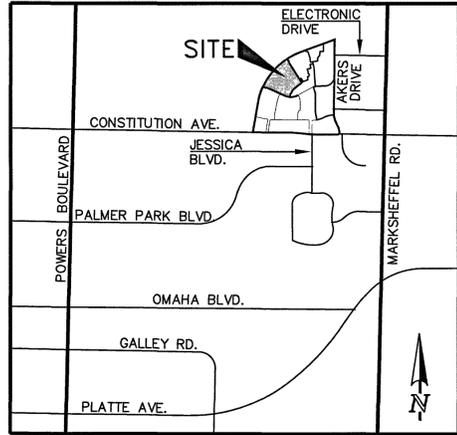


GENERAL CONSTRUCTION NOTES:

- 1. ALL CONSTRUCTION WITHIN EL PASO COUNTY PUBLIC RIGHT-WAYS SHALL BE IN ACCORDANCE WITH MOST CURRENT STANDARDS AND SPECIFICATIONS OF EL PASO COUNTY.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK.
3. BEFORE COMMENCING ANY EXCAVATION, CALL 811 FOR EXISTING UTILITY LOCATIONS.
4. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION.
5. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
6. ALL BACKFILL, SUB-BASE AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED TO THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES ENGINEERING DIVISION.
7. ALL STATIONING IS CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE INDICATED.
8. ALL DISTURBED VEGETATION EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO THE EPC EGM APPENDIX K - 1.2C.
9. ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES.
10. ALL CULVERT AND STORM DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDP), REINFORCED CONCRETE PIPE (RCP).
11. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER.
12. TYPE M RIP-RAP WITH 4" OF TYPE II GRANULAR BEDDING AND MIRAFI 180N OR EQUAL MAY BE SUBSTITUTED WHERE TYPE L RIP-RAP WITH MIRAFI FW 700 OR EQUAL IS SPECIFIED.
13. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH ANY AND ALL APPLICABLE EL PASO COUNTY STANDARDS.
14. ALL POTABLE WATER MAINS SHALL BE AWWA C900-CLASS 200 (DR14) PVC WITH PUSH-ON SINGLE GASKET TYPE JOINTS AND SHALL MEET THE REQUIREMENTS OF ANSI/NSF 61.
15. ALL WATER MAIN FITTINGS SHALL BE MADE FROM GRAY-IRON OR DUCTILE IRON AND FURNISHED WITH MECHANICAL JOINT ENDS.
16. ALL WATER LINE BENDS, TEES, BLOW-OFFS AND PLUGS AT DEAD-END MAINS SHALL BE PROTECTED FROM THRUST BY USING CONCRETE THRUST BLOCKS AND/OR RODDING AND RESTRAINED PIPE.
17. MAXIMUM DEFLECTION OF 8" & 12" PVC WATER MAIN JOINTS IS 1 DEGREE OR LESS PER THE MANUFACTURERS RECOMMENDATIONS.
18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING DETAILED AS-BUILTS OF ALL WATER MAIN, STORM SEW AND SAN. SEW. MAIN INSTALLATIONS, INCLUDING ACCURATE DISTANCES OF MAIN LINES, VALVES, FITTINGS, MANHOLES AND LOCATIONS OF JOINTS AND SEWER SERVICES.
19. SANITARY SEWER PIPE AND FITTINGS: PVC 4"-8" ASTM D3034, TYPE PSM, SDR 35; PUSH-ON JOINTS AND MOLDED RUBBER GASKETS MAXIMUM HORIZONTAL DEFLECTION, AFTER INSTALLATION AND BACK FILLING SHALL NOT EXCEED 3% OF THE PIPE DIAMETER.
20. EL PASO COUNTY GRADING AND EROSION CONTROL NOTES:
1. CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
2. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
3. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2.
4. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION.
5. ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPS AS INDICATED ON THE GEC.
6. SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED.
7. TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
8. ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPS IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
9. ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPS AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
10. ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION.
11. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
12. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP.
13. EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
14. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN.
15. VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS.
17. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
18. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE.
19. NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE EGM ADMINISTRATOR.
20. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
21. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
22. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 6, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE EGM APPENDIX I.
23. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
24. PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
25. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
26. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY RMG ENGINEERS GROUP, TITLED "HILLTOP SUBDIVISION SOILS AND GEOLOGIC REPORT", DATED MARCH 5, 2014, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
27. AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION.

HANNAH RIDGE AT FEATHERGRASS FILING NO. 7
COUNTY OF EL PASO, STATE OF COLORADO
CONSTRUCTION PLANS
MAY 2019



SHEET INDEX

Table listing sheet numbers and titles: SHEET 1 OF 14 TITLE SHEET, SHEET 2 OF 14 OVERLOT GRADING PLAN INCLUDING EROSION CONTROL, SHEET 3 OF 14 OVERLOT GRADING PLAN INCLUDING EROSION CONTROL, SHEET 4 OF 14 GRADING AND EROSION CONTROL DETAILS, SHEET 5 OF 14 STREET IMPROVEMENT PLAN, SHEET 6 OF 14 STREET IMPROVEMENT PLAN, SHEET 7 OF 14 STREET IMPROVEMENT PLAN, SHEET 8 OF 14 STREET IMPROVEMENT PLAN, SHEET 9 OF 14 STREET IMPROVEMENT PLAN, SHEET 10 OF 14 STREET IMPROVEMENT SIGNAGE PLAN, SHEET 11 OF 14 STORM SEWER PLAN & PROFILE, SHEET 12 OF 14 PUBLIC DETENTION/SWD FACILITY, SHEET 13 OF 14 POND OUTLET BOX DETAILS, SHEET 14 OF 14 DETENTION POND MISCELLANEOUS DETAILS.

BENCHMARKS:

A #5 REBAR LOCATED APPROXIMATELY 170 FEET NORTHEAST OF THE NORTHEASTERLY CORNER OF TRACTS JJ AS PLATTED IN HANNAH RIDGE AT FEATHERGRASS FILING NO. 1, LABELED AS PANEL POINT #1. ELEVATION = 6523.79 (NAVD 1929) (FIMS)
A 1 INCH ORANGE PLASTIC CAP STAMPED "13225" LOCATED AT THE SOUTHWESTERLY CORNER OF TRACT AA AS PLATTED IN HANNAH RIDGE AT FEATHERGRASS FILING NO. 1. ELEVATION = 6485.00 (NAVD 1929) (FIMS)

BASIS OF BEARINGS:

BEARING REFERRED TO HEREIN ARE BASED ON THE SOUTH LINE OF TRACT FF, HANNAH RIDGE AT FEATHERGRASS FILING NO. 1. ASSUMED TO BEAR N89°59'18"W MONUMENTED AT EACH END W/ NO. 5 REBAR W/ ALUMINUM CAP MARKED "POLARIS, PLS 27605".

SIGNING AND STRIPING NOTES:

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY DEVELOPMENT SERVICES.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "C" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND COLLECTOR ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH 3/4" WHITE BORDER THAT IS NOT RECESSED.
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEVELOPMENT SERVICES (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PUBLIC SERVICE DEPARTMENT (PSD) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

EL PASO COUNTY STANDARD CONSTRUCTION NOTES:

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY DEVELOPMENT SERVICES DEPARTMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED.

Table with 3 columns: NO. REVISION, DATE, REVIEW. Row 1: 1 FOR CONSTRUCTION, 05/14/19, REVIEW: PREPARED UNDER MY SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC.

AGENCIES:

- DEVELOPER: ELITE PROPERTIES OF AMERICA, INC. 6385 CORPORATE DRIVE, SUITE 200 COLORADO SPRINGS, CO 80919 MR. JIM BOULTON (719) 592-9333
CIVIL ENGINEER: CLASSIC CONSULTING ENGINEERS & SURVEYORS 619 N. CASCADE AVENUE, SUITE 200 COLORADO SPRINGS, CO 80903 MR. KYLE R. CAMPBELL, P.E. (719) 785-0790
COUNTY ENGINEERING: DEVELOPMENT SERVICES DEPARTMENT 2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, COLORADO 80910 MR. JEFF RICE, P.E. (719) 520-7877
WATER & SANITATION DISTRICT: CHEROKEE METRO DISTRICT 6250 PALMER PARK BLVD COLORADO SPRINGS, COLORADO 80915 MR. JEFF MUNGER, P.E. (719) 597-5080
FIRE DISTRICT: CIMARRON HILLS FIRE PROTECTION DISTRICT 1835 TUSKEGEE PLACE COLORADO SPRINGS, COLORADO 80915 CHIEF CONNER (719) 591-0980
GAS COMPANY: CITY OF COLORADO SPRINGS 101 SOUTH CONEJOS STREET COLORADO SPRINGS, COLORADO 80903 MR. TIM BENEDICT, (719) 668-3574
ELECTRIC COMPANY: MOUNTAIN VIEW ELECTRIC P.O. BOX 1600 LIMON, COLORADO 80828 MR. LES ULFERS, (719) 495-2283
TELEPHONE COMPANY: CENTURY LINK COMMUNICATIONS 308 E. PIKES PEAK AVENUE COLORADO SPRINGS, COLORADO 80903 MS. MELISSA SPENCER (719) 636-4748 MELISSA.SPENCER@CENTURYLINK.COM

THE PROPOSED CHANNEL IMPROVEMENTS AND CONCRETE BOX CULVERT WILL BE INSTALLED WITHIN THE FILING NO. 5 CDS. THE PROPOSED STORMWATER QUALITY FACILITY WILL BE INSTALLED WITHIN THE FILING NO. 7 CDS. THE FILING NO. 6 CDS DO NOT INCLUDE STORM SEWER IMPROVEMENTS. FILING NO. 5, 6 AND 7 WILL BE OVERLOT GRADED CONCURRENTLY. FILING NO. 7 WILL BE CONSTRUCTED INITIALLY IN 3 SEPARATE PHASES (SWQ FACILITY INSTALLED WITHIN PHASE 1). FILING NO. 6 WILL BE CONSTRUCTED FOLLOWING PHASE 3, FILING NO. 7, FILING NO. 5 WILL BE CONSTRUCTED FOLLOWING FILING NO. 6. THE FILING NO. 7 STORMWATER QUALITY FACILITY WILL BE UTILIZED AS A SEDIMENT TRAP INITIALLY. ONCE THE SITE IS STABILIZED AND HOME BUILDING BEGINS THE STORMWATER QUALITY FACILITY WILL BE FINALIZED.

APPROVALS:

ENGINEER'S STATEMENT:

DETAILED IMPROVEMENT PLANS AND SPECIFICATIONS ENGINEER'S STATEMENT: THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

GRADING AND EROSION CONTROL PLAN ENGINEER'S STATEMENT:

THESE GRADING AND EROSION CONTROL PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS.

I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN

Signature of Kyle R. Campbell, Colorado Professional Engineer, License No. 29794.

OWNER/DEVELOPER STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE DRAINAGE REPORT AND PLAN AND THIS SET OF CONSTRUCTION DOCUMENTS. THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

Signature of Douglas M. Sample, Elite Properties of America, Inc.

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

APPROVED Engineering Department 07/15/2019 4:34:45 PM Jennifer Irvine, P.E. County Engineer / EGM Administrator

CIMARRON HILLS FIRE PROTECTION DISTRICT:

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO THE FALCON FIRE PROTECTION DISTRICT SPECIFICATIONS. THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS AS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE CIMARRON HILLS FIRE PROTECTION DISTRICT.

N/A FOR AND ON BEHALF OF CIMARRON HILLS FIRE PROTECTION DISTRICT

CHEROKEE METROPOLITAN DISTRICT WATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED SCOPE OF REVIEW ACCORDING, AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD

APPROVED BY: N/A DATE:

CHEROKEE METROPOLITAN DISTRICT WASTEWATER PLAN APPROVAL

THE CHEROKEE METROPOLITAN DISTRICT RECOGNIZES THE DESIGN PROFESSIONAL OF RECORD AS THE LICENSED ENGINEER HAVING RESPONSIBILITY FOR THE SUBMITTED DESIGN AND THE DISTRICT HAS LIMITED SCOPE OF REVIEW ACCORDING, AS SUCH, THE APPROVAL GRANTED HEREIN IS FOR THE CONSTRUCTION OF THE FACILITIES AS REPRESENTED ON THESE DOCUMENTS. APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE BELOW AND RESUBMITTAL OF THESE PLANS FOR REVIEW AND APPROVAL IS REQUIRED IF CONSTRUCTION DOES NOT BEGIN DURING THIS PERIOD

APPROVED BY: N/A DATE:

SF-18-040

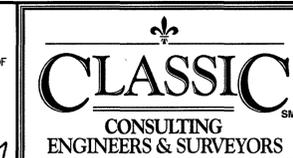
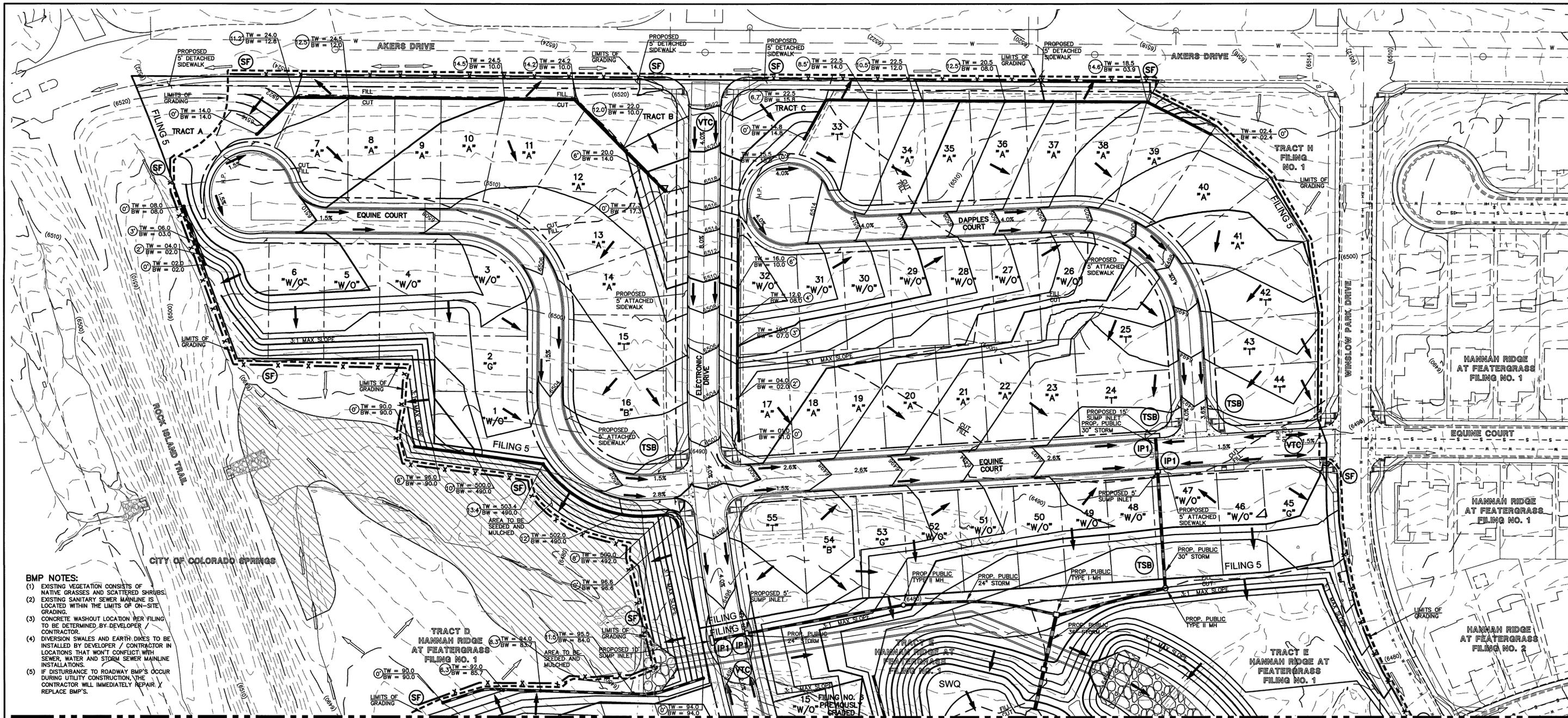


Table with project information: HANNAH RIDGE AT FEATHERGRASS FILING NO. 7 CONSTRUCTION DRAWINGS TITLE SHEET. DESIGNED BY: KRC, SCALE: (H) 1"=VARIES, DATE: 05/14/19. DRAWN BY: KC, SHEET 1 OF 14. CHECKED BY: (V) 1"= NA, JOB NO. 1116.07

Signature of Kyle R. Campbell, Colorado Professional Engineer, License No. 29794.

619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719)785-0790 (719)785-0790(Fax)



- BMP NOTES:**
- (1) EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SCATTERED SHRUBS.
 - (2) EXISTING SANITARY SEWER MAINLINE IS LOCATED WITHIN THE LIMITS OF ON-SITE GRADING.
 - (3) CONCRETE WASHOUT LOCATION PER FILING TO BE DETERMINED BY DEVELOPER/CONTRACTOR.
 - (4) DIVERSION SWALES AND EARTH DIES TO BE INSTALLED BY DEVELOPER / CONTRACTOR IN LOCATIONS THAT WON'T CONFLICT WITH SEWER, WATER AND STORM SEWER MAINLINE INSTALLATIONS.
 - (5) IF DISTURBANCE TO ROADWAY BMP'S OCCUR DURING UTILITY CONSTRUCTION, THE CONTRACTOR WILL IMMEDIATELY REPAIR / REPLACE BMP'S.

NOTES:

AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT

NO PORTION OF THIS SITE IS LOCATED WITHIN A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS (F.I.R.M.) MAP NUMBER 08041C0752F AND EFFECTIVE DATE, MARCH 17, 1997.

THE AVERAGE SOIL CONDITION REFLECTS PRING COURSE SANDY LOAM AS DETERMINED BY THE "SOIL SURVEY OF EL PASO COUNTY AREA" PREPARED BY THE U.S. SOIL CONSERVATION SERVICE.

EXISTING VEGETATION CONSISTS OF TALL NATIVE GRASSES AND WEEDS WITH SPORADIC CACTI AND YUCCAS THROUGH-OUT THE SITE.

EMERGENCY OVERFLOW SWALES FOR INLETS IN THE INTERIM UNTIL CURB AND ASPHALT IS INSTALLED WILL BE THE LOTS, FINAL WILL BE TO OVERTOP THE HIGH POINT IN ROADWAY TO THE NEXT AVAILABLE INLET OR TO PROPOSED POND.

STOCKPILE LOCATIONS FOR HOMEBUILDING TO BE ON EACH INDIVIDUAL LOT THAT IS BEING BUILT UPON.

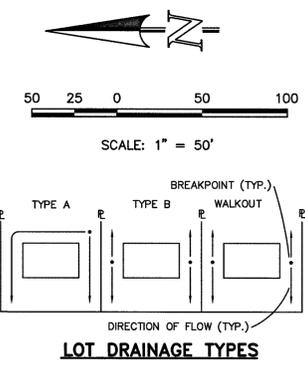
LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION AND ROADWAY CONSTRUCTION WITHIN THE R.O.W., AND OVERLOT GRADING FOR DEVELOPMENT THEN INDIVIDUAL LOTS FOR HOMEBUILDING ONCE CONSTRUCTION OF THE HOME BEGINS.

GRADING WITHIN THIS PHASE WILL BE FULLY DEVELOPED WITH HOME BUILDING OPERATIONS.

LOCATION OF STORAGE FOR MAINTENANCE EQUIPMENT AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR.

ALL AREAS ARE TO BE RESEEDED OUTSIDE OF THE FILING NO. 5, 6 AND 7 AREA. RESEED ALL AREAS AS NEEDED TO PREVENT EROSION AND SEDIMENT RUNOFF ONTO CONSTRUCTION ACTIVITIES.

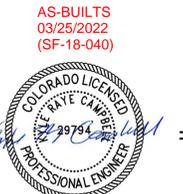
ALL RETAINING WALLS TO BE STACKED BLOCK WALLS. BUILDING PERMIT REQUIRED FOR WALLS 4' OR TALLER.



NOTE:
SIDE LOT LINE SWALES ARE REQUIRED FOR ALL LOTS.

THE PROPOSED CHANNEL IMPROVEMENTS AND CONCRETE BOX CULVERT WILL BE INSTALLED WITHIN THE FILING NO. 5 CDS. THE PROPOSED STORMWATER QUALITY FACILITY WILL BE INSTALLED WITHIN THE FILING NO. 7 CDS. THE FILING NO. 6 CDS DO NOT INCLUDE STORM SEWER IMPROVEMENTS. FILING NO. 5, 6 AND 7 WILL BE OVERLOT GRADED CONCURRENTLY. FILING NO. 7 WILL BE CONSTRUCTED INITIALLY IN 3 SEPARATE PHASES (SWQ FACILITY INSTALLED WITHIN PHASE 1). FILING NO. 6 WILL BE CONSTRUCTED FOLLOWING PHASE 3, FILING NO. 7, FILING NO. 5 WILL BE CONSTRUCTED FOLLOWING FILING NO. 6. THE FILING NO. 7 STORMWATER QUALITY FACILITY WILL BE UTILIZED AS A SEDIMENT TRAP INITIALLY. ONCE THE SITE IS STABILIZED AND HOME BUILDING BEGINS THE STORMWATER QUALITY FACILITY WILL BE FINALIZED.

LOCATION OF STAGING AREAS, STORAGE FOR MAINTENANCE EQUIPMENT, CONCRETE WASHOUT AREAS AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR AND SHALL BE WITHIN CONSTRUCTION SITE BOUNDARIES AS SHOWN.



AS-BUILTS
03/25/2022
(SF-18-040)

LEGEND

- (6770) --- EXISTING CONTOUR
- 6770 --- PROPOSED CONTOUR
- FILING LINE
- BOUNDARY/R.O.W. LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW
- "A" A LOT
- "B" B LOT
- "W/O" WALKOUT LOT
- "T" TRANSITION LOT
- "G" GARDEN LOT
- PROPOSED INLET
- PROPOSED STORM SEWER PIPE
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- PROPOSED RETAINING WALL
- (TSB) TEMPORARY SEDIMENT BASIN
- (SF) SILT FENCE
- (IP) INLET PROTECTION
- (VTC) VEHICLE TRACKING CONTROL

NOTE:
SEE SHEET 5 FOR LOT TEMPLATES
SEE SHEET 5 FOR EROSION CONTROL DETAILS
SF-18-038, 039, 040

48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS

811
UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO.	REVISION	DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

Kyle R. Campbell
KYLE R. CAMPBELL, COLORADO LICENSE NO. 29794

DATE: *dd/yy*

CLASSIC
CONSULTING ENGINEERS & SURVEYORS

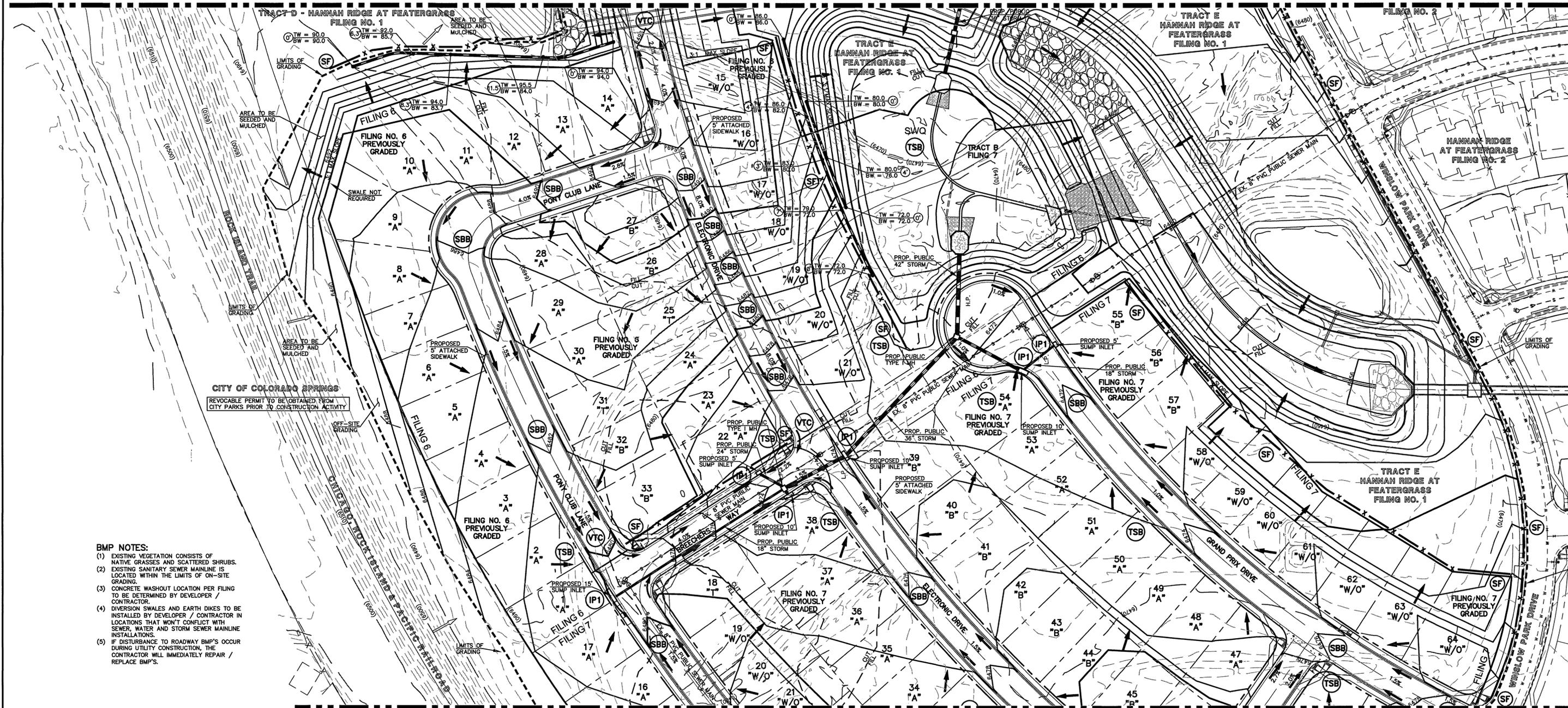
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903

(719) 785-0790
(719) 785-0799 (fax)

HANNAH RIDGE AT FEATHERGRASS
FILING NO. 5, 6 & 7
OVERLOT GRADING AND EROSION CONTROL PLAN
7/15/19

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1" = 50'	SHEET	2 OF 14
CHECKED BY	(V) 1" = NA	JOB NO.	1116.07	





CITY OF COLORADO SPRINGS
 REVOCABLE PERMIT TO BE OBTAINED FROM CITY PARKS PRIOR TO CONSTRUCTION ACTIVITY

BMP NOTES:

- (1) EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SCATTERED SHRUBS.
- (2) EXISTING SANITARY SEWER MAINLINE IS LOCATED WITHIN THE LIMITS OF ON-SITE GRADING.
- (3) CONCRETE WASHOUT LOCATION PER FILING TO BE DETERMINED BY DEVELOPER / CONTRACTOR.
- (4) DIVERSION SWALES AND EARTH DIKES TO BE INSTALLED BY DEVELOPER / CONTRACTOR IN LOCATIONS THAT WON'T CONFLICT WITH SEWER, WATER AND STORM SEWER MAINLINE INSTALLATIONS.
- (5) IF DISTURBANCE TO ROADWAY BMP'S OCCUR DURING UTILITY CONSTRUCTION, THE CONTRACTOR WILL IMMEDIATELY REPAIR / REPLACE BMP'S.

NOTES:

AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT

NO PORTION OF THIS SITE IS LOCATED WITHIN A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS (F.I.R.M.) MAP NUMBER 08041C0752F AND EFFECTIVE DATE, MARCH 17, 1997.

THE AVERAGE SOIL CONDITION REFLECTS PRING COURSE SANDY LOAM AS DETERMINED BY THE "SOIL SURVEY OF EL PASO COUNTY AREA" PREPARED BY THE U.S. SOIL CONSERVATION SERVICE.

EXISTING VEGETATION CONSISTS OF TALL NATIVE GRASSES AND WEEDS WITH SPORADIC CACTI AND YUCCAS THROUGH-OUT THE SITE.

EMERGENCY OVERFLOW SWALES FOR INLETS IN THE INTERIM UNTIL CURB AND ASPHALT IS INSTALLED WILL BE THE LOTS, FINAL WILL BE TO OVERTOP THE HIGH POINT IN ROADWAY TO THE NEXT AVAILABLE INLET OR TO PROPOSED POND.

STOCKPILE LOCATIONS FOR HOMEBUILDING TO BE ON EACH INDIVIDUAL LOT THAT IS BEING BUILT UPON.

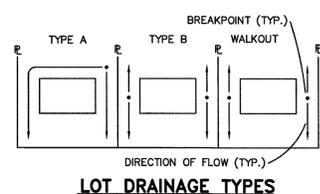
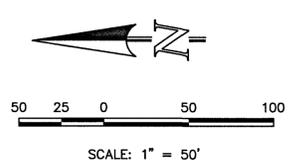
LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION AND ROADWAY CONSTRUCTION WITHIN THE R.O.W., AND OVERLOT GRADING FOR DEVELOPMENT THEN INDIVIDUAL LOTS FOR HOMEBUILDING ONCE CONSTRUCTION OF THE HOME BEGINS.

GRADING WITHIN THIS PHASE WILL BE FULLY DEVELOPED WITH HOME BUILDING OPERATIONS.

LOCATION OF STORAGE FOR MAINTENANCE EQUIPMENT AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR.

ALL AREAS ARE TO BE RESEEDD OUTSIDE OF THE FILING NO. 5, 6 AND 7 AREA. RESEED ALL AREAS AS NEEDED TO PREVENT EROSION AND SEDIMENT RUNOFF ONTO CONSTRUCTION ACTIVITIES.

ALL RETAINING WALLS TO BE STACKED BLOCK WALLS. BUILDING PERMIT REQUIRED FOR WALLS 4' OR TALLER.



NOTE:
 SIDE LOT LINE SWALES ARE REQUIRED FOR ALL LOTS.

AS-BUILTS
 03/25/2022
 (SF-18-040)

THE PROPOSED CHANNEL IMPROVEMENTS AND CONCRETE BOX CULVERT WILL BE INSTALLED WITHIN THE FILING NO. 5 CDS. THE PROPOSED STORMWATER QUALITY FACILITY WILL BE INSTALLED WITHIN THE FILING NO. 7 CDS. THE FILING NO. 6 CDS DO NOT INCLUDE STORM SEWER IMPROVEMENTS. FILING NO. 5, 6 AND 7 WILL BE OVERLOT GRADED CONCURRENTLY. FILING NO. 7 WILL BE CONSTRUCTED INITIALLY IN 3 SEPARATE PHASES (SWQ FACILITY INSTALLED WITHIN PHASE 1). FILING NO. 6 WILL BE CONSTRUCTED FOLLOWING PHASE 3. FILING NO. 7. FILING NO. 5 WILL BE CONSTRUCTED FOLLOWING FILING NO. 6. THE FILING NO. 7 STORMWATER QUALITY FACILITY WILL BE UTILIZED AS A SEDIMENT TRAP INITIALLY. ONCE THE SITE IS STABILIZED AND HOME BUILDING BEGINS THE STORMWATER QUALITY FACILITY WILL BE FINALIZED.

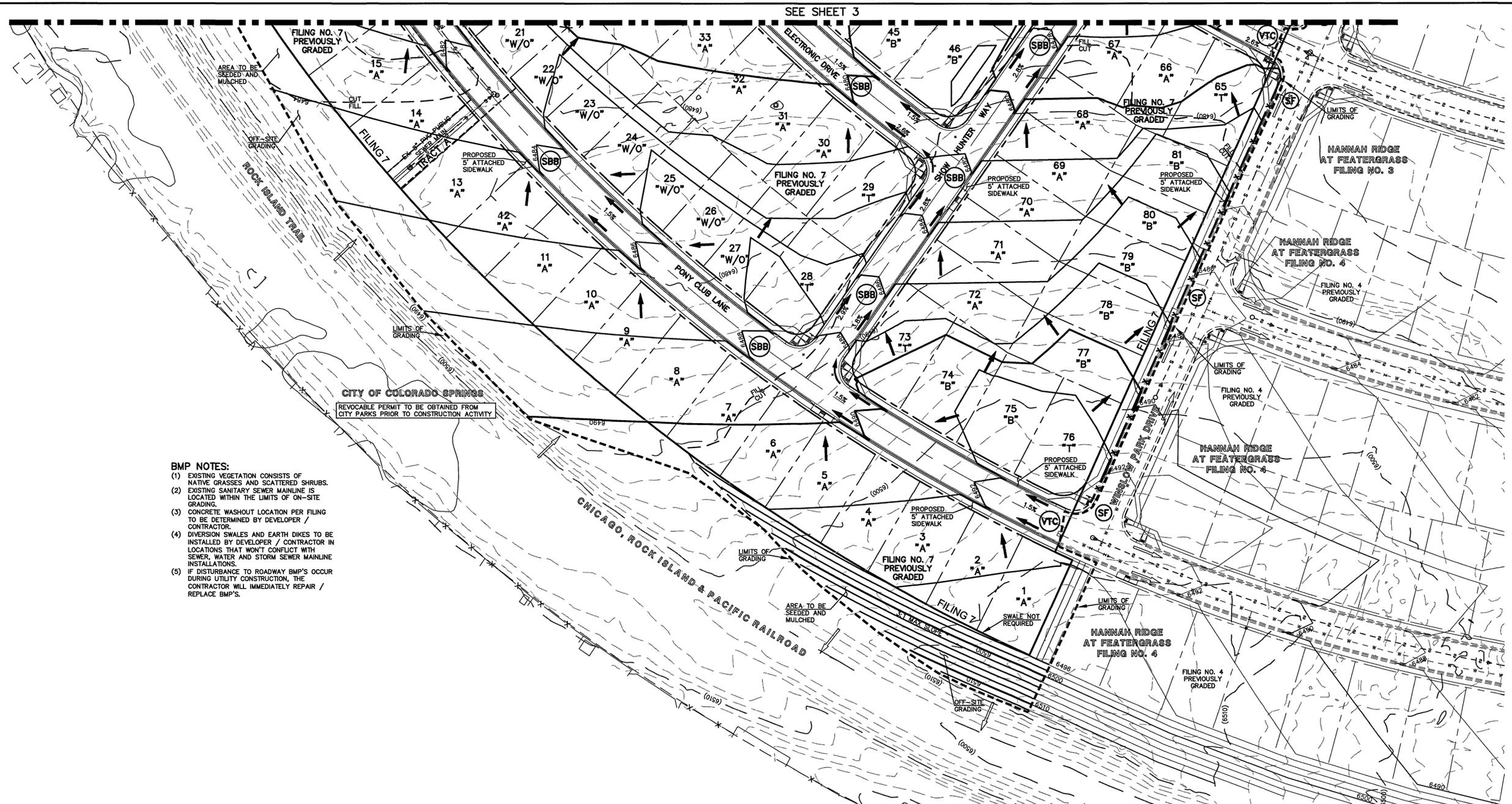
LOCATION OF STAGING AREAS, STORAGE FOR MAINTENANCE EQUIPMENT, CONCRETE WASHOUT AREAS AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR AND SHALL BE WITHIN CONSTRUCTION SITE BOUNDARIES AS SHOWN.

LEGEND

- (6770) EXISTING CONTOUR
- 6770 PROPOSED CONTOUR
- FILING LINE
- BOUNDARY/R.O.W. LINE
- EXISTING FLOW DIRECTION
- PROPOSED FLOW
- "A" A LOT
- "B" B LOT
- "W/O" WALKOUT LOT
- "T" TRANSITION LOT
- "G" GARDEN LOT
- PROPOSED INLET
- HP PROPOSED HIGH POINT
- LP PROPOSED LOW POINT
- PROPOSED RETAINING WALL
- (TSB) TEMPORARY SEDIMENT BASIN
- (SF) SILT FENCE
- (IP) INLET PROTECTION
- (VTC) VEHICLE TRACKING CONTROL
- (SBB) STRAW BALE BARRIER

NOTE:
 SEE SHEET 5 FOR LOT TEMPLATES
 SEE SHEET 5 FOR EROSION CONTROL DETAILS
 SF-18-038, 039, 040

<p>48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS</p> <p>811 UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW</p> <p>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO. REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	NO. REVISION	DATE					<p>REVIEW:</p> <p>PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC</p> <p><i>Kyle R. Campbell</i> KYLE R. CAMPBELL, COLORADO P.E. #29794</p>	<p style="text-align: center;">CLASSIC CONSULTING ENGINEERS & SURVEYORS</p> <p>719/785-0790 719/785-0799(Fax)</p>	<p>HANNAH RIDGE AT FEATHERGRASS FILING NO. 5, 6 & 7 OVERLOT GRADING AND EROSION CONTROL PLAN</p> <p style="text-align: right;">7/15/19</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DESIGNED BY</td> <td>KRC</td> <td>SCALE</td> <td>DATE</td> <td>10/12/18</td> </tr> <tr> <td>DRAWN BY</td> <td>KC</td> <td>(H) 1" = 50'</td> <td>SHEET</td> <td>3 OF 14</td> </tr> <tr> <td>CHECKED BY</td> <td>(V) 1" = NA</td> <td>JOB NO.</td> <td colspan="2">1116.07</td> </tr> </table>	DESIGNED BY	KRC	SCALE	DATE	10/12/18	DRAWN BY	KC	(H) 1" = 50'	SHEET	3 OF 14	CHECKED BY	(V) 1" = NA	JOB NO.	1116.07	
NO. REVISION	DATE																								
DESIGNED BY	KRC	SCALE	DATE	10/12/18																					
DRAWN BY	KC	(H) 1" = 50'	SHEET	3 OF 14																					
CHECKED BY	(V) 1" = NA	JOB NO.	1116.07																						



- BMP NOTES:**
- (1) EXISTING VEGETATION CONSISTS OF NATIVE GRASSES AND SCATTERED SHRUBS.
 - (2) EXISTING SANITARY SEWER MAINLINE IS LOCATED WITHIN THE LIMITS OF ON-SITE GRADING.
 - (3) CONCRETE WASHOUT LOCATION PER FILING TO BE DETERMINED BY DEVELOPER / CONTRACTOR.
 - (4) DIVERSION SWALES AND EARTH DIKES TO BE INSTALLED BY DEVELOPER / CONTRACTOR IN LOCATIONS THAT WON'T CONFLICT WITH SEWER, WATER AND STORM SEWER MAINLINE INSTALLATIONS.
 - (5) IF DISTURBANCE TO ROADWAY BMP'S OCCUR DURING UTILITY CONSTRUCTION, THE CONTRACTOR WILL IMMEDIATELY REPAIR / REPLACE BMP'S.

NOTES:

AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF THE CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT

NO PORTION OF THIS SITE IS LOCATED WITHIN A FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAPS (F.I.R.M.) MAP NUMBER 08041C0752F AND EFFECTIVE DATE, MARCH 17, 1997.

THE AVERAGE SOIL CONDITION REFLECTS PRING COURSE SANDY LOAM AS DETERMINED BY THE "SOIL SURVEY OF EL PASO COUNTY AREA" PREPARED BY THE U.S. SOIL CONSERVATION SERVICE.

EXISTING VEGETATION CONSISTS OF TALL NATIVE GRASSES AND WEEDS WITH SPORADIC CACTI AND YUCCAS THROUGH-OUT THE SITE.

EMERGENCY OVERFLOW SWALES FOR INLETS IN THE INTERIM UNTIL CURB AND ASPHALT IS INSTALLED WILL BE THE LOTS, FINAL WILL BE TO OVERTOP THE HIGH POINT IN ROADWAY TO THE NEXT AVAILABLE INLET OR TO PROPOSED POND.

STOCKPILE LOCATIONS FOR HOMEBUILDING TO BE ON EACH INDIVIDUAL LOT THAT IS BEING BUILT UPON.

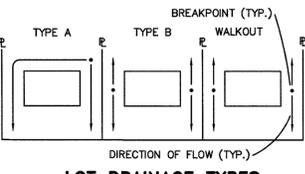
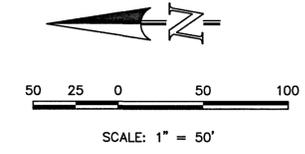
LIMITS OF DISTURBANCE FOR THIS PLAN INCLUDE UTILITY INSTALLATION AND ROADWAY CONSTRUCTION WITHIN THE R.O.W., AND OVERLOT GRADING FOR DEVELOPMENT THEN INDIVIDUAL LOTS FOR HOMEBUILDING ONCE CONSTRUCTION OF THE HOME BEGINS.

GRADING WITHIN THIS PHASE WILL BE FULLY DEVELOPED WITH HOME BUILDING OPERATIONS.

LOCATION OF STORAGE FOR MAINTENANCE EQUIPMENT AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR.

ALL AREAS ARE TO BE RESEDED OUTSIDE OF THE FILING NO. 5, 6 AND 7 AREA. RESEED ALL AREAS AS NEEDED TO PREVENT EROSION AND SEDIMENT RUNOFF ONTO CONSTRUCTION ACTIVITIES.

ALL RETAINING WALLS TO BE STACKED BLOCK WALLS. BUILDING PERMIT REQUIRED FOR WALLS 4' OR TALLER.



AS-BUILTS
 03/25/2022
 (SF-18-040)

NOTE:
 SIDE LOT LINE SWALES ARE REQUIRED FOR ALL LOTS.

THE PROPOSED CHANNEL IMPROVEMENTS AND CONCRETE BOX CULVERT WILL BE INSTALLED WITHIN THE FILING NO. 5 CDS. THE PROPOSED STORMWATER QUALITY FACILITY WILL BE INSTALLED WITHIN THE FILING NO. 7 CDS. THE FILING NO. 6 CDS DO NOT INCLUDE STORM SEWER IMPROVEMENTS. FILING NO. 5, 6 AND 7 WILL BE OVERLOT GRADED CONCURRENTLY. FILING NO. 7 WILL BE CONSTRUCTED INITIALLY IN 3 SEPARATE PHASES (SWQ FACILITY INSTALLED WITHIN PHASE 1). FILING NO. 6 WILL BE CONSTRUCTED FOLLOWING PHASE 3, FILING NO. 7, FILING NO. 5 WILL BE CONSTRUCTED FOLLOWING FILING NO. 6. THE FILING NO. 7 STORMWATER QUALITY FACILITY WILL BE UTILIZED AS A SEDIMENT TRAP INITIALLY. ONCE THE SITE IS STABILIZED AND HOME BUILDING BEGINS THE STORMWATER QUALITY FACILITY WILL BE FINALIZED.

LOCATION OF STAGING AREAS, STORAGE FOR MAINTENANCE EQUIPMENT, CONCRETE WASHOUT AREAS AND TEMPORARY DISPOSAL AREAS WILL BE ADDED TO THIS PLAN BY SWMP ADMINISTRATOR UPON COORDINATION WITH SELECTED CONTRACTOR AND SHALL BE WITHIN CONSTRUCTION SITE BOUNDARIES AS SHOWN.

LEGEND

(6770)	EXISTING CONTOUR		PROPOSED RETAINING WALL
6770	PROPOSED CONTOUR		TEMPORARY SEDIMENT BASIN
	FILING LINE		SILT FENCE
	BOUNDARY/R.O.W. LINE		INLET PROTECTION
	EXISTING FLOW DIRECTION		VEHICLE TRACKING CONTROL
	PROPOSED FLOW		STRAW BALE BARRIER
"A"	A LOT		
"B"	B LOT		
"W/O"	WALKOUT LOT		
"T"	TRANSITION LOT		
"G"	GARDEN LOT		
	PROPOSED INLET		
	PROPOSED STORM SEWER PIPE		
HP	PROPOSED HIGH POINT		
LP	PROPOSED LOW POINT		

NOTE:
 SEE SHEET 5 FOR LOT TEMPLATES
 SEE SHEET 5 FOR EROSION CONTROL DETAILS
SF-18-038, 039, 040

48 HOURS BEFORE YOU DIG,
 CALL UTILITY LOCATORS
811
 UTILITY NOTIFICATION CENTER OF COLORADO
 IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO.	REVISION	DATE

REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC

KYLE R. CAMPBELL, COLORADO LICENSE NO. 29794

CLASSIC
 CONSULTING
 ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200
 Colorado Springs, Colorado 80903
 (719)785-0790
 (719)785-0799(Fax)

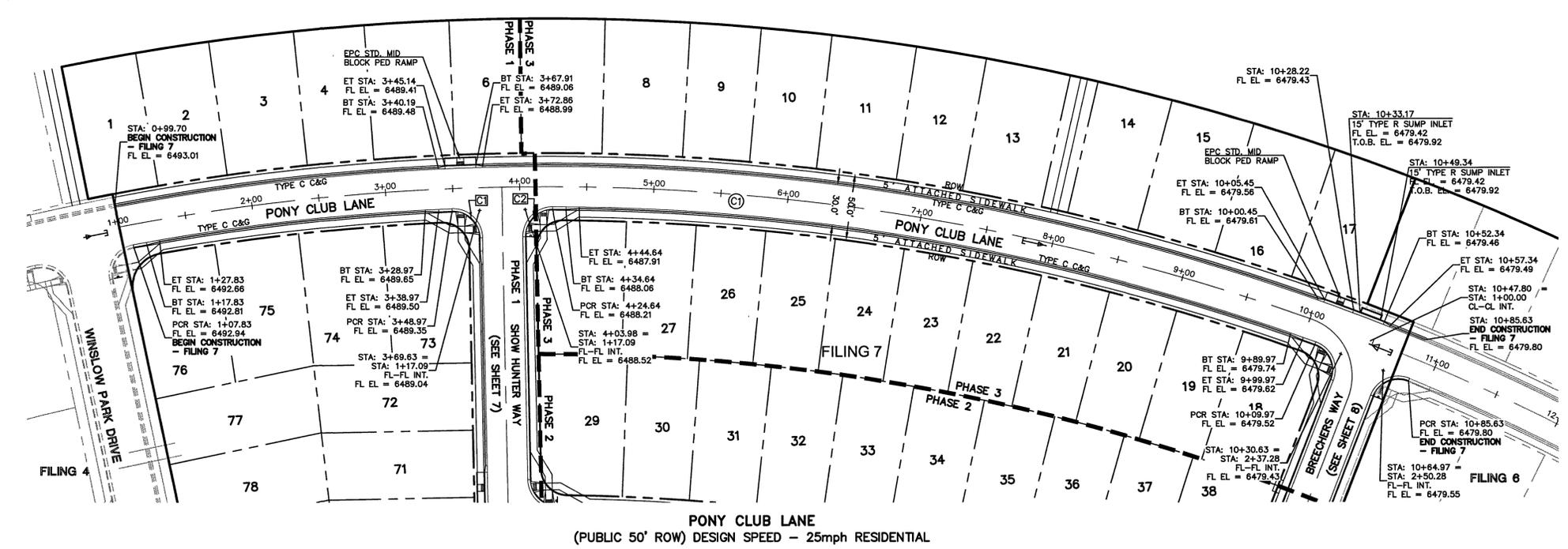
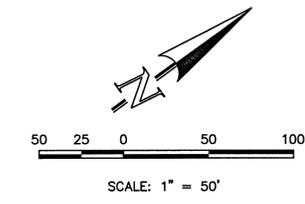
HANNAH RIDGE AT FEATHERGRASS
 FILING NO. 5, 6 & 7
 OVERLOT GRADING AND EROSION CONTROL PLAN

7/15/19

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1" = 50'	SHEET	4 OF 14
CHECKED BY	(V) 1" = NA	JOB NO.	1116.07	



N:\11605\DRAWINGS\CONSTRUCTION\FILING_5\04-111605-01G-03.dwg, 6/7/2019 1:57:10 PM, 1:1

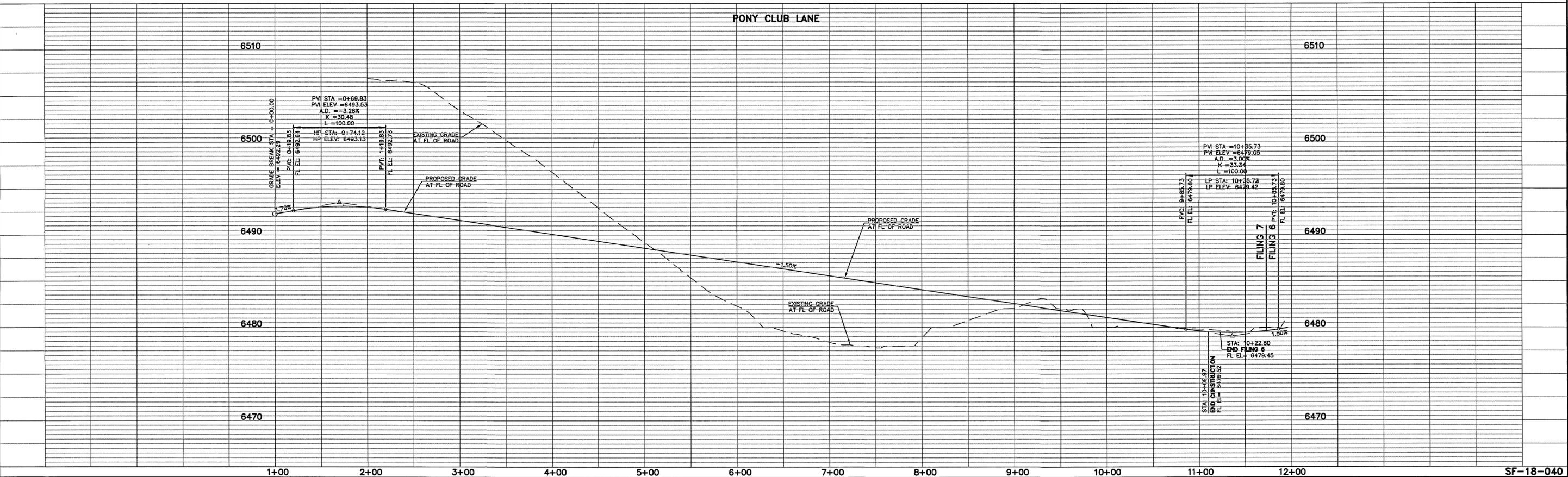


CENTERLINE CURVE TABLE				FL CURB CURVE TABLE			
NO.	LENGTH	RADIUS	DELTA	NO.	LENGTH	RADIUS	DELTA
C1	922.80	1685.08	31.38	C1	31.86	20.00	91.29
				C2	31.86	20.00	91.29

STREET ABBREVIATION INDEX:

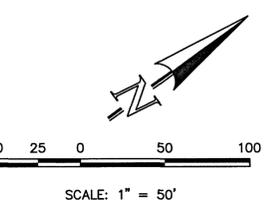
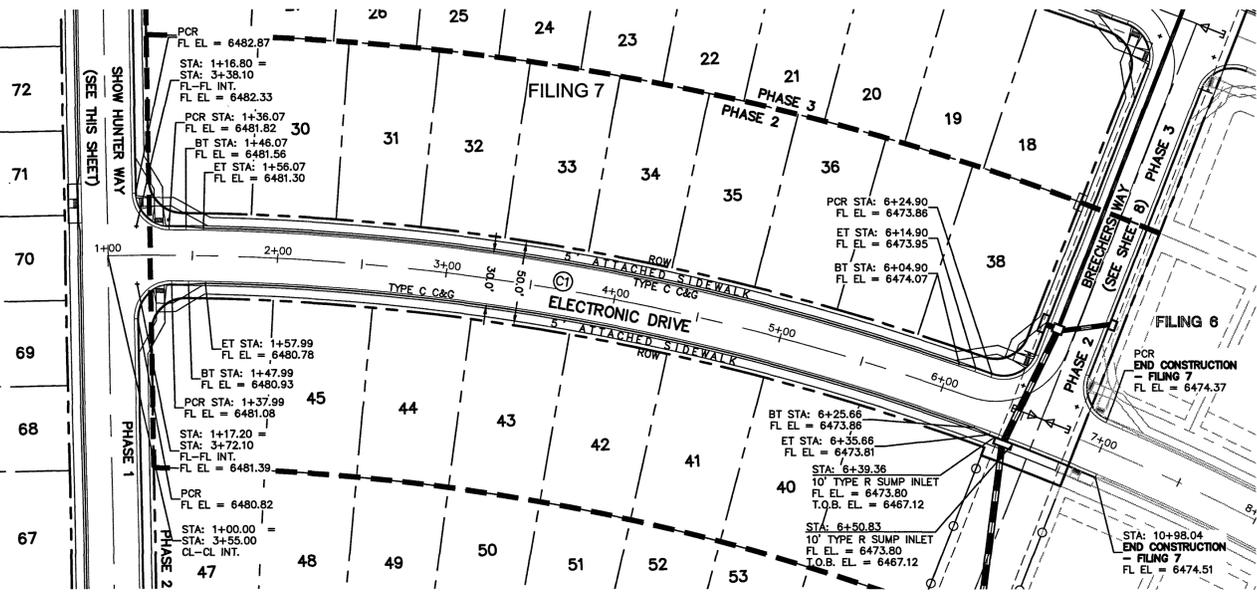
PCL	PONY CLUB LANE
SHW	SHOW HUNTER WAY

AS-BUILTS
03/25/2022
(SF-18-040)



<p>48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811 UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW</p> <p>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	<p>NO. REVISION</p> <table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	DATE				<p>REVIEW:</p> <p>PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC</p> <p>KYLE R. CAMPBELL, COLORADO P.E. #29794</p>	<p>HANNAH RIDGE AT FEATHERGRASS STREET IMPROVEMENT PLANS PONY CLUB LANE</p> <p>DESIGNED BY: KRC DRAWN BY: KC CHECKED BY: (V)</p> <p>SCALE: (H) 1" = 50' (V) 1" = 5'</p> <p>DATE: 10/12/18 SHEET 6 OF 14 JOB NO. 1116.07</p>
	NO.	REVISION	DATE						
<p>CLASSIC CONSULTING ENGINEERS & SURVEYORS</p> <p>619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903</p> <p>(719) 785-0790 (719) 785-0799 (Fax)</p>									

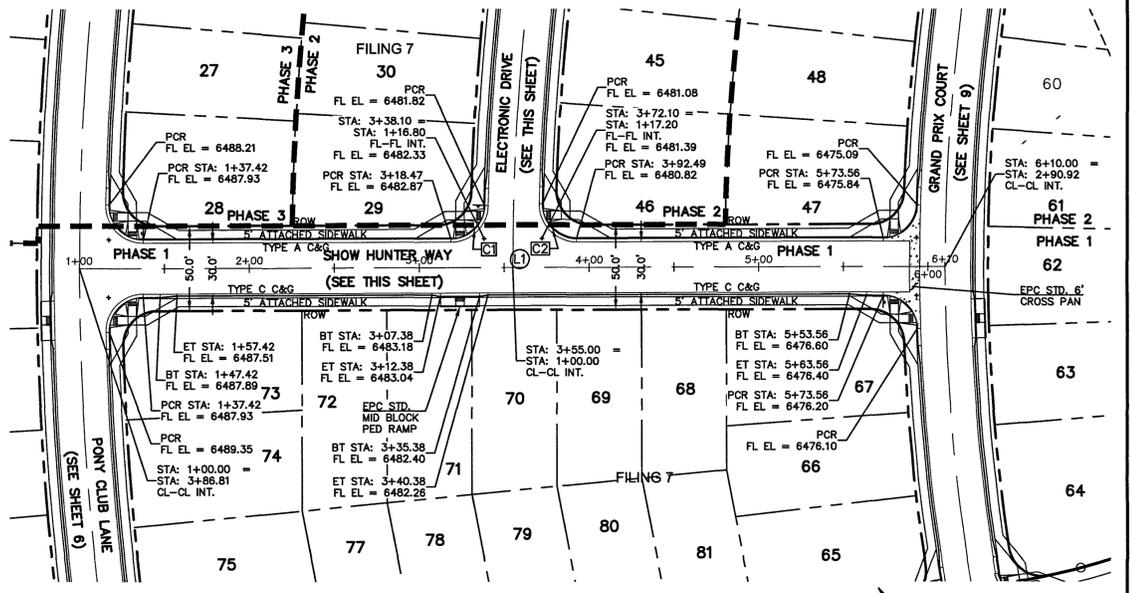
N:\11605\DRAWINGS\CONSTRUCTION\FILING 7\06-111607-SI-01.dwg, 6/7/2019 1:58:41 PM, 1:1



ELECTRONIC DRIVE
(PUBLIC 50' ROW) DESIGN SPEED - 25mph RESIDENTIAL

CENTERLINE CURVE TABLE			
LENGTH	RADIUS	DELTA	
C1	535.97	1430.08	21.47

STREET ABBREVIATION INDEX:
 PCL PONY CLUB LANE
 SHW SHOW HUNTER WAY
 ETD ELECTRONIC DRIVE
 GPC GRAND PRIX COURT

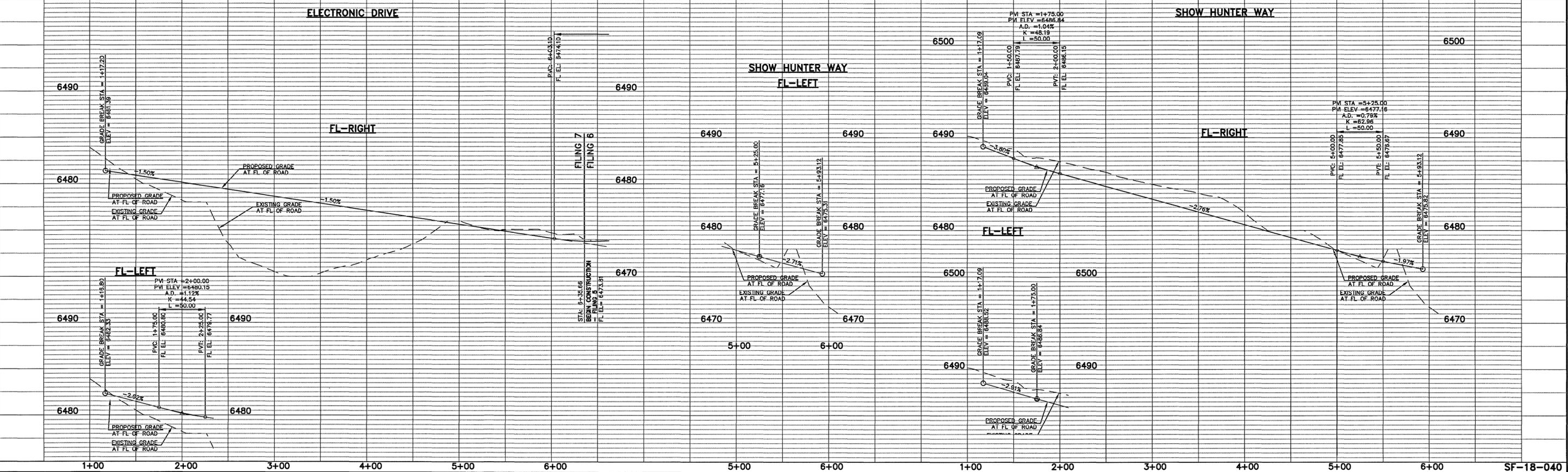


SHOW HUNTER WAY
(PUBLIC 50' ROW) DESIGN SPEED - 25mph RESIDENTIAL

CENTERLINE LINE TABLE				FL CURB CURVE TABLE		
LENGTH	BEARING		LENGTH	RADIUS	DELTA	
L1	510.00	S55° 05' 24.30"E	C1	30.91	20.00	88.85
			C2	31.95	20.00	91.52



AS-BUILTS
03/25/2022
(SF-18-040)



48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811
UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO. REVISION	DATE

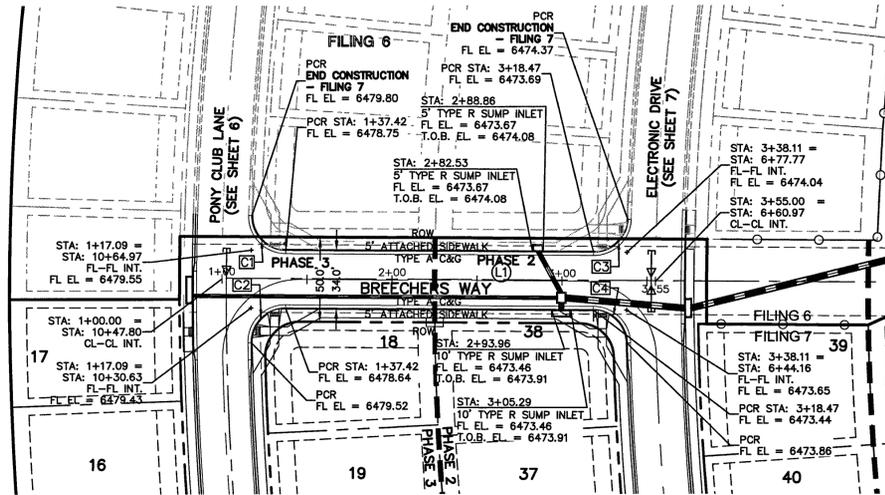
REVIEW:
 PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC

Kyle R. Campbell
 KYLE R. CAMPBELL, COLORADO LICENSE #29794



HANNAH RIDGE AT FEATHERGRASS
 FILING NO. 7
 STREET IMPROVEMENT PLANS
 ELECTRONIC DRIVE/SHOW HUNTER WAY 7/15/19

DESIGNED BY	KRC	SCALE	DATE	10/12/18
DRAWN BY	KC	(H) 1" = 50'	SHEET	7 OF 14
CHECKED BY	(V) 1" = 5'	JOB NO.	1116.07	



FL CURB CURVE TABLE															
<table border="1"> <thead> <tr> <th>LENGTH</th> <th>RADIUS</th> <th>DELTA</th> </tr> </thead> <tbody> <tr> <td>C1</td> <td>31.86</td> <td>20.00</td> </tr> <tr> <td>C2</td> <td>31.86</td> <td>20.00</td> </tr> <tr> <td>C3</td> <td>30.91</td> <td>20.00</td> </tr> <tr> <td>C4</td> <td>30.91</td> <td>20.00</td> </tr> </tbody> </table>	LENGTH	RADIUS	DELTA	C1	31.86	20.00	C2	31.86	20.00	C3	30.91	20.00	C4	30.91	20.00
LENGTH	RADIUS	DELTA													
C1	31.86	20.00													
C2	31.86	20.00													
C3	30.91	20.00													
C4	30.91	20.00													

CENTERLINE LINE TABLE				
<table border="1"> <thead> <tr> <th>LENGTH</th> <th>BEARING</th> </tr> </thead> <tbody> <tr> <td>L1</td> <td>S32° 36' 54.00"E</td> </tr> </tbody> </table>	LENGTH	BEARING	L1	S32° 36' 54.00"E
LENGTH	BEARING			
L1	S32° 36' 54.00"E			

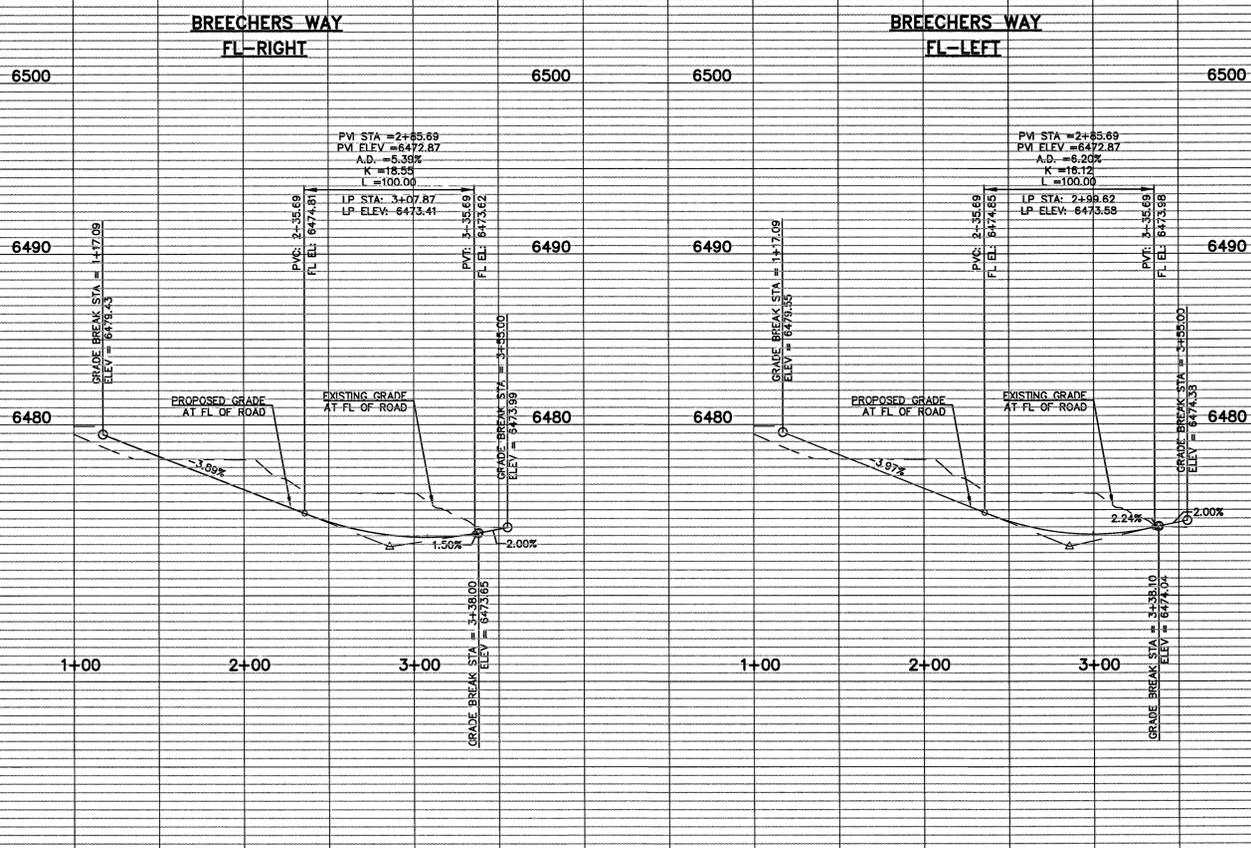
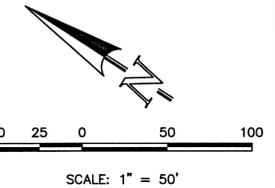
BRECHERS WAY
(PUBLIC 50' ROW) DESIGN SPEED - 25mph RESIDENTIAL

AS-BUILTS
03/25/2022
(SF-18-040)



STREET ABBREVIATION INDEX:

PCL PONY CLUB LANE
BOW BRECHERS WAY
ETD ELECTRONIC DRIVE



SF-18-040

48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811
UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO. REVISION	DATE	REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

Kyle R. Campbell
KYLE R. CAMPBELL, COLORADO P.E. #29794



HANNAH RIDGE AT FEATHERGRASS
FILE NO. 7
STREET IMPROVEMENT PLANS
BRECHERS WAY

DESIGNED BY: KRC SCALE: DATE: 10/12/18
DRAWN BY: KC (H) 1"= 50' SHEET 8 OF 14
CHECKED BY: (V) 1"= 5' JOB NO. 1116.07

STREET NAME (D-3)

STREET NAME NO OUTLET

STREET NAME

SPEED LIMIT 25

SPEED LIMIT (R2-1)



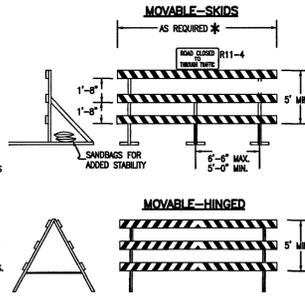
STOP (R1-1) (30X30)

NOTE: ALL INTERNAL SIGNS SHALL BE: 4" FONT LETTER SIZE 6" FONT LETTER SIZE ON ALL STREETS POSTED 30MPH OR GREATER

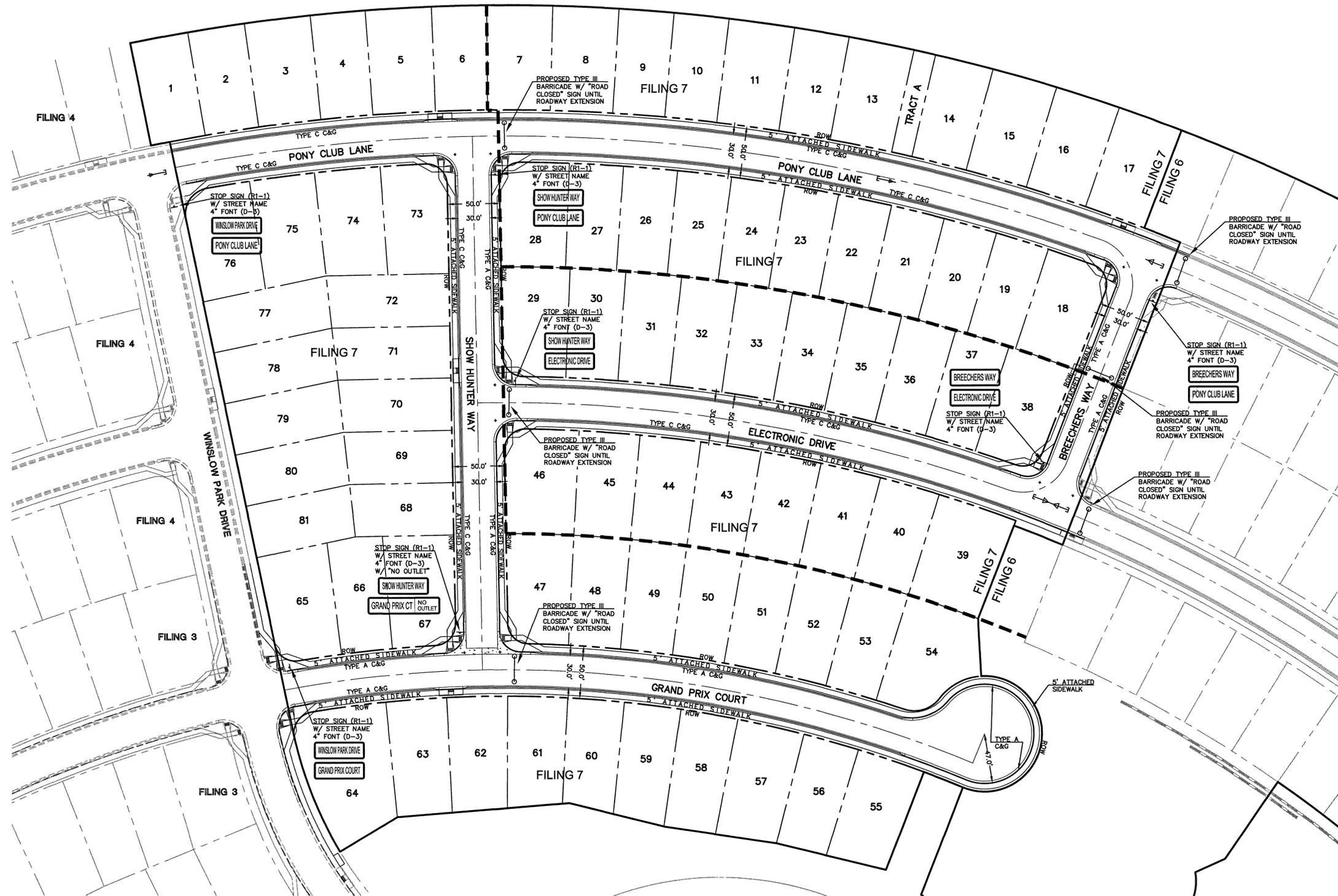
RAIL LENGTH TABLE *

TYPE 3 BARRICADE	LENGTH
F - A	8' - 14'
F - B	15' - 24'
F - C	25' - 35'
F - D	> 35'

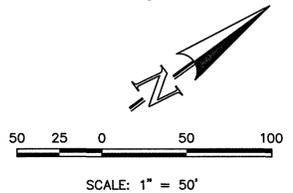
- NOTES:
- TYPE 3 BARRICADES HAVE 3 REFLECTORIZED RAIL FACES IF FACING TRAFFIC IN ONE DIRECTION AND 6 FACING TRAFFIC IN TWO DIRECTIONS.
 - THE PORTION OF THE POST ABOVE THE GROUND LINE SHALL BE PAINTED IN ACCORDANCE WITH THE APPROPRIATE GENERAL NOTE.
 - DETACHABLE EXTENSION WING RAILS FOR BYPASSING OF CONSTRUCTION EQUIPMENT ARE PERMITTED, WHEN NECESSARY, ON FIXED OR MOVABLE TYPE 3 BARRICADES. THE LENGTH SHALL BE ADEQUATE TO CLOSE THE BORROW PIT AND/OR SHOULDER AS REQUIRED.



TYPICAL TYPE 3 BARRICADES



AS-BUILTS 03/25/2022 (SF-18-040)



SF-18-040

48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811
UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO. REVISION	DATE	REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC

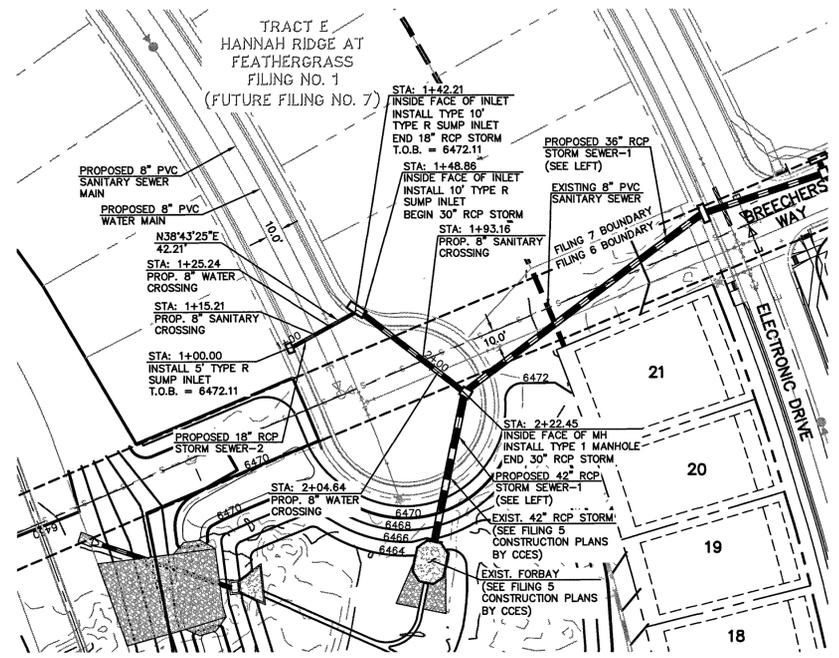
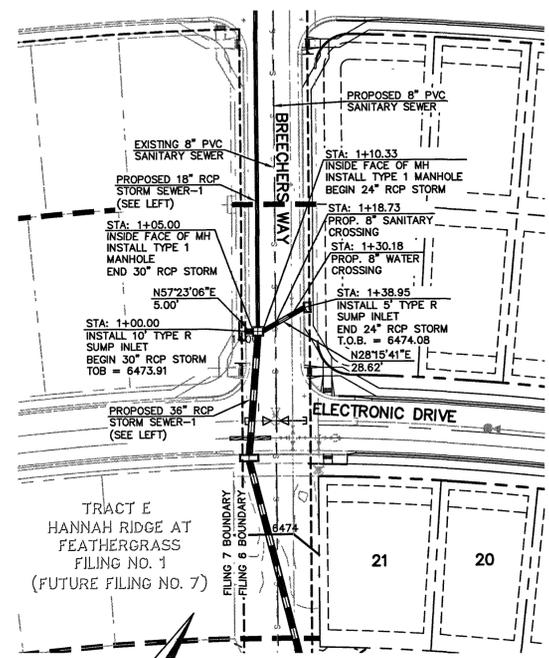
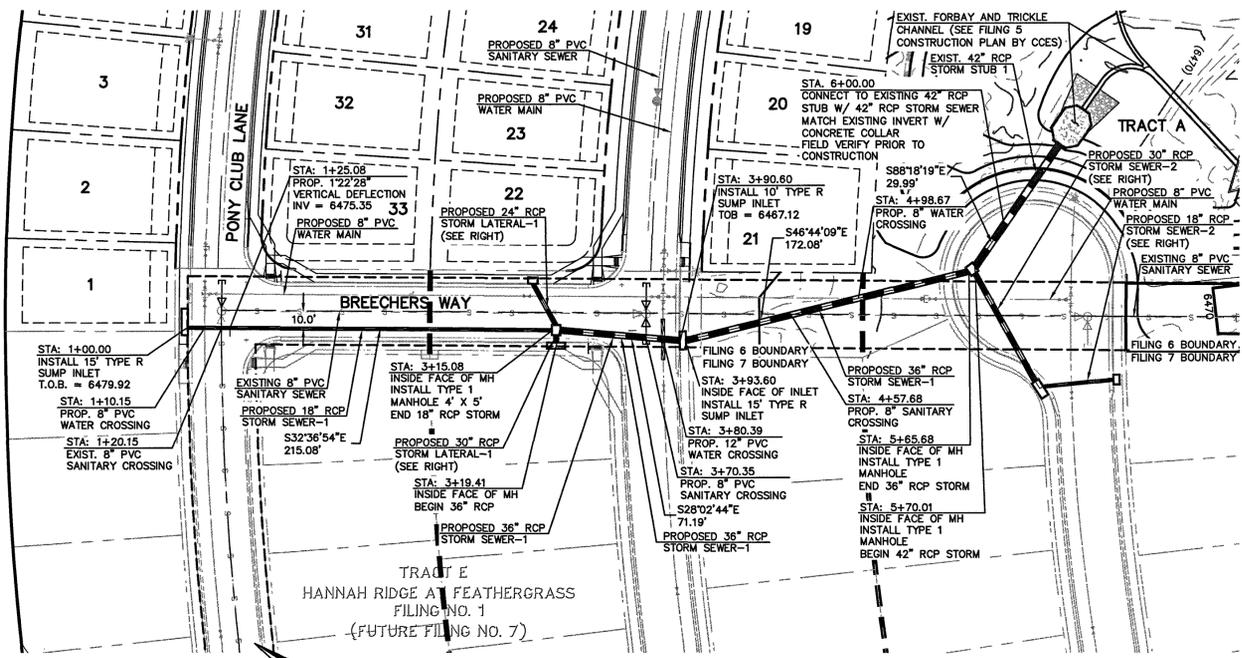
KYLE R. CAMPBELL, COLORADO P.E. #29794



HANNAH RIDGE AT FEATHERGRASS FILING NO. 7			
STREET IMPROVEMENT SIGNAGE PLAN			
DESIGNED BY	KRC	SCALE	DATE 7/15/19
DRAWN BY	KC	(H) 1" = 50'	SHEET 10 OF 14
CHECKED BY	(V) 1" = 5'	JOB NO.	1116.07

619 N. Cascade Avenue, Suite 200 (719)785-0790
Colorado Springs, Colorado 80903 (719)785-0799(Fax)

N:\11605\DRAWINGS\CONSTRUCTION\FILING 7\10-111607-SI-05.dwg, 6/7/2019 2:04:19 PM, 1:1



STORM SEWER RUN 1

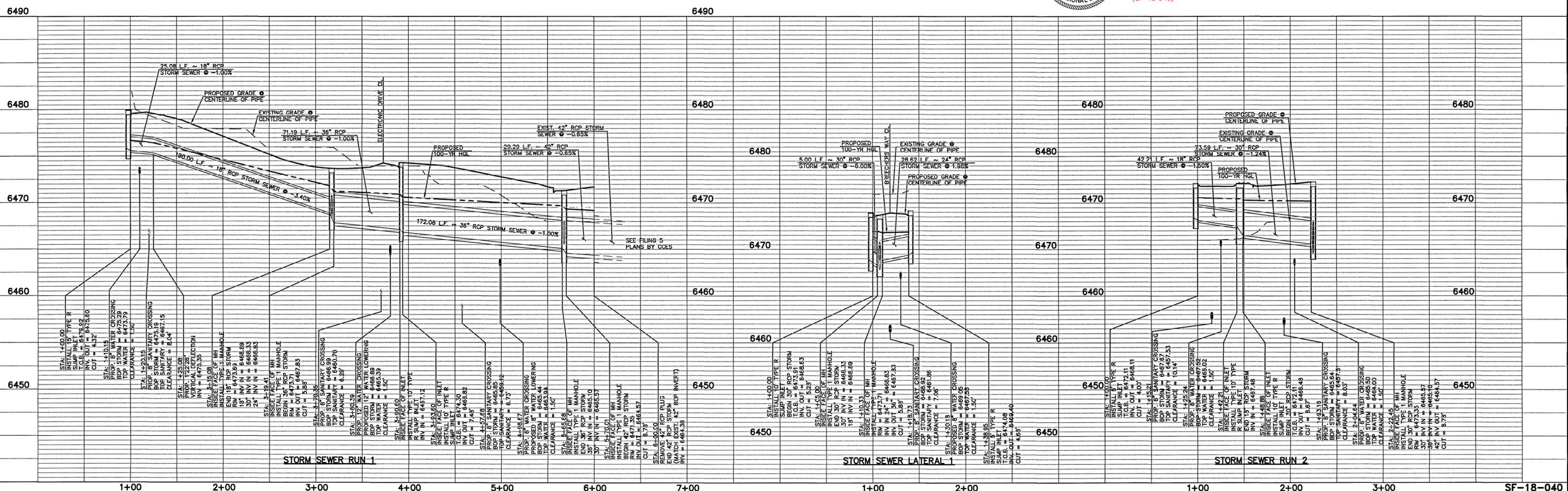
STORM SEWER LATERAL 1

STORM SEWER RUN 2

SCALE: 1" = 50' HORIZ.
SCALE: 1" = 5' VERT.



AS-BUILTS
03/25/2022
(SF-18-040)



STORM SEWER RUN 1

STORM SEWER LATERAL 1

STORM SEWER RUN 2

LEGEND

* (Symbol)	PROPOSED FIRE HYDRANT	* (Symbol)	EXISTING FIRE HYDRANT
(Symbol)	PROPOSED WATER MAIN	(Symbol)	EXISTING WATER MAIN
(Symbol)	PROPOSED SANITARY SEWER MAIN	(Symbol)	EXISTING SANITARY SEWER MAIN
(Symbol)	PROPOSED STORM SEWER	(Symbol)	EXISTING STORM SEWER
(Symbol)	PROPOSED STORM INLET	(Symbol)	EXISTING STORM INLET
(Symbol)	ROW/BOUNDARY LINE	(Symbol)	EXISTING GAS MAIN
(Symbol)		(Symbol)	EXISTING ELECTRIC

**48 HOURS BEFORE YOU DIG,
CALL UTILITY LOCATORS
811**

UTILITY NOTIFICATION CENTER OF COLORADO
IT'S THE LAW

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NO. REVISION	DATE	REVIEW:

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF
CLASSIC CONSULTING ENGINEERS & SURVEYORS, LLC

Kyle R. Campbell
KYLE R. CAMPBELL, COLORADO LICENSE #29794

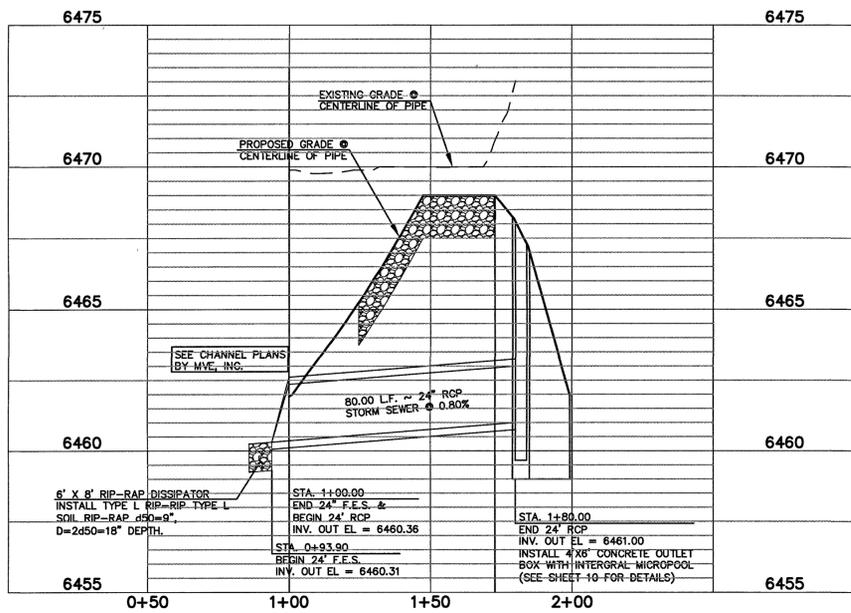
DATE: 03/25/2022



**HANNAH RIDGE AT FEATHERGRASS
FILING NO. 7
PUBLIC STORM SEWER PLANS**

7/15/19

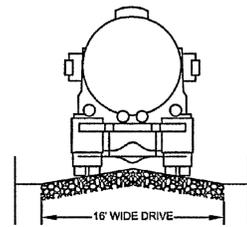
DESIGNED BY	MAW	SCALE	DATE	10/12/18
DRAWN BY	ESO	(H) 1" = 50'	SHEET	11 OF 14
CHECKED BY	(V) 1" = 5'	JOB NO.	1116.06	



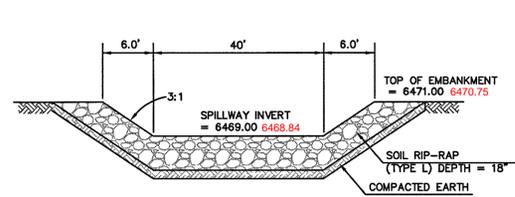
**DETENTION FACILITY NO. 1
POND OUTLET PROFILE**
SCALE: HORIZONTAL 1"=30'
VERTICAL 1"=3'

INSTALL JOINT FASTENERS FROM
STA: 0+93.90-1+50.00

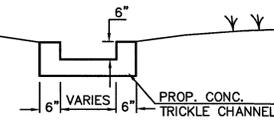
AS-BUILTS
03/25/2022
(SF-18-040)



TYPICAL ACCESS ROAD CROSS SECTION
SCALE: N.T.S.

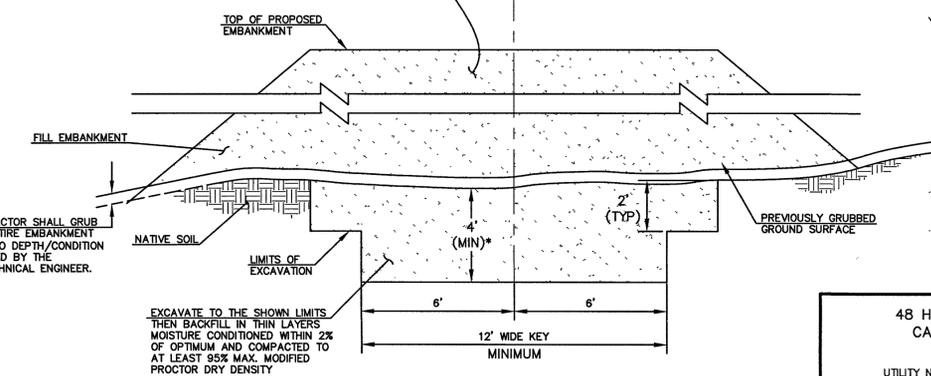


EMERGENCY SPILLWAY CROSS SECTION
SCALE: N.T.S.



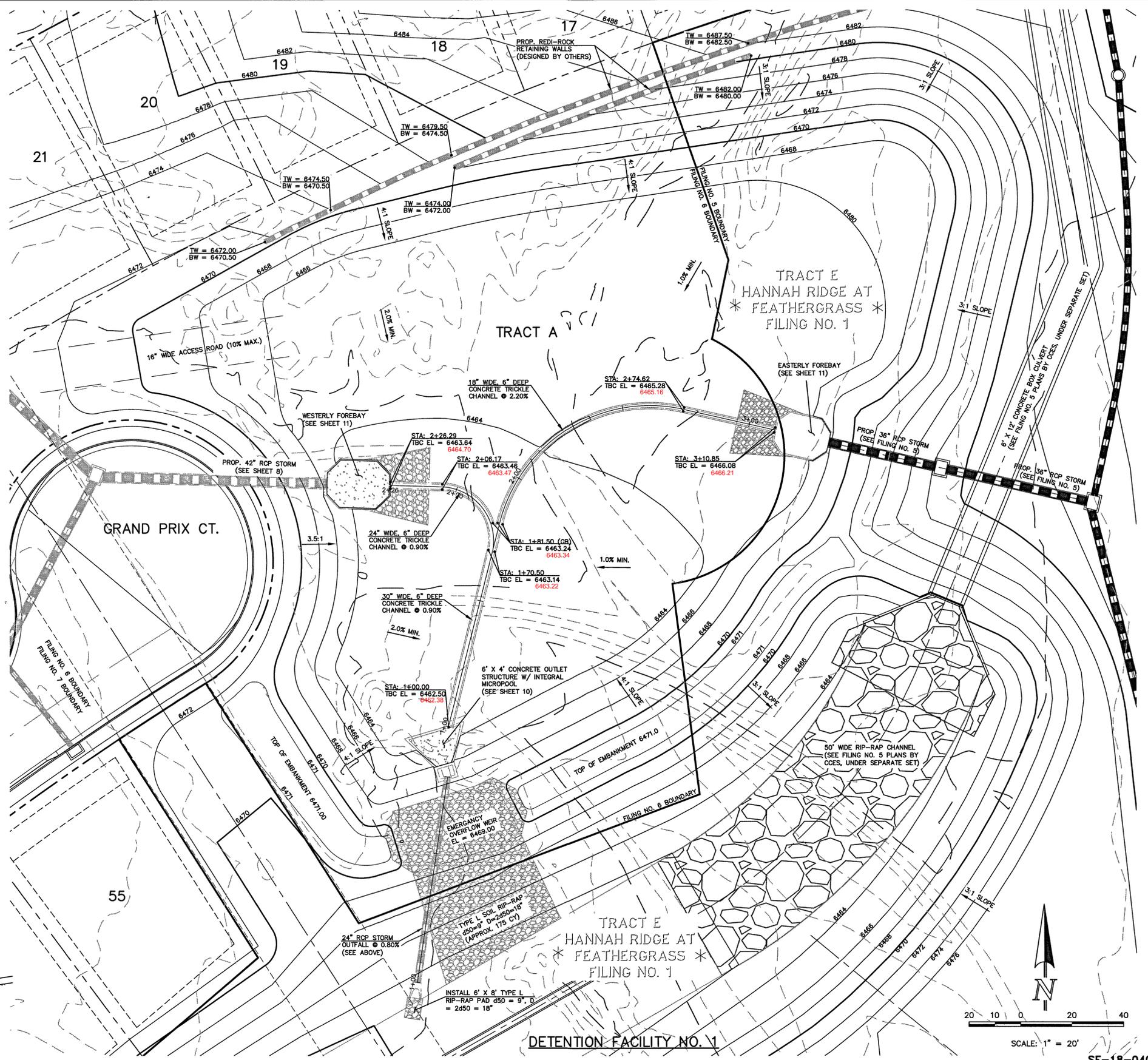
TRICKLE CHANNEL TYPICAL SECTION
SCALE: N.T.S.

FILL/EMBANKMENT SHALL BE PLACED IN THIN LOOSE LIFTS, MOISTURE CONDITIONED TO WITHIN 2% OF OPTIMUM AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D1557) PLACEMENT AND COMPACTION SHALL BE OBSERVED BY A GEOTECHNICAL ENGINEERING FIRM

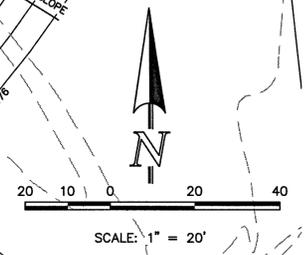


**SECTION A
TYPICAL EMBANKMENT
WITH SOIL KEYWAY**
SCALE: N.T.S.

* UPON GRUBBING EXISTING SOILS IN EMBANKMENT AREA, ENGINEER SHALL BE CONTACTED TO DETERMINE SOIL QUALITY. IF POOR PERMEABILITY IS FOUND (I.E. SANDY-SILT) ONLY TOP 2' X 14' PORTION OF EMBANKMENT KEY IS REQUIRED FOR CONSTRUCTION.



DETENTION FACILITY NO. 1



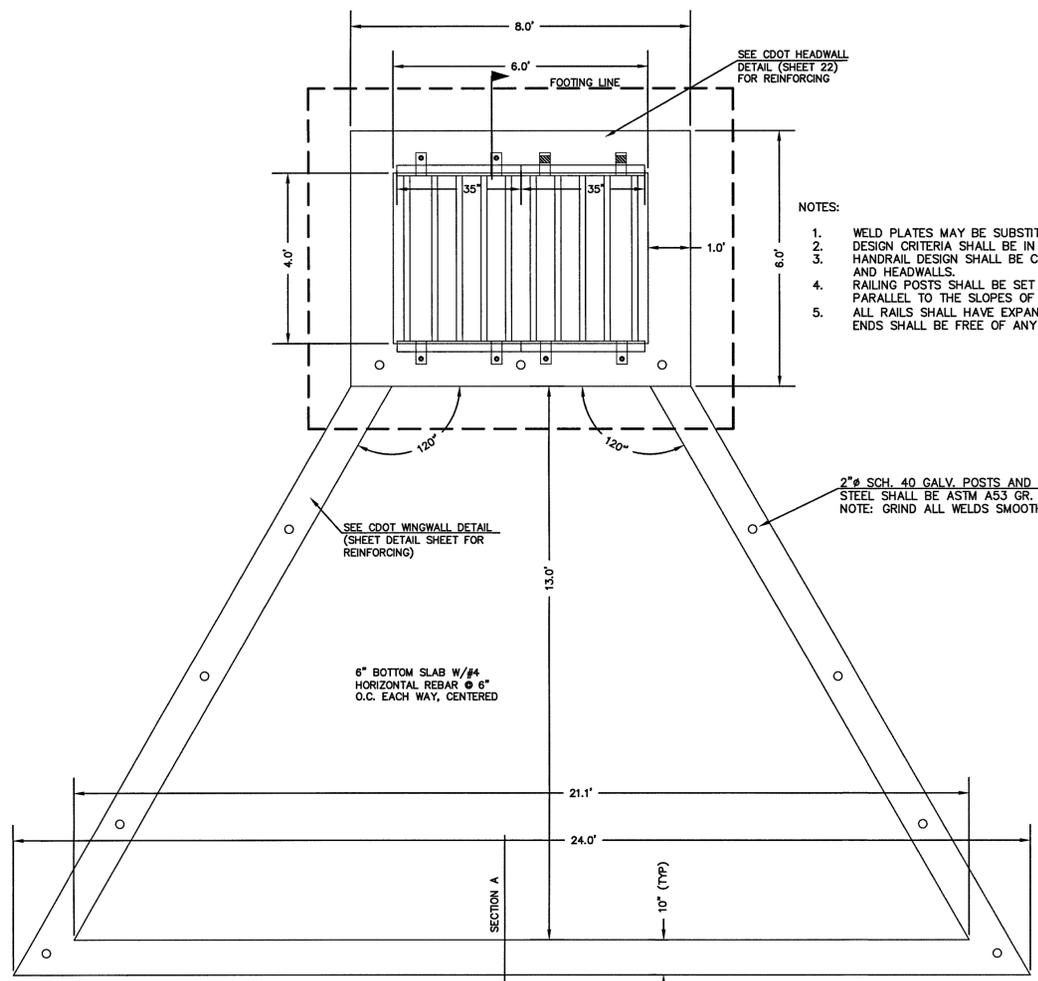
SF-18-040

48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811 UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW		NO. REVISION	DATE	REVIEW:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.				PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC KYLE R. CAMPBELL, COLORADO P.E. #29794

CLASSIC CONSULTING ENGINEERS & SURVEYORS
619 N. Cascade Avenue, Suite 200
Colorado Springs, Colorado 80903
(719)785-0790
(719)785-0799(Fax)

HANNAH RIDGE AT FEATHERGRASS FIL. 7			
CONSTRUCTION DRAWINGS			
DETENTION FACILITY NO. 1			
POND PLAN			
DESIGNED BY	MAW	SCALE	DATE 10/12/18
DRAWN BY	ESO	(H) 1" = 30'	SHEET 12 OF 14
CHECKED BY	(V) 1" = 3'	JOB NO.	1116.07

N:\111605\DRAWINGS\CONSTRUCTION\FILING 7\12-111607-POD-1 PLAN.dwg, 6/7/2019, 2:06:39 PM, 1:1



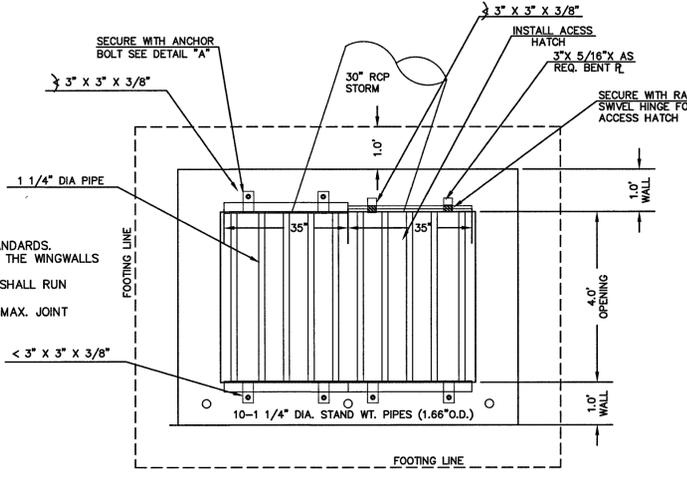
- NOTES:
1. WELD PLATES MAY BE SUBSTITUTED FOR PIPE EMBEDMENT. DESIGN CRITERIA SHALL BE IN ACCORDANCE WITH AASHTO STANDARDS.
 2. HANDRAIL DESIGN SHALL BE COMPATIBLE WITH THE DESIGN OF THE WINGWALLS AND HEADWALLS.
 3. RAILING POSTS SHALL BE SET TO NORMAL TO GRADE. RAILS SHALL RUN PARALLEL TO THE SLOPES OF TOPS OF THE WALLS.
 4. ALL RAILS SHALL HAVE EXPANSION JOINTS SPACED AT 40'-0" MAX. JOINT ENDS SHALL BE FREE OF ANY SHARP EDGES OR CORNERS.

SEE CDOT WINGWALL DETAIL (SHEET DETAIL SHEET FOR REINFORCING)

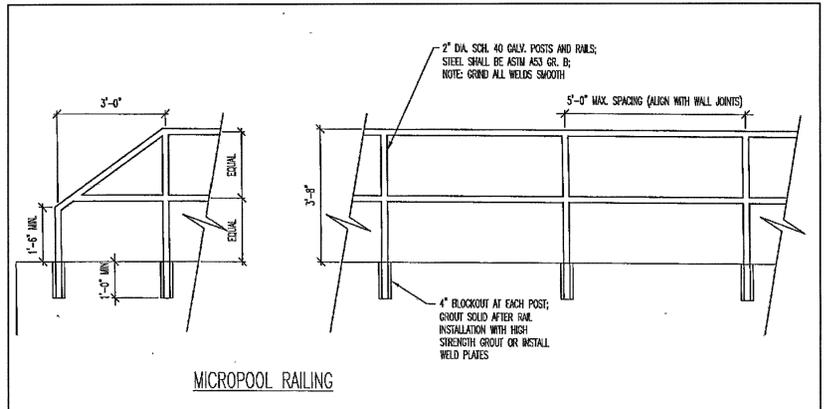
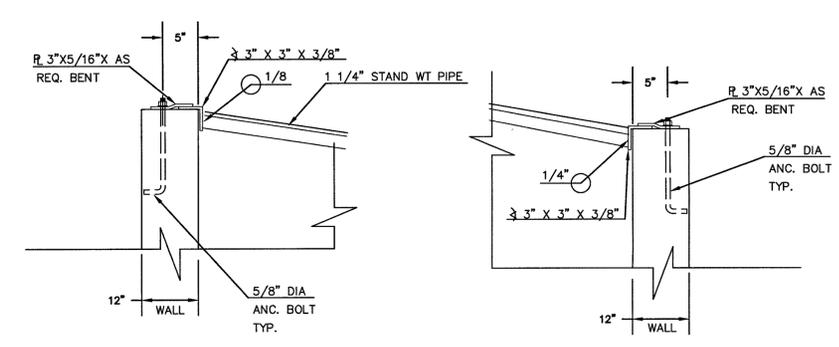
2" # SCH. 40 GALV. POSTS AND RAILS. STEEL SHALL BE ASTM A53 GR. B. NOTE: GRIND ALL WELDS SMOOTH

6" BOTTOM SLAB W/#4 HORIZONTAL REBAR @ 6" O.C. EACH WAY, CENTERED

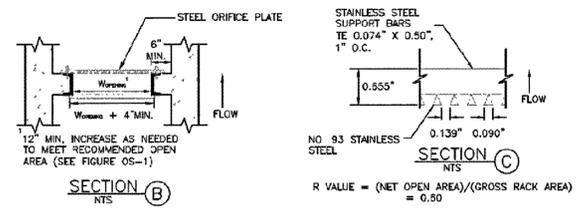
CONCRETE MICROPOOL SCALE 1" = 2'



6'X4' OUTLET BOX OVERFLOW TRASH RACK SCALE 1" = 2'



OUTLET BOX RAILING N.T.S.



AS-BUILTS 03/25/2022 (SF-18-040)



(ALL MATERIALS PER EL PASO COUNTY SPECIFICATIONS)

ORIFICE PLATE NOTES:

1. INSTALL HOLES AS SHOWN ON DETAIL TO RIGHT.
2. PROVIDE GASKET MATERIAL BETWEEN THE ORIFICE PLATE AND CONCRETE

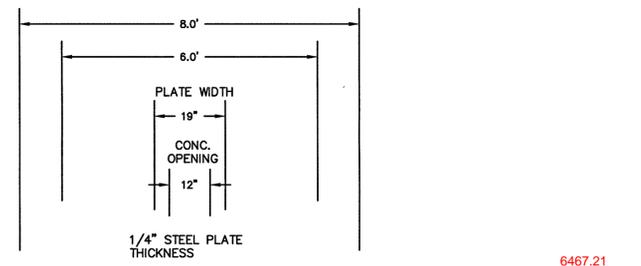
EURV AND WQCV TRASH RACKS:

3. WELL-SCREEN TRASH RACKS SHALL BE STAINLESS STEEL AND SHALL BE ATTACHED BY INTERMITTENT WELDS ALONG THE EDGE OF THE MOUNTING FRAME.
4. BAR GRATE TRASH RACKS SHALL BE ALUMINUM AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
5. STRUCTURAL DESIGN OF TRASH RACKS SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF RACK

OVERFLOW TRASH RACKS:

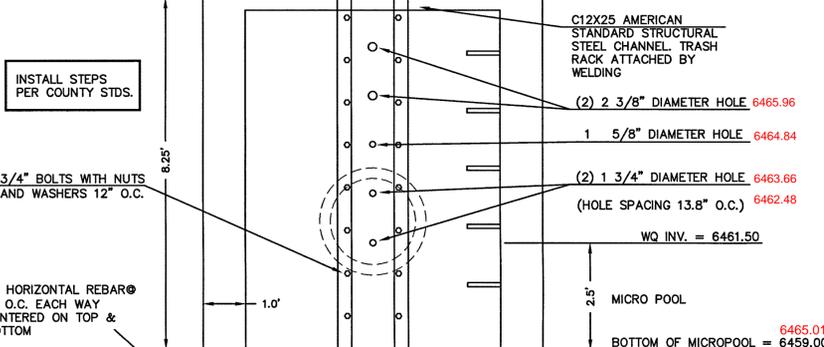
1. ALL TRASH RACKS SHALL BE MOUNTED USING STAINLESS STEEL HARDWARE AND PROVIDED WITH HINGED AND LOCKABLE OR BOLTABLE ACCESS PANELS
2. TRASH RACKS SHALL BE STAINLESS STEEL, ALUMINUM, OR STEEL. STEEL TRASH RACKS SHALL BE HOT DIP GALVANIZED AND MAY BE HOT POWDER COATED AFTER GALVANIZING.
3. TRASH RACKS SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.
4. STRUCTURAL DESIGN OF THE TRASH RACKS SHALL BE BASED ON FULL HYDROSTATIC HEAD WITH ZERO HEAD DOWNSTREAM OF THE RACK.

100-YR W.S.E. = 6468.85
EURV W.S.E. = 6468.95 / 5 YEAR W.S.E. = 6467.21
2 YEAR W.S.E. = 6466.50
WQCV YR W.S.E. = 6464.91

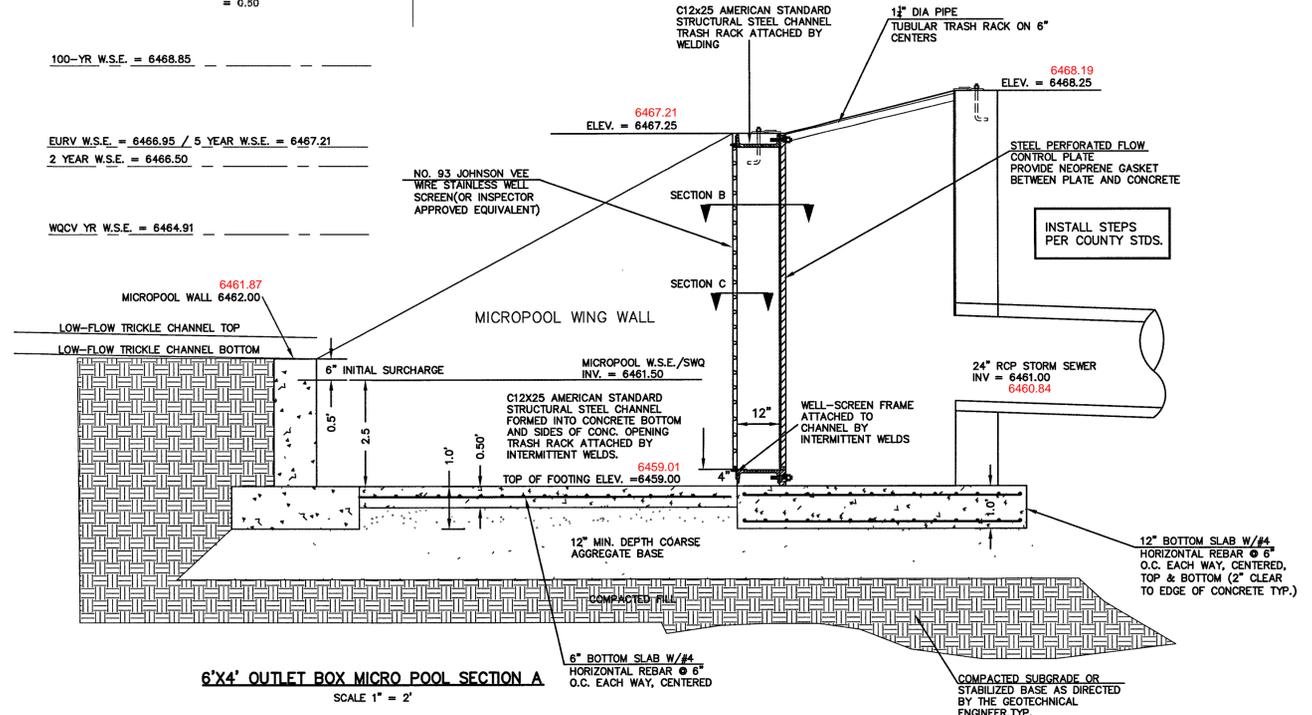


1/4" STEEL PLATE THICKNESS

FRONT INLET BOX ELEV. = 6467.21
ELEV. = 6467.25



6'X4' OUTLET BOX ORIFICE PLATE SCALE 1" = 2'



6'X4' OUTLET BOX MICRO POOL SECTION A SCALE 1" = 2'

<p>48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS 811</p> <p>UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW</p> <p>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	NO. REVISION	DATE	REVIEW:

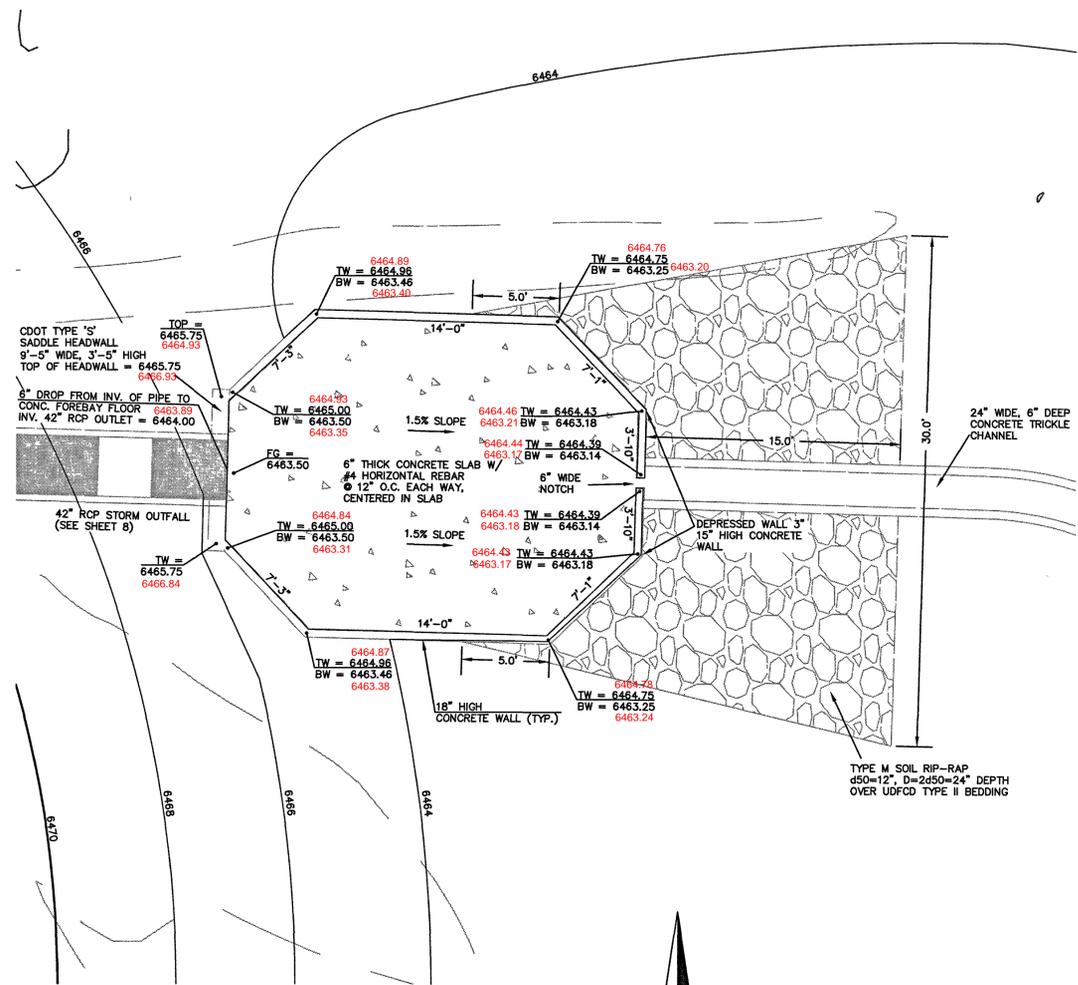
PREPARED UNDER MICHIGAN PROFESSIONAL ENGINEERING FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC

KYLE R. CAMPBELL, COLORADO P.E. #29794

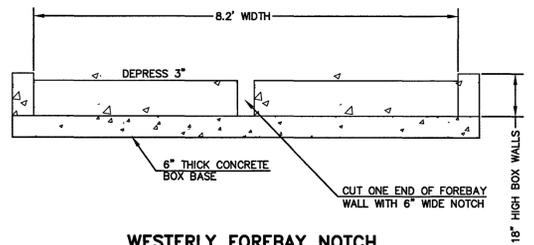


<p>HANNAH RIDGE AT FEATHERGRASS FIL. 7 CONSTRUCTION DRAWINGS</p> <p>DETENTION FACILITY NO. 1</p> <p>OUTLET BOX DETAILS</p> <p>7/15/19</p>			
DESIGNED BY	MAW	SCALE	DATE
DRAWN BY	MAW	(H) 1" = N/A	SHEET 13 OF 14
CHECKED BY	(V) 1" = N/A	JOB NO.	1116.07

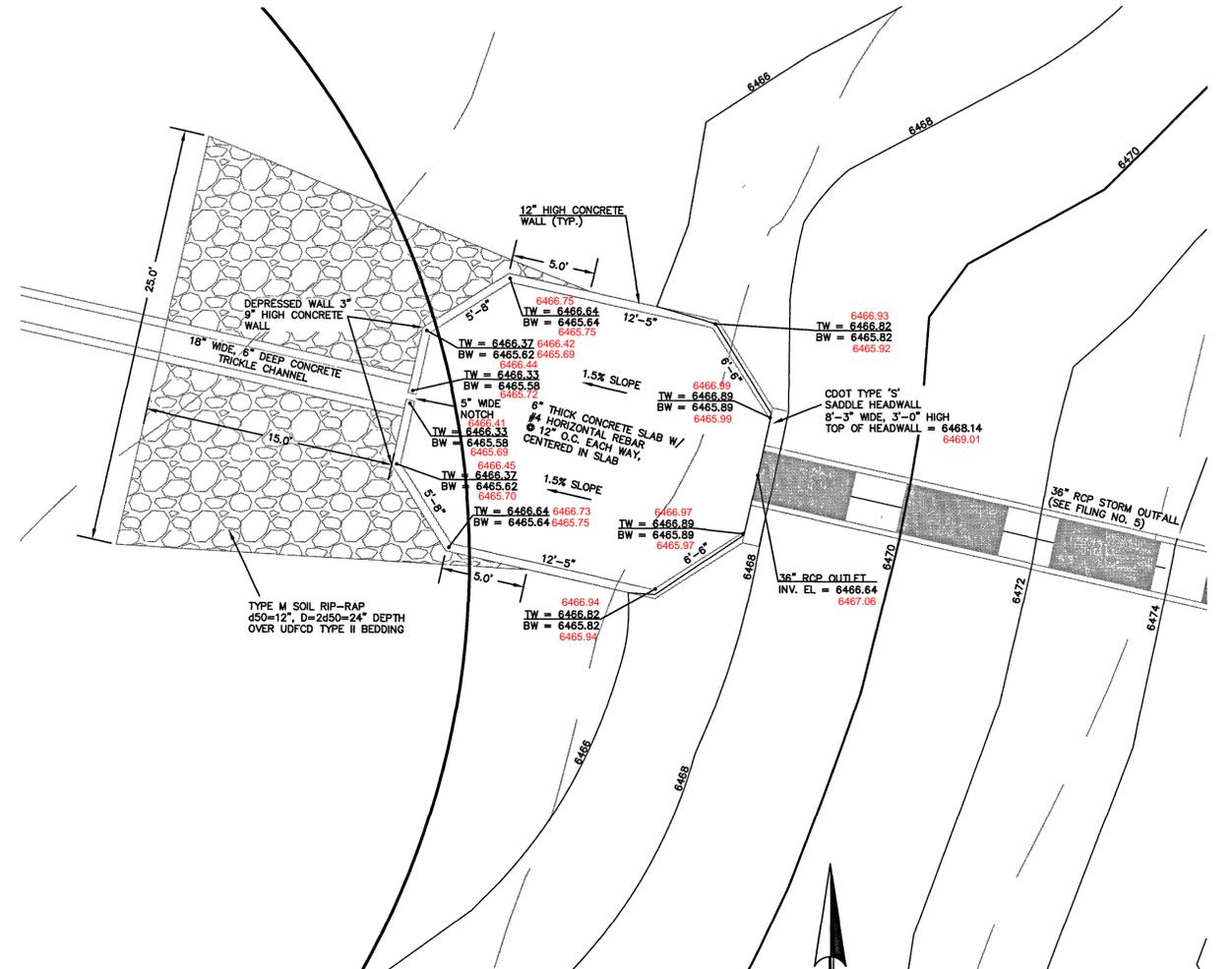
SF-18-040



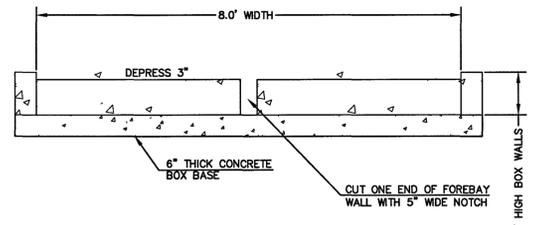
WESTERLY CONCRETE FOREBAY
SCALE: 1=5'



WESTERLY FOREBAY NOTCH
N.T.S.



EASTERLY CONCRETE FOREBAY
SCALE: 1=5'



EASTERLY FOREBAY NOTCH
N.T.S.



AS-BUILTS
03/25/2022
(SF-18-040)

<p>48 HOURS BEFORE YOU DIG, CALL UTILITY LOCATORS</p> <p>811</p> <p>UTILITY NOTIFICATION CENTER OF COLORADO IT'S THE LAW</p> <p>THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.</p>	NO. REVISION	DATE	REVIEW:
			PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF CLASSIC CONSULTING ENGINEERS AND SURVEYORS, LLC
			DATE

<p>HANNAH RIDGE AT FEATHERGRASS FIL 7 CONSTRUCTION DRAWINGS DETENTION FACILITY NO. 1 ROCK CHUTE / FOREBAY DETAILS 7/15/19</p>			
DESIGNED BY	MAW	SCALE	DATE
DRAWN BY	MAW	(H) 1"= 5'	SHEET 14 OF 14
CHECKED BY	(V) 1"= N/A	JOB NO.	1116.07

SF-18-040

N:\111605\DRAWINGS\CONSTRUCTION\FILING 7\14-111607-FOREBAY.dwg, 6/7/2019 2:07:51 PM, 1:1