

SFD26712
PLAT 5945
RR-5

**APPROVED
Plan Review**

08/06/2026 3:00:47 PM
dsd hills

EPC Planning & Community
Development Department

SQUARE FOOTAGE TOTALS:

TOTAL BUILDING FOOTPRINT: 2,245 SQFT
TOTAL LIVABLE: 2,000 SQFT
PATIO/DECKS: 351 SQFT
TOTAL: 3,229 SQFT
GARAGE: 878 SQFT

OWNERS

MATHENY, AUSTIN
11440 SALINAS RD
PEYTON, CO 80831-6712

STREET ADDRESS

14940 TIBORIA LOOP PEYTON, CO 80831 ✓

LEGAL DESCRIPTION

LOT 37 TIBORIA ESTATES FIL NO 1

LOT COVERAGE

BUILDING FOOTPRINT INCLUDING
COVERED PATIOS, PORCHES, AND
218,671 SQ FT = 5.02 ACRES
DECKS: 2,245 SQFT
LOT COVERAGE : 1.026%

ZONING

PARCEL SIZE: RR-5 ✓

PARCEL

4135001003 ✓

NEW OWNERS

Mathew Lasley & Nicole Lasley

IMPERVIOUS

impervious sf - 3,000 sf
Percent Impervious - 1.37%



It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.



This property is located in a Wildland Urban Interface Area and is subject to Appendix E, Wildfire Resiliency Requirements, of the El Paso County Land Development Code. This property is located in a:

Low Fire Intensity Classification and is subject to Class I requirements

Moderate or High Fire Intensity Classification and is subject to Class I and Class II requirements

ACCEPTED FOR FILE

08/04/2026 9:54:51 AM
Glenn Reese

EPC Department of Public Works



Morrison Engineering Colorado, LLC
905 Columbine Ave
Colorado Springs, CO 80904
http://www.morrisonec.com

LASLEY RESIDENCE
SITE PLAN
14940 TIBORIA LOOP
PEYTON, CO 80831

SP

L43

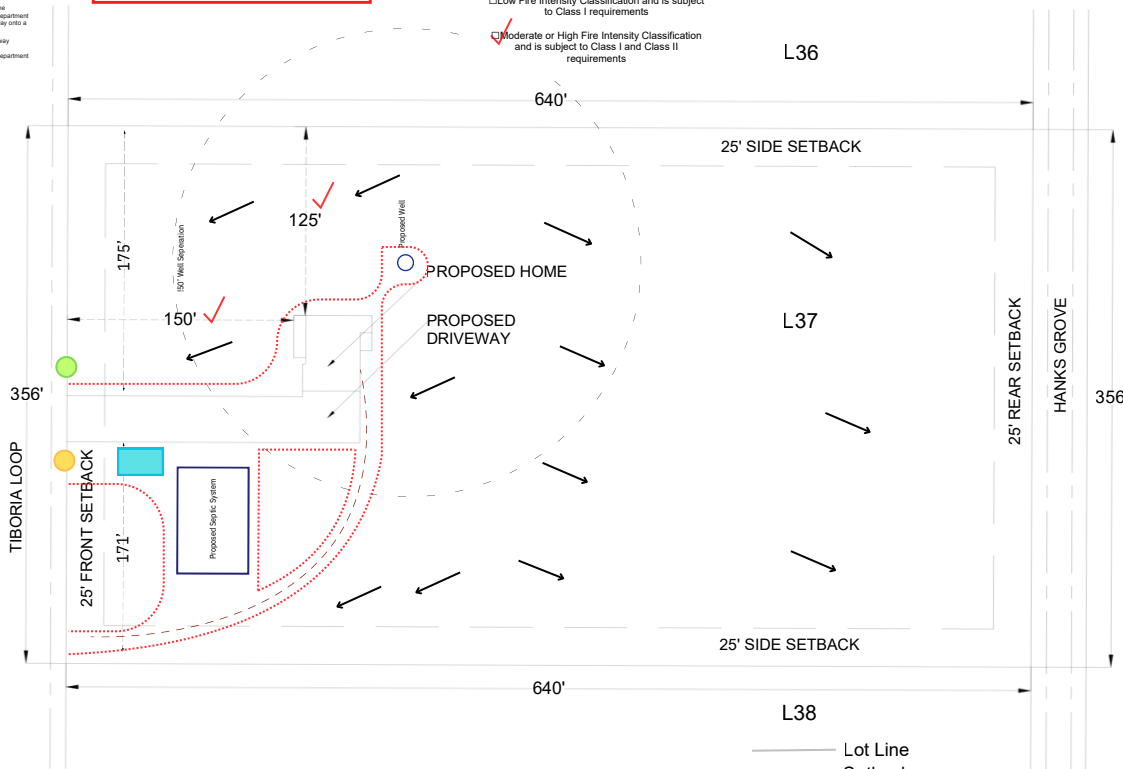
L42

L41

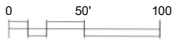
L36

L37

L38



Released for Permit
08/04/2026 11:03 PM
REGIONAL
Building Department
Becky A
ENUMERATION



SITE PLAN

SCALE 1" = 32'

- Lot Line
- Setback
- Area Of Disturbance
- Electric Line
- Proposed Well Location
- Proposed Septic Location
- Culvert Inlet Protection
- Culvert Outlet Protection
- Concrete Washout
- Direction of Stormwater Flow

RESIDENTIAL



2023 PPRBC
2021 IECC and CO MERSRC

Address: 14940 TIBORIA LOOP, PEYTON

Parcel: 4135001003

Plan Track #: 215705

Received: 04-Aug-2026 (TREYW)

Description:

RESIDENCE

Contractor: GRANDVIEW CUSTOM HOMES LTD.

Type of Unit:

Garage	878	
Main Level	1049	
Upper Level 1	951	
	2878	Total Square Feet

Required PPRBD Departments (6)

Enumeration

Released for Permit
08/04/2026 11:51:41 PM

Becky A
ENUMERATION

Floodplain

(N/A) RBD GIS

Construction

Electrical

Mechanical

Plumbing
Released for Permit
08/06/2026 12:55:29 PM

shanen
PLUMBING

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations.
This plan set must be present on the job site for every inspection.

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

08/06/2026 3:02:40 PM



**EPC Planning & Community
Development Department**