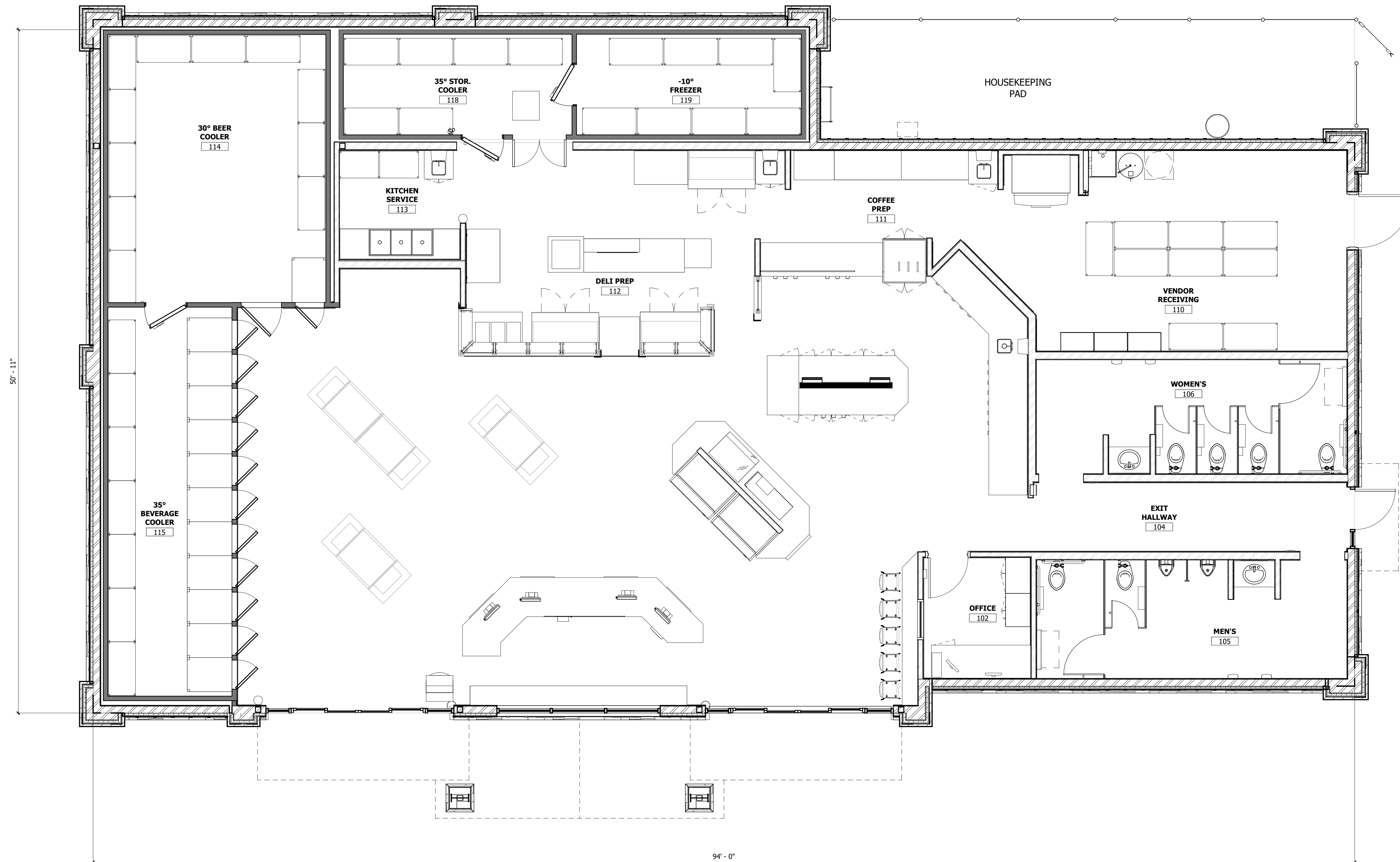
5

CURB AND GUTTER TRANSITIONS

SCALE : NTS

6





**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

## MAVERIK C-STORE

Prototype Version: 40\_R\_RR\_2001  
Building Square Footage: 4,425 SF

A-1 | FLOOR PLAN





1 FRONT RIGHT BUILDING PERSPECTIVE  
SCALE:

## MAVERIK C-STORE

Prototype Version: 40\_R\_RR\_2001  
Building Square Footage: 4,425 SF SF

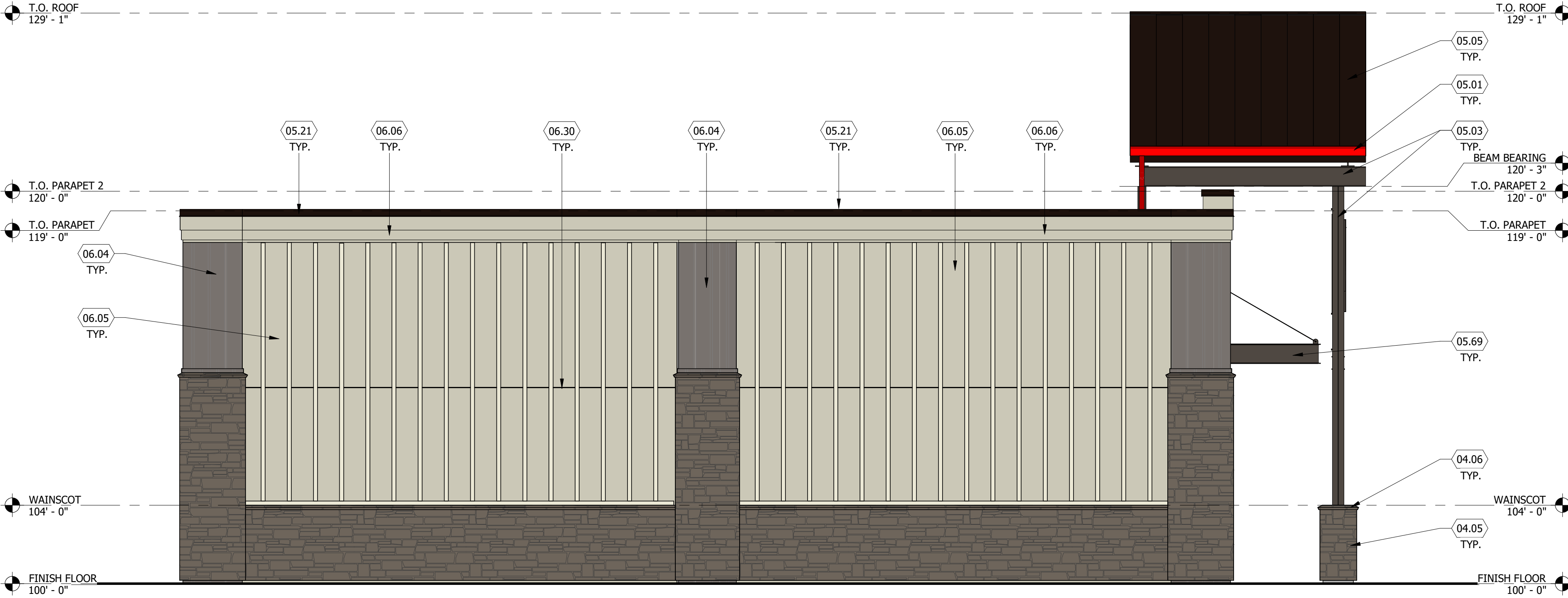
A-2 | PERSPECTIVE VIEWS





KEYED NOTES

- 04.05 CULTURED STONE VENEER, SKYLINE, COUNTRY LEDGESTONE
- 04.06 CULTURED STONE VENEER CAP, SKYLINE, COUNTRY LEDGESTONE
- 05.01 PRE-FINISHED GUTTER, BRITE RED
- 05.03 PAINTED STEEL, BLACK FOX
- 05.05 MBCI PRE-FINISHED ROOF, COLOR C-1, 1-3/4" STANDING SEAM
- 05.10 PRE-FINISHED METAL EAVE FLASHING BY ROOF MANUFACTURER, MIDNIGHT BRONZE
- 05.21 PRE-FINISHED METAL COPING, COLOR C-1
- 05.69 STEEL AWNING, COLOR P-9
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1
- 06.06 FIBER CEMENT TRIM BB-3
- 06.30 HORIZONTAL JOINT IN SIDING
- 08.02 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE
- 08.05 WINDOW, SEE SCHEDULE
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1



2 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

MAVERIK C-STORE

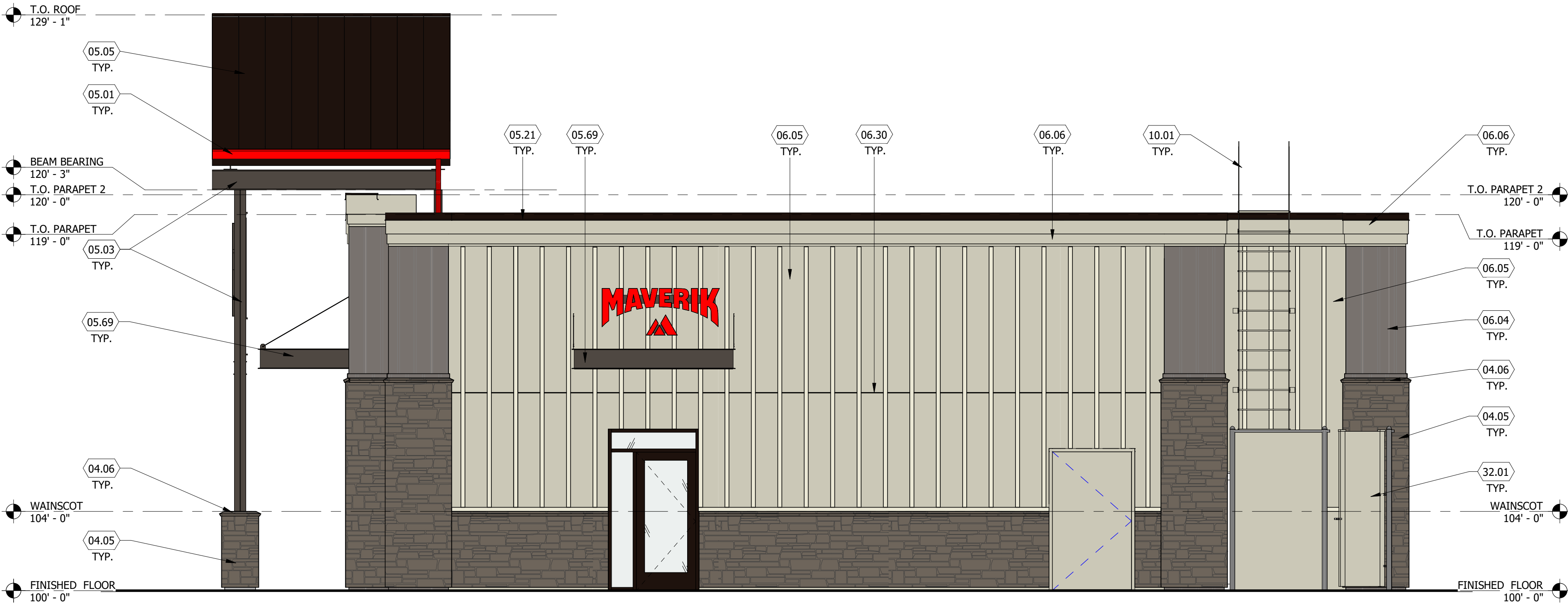
Prototype Version: 40\_R\_RR\_2001  
Building Square Footage: 4,425 SF



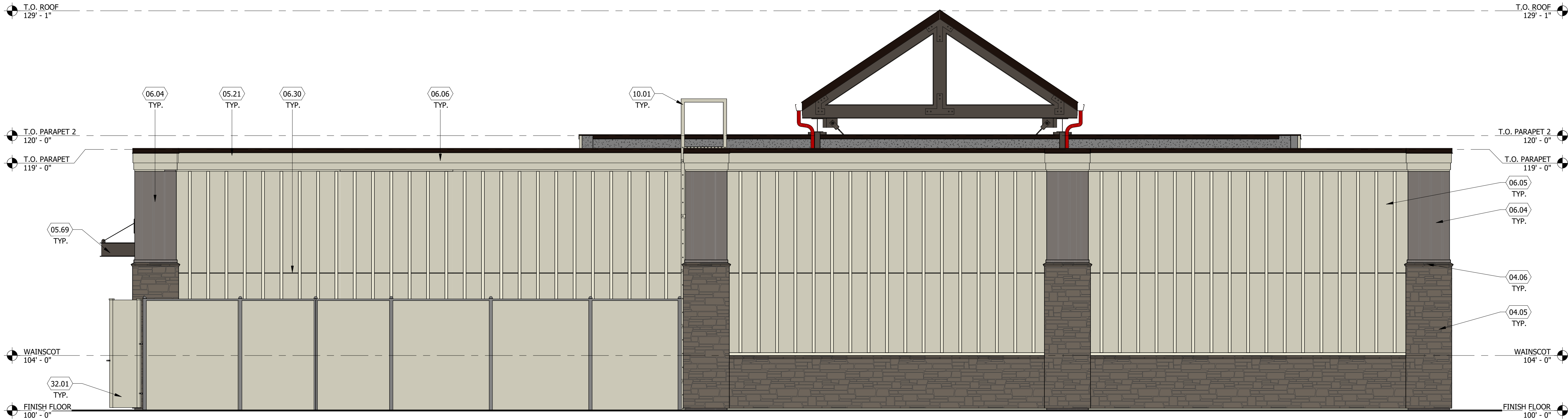


KEYED NOTES

- 04.05 CULTURED STONE VENEER, SKYLINE, COUNTRY LEDGESTONE
- 04.06 CULTURED STONE VENEER CAP, SKYLINE, COUNTRY LEDGESTONE
- 05.01 PRE-FINISHED GUTTER, BRITTE RED
- 05.03 PAINTED STEEL, BLACK FOX
- 05.05 MBCI PRE-FINISHED ROOF, COLOR C-1, 1-3/4" STANDING SEAM
- 05.21 PRE-FINISHED METAL COPING, COLOR C-1
- 05.69 STEEL AWNING, COLOR P-9
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1
- 06.06 FIBER CEMENT TRIM BB-3
- 06.30 HORIZONTAL JOINT IN SIDING
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
- 32.01 CHAIN LINK FENCE WITH PRIVACY SLATS. COLOR TO MATCH BUILDING FIELD COLOR



2 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

MAVERIK C-STORE

Prototype Version: 40\_R\_RR\_2001  
Building Square Footage: 4,425 SF





2 CANOPY COLUMN PLAN  
SCALE: 1/2" = 1'-0"

MAVERIK C-STORE

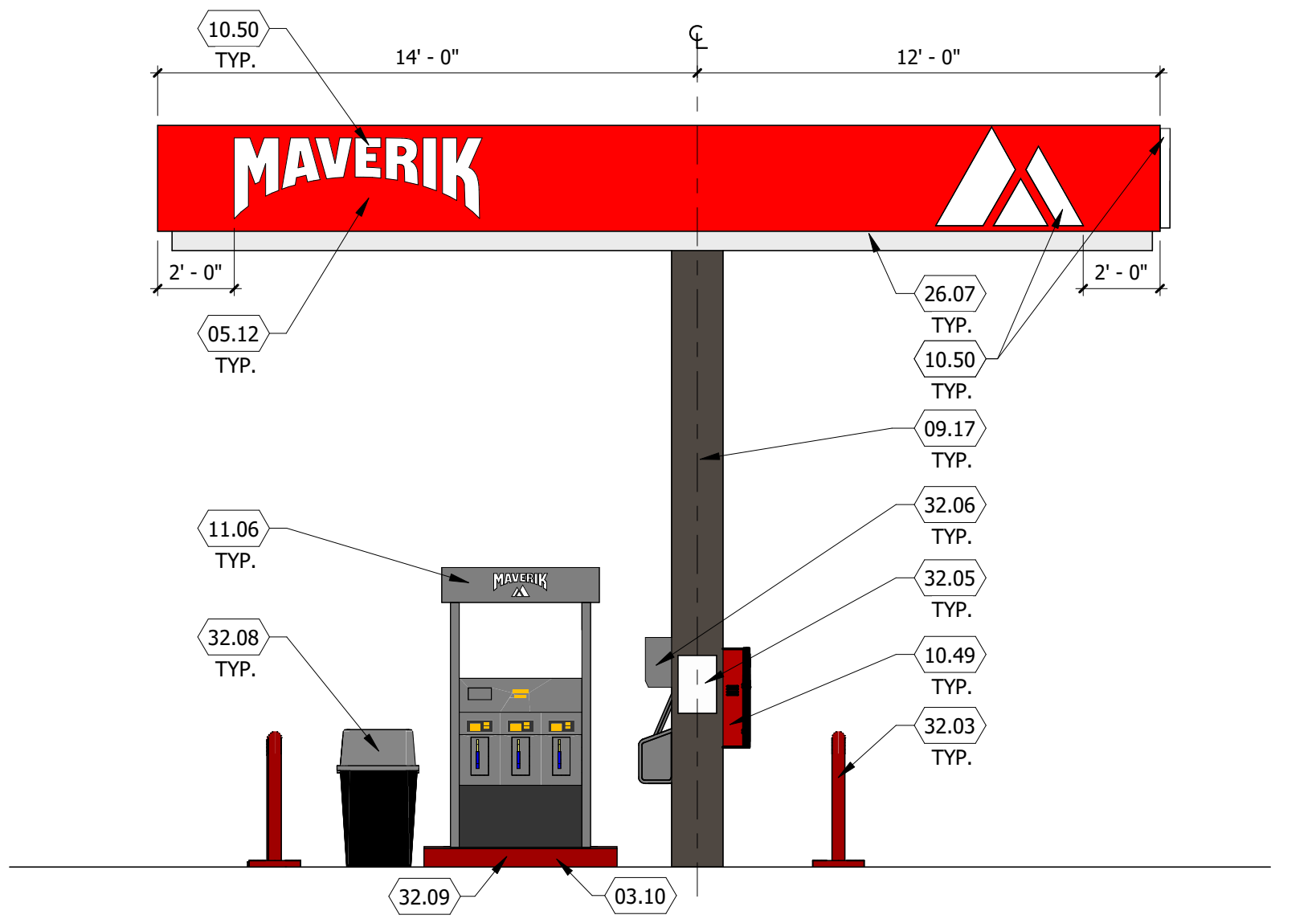
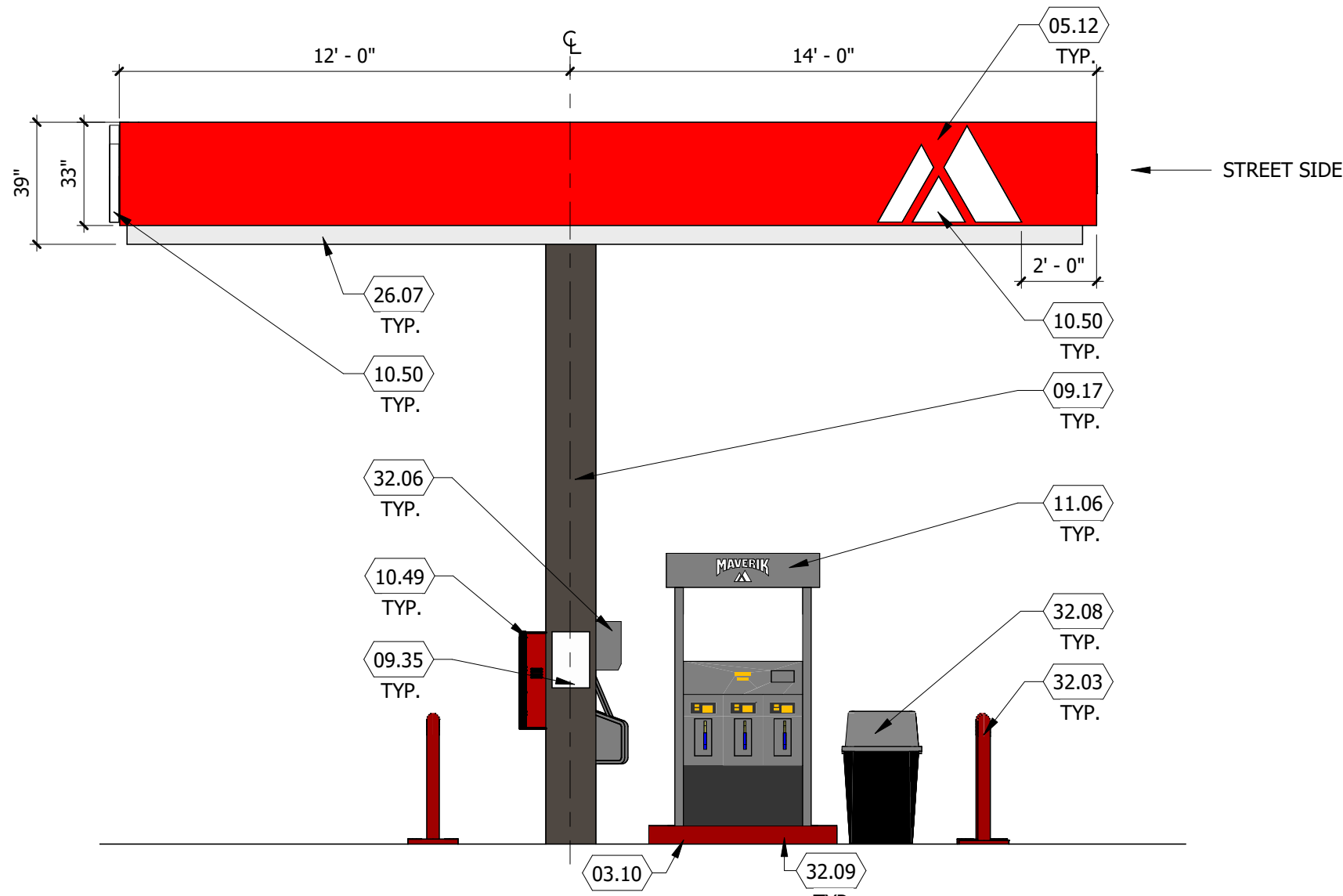
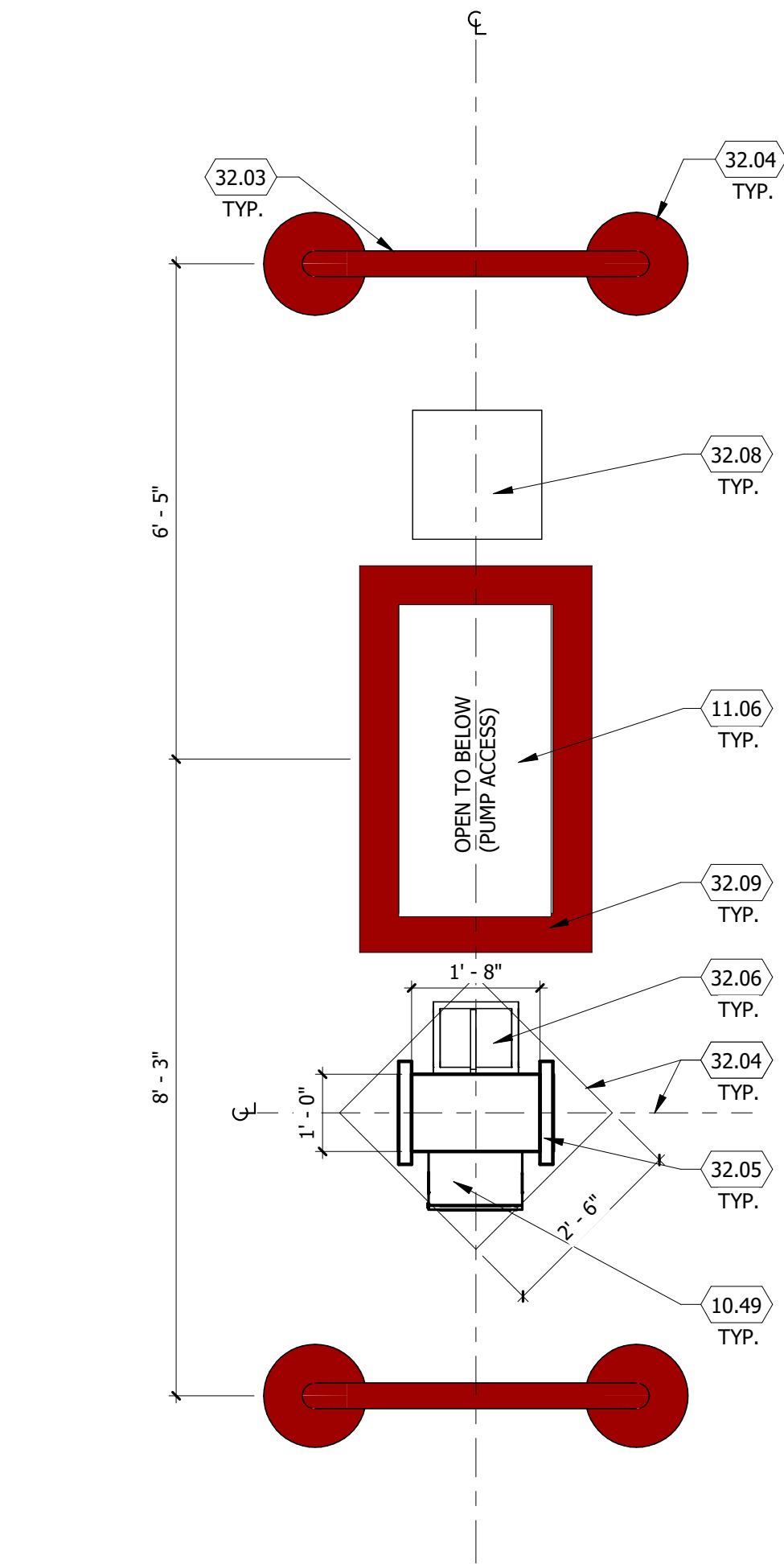
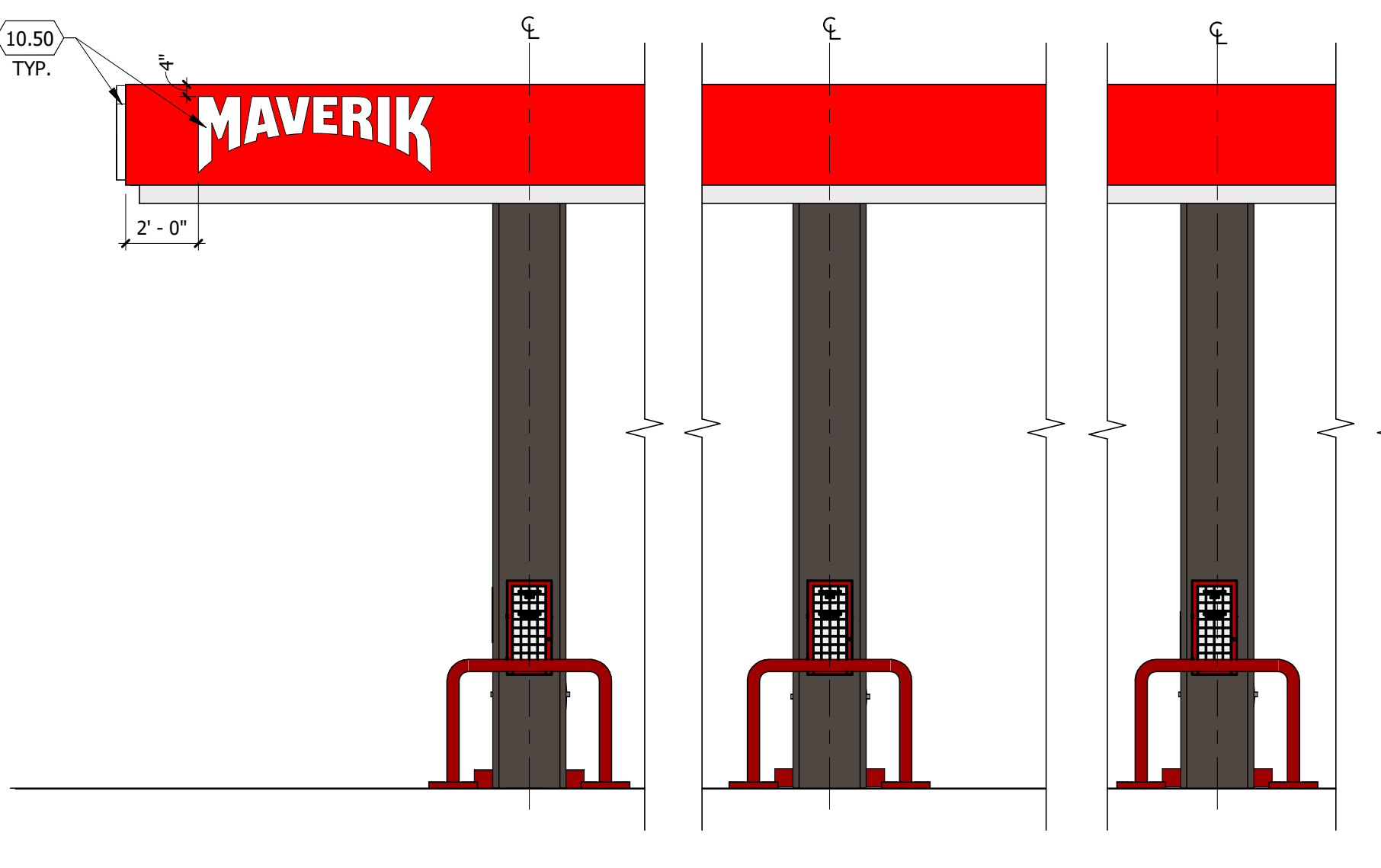
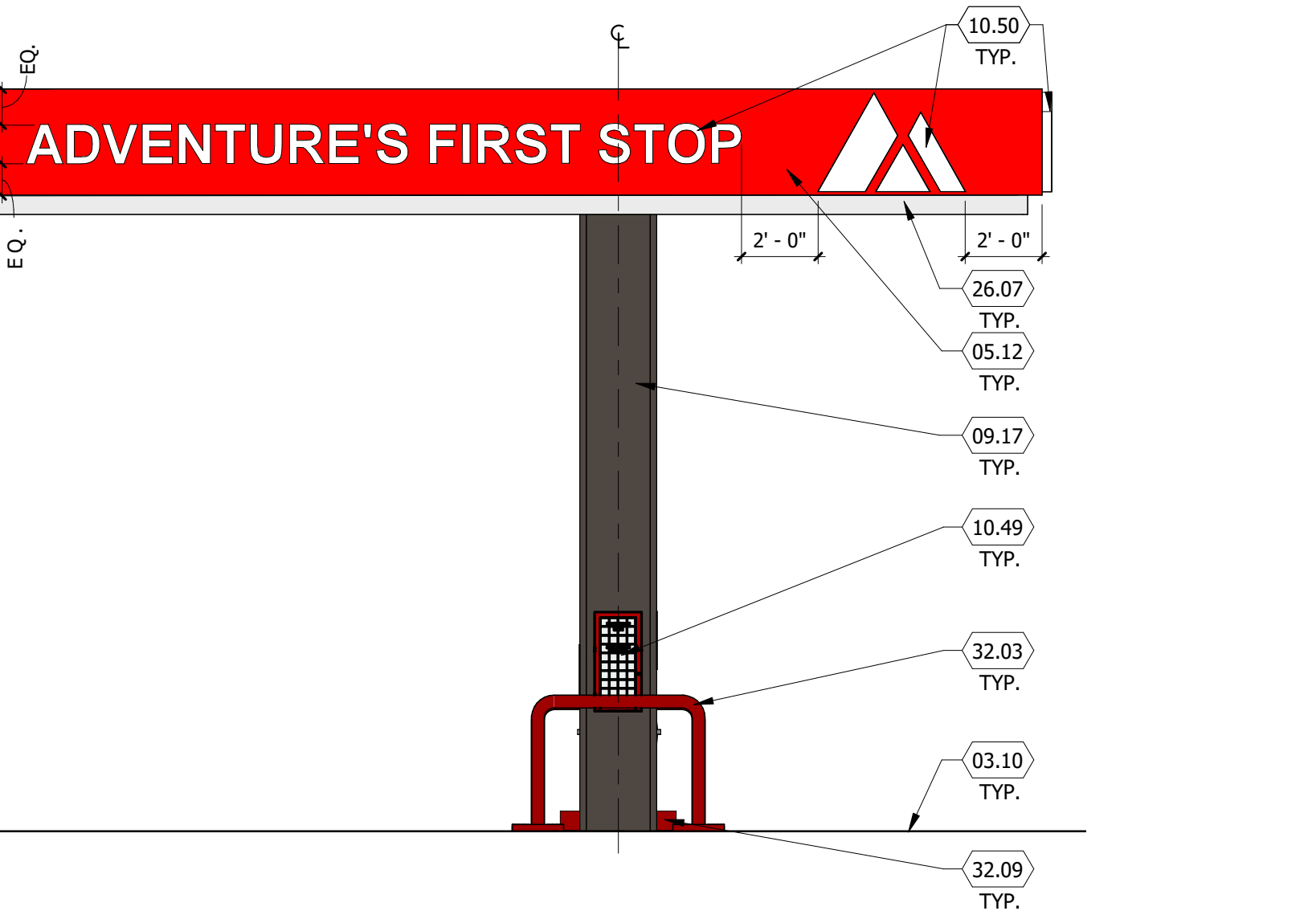
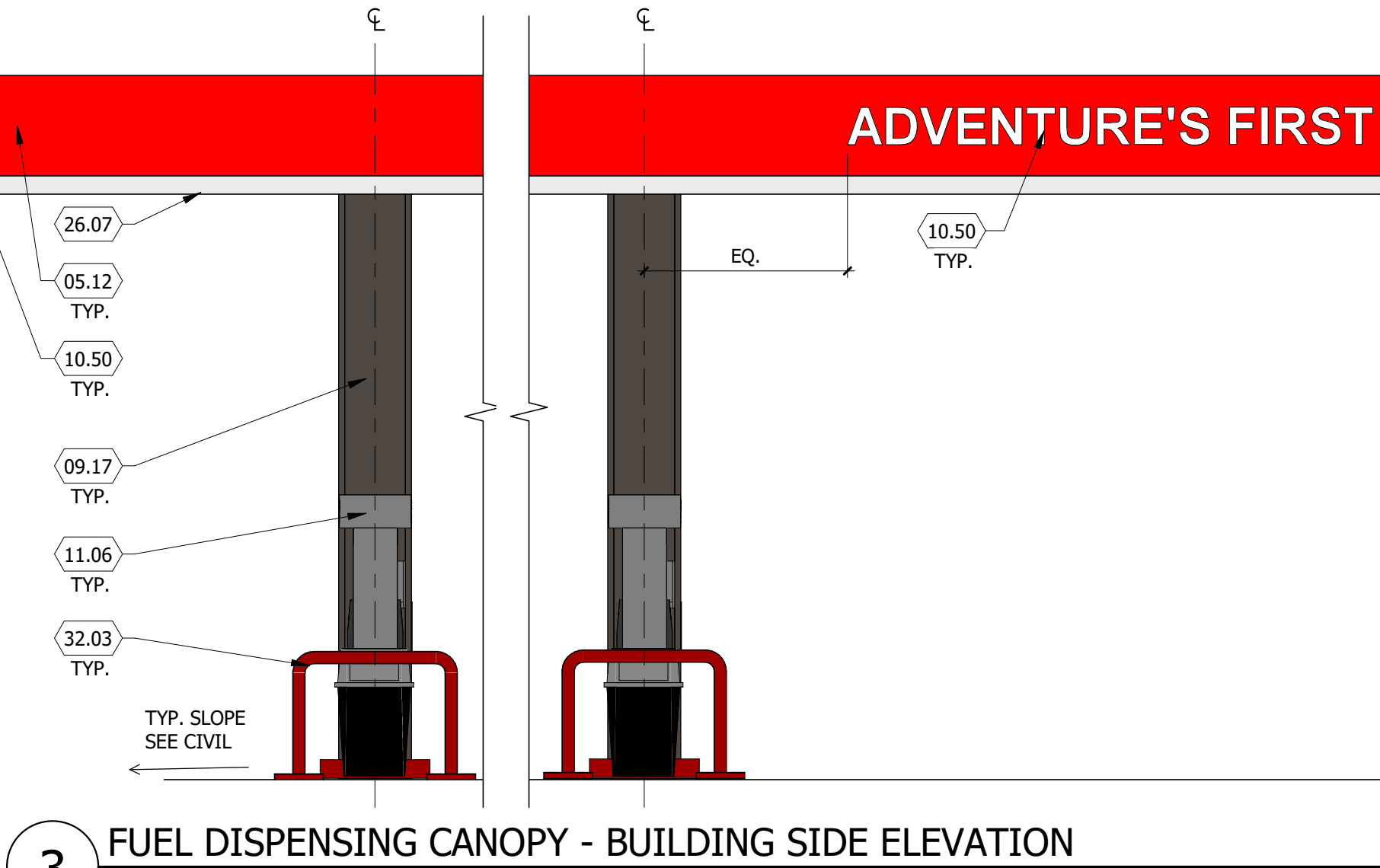
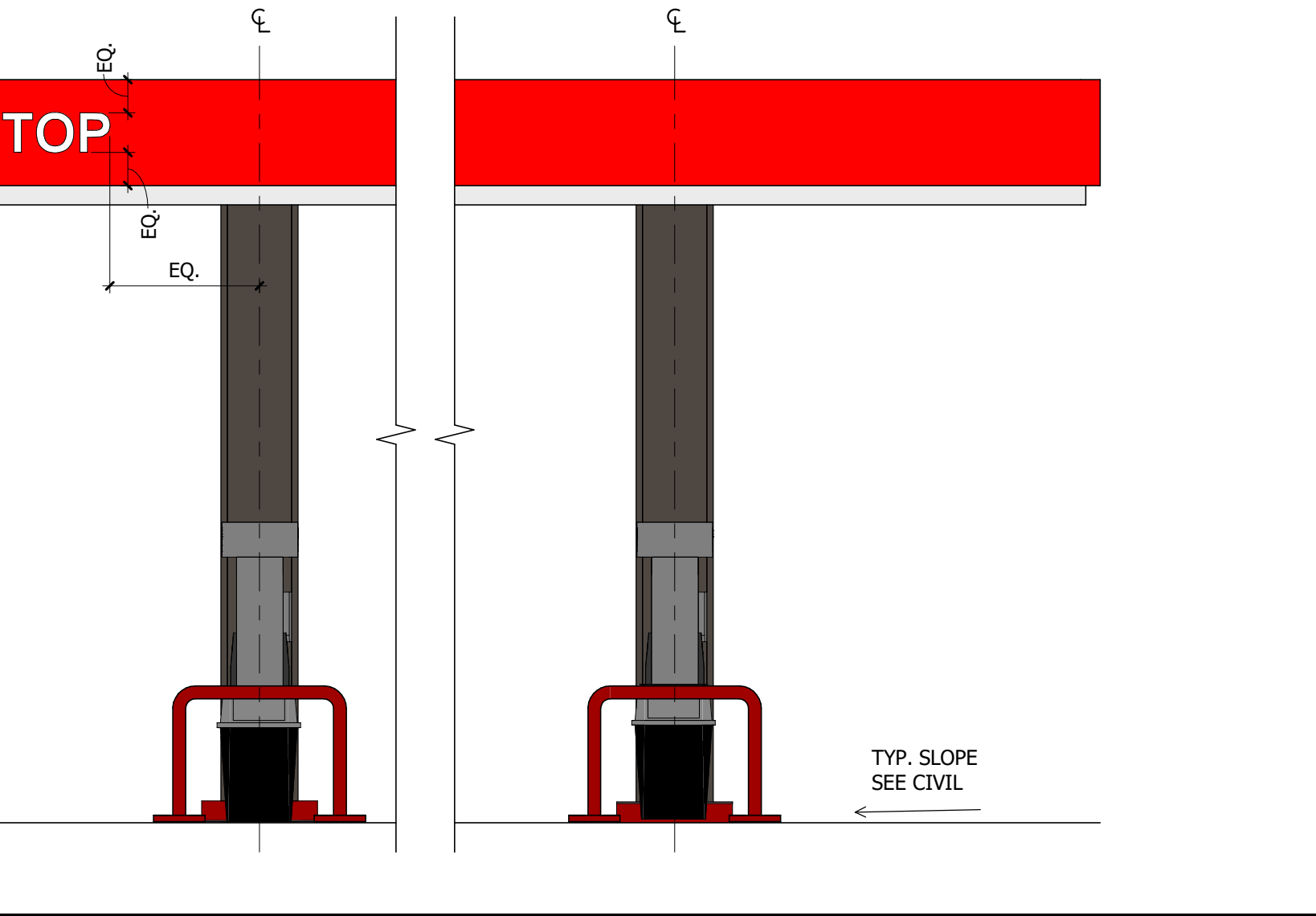
1 FUEL DISPENSING CANOPY STREET - ELEVATION  
SCALE: 1/4" = 1'-0"

3 FUEL DISPENSING CANOPY - BUILDING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

5 FUEL DISPENSING END - ELEVATION  
SCALE: 1/4" = 1'-0"

4 FUEL DISPENSING CANOPY END - ELEVATION  
SCALE: 1/4" = 1'-0"

KEYED NOTES	
03.10	6" MIN. RAISED CONCRETE ISLAND W/ TOOLED EDGES AND CORNERS. VERIFY SIZE W/ DISPENSER SUPPLIER +/-5'-0" X 3'-0" (NO METAL FORM). ACCESSIBLE ISLAND TO BE 6"; SEE CIVIL DRAWINGS FOR LOCATION
05.12	ALUMINUM COMPOSITE METAL PANEL, EASTMAN RED
09.17	PANEL COLUMN CLADDING, COLOR TO MATCH P-9
09.35	SOLID SURFACE COUNTERTOP, SEE DETAIL ON 13/A4.02 AND SEE SCHEDULE ON SHEET A6.03
10.49	4A:40 BC FIRE EXTINGUISHER W/ CASE, LOCATE WITHIN 75' OF ALL PUMPS, DISPENSERS, OR STORAGE TANK. LOCATION TO BE FINALIZED BY FIRE MARSHAL
10.50	SIGNAGE TO BE COORDINATED BY FUEL CANOPY CONTRACTOR WITH OWNER
11.06	DISPENSING STATION (BY OTHERS)
26.07	ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK PANEL SOFFIT (SOFFIT COLOR P-7). SEE ELECTRICAL DRAWINGS
32.03	4" DIAMETER "U" BOLLARD, SET AND FILLED W/ CONCRETE, SEE CIVIL DRAWINGS
32.04	EXPANSION JOINTS, TO BE FILLED W/ "JET FUEL RESISTANT" SEALANT, SEE CIVIL DRAWINGS
32.05	SIGNAGE, BY OWNER, TO COMPLY WITH IFC 2305.6 AND POSTED ON EACH SIDE OF COLUMN
32.06	S.S.I. (WINDOW WASH/PAPER TOWEL) PROVIDED BY OWNER INSTALLED BY CONTRACTOR, MOUNTED TO COLUMN PER ADA REQUIREMENTS (4'-0" MAX A.F.F. TO PAPER TOWEL FOLD)
32.08	TRASH CONTAINER, PROVIDED BY OWNER
32.09	PAINT CONCRETE CURB EDGE P-4, SEE SCHEDULE ON SHEET A6.03



Prototype Version: 40\_R\_RR\_2001  
Building Square Footage: 4,425 SF





BB-1 Fiberboard -  
Worldly Gray

BB-2 Fiberboard -  
Gauntlet Gray

BB-3 Fiberboard -  
Worldly Gray



Cultured Stone - Skyline, Country LedgeStone



C-1 MSCI Midnight Bronze



C-2 MSCI Brite Red



Anodized - Dark Bronze



Paint - Black Fox






## E-1.2



CITY FILE # XXXXXXXX  
TAX SCHEDULE #6421308002  
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041



 MINERAL MULCH - 1 1/2" LOCAL RIVER ROCK MULCH  
AREA: 13,056 S.F. DEPTH: 3" TYP.  
OVER DEWITT PRO 5 WEED BARRIER, OR EQUAL

SYM	SIZE (LXWXH)	QTY
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## APPENDIX F: SITE CATEGORY CALCULATIONS

LANDSCAPE SETBACK					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (IN FT.) REQ./PROV.	LINEAR FOOTAGE	TREE / FEET REQUIRED	NO. OF TREES REQ. / PROVIDED
ROCKAWAY AVENUE	MAJOR ARTERIAL	20.0	200.0	1.00	12.00 - 12.00

LANDSCAPE SETBACK					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (IN FT.) REQ./PROV.	LINEAR FOOTAGE	TREE / FEET REQUIRED	NO. OF TREES REQ. / PROVIDED

INTERNAL LANDSCAPING			
NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (%)	INTERNAL AREA (SF) REQUIRED / PROVIDED	INTERNAL TREES (1 / 500 SF) REQUIRED / PROVIDED
25,212.5	10.00% (2521)	2,521.25 / 2,521.25	51

## PLANT\_SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	APPENDIX B KEY	MATURE WIDTH	SIZE	SPACING	REMARKS
<b>DECIDUOUS TREES</b>								
CEL	2	<i>Celtis occidentalis</i>	Common Hackberry	3457DA	30 - 35'	2" cal.	As Shown	B&B
GTS	2	<i>Gleditsia triacanthos inermis</i> 'Skyline'	Skyline Honeylocust	45A	30 - 35'	2" cal.	As Shown	B&B
GYM	4	<i>Gymnocladus dioica</i>	Kentucky Coffee tree	34AS	30 - 35'	2" cal.	As Shown	B&B
QUM	3	<i>Quercus muehlenbergii</i>	Chinkapin Oak		35 - 40'	2" cal.	As Shown	B&B
ULM	4	<i>Ulmus japonica</i> x <i>pumila</i> 'New Horizon'	New Horizon Elm	457DA	30 - 35'	2" cal	As Shown	B&B

## EVERGREEN TREES

JHC	3	Juniperus chinensis 'Hetzi Columnaris'	Hetzi Column Juniper	DA	4' - 6'	7 gal	As Shown	Cont.
-----	---	--	----------------------	----	---------	-------	----------	-------

## ORNAMENTAL TREES

ACE	3	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	457A	15' - 20'	6' Clump	As Shown	B&B
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## SHRUBS

	ARC	9	Arctostaphylos x coloradensis	Mock Bearberry	Manzanita	5678DA	3 - 4'	1 gal	48" o.c.	
	AAB	3	Aronia arbutifolia 'Brilliantissima'	Brilliant Red	Chokeberry	47S	6' - 7'	5 gal	60" o.c.	
	COR	6	Cornus sericea 'Artic Fire'	Artic Fire	Dogwood	457S	3' - 4'	5 gal	60" o.c.	
	CYS	26	Cytisus purgans	Spanish Gold	Broom	D	4 - 5'	5 gal.	60" o.c.	
	EAC	23	Euonymus alatus 'Compacta'	Dwarf Burning	Bush	45S	4' - 5'	5 gal.	60" o.c.	
	JUN	17	Juniperus sabina 'Calgary Carpet' TM	Calgary Carpet	Juniper	568A	6' - 8'	1 gal	60" o.c.	
	JSK	7	Juniperus virginiana 'Skyrocket'	Skyrocket	Juniper	DA	3'-4'	7 gal	As Shown	Cont.
	PRU	54	Prunus besseyi 'Pawnee Buttes'	Sand	Cherry	1345A	4' - 6'	1 gal	48" o.c.	
	RHU	26	Rhus trilobata 'Autumn Amber'	Autumn Amber	Sumac	23456DA	6' - 8'	5 gal	60" o.c.	
	RIB	9	Ribes aureum 'Gwen's Buffalo'	Gwen's Buffalo	Currant	24567DA	5 - 6'	5 gal	60" o.c.	

## PERENNIALS

ORNAMENTAL GRASSES							
BBA	58	Bouteloua gracilis 'Blonde Ambition'	Blue Grama	1235D	1' - 2'	1 gal	48" o.c.
SSB	41	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	1235D	2' - 2.5'	1 gal	48" o.c.

## TURFGRASS

TURF		Poa pratensis	Kentucky Bluegrass	S		sod		
------	--	---------------	--------------------	---	--	-----	--	--

## SIGNATURE PLANTS

SIGNATURE TREES: 21  
TOTAL NO. OF TREES: 21 = 100 % SIGNATURE TREES

SIGNATURE SHRUBS: 180  
TOTAL NO. OF SHRUBS: 180 = 100% SIGNATURE SHRUBS

## SEED MIXES

SEED TYPE	% OF TOTAL	PLS PER ACRE
NATIVE SOD/SEED MIX		
TOTAL AREA: 6,545 S.F.		
BLUE GRAMMA, V. BAD RIVER	100%	3.0 LBS

**20-122-0012**

## 04 / 19 / 2021

04 / 19 / 2021

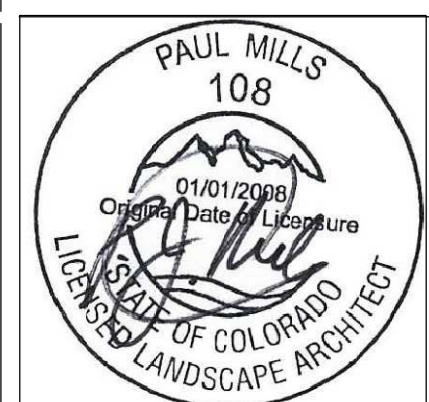
No.	Date	Description
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**NOTE:**  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



**MAVERIK INC. STORE**  
MOUNTAIN BLVD. AND UNION BLVD.  
**COLORADO SPRINGS, CO**



## LANDSCAPE PLAN



