



SCALE : 1" = 20'



Released for Permit
09/25/2023 3:50:44 PM
REGIONAL Building Department
ENUMERATION

PLOT PLAN

(THIS IS NOT A PROPERTY SURVEY)
5984 WALLEYE DRIVE

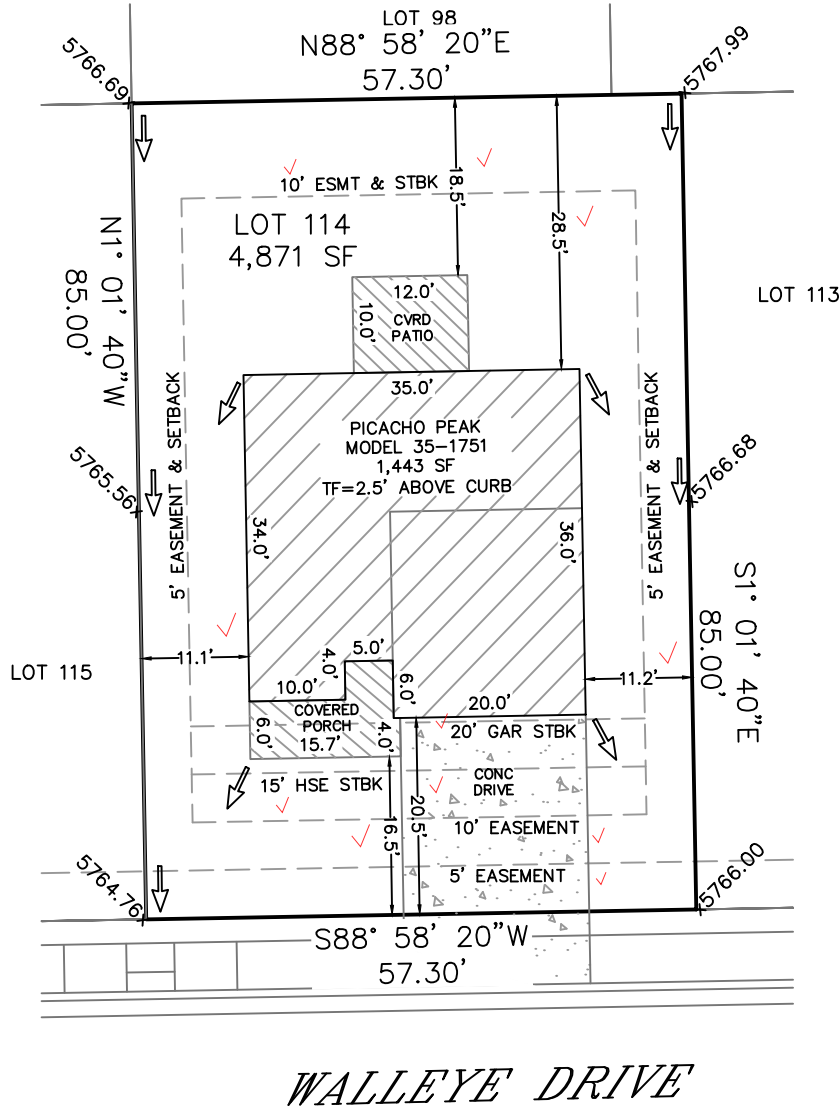
FILE - SFD2379
ZONING - PUD
PLAT - 15152
AREA - 4871 SQ FT

APPROVED
Plan Review
09/27/2023 1:31:52 PM
dsdmaes
EPC Planning & Community
Development Department

ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT OVIATE THE NEED
TO COMPLY WITH APPLICABLE
FEDERAL, STATE OR LOCAL
LAWS AND/OR REGULATIONS
Planning & Community Development Department
approval is contingent upon compliance with all
applicable notes on the recorded plat.
An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.
Diversion of blockage of any drainage way
is not permitted without approval of the
Planning & Community Development Department

APPROVED
BESQCP
09/27/2023 1:32:12 PM
dsdmaes
EPC Planning & Community
Development Department

It is the owner's responsibility to
coordinate with easement holders to
avoid impact to utilities that
may be located in the easements.



WALLEYE DRIVE

EASEMENTS AS RECORDED IN PLAT RECORDS AND
ARE FOR PUBLIC UTILITIES, PUBLIC IMPROVEMENTS,
& DRAINAGE PURPOSES Job# 2205012

TOF = 2.5' ABOVE CURB/35-1751 (PICACHO PEAK) / CRAWL		
SETBACKS: FRNT=15'/20' GAR SIDES=5' REAR=10'	ADDRESS: 5984 WALLEYE DRIVE COLORADO SPRINGS, CO TAX ID# 5513412028 LEGAL DESCRIPTION: LOT 114 THE RIDGE AT LORSON RANCH FILING NO. 3, EL PASO COUNTY, CO	LOT AREA: 4,871 SF HOUSE W/PORCH PRINT: 1,443 SF COVERAGE: 29.6%

AMH DEVELOPMENT
3131 S VAUGHN WAY, SUITE 220
AURORA, COLORADO, CO 80014
(303)435-1815

SITE



2023 PPRBC
2021 IECC Amended

Parcel: 5513412028

Address: 5984 WALLEYE DR, COLORADO SPRINGS

Plan Track #: 181466  Received: 25-Sep-2023 (AMY)

Description:

RESIDENCE


Type of Unit:

Garage	427	
Lower Level 2	783	
Main Level	783	
Upper Level 1	1013	
	3006	Total Square Feet

Required PPRBD Departments (2)

Enumeration APPROVED AMY 9/25/2023 3:51:00 PM	Floodplain (N/A) RBD GIS
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Required Outside Departments (1)

County Zoning APPROVED <u>Plan Review</u> <i>09/27/2023 1:32:51 PM</i>  EPC Planning & Community Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.