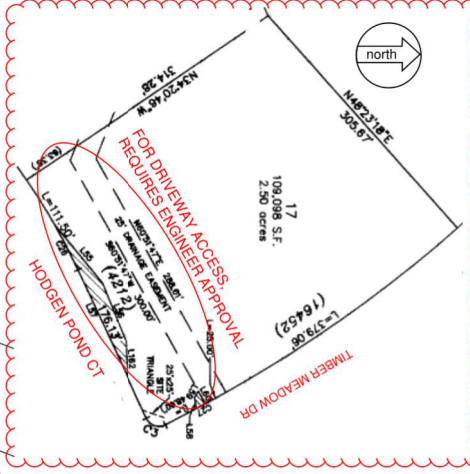
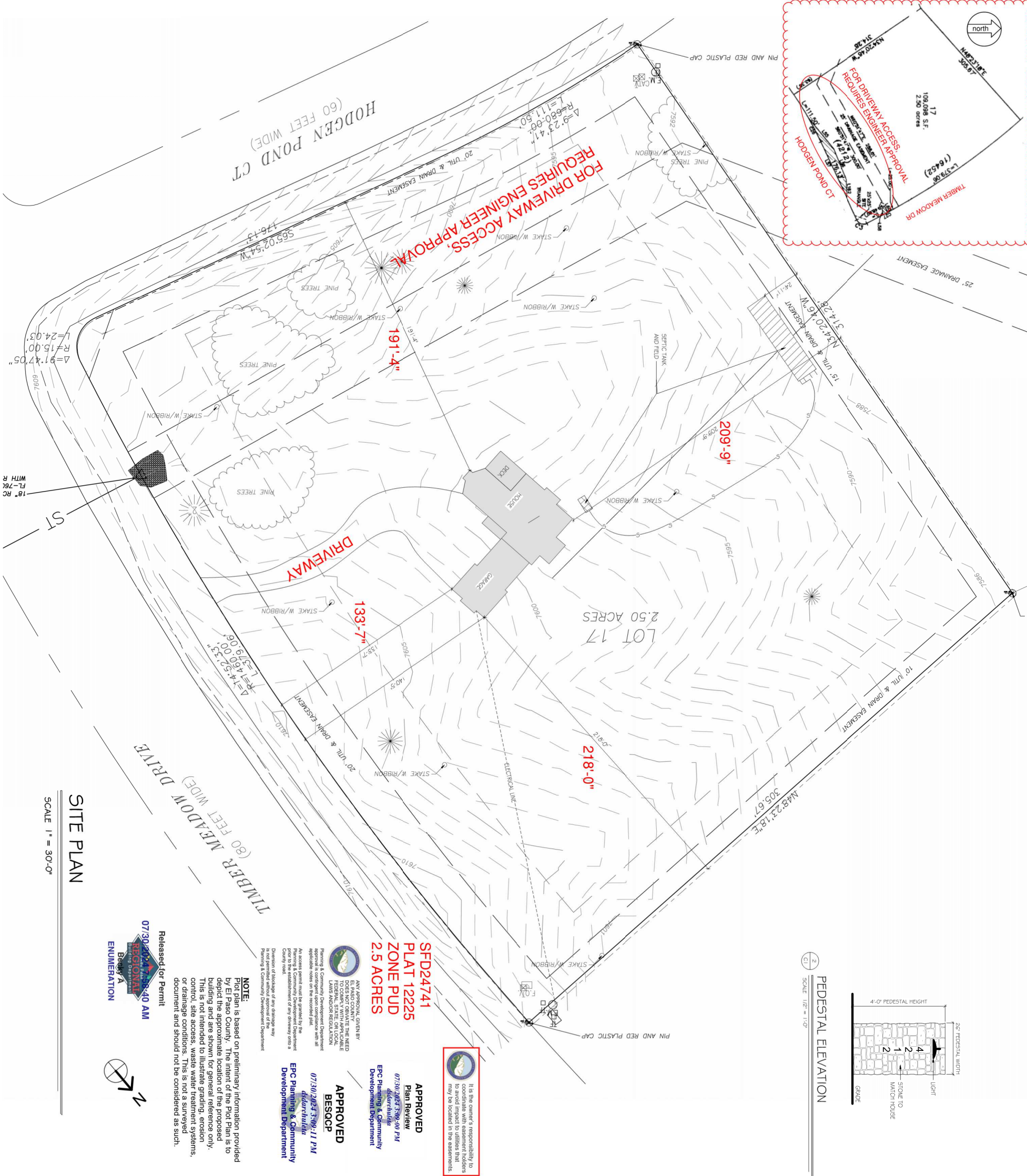


SOURCE PLAT 12225 LOT 17 SETTLERS RANCH SUB FIL NO 1



SITE PLAN
SCALE 1" = 30'-0"

Released for Permit
07/30/2024 3:40 AM
Regional Planning Department
Beverly A. Emmeration



SFD24741
PLAT 12225
ZONE PUD
2.5 ACRES

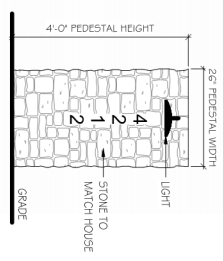
It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

APPROVED
Plan Review
07/30/2024 3:39:00 PM
EPC Planning & Community Development Department

APPROVED
BESCCP
07/30/2024 3:39:11 PM
EPC Planning & Community Development Department

NOTE:
Plot plan is based on preliminary information provided by El Paso County. The intent of the Plot Plan is to depict the approximate location of the proposed building and are shown for general reference only. This is not intended to illustrate grading, erosion control, site access, waste water treatment systems, or drainage conditions. This is not a surveyed document and should not be considered as such.

PEDESTAL ELEVATION
SCALE 1/2" = 1'-0"



OWNER
Bear Boy LLC, Attn: Mark Beary
18250 BLACK FOREST RD
COLORADO SPRINGS CO, 80908
303-5-8-5389, markbeary@aol.com

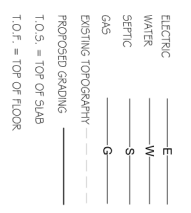
BUILDING CONTRACTOR
Mark, LTD.
18250 BLACK FOREST RD
COLORADO SPRINGS CO, 80908

DESIGN GROUP
Allegra Design Co. LLC
1760 S. Highway 24
Woodland Park, CO 80863
(719) 641-2095, info@allegradesignco.com

LEGAL DESCRIPTION
LOT 17 SETTLERS RANCH SUB FIL NO 1, in El Paso County, State of Colorado.
Site Address: 16452 TIMBER MEADOWS DR., COLORADO SPRINGS, CO 80921

Parcel Number: 6123005017 Plat No: R12225
Zone District: RR-5 Acres: 2.5

ZONE PUD



SITE PLAN LEGEND
SCALE 1" = 20'-0"

GENERAL SITE NOTES:

- The builder shall become familiar with the project site and all existing site conditions which might impact the proposed scope of work prior to beginning any construction related activities.
- The builder shall be responsible for verifying existing site grades and natural land formations, existing trees and shrubbery and proposed building location. The builder may obtain a licensed surveyor for the purpose of recording accurate site conditions.
- All easements, setbacks, building heights and footprint requirements shall be verified by the builder prior to construction.
- The builder shall confirm the location of any existing utility services and meters and coordinate any required extensions with the utility companies.
- The builder shall be responsible for coordinating final grading and paving of walks, driveways and patios. Finished grades shall slope away from the building a minimum of 10%, or one (1) foot per every ten (10) feet.
- The builder and/or owner shall determine and coordinate all required final landscaping.
- The builder shall keep the premises free from accumulation of waste materials and debris.
- All retaining walls greater than 4'-0" high, to be designed by a licensed Colorado engineer.
- All concrete foundation walls, pads, piers, and concrete retaining walls shall be designed by a licensed Colorado Professional Engineer.
- Refer to applicable building code and the Flying Horse North Home Owners Association requirements for specifications not stated in the plans.
- All native vegetation is to remain as practical.
- The Contractor and all Sub-Contractors shall take careful consideration to construction practices to help insure proper care of native landscape.

Bear Boy LLC
16452 TIMBER MEADOWS DR.,
COLORADO SPRINGS, CO 80921

allegradesignco.com
Design, with family in mind
(719) 641-2095
1760 S. Highway 24
Woodland Park, CO 80863

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AREA CALCULATIONS
MAIN FLOOR AREA: 2365 SF
4 CAR GARAGE: 1217 SF
WALK OUT BASEMENT: 2365 SF
DECK: 330 SF

ARCHITECTURAL
CG: Cover Sheet & General Notes
C1: Site Plan - Floor Plan
A1: Main Floor Plan
A2: Master Floor Plan
A4: Front & Right Side Elevations
A5: Rear & Left Side Elevations
A6: Building Sections
E1: Electrical Plan Main Floor
E2: Electrical Plan Main Floor
P1: Basement Plumbing Location Plan
P2: Main Floor Plumbing Location Plan

FOUNDATION
F1: Foundation Plan
F2: Foundation Details

STRUCTURAL
S1: STR Framing Details
S2: Main Floor Framing Plan
S3: Roof Framing Plan

PROJECT No. 24-0095
DATE 7/29/2024
DRAWN BY BLD
CHECKED BY BLD

Site Plan
C1

RESIDENTIAL

2023 PPRBC
2021 IECC



Parcel: 6123005017

Address: 16452 TIMBER MEADOW DR, COLORADO SPRINGS






Plan Track #: 191720  Received: 09-Jul-2024 (BRIANNAM)

Description: **RESIDENCE** Required PPRBD Departments (6)

Contractor:

Type of Unit:

Garage	1217	
Lower Level 1	2355	
Main Level	2355	
Upper Level 3	330	
	6257	Total Square Feet

<p>Enumeration</p> <p>Released for Permit</p> <p>07/22/2024 11:17:33 AM</p>  <p>Becky A ENUMERATION</p>	<p>Floodplain</p> <p>(N/A) RBD GIS</p>
<p>Construction</p> <p>Released for Permit</p> <p>07/17/2024 12:07:27 PM</p>  <p>Christineh CONSTRUCTION</p>	<p>Electrical</p> <p>Released for Permit</p> <p>07/23/2024 1:39:06 PM</p>  <p>danielg ELECTRICAL</p>
<p>Mechanical</p> <p>Released for Permit</p> <p>07/23/2024 8:46:52 AM</p>  <p>tcrippen MECHANICAL</p>	<p>Plumbing</p> <p>Released for Permit</p> <p>07/23/2024 6:53:25 AM</p>  <p>shanen PLUMBING</p>

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

Required Outside Departments (1)

County Zoning
APPROVED
Plan Review
07/30/2024 3:10:39 PM
dsdarchuleta
**EPC Planning & Community
Development Department**