

DEVELOPMENT PLAN
FOR
MAVERIK INC. STORE
FOUNTAIN BLVD. AND UNION BLVD.
COLORADO SPRINGS, CO
CITY FILE # XXXXXX
TAX SCHEDULE #6421308002
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041



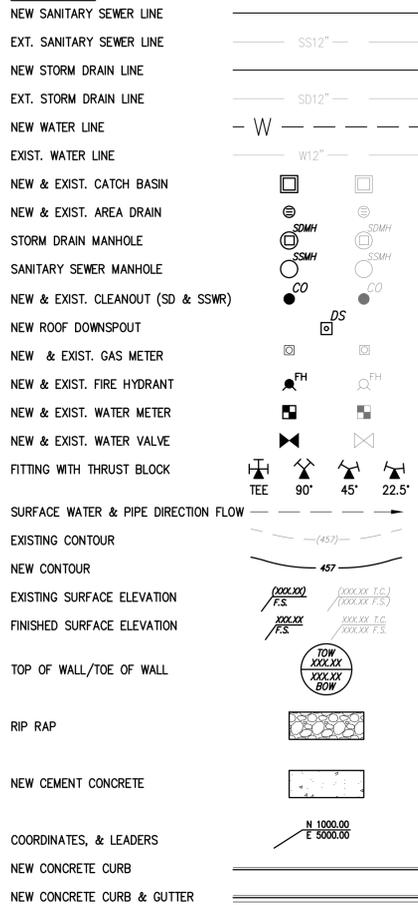
VICINITY MAP

NOT TO SCALE

SHEET INDEX

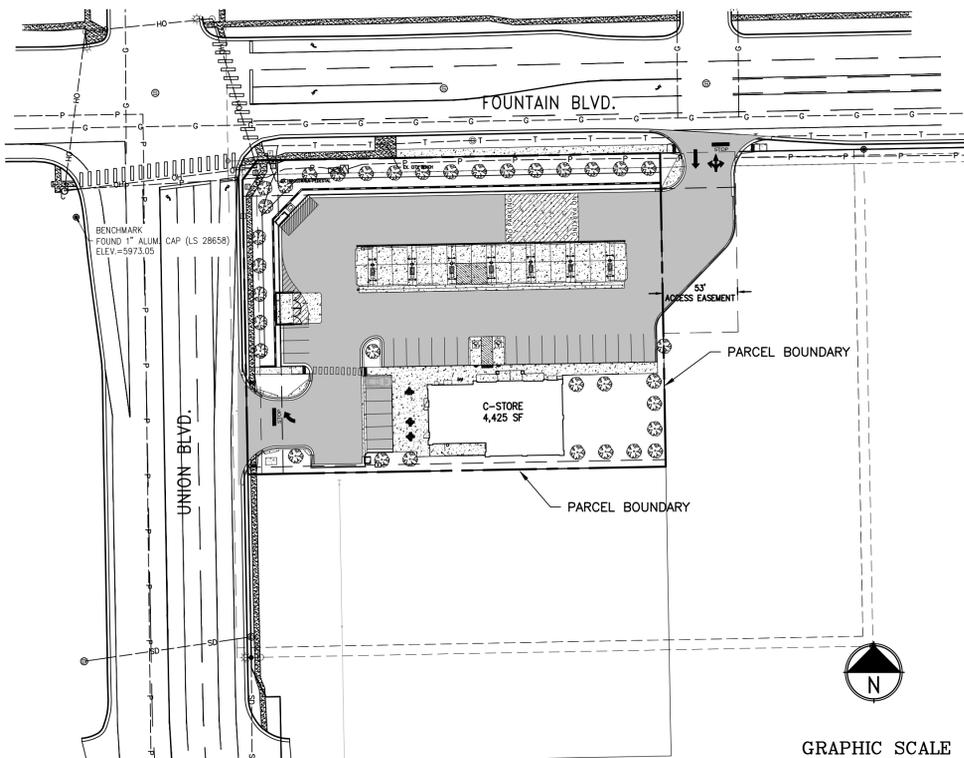
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LEGEND:



ABBREVIATIONS

ACP	ASPHALT CONCRETE PAVEMENT	GV	GATE VALVE
AD	AREA DRAIN	HDPE	HIGH DENSITY POLYETHYLENE
BLDG	BUILDING	HYD	HYDRANT
BM	BENCHMARK	I.E.	INVERT ELEVATION
BNDRY	BOUNDARY	INV	INVERT
BOW	BOTTOM OF WALL	IRR	IRRIGATION WATER
CTV	CABLE TV	LF	LINEAR FEET
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MJ	MECHANICAL JOINT
CL	CLASS	P	POWER
CL	CENTER LINE	PIV	POST INDICATOR VALVE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CONC.	CONCRETE	PL	PROPERTY LINE
CPEP	CORRUGATED POLYETHYLENE PIPE	RAD (R)	RADIUS
CTR	CENTER(ED)	RCP	REINFORCED CONCRETE PIPE
DCVA	DOUBLE CHECK VALVE ASSEMBLY	RD	ROAD
DDCV	DOUBLE DETECTOR CHECK VALVE	RET	RETAINING
D.I.	DUCTILE IRON	ROW	RIGHT OF WAY
DIA (ø)	DIAMETER	SD	STORM DRAIN
DIM	DIMENSION	S.F.	SQUARE FEET
DS	DOWN SPOUT	SS	SANITARY SEWER
EL.=	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TOE	TOE OF WALL, OR SLOPE
FD	FLOOR DRAIN	T	TELEPHONE WIRE
FDC	FIRE DEPARTMENT CONNECTION	TBM	TEMPORARY BENCH MARK
FFE	FINISH FLOOR ELEVATION	T.C.	TOP OF CURB
FH	FIRE HYDRANT FL FLANGED	TG	TOP OF GRATE
G	GAS MAIN	TOP	TOP OF SLOPE
GB	GRADE BREAK	TOW	TOP OF WALL
GM	GAS METER	TV	TELEVISION WIRE
GRD	GRADE		



APPLICANT:

DCI ENGINEERS
1331 17TH STREET, SUITE 605
DENVER, COLORADO 80202
MANUEL NUNO P.E. (720) 439-4700

LEGAL DESCRIPTION:

LOT 1, EXCEPT THE WEST 10 FEET THEREOF, IN BLOCK 1 IN PROSPECT PARK SUBDIVISION NO. 6, IN THE CITY OF COLORADO SPRINGS, EL PASO COUNTY, COLORADO.

VERTICAL DATUM/BENCHMARK:

VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (GROUND SURVEY), CONTOUR INTERVAL = 1 FOOT, DATUM, BENCHMARK IS A 1" ALUMINUM CAP (LS 28658) BENCHMARK=5973.05

BASIS OF BEARING:

BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF LOT 1, BLOCK 1, ALSO BEING THE SOUTH RIGHT-OF-WAY OF FOUNTAIN BOULEVARD, A 100-FOOT-WIDE PUBLIC RIGHT-OF-WAY, BEARS NORTH 89°22'02" EAST

FEMA FLOODPLAIN STATEMENT:

FLOOD ZONE CLASSIFICATION - THE SURVEYED PARCEL IS LOCATED WITHIN ZONE "X". "X" WHICH IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN", AND SUCH FLOOD CONDITION IS SHOWN ON THE FEDERAL FLOOD INSURANCE RATE MAPS, COMMUNITY NO. 08041C0733G, DATED DECEMBER 7, 2018.

CONTRACTOR NOTE:

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PROJECT TEAM:

DEVELOPER/APPLICANT:

MAVERIK INC.
185 S. STATE STREET, SUITE 800
SALT LAKE CITY, UT 84111
CONTACT: CASSIE YOUNGER
PHONE: (801) 936-5557

CIVIL ENGINEER:

DCI ENGINEERS
1331 17TH STREET SUITE 605
DENVER, CO 80202
CONTACT: MANNY NUNO, P.E.
PHONE: (720) 464-7728

LANDSCAPE ARCHITECT:

RUSSELL MILLS STUDIO
2245 CURTIS STREET SUITE 100
DENVER, CO 80205
CONTACT: NATE STARK, R.L.A.
PHONE: (303) 709-0704

SITE PLAN NOTES:

- REFER TO SITE CONSTRUCTION PLANS FOR EXACT LOCATIONS AND CONSTRUCTION INFORMATION FOR STORM DRAINAGE STRUCTURES, UTILITY MAINS AND SERVICES, PROPOSED TOPOGRAPHY, STREET IMPROVEMENTS.
- REFER TO THE SUBDIVISION PLAT AND SITE CONSTRUCTION PLANS FOR EXACT LOCATIONS, AREAS AND DIMENSIONS OF ALL EASEMENTS, LOTS, TRACTS, STREETS, WALKS AND OTHER SURVEY INFORMATION.
- THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SITE CONSTRUCTION PLANS. AMENDMENTS TO THE PLANS MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO THE IMPLEMENTATION OF ANY CHANGES TO THE PLANS.
- ALL ROOFTOP AND GROUND MOUNTED MECHANICAL EQUIPMENT MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY AND PUBLIC STREETS. IN CASES WHERE BUILDING PARAPETS DO NOT ACCOMPLISH SUFFICIENT SCREENING, THEN FREE-STANDING SCREEN WALLS MATCHING THE PREDOMINANT COLOR OF THE BUILDING SHALL BE CONSTRUCTED. OTHER MINOR EQUIPMENT SUCH AS CONDUIT, METERS AND PLUMBING VENTS SHALL BE SCREENED OR PAINTED TO MATCH SURROUNDING BUILDING SURFACES.
- ALL CONSTRUCTION WITH THIS DEVELOPMENT PLAN MUST BE COMPLETED IN ONE PHASE UNLESS A PHASING PLAN IS SHOWN WITH THESE PLANS.
- ALL EXTERIOR LIGHTING PROVIDED SHALL COMPLY WITH THE FOOT-CANDLE REQUIREMENTS IN THE CITY'S LAND USE CODE AND SHALL USE A CONCEALED, FULLY SHIELDED LIGHT SOURCE WITH SHARP CUT-OFF CAPABILITY SO AS TO MINIMIZE UP-LIGHT, SPILL LIGHT, GLARE AND UNNECESSARY DIFFUSION.
- SIGNAGE AND ADDRESSING ARE NOT PERMITTED WITH THIS PLANNING DOCUMENT AND MUST BE APPROVED BY SEPARATE CITY PERMIT PRIOR TO CONSTRUCTION. SIGNS MUST COMPLY WITH CITY SIGN CODE UNLESS A SPECIFIC VARIANCE IS GRANTED BY THE CITY.
- FIRE HYDRANTS MUST MEET OR EXCEED COLORADO SPRINGS FIRE AUTHORITY STANDARDS. ALL BUILDINGS MUST PROVIDE AN APPROVED FIRE EXTINGUISHING SYSTEM.
- ALL BIKE RACKS PROVIDED MUST BE PERMANENTLY ANCHORED.
- ALL SIDEWALKS AND RAMPS MUST CONFORM TO CITY STANDARDS. ACCESSIBLE RAMPS MUST BE PROVIDED AT ALL STREET AND DRIVE INTERSECTIONS AND AT ALL DESIGNATED ACCESSIBLE PARKING SPACES. ACCESSIBLE PARKING SPACES MUST SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES MUST SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND WITH NO MORE THAN 1:48 CROSS SLOPE.
- COMMON OPEN SPACE AREAS AND LANDSCAPING WITHIN RIGHT OF WAYS, STREET MEDIANS, AND TRAFFIC CIRCLES ADJACENT TO COMMON OPEN SPACE AREAS ARE REQUIRED TO BE MAINTAINED BY THE PROPERTY OWNER OF THE COMMON AREA. THE PROPERTY OWNER IS RESPONSIBLE FOR SNOW REMOVAL ON ALL ADJACENT STREET SIDEWALKS AND SIDEWALKS IN COMMON OPEN SPACE AREAS.
- DESIGN AND INSTALLATION OF ALL PARKWAY/TREE LAWN AND MEDIAN AREAS IN THE RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY STANDARDS. UNLESS OTHERWISE AGREED TO BY THE CITY WITH THE FINAL PLANS, ALL ONGOING MAINTENANCE OF SUCH AREAS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER.
- ANY DAMAGED CURB, GUTTER AND SIDEWALK EXISTING PRIOR TO CONSTRUCTION, AS WELL AS STREETS, SIDEWALKS, CURBS AND GUTTERS, DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT, SHALL BE REPLACED OR RESTORED TO CITY COLORADO SPRINGS STANDARDS AT THE DEVELOPER'S EXPENSE PRIOR TO THE ACCEPTANCE OF COMPLETED IMPROVEMENTS AND/OR PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.

LAND USE TABLE (TAX SCHEDULE #6421308002)		
DEVELOPMENT STANDARDS	REQUIRED/EXISTING	PROPOSED
ZONING	GENERAL COMMERCIAL (CG)	GENERAL COMMERCIAL (CG)
PROPOSED LAND USE	N/A	CONVENIENCE STORE WITH FUEL SALES
TOTAL PROJECT AREA	1.50 AC (65,364 SF)	1.50 AC (65,340 SF)
GROSS		65,364 SF
NET		65,364 SF
MAX BUILDING HEIGHT (CONVENIENCE STORE)	90' 0"	29' 1"
MAX BUILDING HEIGHT (CANOPY)	90' 0"	19' 3"
FLOOR AREA (CONVENIENCE STORE)	N/A	4,425 SF
RATIO OF FLOOR AREA TO LOT SIZE	N/A	0.07
BUILDING/LANDSCAPE SETBACK	25'	25'
	IMPERVIOUS COVERAGE	PERCENT OF LOT
ROOF	9,508 SF	14.55%
PAVEMENT (CONCRETE)	9,566 SF	14.63%
PAVEMENT (ASPHALT)	27,235 SF	41.67%
LANDSCAPE AREA	19,055 SF	29.15%
PARKING TABULATION	REQUIRED/EXISTING	PROPOSED
TOTAL OFFSTREET VEHICLE PARKING	12 MIN - 25 MAXIMUM	30
STANDARD SPACES	N/A	28
LONG TERM	N/A	0
SHORT TERM	N/A	0
COMPACT SPACES	N/A	0
STANDARD ACCESSIBLE SPACES	1	1
VAN ACCESSIBLE SPACES	1	1
MOTORCYCLE SPECIFIC SPACES	0	0
TOTAL BICYCLE PARKING	2 MIN	2
EXTERIOR	N/A	0
ENCLOSED/COVERED	1	4

PROJECT NUMBER

20-122-0012

ISSUE DATE:

OCTOBER 15, 2021

REVISIONS:

No.	Date	Description
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NOTE: Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

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MAVERIK INC. STORE
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COLORADO SPRINGS, CO



COVER SHEET



AR DP XX-XXXX

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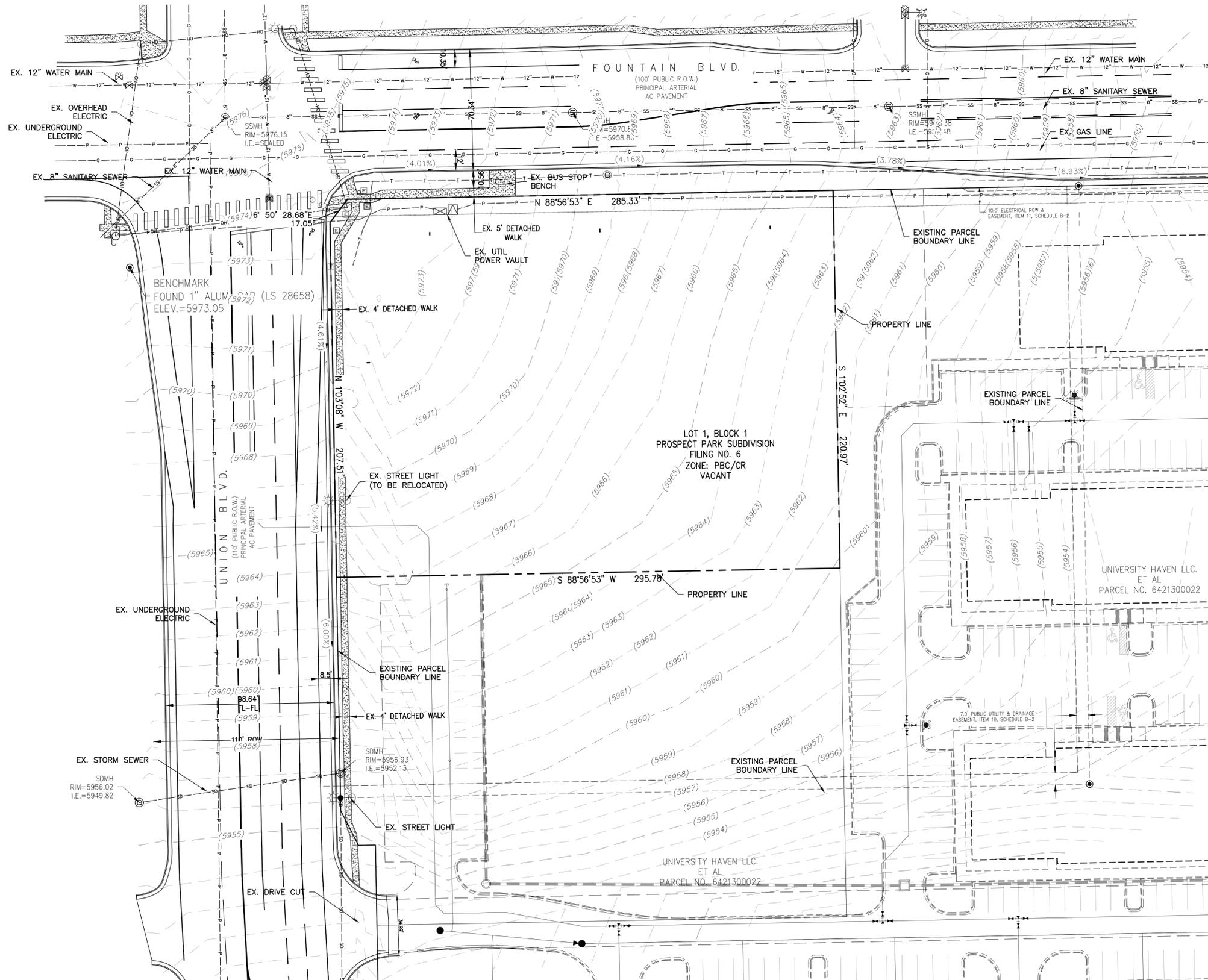
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ELEVATION = 5973.05 FEET

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SURVEY PREPARED BY:

ROSENBERG AND ASSOCIATES
352 EAST RIVERSIDE DRIVE, SUITE A-2
ST. GEORGE, UT 84790
PHONE: 435-673-8586
BRANDON E. ANDERSON, PLS 38484

DATE OF SURVEY: MAY 4, 2020

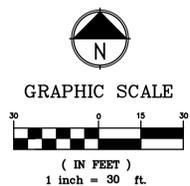
EASEMENTS PER SCHEDULE B - SECTION 2:

ITEM 10: EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF PROSPECT PARK SUBDIVISION NO. 6, RECORDED APRIL 4, 1978 AT RECEPTION NO. 419755. - PLOTTED.

ITEM 11: TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE GRANT OF RIGHT-OF-WAY RECORDED AUGUST 6, 1982 IN BOOK 3595 AT PAGE 852. - PLOTTED.

ITEM 12: TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE NONEXCLUSIVE INGRESS AND EGRESS EASEMENT RECORDED MAY 6, 1986 IN BOOK 6879 AT PAGE 722. IT IS NOT ON, OR DOES NOT TOUCH, THE SURVEYED PROPERTY.

ITEM 13: TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE RIGHT-OF-WAY AGREEMENT RECORDED MAY 22, 1996 IN BOOK 6891 AT PAGE 37. IT IS NOT ON, OR DOES NOT TOUCH, THE SURVEYED PROPERTY.



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EXISTING CONDITION BASED ON SURVEY INFO PROVIDED BY ROSENBERG AND ASSOCIATES MAY 4, 2020

EXISTING SITE SURVEY



AR DP XX-XXXX

Plot Date: 2021-10-13 File Location: O:\2020-Denver\DC-Civil\Projects\2020\20122-0012\Maverik Colorado Springs CO\20122-0012\PLAN.dwg

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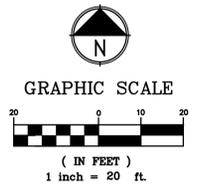
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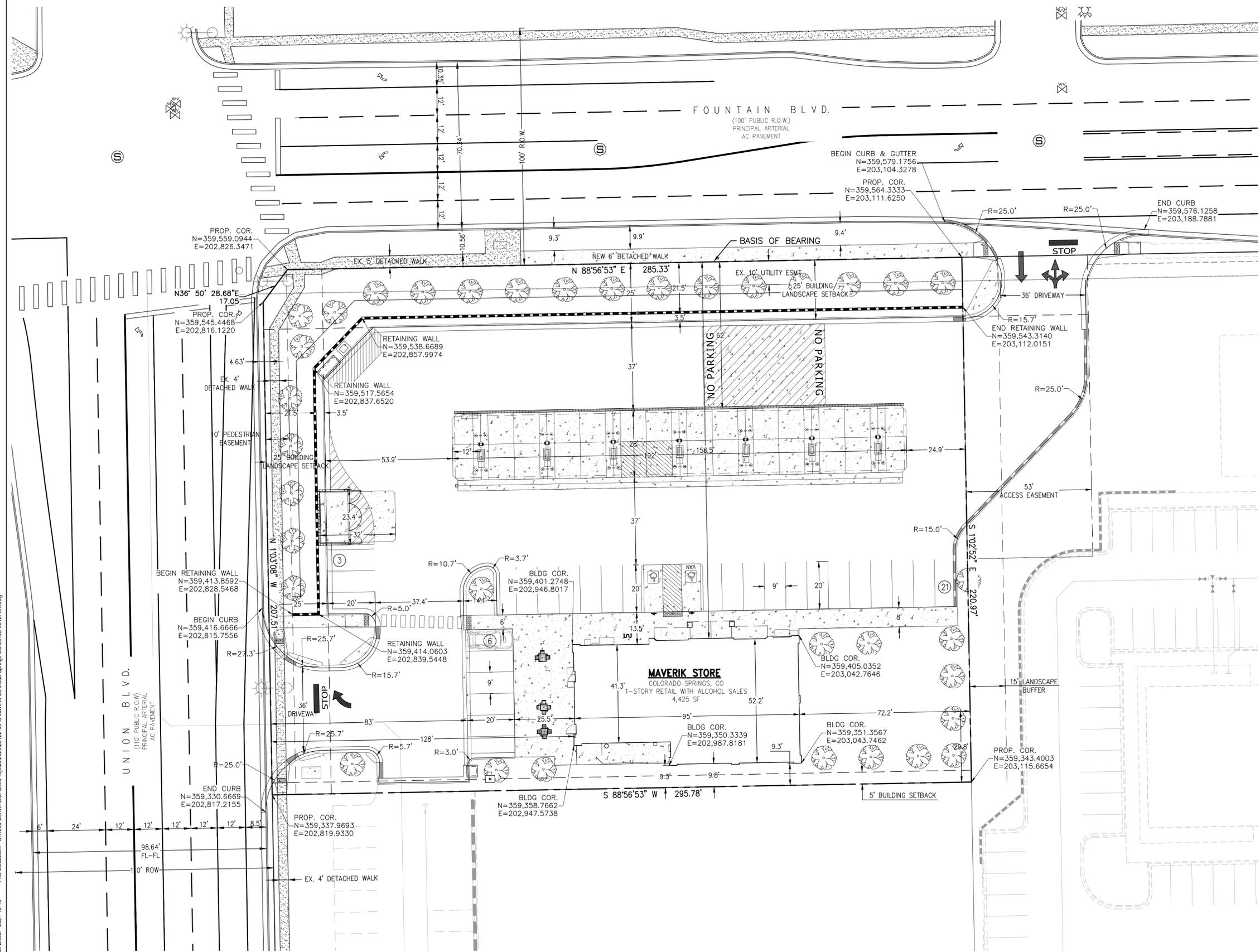
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HORIZONTAL CONTROL PLAN



AR DP XX-XXXX



Plot Date: 2021-10-13 File Location: O:\2020-Denver\DC-Civil\Projects\2020\20122-0012\Maverik Colorado Springs CO\20122-0012\PLAN.dwg

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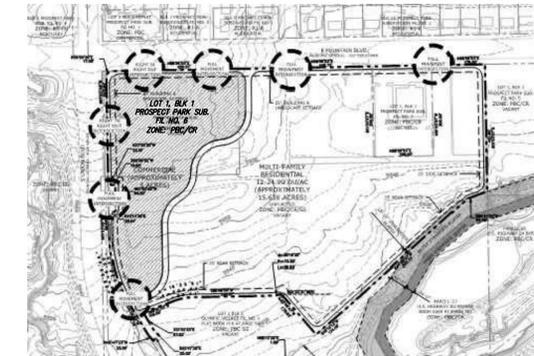
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EXISTING SITE ZONING
N.T.S.

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LEGEND:

- NEW ASPHALT PAVEMENT
- NEW CEMENT CONCRETE
- NEW 6" TYPE 2 CATCH CURB & GUTTER
- NEW 6" TYPE 3 SPILL CURB & GUTTER
- CURB & GUTTER TRANSITION
- NEW RETAINING WALL
- PEDESTRIAN/ADA ACCESS ROUTE

PARKING COUNT TABLE

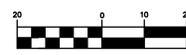
NEW STANDARD SPACES (9'X20')	28
(SEE DETAIL 6/SHEET 10)	
NEW COMPACT SPACES	NONE
NEW STANDARD ACCESSIBLE SPACES	1
(SEE DETAILS 5, 6/SHEET 10)	
NEW STANDARD VAN ACCESSIBLE SPACES	1
TOTAL SPACES PROVIDED	30

ENGINEER'S NOTE ON ADA DESIGN:

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE US DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

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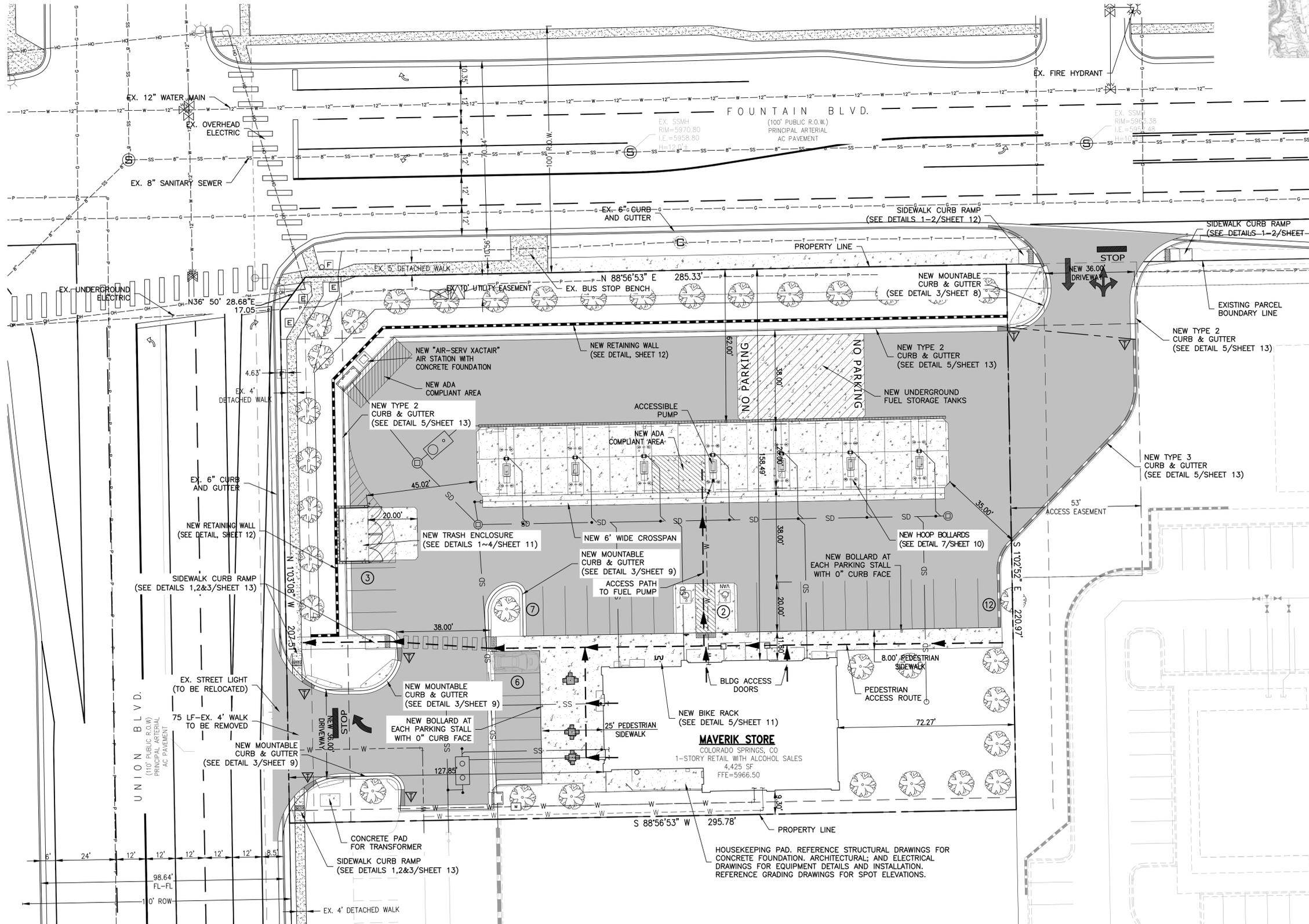
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SITE PLAN



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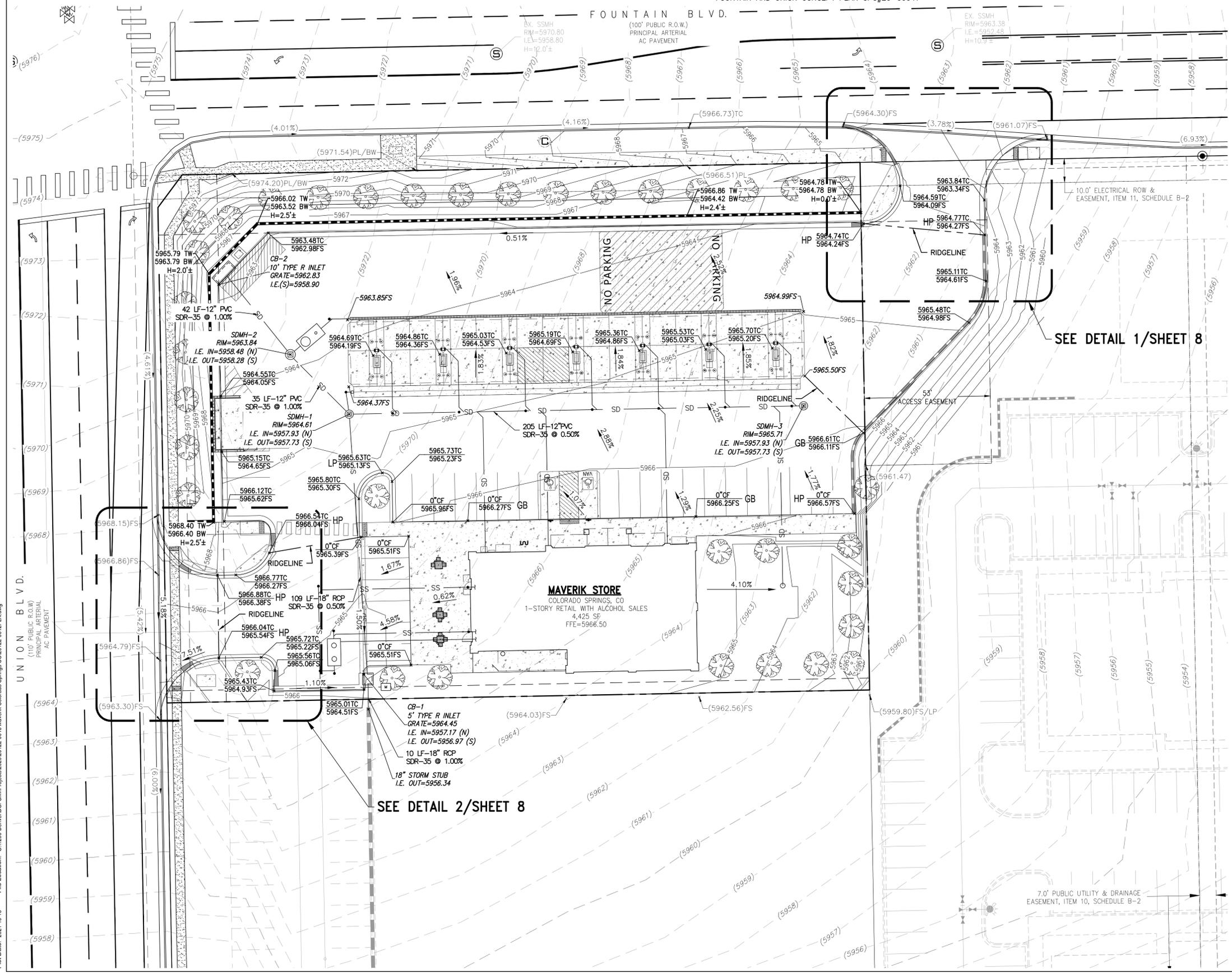
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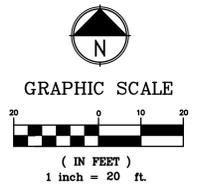


SEE DETAIL 1/SHEET 8

SEE DETAIL 2/SHEET 8

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GRADING PLAN



AR DP XX-XXXX

Plot Date: 2021-10-13 File Location: O:\2020-Denver\DC-Civil\Projects\2020\20122-0012-Maverik Colorado Springs CO\20122-0012-PLAN.dwg

DEVELOPMENT PLAN
FOR
MAVERIK INC. STORE
FOUNTAIN BLVD. AND UNION BLVD.
COLORADO SPRINGS, CO
CITY FILE # XXXXXX
TAX SCHEDULE #6421308002
FOUNTAIN AND UNION CONCEPT PLAN CPC#20-00041

PROJECT NUMBER

20-122-0012

ISSUE DATE:

OCTOBER 15, 2021

REVISIONS:

No.	Date	Description

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MAVERIK INC. STORE
FOUNTAIN BLVD. AND UNION BLVD.
COLORADO SPRINGS, CO

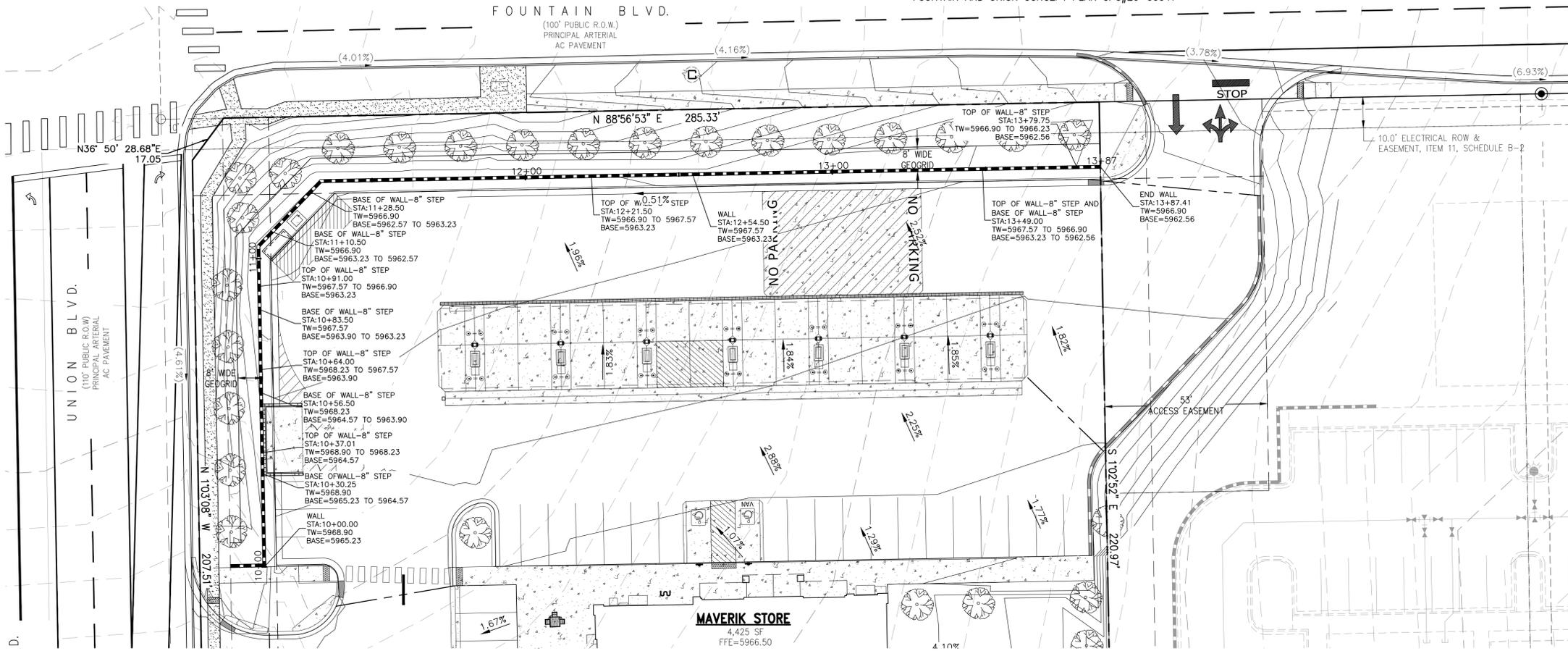
VERTICAL DATUM/BENCHMARK:

VERTICAL RELIEF WITH THE SOURCE OF INFORMATION (GROUND SURVEY).
CONTOUR INTERVAL = 1 FOOT, DATUM, BENCHMARK IS A 1" ALUMINUM CAP (LS 28658)

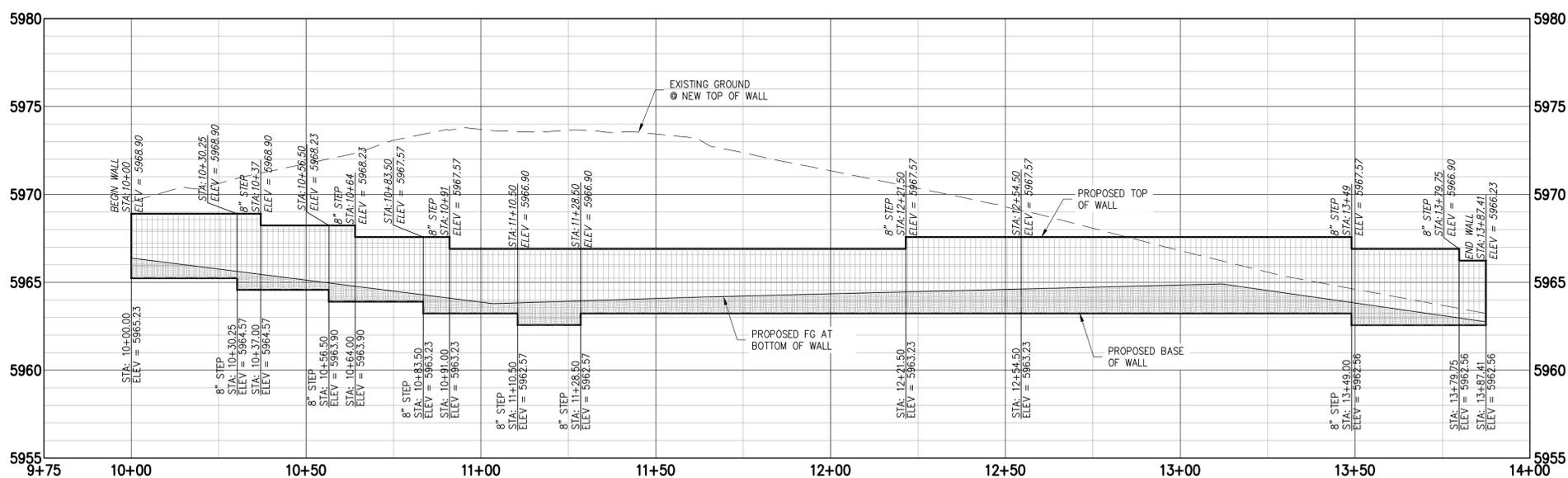
ELEVATION = 5973.05 FEET

BASIS OF BEARING:

BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH LINE OF LOT 1, BLOCK 1, ALSO BEING THE SOUTH RIGHT-OF-WAY OF FOUNTAIN BOULEVARD, A 100-FOOT-WIDE PUBLIC RIGHT-OF-WAY, BEARS NORTH 89°22'02" EAST



RETAINING WALL - A
PLAN VIEW
STA: 10+00-13+87.41



RETAINING WALL - A
PROFILE VIEW
STA: 10+00-13+87.41



GRAPHIC SCALE



CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.

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RETAINING WALL PLAN AND PROFILE



AR DP XX-XXXX

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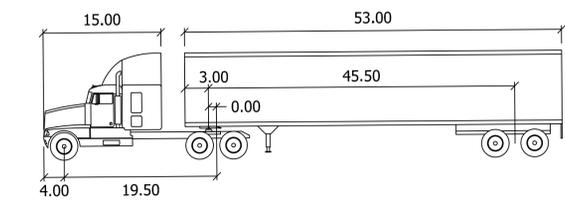
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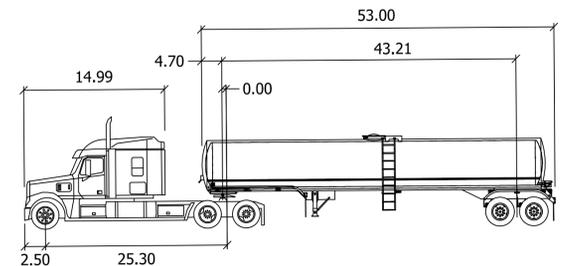
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WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

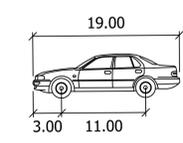
WB-67 TRANSPORT TRUCK



MAVERIK TANKER

	feet		
Tractor Width	: 8.01	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.01	Articulating Angle	: 75.0
Trailer Track	: 8.50		

MAVERIK TANKER TRUCK

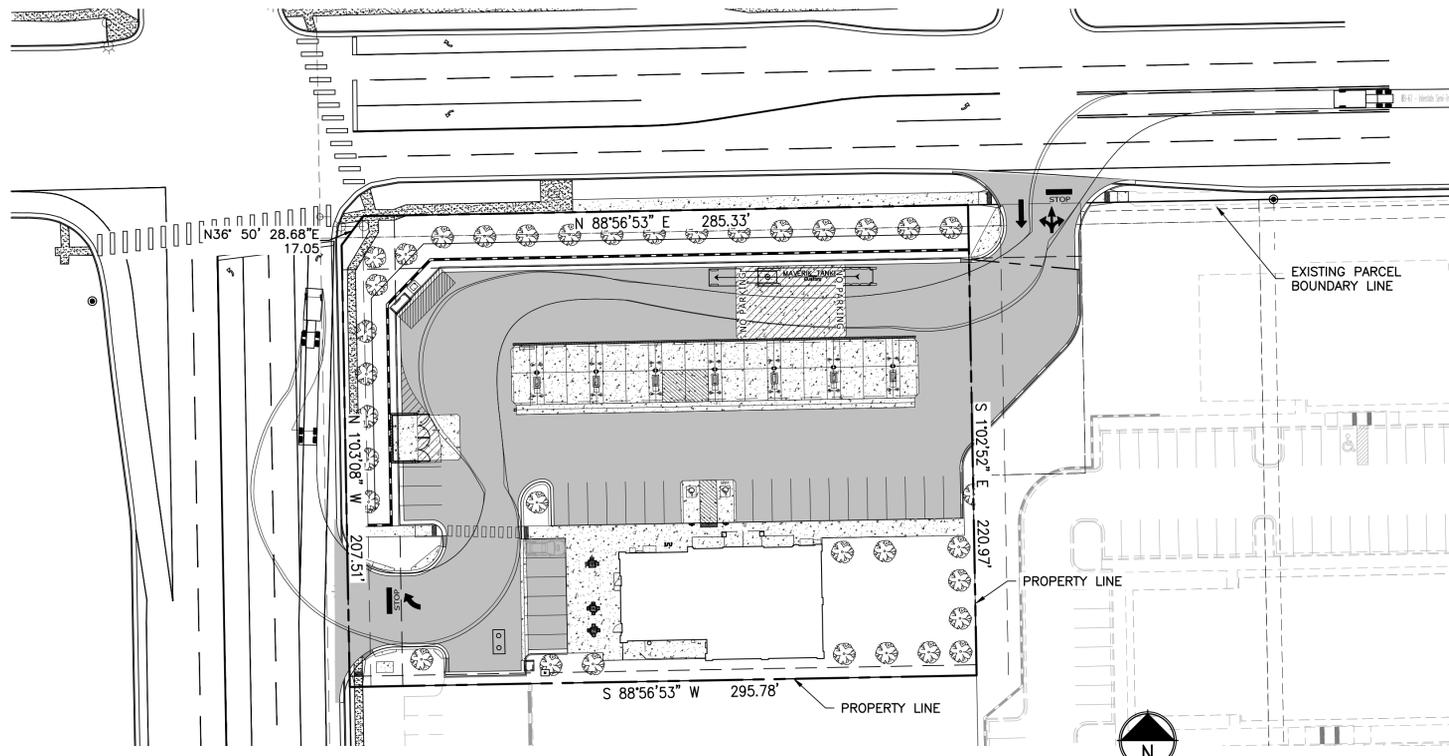


PM

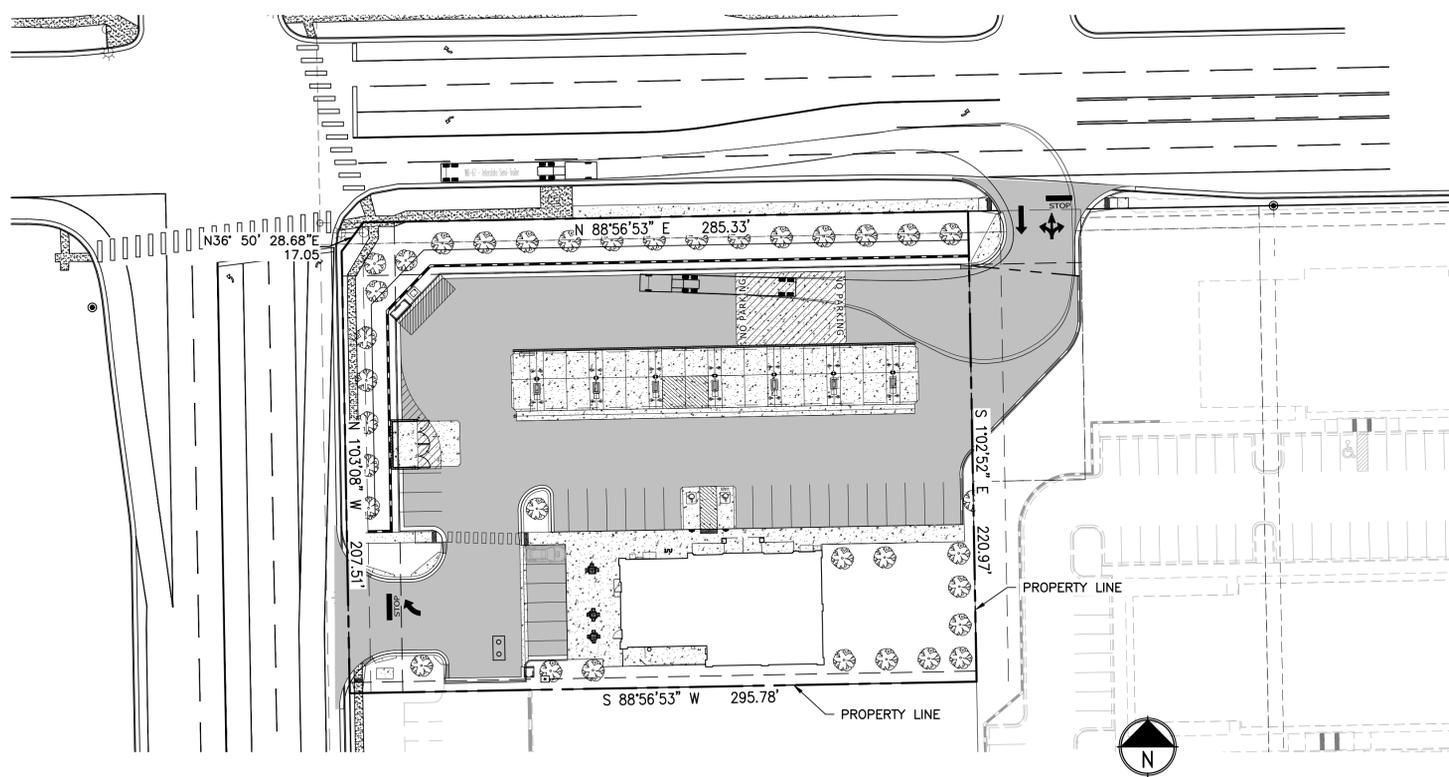
	feet	
Width	: 7.00	
Track	: 6.00	
Lock to Lock Time	: 6.0	
Steering Angle	: 31.6	

PASSENGER VEHICLE

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WB-67 TRUCK AND PASSENGER VEHICLE CIRCULATION 1
 SCALE : 1"=40'



MAVERIK TANKER TRUCK CIRCULATION 2
 SCALE : 1"=80'



MAVERIK INC. STORE
 FOUNTAIN BLVD. AND UNION BLVD.
 COLORADO SPRINGS, CO



CIRCULATION PLAN



AR DP XX-XXXX

Plot Date: 2021-10-13 File Location: O:\2020-Denver\DC-Civil\Projects\2020\20122-0012\MAVERIK Colorado Springs CO\20122-0012\PLAN.dwg

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COLORADO SPRINGS, CO
CITY FILE # XXXXXX
TAX SCHEDULE #6421308002
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ELEVATION = 5973.05 FEET

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GENERAL NOTES FOR PRELIMINARY UTILITY PLANS

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICES STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COST TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN THE SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSIDERED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICES OF SPRINGS UTILITIES.

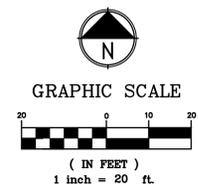


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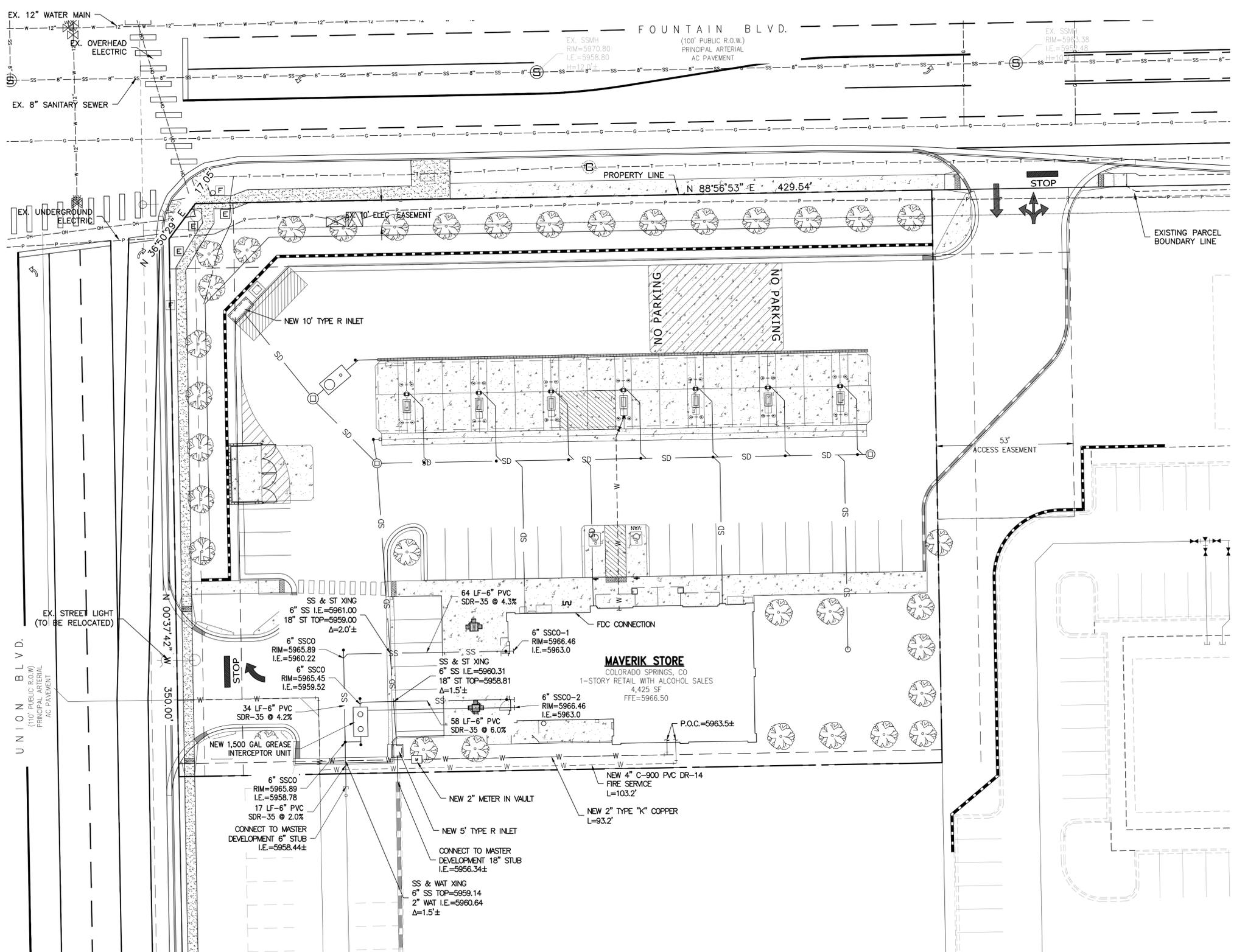
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AR DP XX-XXXX

UTILITY PLAN



Plot Date: 2021-10-13 File Location: O:\2020-Denver\DC-Civil\Projects\2020\20122-0013 Maverik Colorado Springs CO\20122-0012\PLN.dwg

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 CITY FILE # XXXXXX
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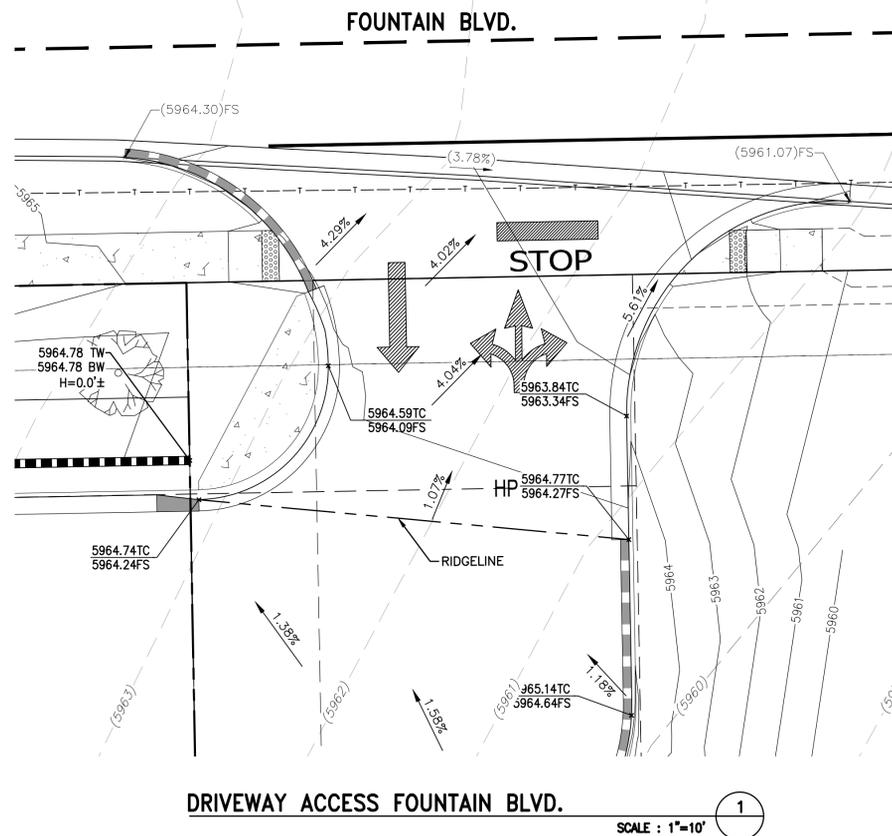
OCTOBER 15, 2021

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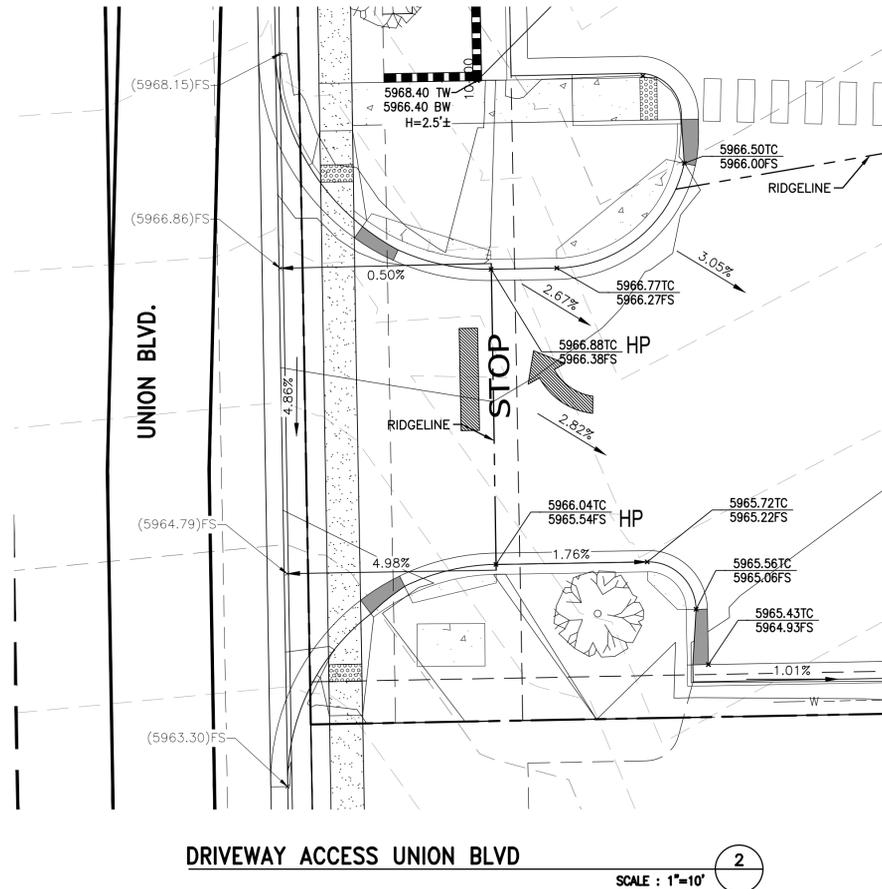
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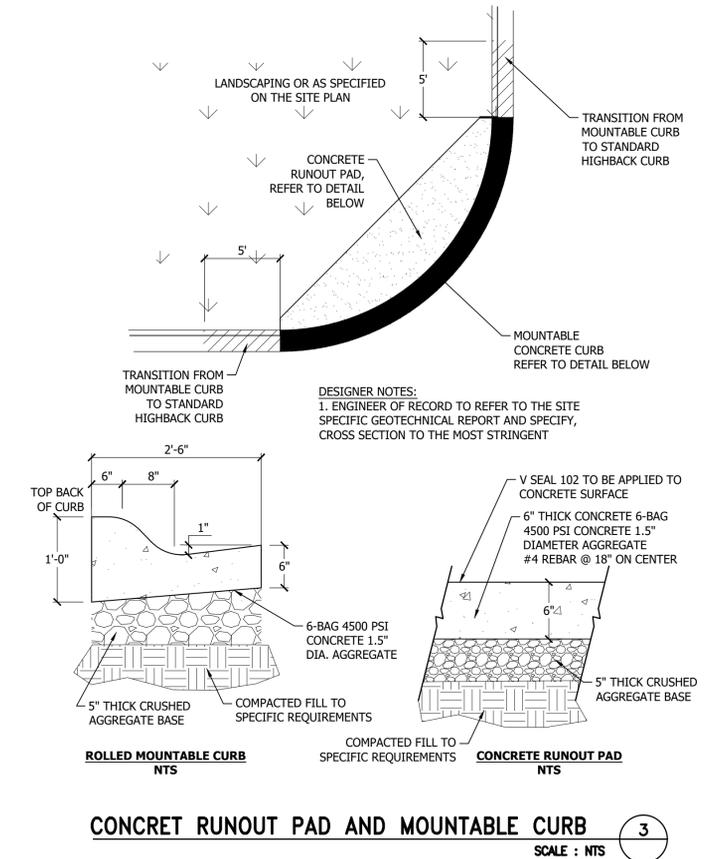
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DRIVEWAY ACCESS FOUNTAIN BLVD. SCALE : 1"=10' 1



DRIVEWAY ACCESS UNION BLVD SCALE : 1"=10' 2



CONCRET RUNOUT PAD AND MOUNTABLE CURB SCALE : NTS 3



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 COLORADO SPRINGS, CO

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DETAILS



AR DP XX-XXXX

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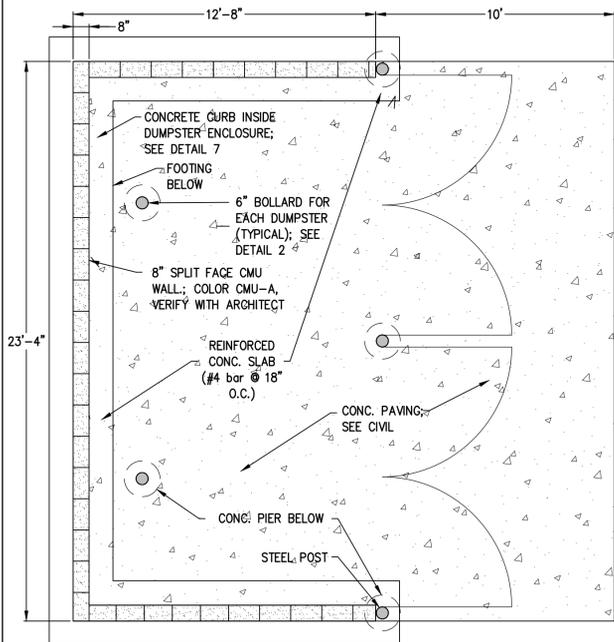
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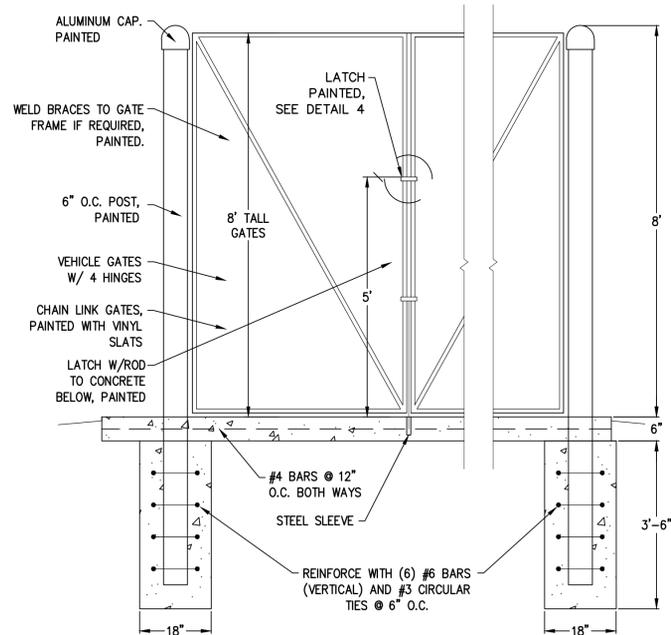
MAVERIK INC. STORE
FOUNTAIN BLVD. AND UNION BLVD.
COLORADO SPRINGS, CO



DOUBLE TRASH ENCLOSURE DETAIL

SCALE : NTS

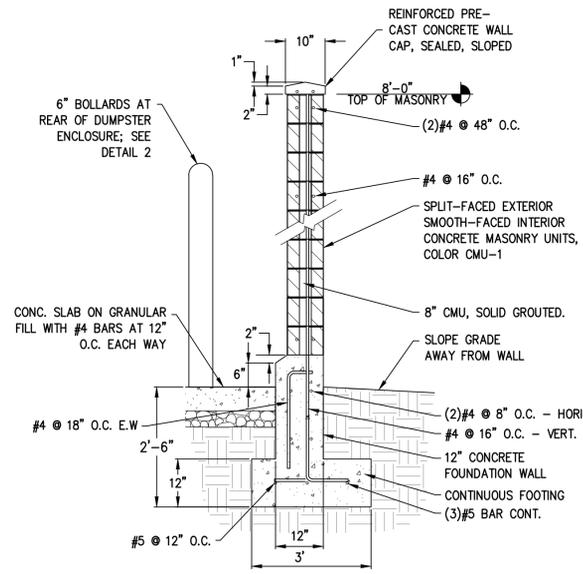
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TRASH ENCLOSURE GATE DETAIL

SCALE : NTS

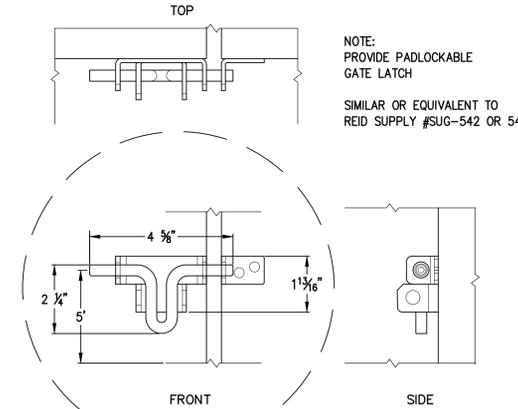
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TRASH ENCLOSURE WALL SECTION

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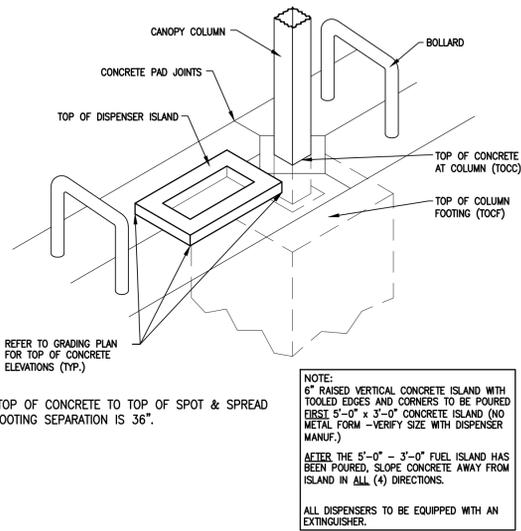
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TRASH ENCLOSURE GATE LATCH DETAIL

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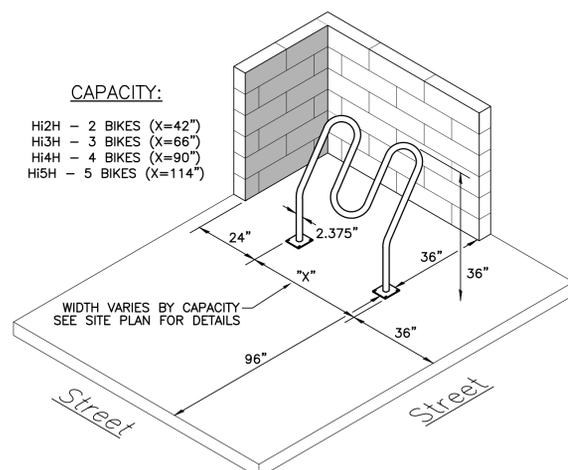
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FUEL DISPENSER DETAIL

SCALE : NTS

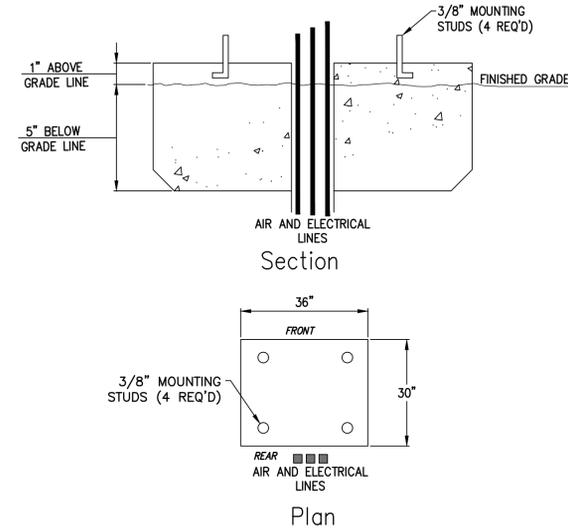
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"HI-ROLLER" BIKE RACK DETAIL

SCALE : NTS

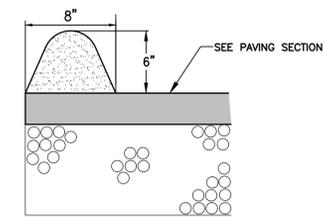
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"XACTAIR" AIR STATION FOUNDATION DETAIL

SCALE : NTS

7



ASPHALT CURB DETAIL

SCALE : NTS

8

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DETAILS



AR DP XX-XXXX

Typical Reinforced Wall Section
Compac II Unit - Near Vertical Setback

Typical Reinforced Wall Section
Compac II Unit - 1° Setback

Typical Gravity Wall Section
Compac II Unit - 1° Setback

Base Leveling Pad Notes:

- The leveling pad is to be constructed of crushed stone or 2,000 psi ± unreinforced concrete.
- The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

Compac II Unit/Base Pad Isometric Section View
* Dimensions & Weight May Vary by Region

Compac II Unit	Cap Unit
Width: 18"	Width: 18"
*Depth: 12"	*Depth: 10 1/2"
Height: 8"	Height: 4"
*Weight: 90 lbs	*Weight: 50 lbs

Typical Reinforced Tiered Wall Section
Compac II Unit - Near Vertical Setback

Geogrid Installation on Curves

Place Additional Pieces of Geogrid When Angle Exceeds 20°

3" of Soil Fill is Required Between Overlapping Geogrid for Proper Anchorage (Typ.)

Additional Drainage Fill Extend Wall Height / 2

Note:
1. Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.

Top of Wall Steps

Note:
1. Secure all cap units with Keystone Kapsel or equal.

Grid & Pin Connection

Geogrid is to be Placed on Level Backfill and Extended Over the Fiberglass Pins. Place Next Unit. Pull Grid Taut and Backfill. Stake as required.

Leveling Pad Detail

Note:
1. The leveling pad is to be constructed of crushed stone or 2000 psi ± unreinforced concrete.

Cap Unit Elevation
8" Compac II Elevation
12" ±
18"

Compac II Plan

Cap Unit Elevation
4"
4"

Cap Unit Plan
10 1/2" ±
18"

Universal Cap Unit Option
* Dimensions & Availability Will Vary by Region

Straight Split Cap Unit Option
* Dimensions & Availability Will Vary by Region

Geogrid Installation at Corners

3" of Soil Fill is Required Between Overlapping Geogrid for Proper Anchorage (Typ.)

Additional Geogrid Overlap Extend Wall Height / 4

Additional Drainage Fill Extend Wall Height / 2

Note:
1. Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.
2. Corner units recommended for outside corners. Availability May Vary.

Copyright 2003 Keystone Retaining Wall Systems

Design is for internal stability of the KEYSTONE wall structure only. External stability, including but not limited to foundation and slope stability is the responsibility of the Owner. The design is based on the assumption that the materials within the retained mass, methods of construction, and quality of materials conform to KEYSTONE's specification for this project.

This drawing is being furnished for this specific project only. Any party accepting this document does so in confidence and agrees that it shall not be duplicated in whole or in part, nor disclosed to others without the consent of Keystone Retaining Wall Systems, Inc.

No.	Date	Revision	By

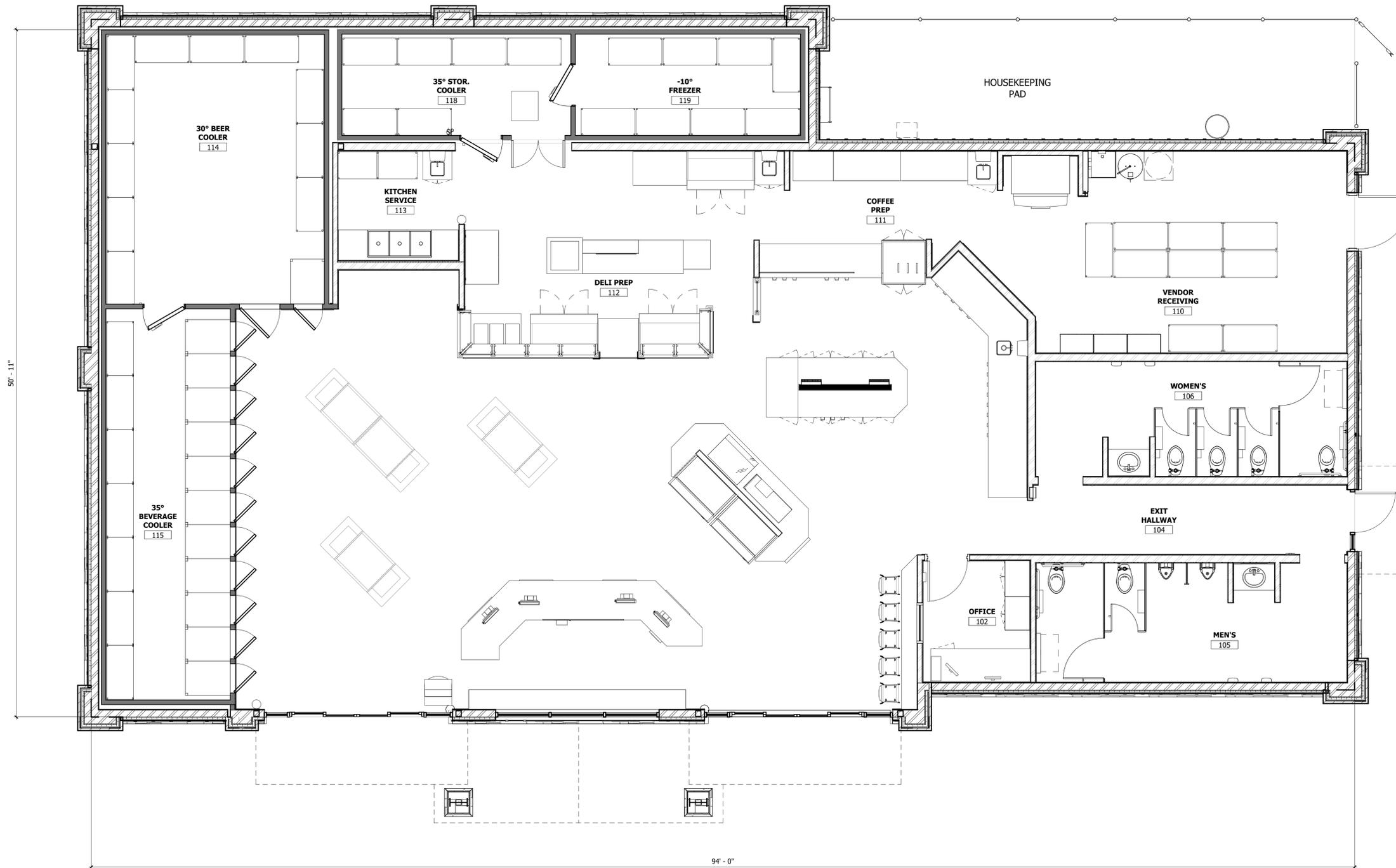
KEYSTONE
RETAINING WALL SYSTEMS
A QUANTUM COMPANY
4444 W 78th Street
Minneapolis, MN 55435
952-897-1040

Designed By: RKM
Checked By: CDM
Scale: No Scale

Title: **Compac II Unit - Straight Face Details**
Project: **Keystone Retaining Wall Systems Typical Wall Details**

Date: _____
Project No: _____
Drawing No: _____

Plot Date: 2021-10-13 File Location: O:\2020-Denver\DC-Civil\Projects\2020\20122-0012\20122-0012\PLN.dwg



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

MAVERIK C-STORE

Prototype Version: 40_R_RR_2001
Building Square Footage: 4,425 SF

A-1 | FLOOR PLAN



1 FRONT RIGHT BUILDING PERSPECTIVE
SCALE:

MAVERIK C-STORE

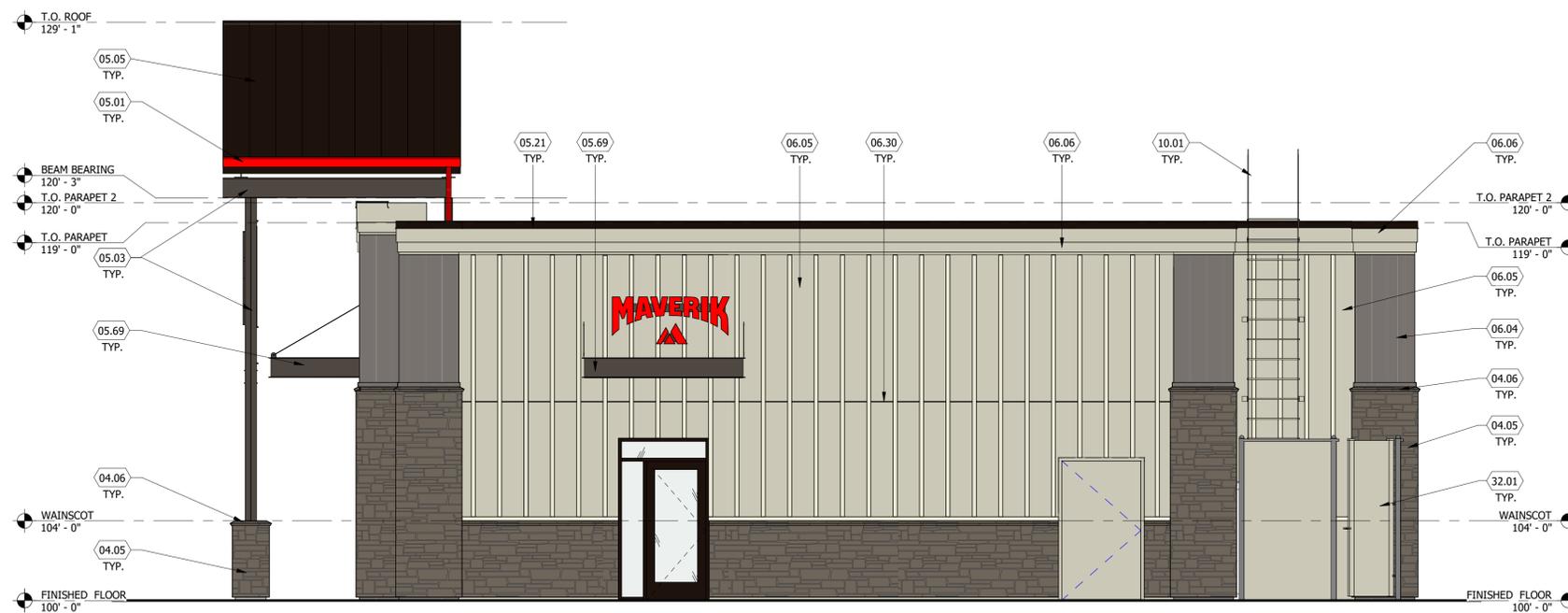
Prototype Version: 40_R_RR_2001
Building Square Footage: 4,425 SF SF

A-2 | PERSPECTIVE VIEWS

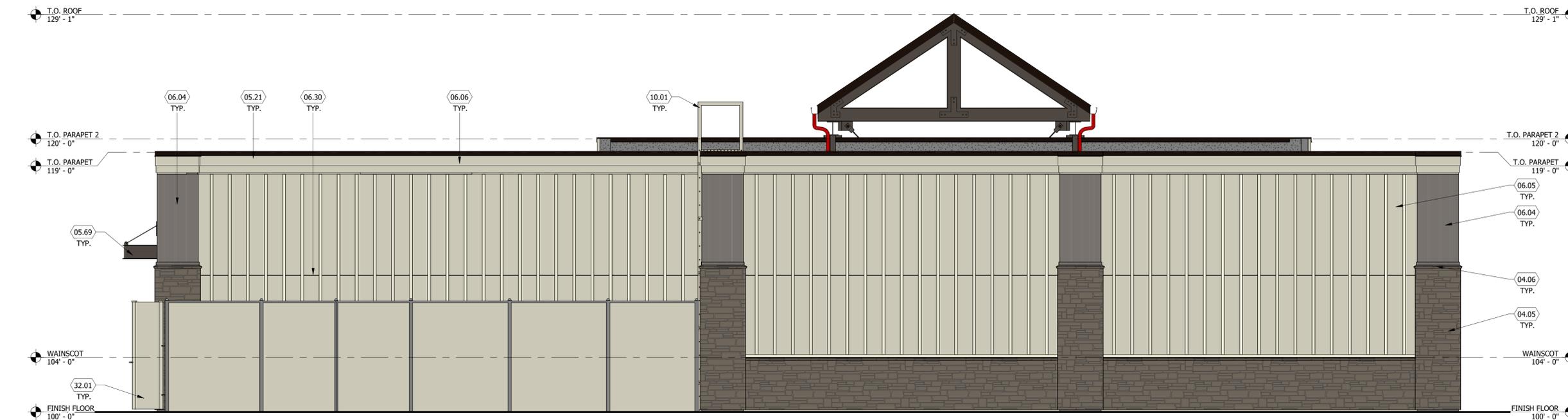


KEYED NOTES

- 04.05 CULTURED STONE VENEER, SKYLINE, COUNTRY LEDGESTONE
- 04.06 CULTURED STONE VENEER CAP, SKYLINE, COUNTRY LEDGESTONE
- 05.01 PRE-FINISHED GUTTER, BRITTE RED
- 05.03 PAINTED STEEL, BLACK FOX
- 05.05 MBCI PRE-FINISHED ROOF, COLOR C-1, 1-3/4" STANDING SEAM
- 05.21 PRE-FINISHED METAL COPING, COLOR C-1
- 05.69 STEEL AWNING, COLOR P-9
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1
- 06.06 FIBER CEMENT TRIM BB-3
- 06.30 HORIZONTAL JOINT IN SIDING
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
- 32.01 CHAIN LINK FENCE WITH PRIVACY SLATS. COLOR TO MATCH BUILDING FIELD COLOR



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

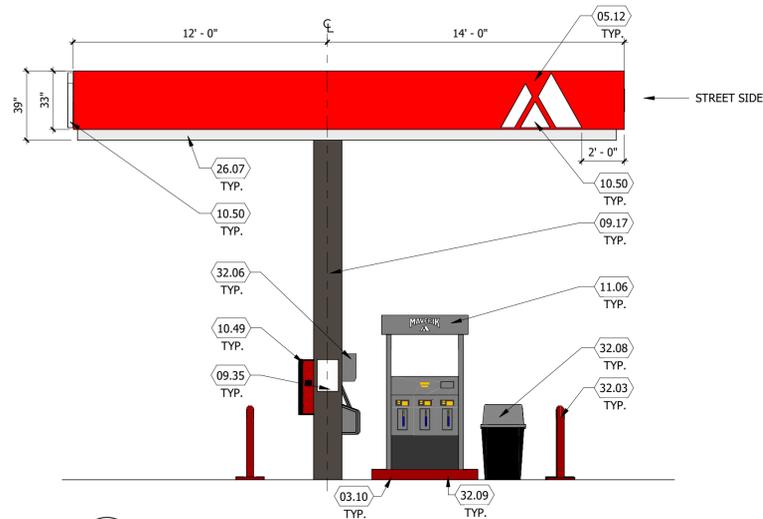
MAVERIK C-STORE

Prototype Version: 40_R_RR_2001
Building Square Footage: 4,425 SF

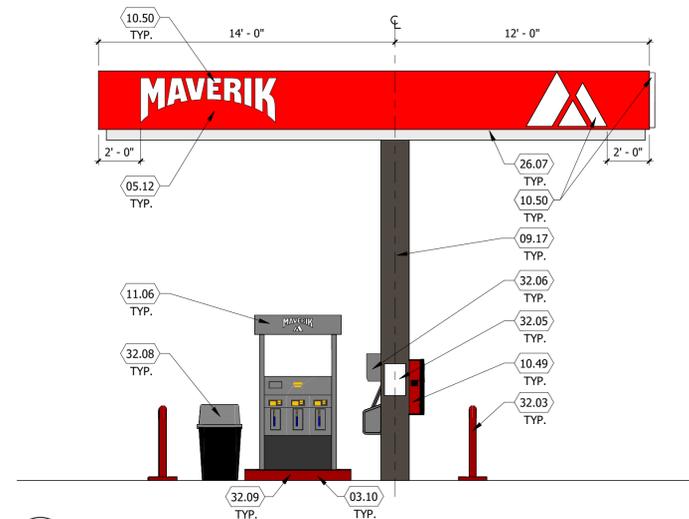


KEYED NOTES

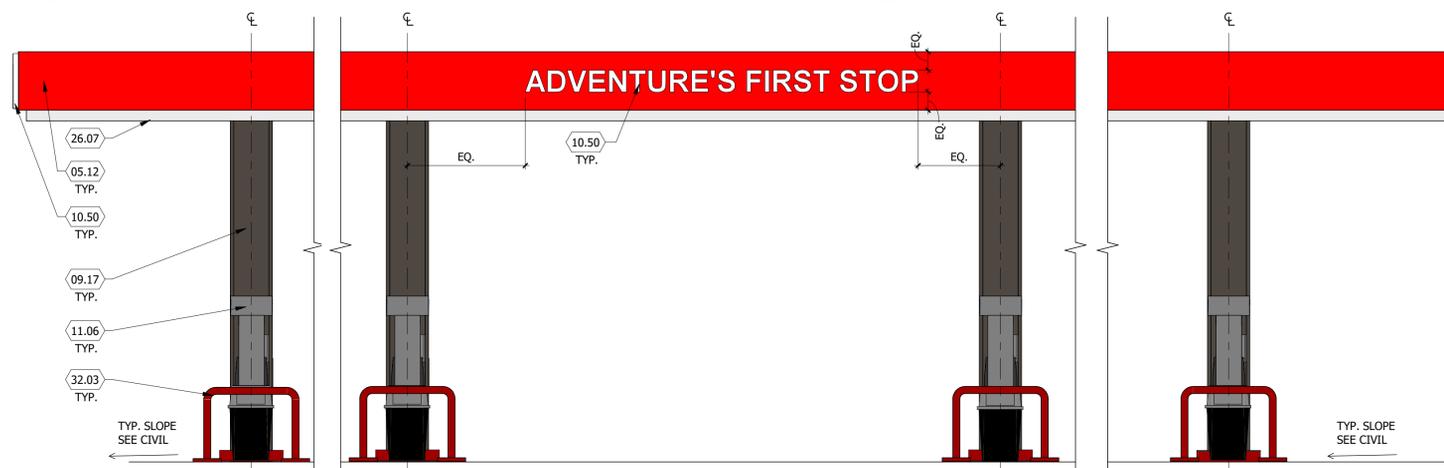
- 03.10 6" MIN. RAISED CONCRETE ISLAND W/ TOOLED EDGES AND CORNERS. VERIFY SIZE W/ DISPENSER SUPPLIER +/-5'-0" X 3'-0" (NO METAL FORM). ACCESSIBLE ISLAND TO BE 6"; SEE CIVIL DRAWINGS FOR LOCATION
- 05.12 ALUMINUM COMPOSITE METAL PANEL, EASTMAN RED
- 09.17 PANEL COLUMN CLADDING, COLOR TO MATCH P-9
- 09.35 SOLID SURFACE COUNTERTOP, SEE DETAIL ON 13/A4.02 AND SEE SCHEDULE ON SHEET A6.03
- 10.49 4A:40 BC FIRE EXTINGUISHER W/ CASE, LOCATE WITHIN 75' OF ALL PUMPS, DISPENSERS, OR STORAGE TANK. LOCATION TO BE FINALIZED BY FIRE MARSHAL
- 10.50 SIGNAGE TO BE COORDINATED BY FUEL CANOPY CONTRACTOR WITH OWNER DISPENSING STATION (BY OTHERS)
- 11.06 PANEL SOFFIT (SOFFIT COLOR P-7). SEE ELECTRICAL DRAWINGS
- 26.07 ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK
- 32.03 4" DIAMETER "U" BOLLARD, SET AND FILLED W/ CONCRETE, SEE CIVIL DRAWINGS PAINTED P-4
- 32.04 EXPANSION JOINTS, TO BE FILLED W/ "JET FUEL RESISTANT" SEALANT, SEE CIVIL DRAWINGS
- 32.05 SIGNAGE, BY OWNER, TO COMPLY WITH IFC 2305.6 AND POSTED ON EACH SIDE OF COLUMN
- 32.06 S.S.I. (WINDOW WASH/PAPER TOWEL) PROVIDED BY OWNER INSTALLED BY CONTRACTOR, MOUNTED TO COLUMN PER ADA REQUIREMENTS (4'-0" MAX A.F.F. TO PAPER TOWEL FOLD)
- 32.08 TRASH CONTAINER, PROVIDED BY OWNER
- 32.09 PAINT CONCRETE CURB EDGE P-4, SEE SCHEDULE ON SHEET A6.03



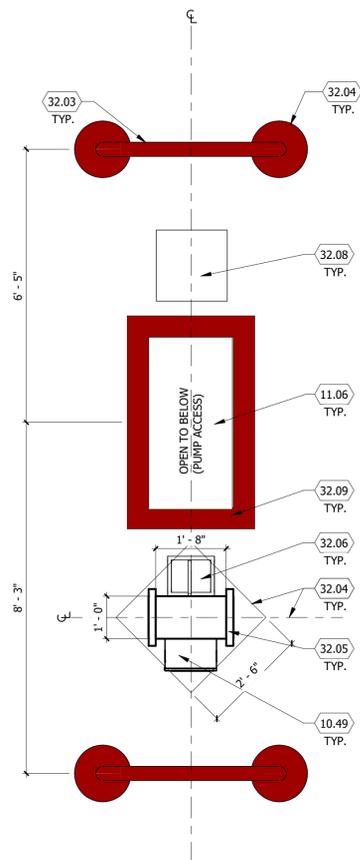
5 FUEL DISPENSING END - ELEVATION
SCALE: 1/4" = 1'-0"



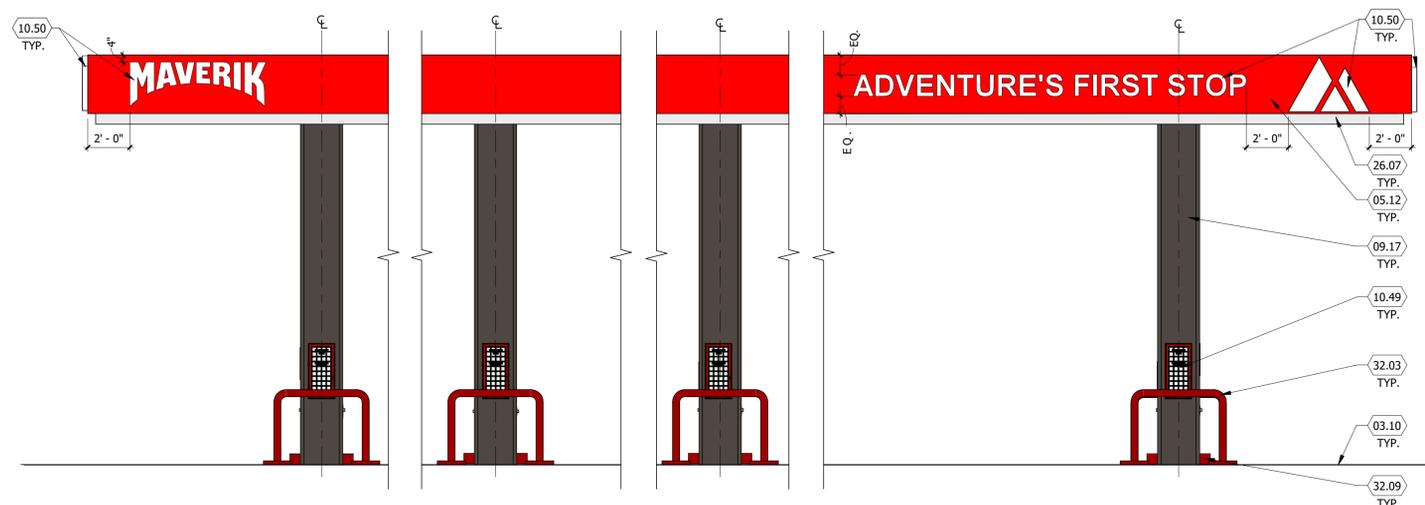
4 FUEL DISPENSING CANOPY END - ELEVATION
SCALE: 1/4" = 1'-0"



3 FUEL DISPENSING CANOPY - BUILDING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 CANOPY COLUMN PLAN
SCALE: 1/2" = 1'-0"

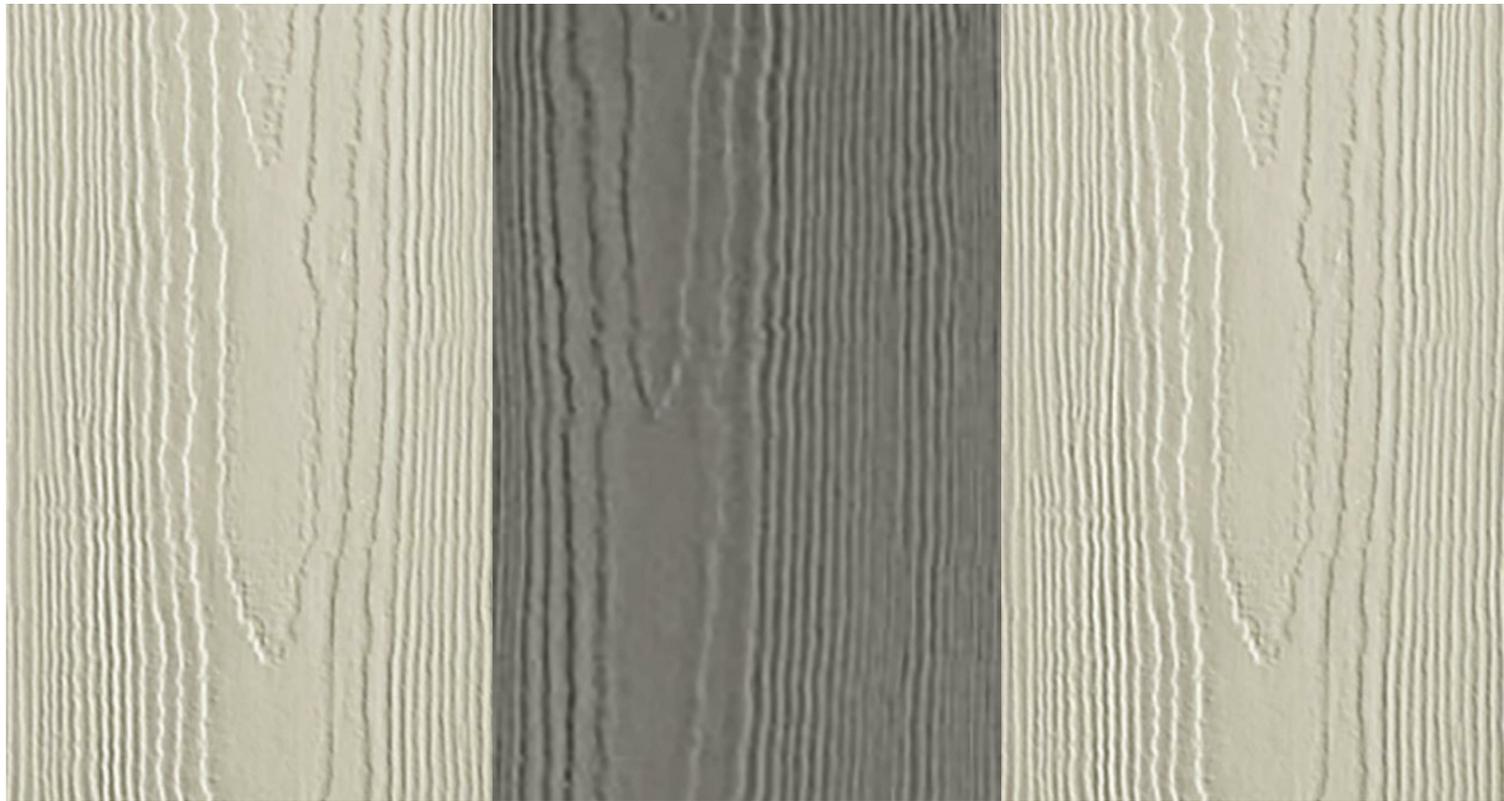


1 FUEL DISPENSING CANOPY STREET - ELEVATION
SCALE: 1/4" = 1'-0"

MAVERIK C-STORE

Prototype Version: 40_R_RR_2001
Building Square Footage: 4,425 SF





BB-1 Fiberboard -
Worldly Gray

BB-2 Fiberboard -
Gauntlet Gray

BB-3 Fiberboard -
Worldly Gray



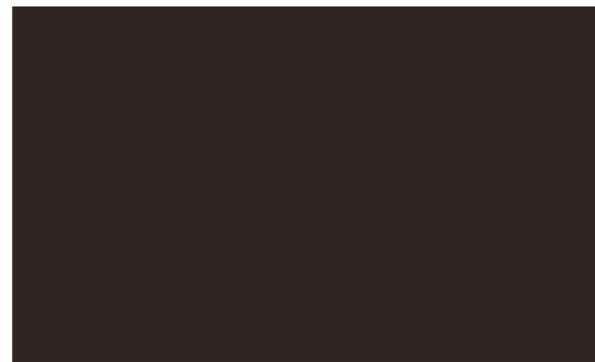
Cultured Stone - Skyline, Country LedgeStone



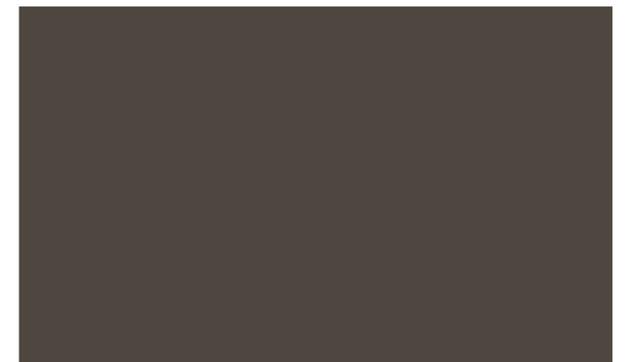
C-1 MSCI Midnight Bronze



C-2 MSCI Brite Red



Anodized - Dark Bronze



Paint - Black Fox

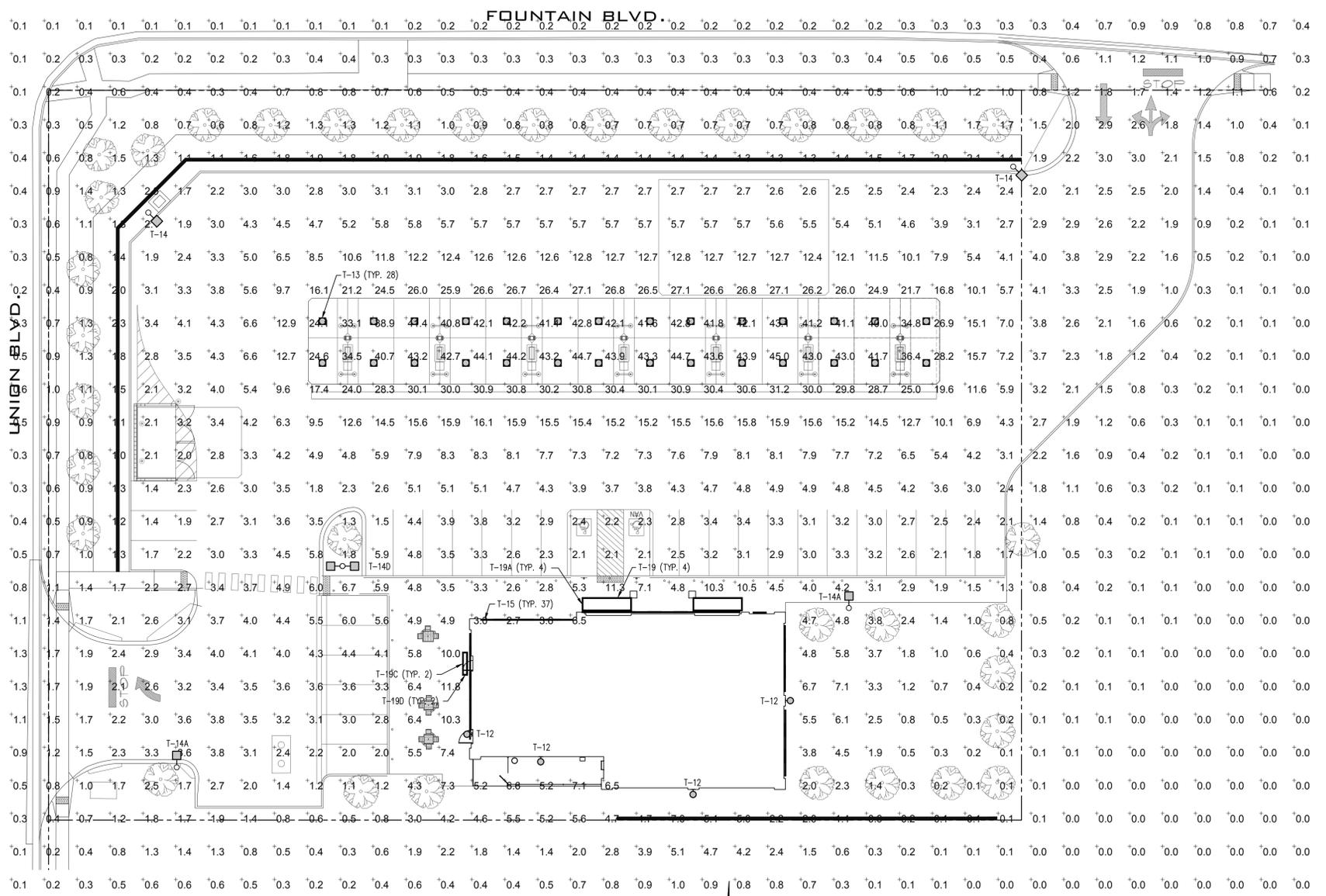
CALCULATION SUMMARY

AREA NAME	GRID / TYPE	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
PARKING	0'-0" / H-H	10.00	<+>	4.9	45.0	0.0	N/A	N/A

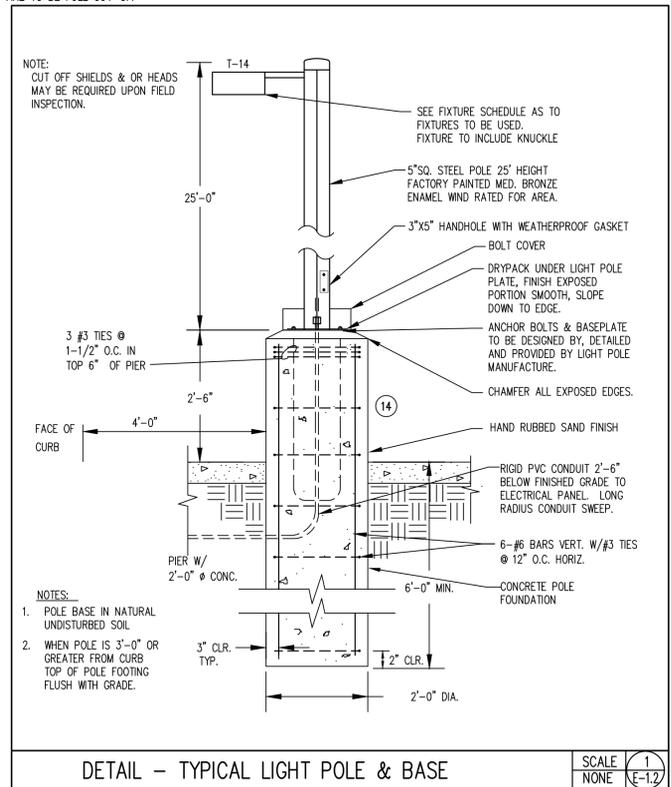
MASTER LUMINAIRE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	MOUNTING	LAMPS	BALLAST	WATTS	IMAGE
T-12	LSI	XMM 3 LED 08 40 UE BRZ	120	WALL	INCLUDED		82	
DESCRPT: LOW PROFILE, FULL CUTOFF WALL PACK, LED, DARK BRONZE, 4K, 7700 LUMENS HEIGHT SPECIFIED BY ARCHITECT								
T-13	LSI	SCV LED 15L SC UNV DIM 40 WHT	UNV	CANOPY	INCLUDED		103	
DESCRPT: CANOPY MOUNTED, CUTOFF LUMINAIRE, 103W LED, FLAT LENS, FOR SINGLE DECK CANOPIES (15,209 LUMENS)								
T-14	LSI	SLM LED 18L SIL 3 UNV 40 70 CRI BRZ	208	25'-0" POLE	INCLUDED		149	
DESCRPT: POLE MOUNTED, CUTOFF LUMINAIRE SINGLE HEAD, LED, 17,984 LUMENS, 25FT SQUARE POLE (4", 11 GA.), 4K								
T-14A	SAME AS T-14 EXCEPT WITH TYPE IV DISTRIBUTION (FORWARD THROW)							
T-14C	SAME AS T-14 EXCEPT 2 HEAD "L" CONFIGURATION							
T-15	LSI	MLS4 LED 20L CSM UNV DIM U	UNV	EXTERIOR COVE	INCLUDED		40	
DESCRPT: 4FT LED STRIP LUMINAIRE, COLD WEATHER (OF), 3000 LUMENS, DAMP LISTED, LENS (1.78" WIDTH), 4K								
T-19	TRULUX	HTL-WH-22-LED-DR150-24-TL-2DC-TL-2JUMP/3345-4AFR-5M/EE45-END/E-CLIP-45	MT	SURFACE	INCLUDED		64	
DESCRPT: DIRECT VIEW, RUBBER COATED, OUTDOOR LED TAPE LIGHT								
T-19A	SAME AS T-19 EXCEPT 3'-6"							
T-19C	SAME AS T-19 EXCEPT 7'-0"							
T-19D	SAME AS T-19 EXCEPT 1'-6"							

*LUMINAIRES ARE PROVIDED BY OWNER, INSTALLED BY E.C. (REFERENCE SCHEDULE ON E-4.0)
 *ALL LUMINAIRES ARE TO BE FULL CUT-OFF



1 SITE PHOTOMETRIC PLAN
 E-1.2 SCALE: 1"=20'-0"



MAVERIK INC.
 SEC OF FOUNTAIN BLVD. & UNION BLVD
 COLORADO SPRINGS, CO
 PHOTOMETRIC PLAN



DATE	REVISION

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PROJECT NUMBER	21302
FILE	MJE
DRAWN BY	MSI
CHECKED BY	As indicated
SCALE	As indicated
PHOTOMETRIC PLAN	
E-1.2	

