

**Native Sun Construction  
Preliminary/Final Planned Unit Development Site Plan  
Project Narrative  
September 2021**

**I. Background and Property Location**

The 10.69 acre Native Sun Construction (NSC) property was annexed into the Town of Monument (TOM) on March 15, 2021 and concurrently zoned Planned Development (PUD). Final execution and recording of the Annexation and Development Agreements and Annexation Plat occurred April 22, 2021. The current applications consist of a PUD Preliminary/Final Site Plan (PUDPFSP) and a Final Plat which subdivides the property into two lots plus a dedication to TOM for a portion of Woodcarver Road. The PUDPFSP is proposed on Lot 1 (of the two new lots) of the property. This narrative is for the PUDPFSP. The Final Plat has a separate narrative and set of submittal documents and plans.

The 10.69 acre triangular-shaped NSC property is located south of the Baptist Road/Forest Lakes Drive/Woodcarver Road roundabout, west of the proposed Falcon Commerce Center and north of the Denver and Rio Grande Western Railroad right-of-way.



**II. Site Description**

The overall 10.69 acre property is triangular-shaped with a “flag” to the north for Woodcarver Road. The new Lot 1, consisting of 7.36 acres, is in the center and western portion of the property as shown on the site plan and Final Plat. The boundary between the two lots is slightly west of the north/south tree line in the center of the property.

Woodcarver Road is a two-lane private road located on the property beginning just south of the Pioneer Landscape Center and terminating at the Navsys Office Building parking lot. Woodcarver Road was originally built in late 1970's and has been used by the owners of the property where Navsys is located since 1980 when the building was constructed. As agreed-upon during the annexation and zoning process, the northerly 200' of Woodcarver Road on the NSC Property will be dedicated to the TOM to facilitate the construction of a new intersection for Falcon Commerce Center.

Most of the site is flat and dry with natural grasses. The northwest portion of the site is a hill with mature pine trees. There are two small drainages in the center of the site, running north to south into a pond on the adjacent property. Several large trees are located to the east of the drainage area and on the far eastern part of the site. Please see a site photos below. An Environmental Assessment has been completed and submitted separately. A wetlands delineation identified a small area of wetlands in the southern portion of the site within the drainage area and another very small wetland near Woodcarver Road.

New Lot 1 surrounding land uses include:

- North and East: UPS Distribution Center (under construction) and other vacant land proposed as Falcon Commerce Center
- South: Vacant property zoned RR-5 and parking area for Navsys office building
- West: New Lot 2 of NSC Subdivision (vacant)



### III. PUD Preliminary/Final Site Plan Description

The PUDPFSP is for development on the 7.36 acre Lot 1 of the two lot subdivision. The PUDPFSP is Phase 1 of an overall two phase project. The future Phase 2 will be located on the 3.33 acre Lot 2 which will remain vacant until Phase 2 is initiated. No timetable has been determined for Phase 2 which will likely consist of an approximately 10-12,000 sf office building.

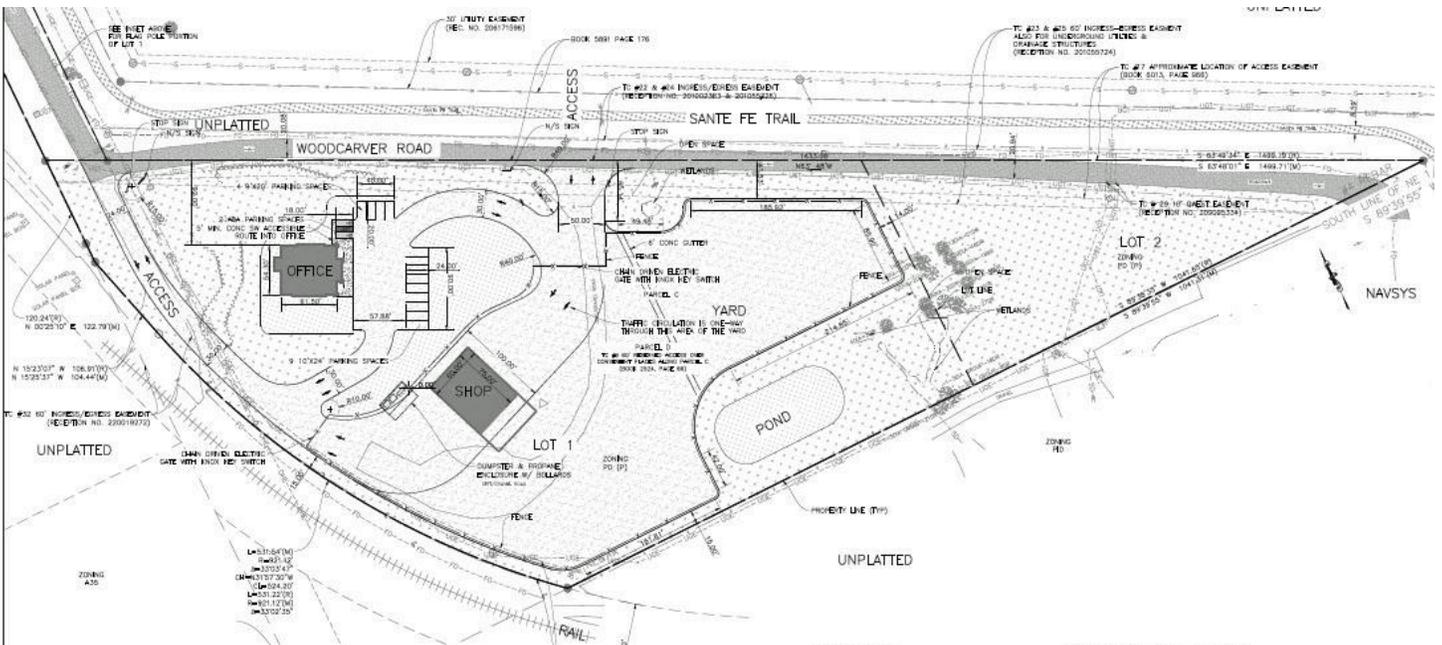
A complete set of plans has been submitted and consists of the following:

1. Title/Cover Sheet
2. Site Plan
3. Grading & Drainage Plan
4. Utility Plan

5. Landscape Plan
6. Building Elevations & Sign Plan
7. Details

The Site Plan (excerpt shown below) includes the following components:

1. A two story, 7,000 sf office building and associated parking for NSC on the northwestern portion of the site.
2. A construction yard in the central and eastern part of the site with a 6,120 sf shop building.
3. Two accesses from Woodcarver Road:
  - 1) Office building access located on the western perimeter of the site. This two way, two lane access will extend south from Woodcarver Road where it currently turns hard from north/south to east/west; and
  - 2) Construction yard access directly off Woodcarver Road in the center of Lot 1 where the existing green gate access is located. This larger access is two way near the entrance/exit and intended to accommodate larger construction vehicles. One way traffic circulation will continue south to the Shop Building and continue south of the Shop Building connecting with the office building access.
4. A detention pond on the southeast part of the site.
5. No disturbance to the two existing wetland areas.
6. 3.4 acres of open space (46% of the site) including the detention pond.



### Utility Plan

Water will be provided from a new well on the property. The well permit has been approved and submitted to TOM. The well will be located in the center of the site with the final location to be determined by the well driller.

A new sewer line from the office and shop buildings will connect off-site to the north to the existing wastewater line on the Falcon Commerce Center property. This existing wastewater line is owned by Forest Lakes Metropolitan District (FLMD). FLMD issued a Commitment Letter for NSC to connect to this wastewater line

on September 16, 2020. A license agreement from El Paso County will be obtained to cross their property where the Santa Fe Trail is located.

Other dry utilities will be extended into the site as shown on the Utility Plan (Sheet SD-4).

### **Drainage**

A Final Drainage Report has been submitted to TOM for the development. The primary drainage facility is the full spectrum detention pond located southeast of the construction yard. The report concludes:

“*The proposed drainage design for the Native Sun Construction Development will be effective to provide WQCV for at least 80% of the project. Combined with the quantity controls provided in the FSEDB, there should be no adverse effects to downstream properties. This final drainage report for the site is in accordance with Section 4.4 of the Drainage Criteria manual.*”

### **Landscape Plan**

The landscaping proposed for the Native Sun Construction site is intended to 1) compliment and beautify the Native Sun Construction office building and construction yard; 2) provide a harmonious landscape that blends in with surrounding uses and compliments the existing vegetation and natural qualities of the site; 3) utilizes primarily native, xeric, and low maintenance plant species recommended and approved by the Town of Monument, and; 4) helps to create a site that is a positive and aesthetically pleasing addition to the Town of Monument and to surrounding land owners.

Care was taken to select tree and plant species that are appropriate for their environment (in terms of water demands and climatic adaptability) as well as in their aesthetic appearance and ability to complement existing vegetation on site. All proposed tree, shrub, and perennial plants are hardy, low maintenance species to help ensure their long-term beauty and viability. Major site features, such as the entrance drive, office building, parking lot, and maintenance building have proposed vegetation to providing screening as well to highlight some of the more beautiful architectural elements of the project.

An entry landscape, including a conifer bosque and shrub/perennial plantings, is provided at the northwest access entrance. These landscape elements will provide for a more scenic arrival to Native Sun Construction and will additionally provide for a pleasing visual feature for neighbors and visitors as they drive south on Woodcarver Road.

### **Business Operations**

The office and construction yard will operate generally from 7 AM to 5 PM five to six days a week. The office building will have approximately 8 full time employees and the shop building will have 2 full time employees, although that could increase or decrease over time.

### **Traffic Generation**

Traffic impact will be minimal due to the small number of employees and vehicles/heavy equipment coming in and out of the construction yard. The table below reflects the information in the Business Operations section above and concludes that there will only be approximately 38 trips/day total.

## Daily Vehicle Trips

7-8 AM: 10 employees arrive on site =	10 trips
8 AM-5 PM: 2 vehicles entering every 2 hours =	9 trips
8 AM – 5 PM 2 vehicles exiting every 2 hours =	9 trips
4:30-5:30 PM: 10 employees exit the site =	10 trips
Estimated Total Daily Trips =	38 trips

Note: The 38 trips are the total for the entire site which includes both ingress/egress points.

## IV. Conformance with Review and Approval Criteria

Below are the applicable Preliminary/Final PUD Site Plan Review and Approval Criteria with applicant responses in italics below each criteria.

1. The final PUD site plan conforms to or is consistent with the preliminary PUD site plan.

*The application is for a Preliminary/Final PUD Site Plan.*

2. There is an appropriate relationship to the surrounding areas;

*The proposed land uses are compatible with surrounding uses as listed on page 2. The landscape plan indicates perimeter buffers will be established to reduce visual impacts to adjacent properties.*

3. Circulation in terms of an internal street circulation system designed for the type of traffic generated, safety, separation from living areas, convenience, access, handicap access, noise and exhaust control. Though generally discouraged, private internal streets may be considered where appropriate to the development. A proper institutional framework, such as a metropolitan or special district must be established for maintenance thereof for the life of the streets. The streets shall be accessible by police and fire department and other emergency vehicles for emergency purposes, and to service vehicles such as trash trucks. Bicycle and pedestrian circulation and connections shall be provided;

*Internal streets have been carefully designed to accommodate and separate office building traffic from the construction yard for safety. Daily traffic generation will be minimal (see above traffic estimates). Tri Lakes Monument Fire Department staff have been consulted and streets are designed to meet their requirements. Handicap access is provided for the office building.*

4. Functional parks, open space, and trails in terms of recreation, views, density relief, convenience, function, connectivity, and optimum preservation of natural features including trees, shrubs, wildlife habitat, scenic areas and riparian and drainage areas are provided in conformance with the Comprehensive Plan and Parks, Trails, and Open Space Master Plan and Town Subdivision Regulations (Title 16).

*46% of the site is proposed as open space. Three primary open space areas are part of the plan:*

- 1. In the southeast portion of the site that includes the drainage, wetlands and detention pond.*
- 2. Near the construction yard entry around a wetland*
- 3. The western portion of the site that is sloped with mature trees.*

*Mapping indicates no mouse habitat on the site. A picnic area for employees may be established in open space area #1 as described above.*

5. A variety of development and housing types and styles, and densities are proposed. Mixed land use is encouraged;

*This is a commercial development – no residential.*

6. Privacy for individuals, families and neighbors is provided as appropriate;

*This is a commercial development – no residential.*

7. The adequacy, safety, separation, convenience, access to points of destination, and connectivity, and attractiveness of pedestrian and bicycle facilities;

*Woodcarver Road provides adequate, safe and convenient access to the property. Access to the Santa Fe Trail is nearby to the east and north of the site.*

8. Building type in terms of appropriateness to density, site relationship and bulk;

*The buildings proposed are minimal for the size of the site and are appropriate to density, site relationship and bulk.*

9. Building design in terms of orientation, spacing, materials, exterior color and texture, storage and lighting result in a quality architectural design that is compatible with the surrounding neighborhood. The Town discourages the placement of identical or similar residential models on any two adjoining lots along a street;

*The office building is an attractive design and represents quality architectural design. The building will enhance the site and the area – see building elevations in the plan set. The shop building is a functional building for the construction yard and is typical for this type of use.*

10. The landscaping is a quality design that enhances the site and is compatible with the surrounding neighborhood as shown by amount, types, and materials used. Entrance features are encouraged. The proposed landscaping will not create maintenance problems and is suitable for the site and neighborhood including plant hardiness. A xeriscape design that will conserve water is required;

*Please refer to the Landscape Plan description on page 4. The landscaping plan was designed to TOM standards. In combination with the opaque fence, the plan provides perimeter buffers that mitigate views of the construction yard from off-site, meeting the Industrial Use Standards and making it compatible with the surrounding neighborhood. Irrigation is included and the landscaping will not create maintenance problems and is suitable for the site.*

11. Adequate off-street parking will be provided:

*Off-street parking for the office building exceeds the TOM's requirement. General office requires 1 space/400 sf which equals 11 spaces required. There are 15 spaces provided, including the 2 required handicap spaces.*

a. Particularly for single-family residences in a PUD, required front-yard setbacks should be established and driveways should be arranged so as to provide off-street parking therein without causing parked autos to block sidewalks.

*Not applicable.*

b. The Town may increase or decrease the normally required number of off-street parking spaces based on a consideration of the following factors:

i. The relationship of the proposed modifications to the stated purposes and intent of this PUD regulation,

ii. Probable number of vehicles owned by residents in the planned development,

iii. Parking needs in non-residential areas,

iv. Varying time period of use, whenever joint use of common parking areas is proposed,

v. Availability and use of alternative transportation methods.

Again, the proposed number of spaces exceeds the requirement so there is no need to increase or decrease the required number of spaces.

12. The final PUD site plan or preliminary/final PUD site plan has been shown to fit within the context of the planned land use pattern and roadway and utility systems of the larger surrounding area.

The graphic below shows that the proposed land uses fit within the context of the surrounding area.



### Industrial Use Standards

See table beginning on following page for compliance with Industrial Use Standards.

**Native Sun Construction PUD Preliminary/Final Site Plan**  
**Compliance with Industrial Use Standards/LDC Section 18.04.150**

**Patten Associates, Inc.**

**September 22, 2021**

It is important to understand that the only industrial uses proposed are the construction yard and the shop building, which will be located in the northwest portion of the construction yard. The land use on the north part of the property is office with associated parking.

✓ = Proposal in Compliance or NA = Not Applicable	Comment	18.04.150 Industrial uses.
		<b>A. Site Features.</b>
✓	Closest residence is approximately 1,800' to the northwest	1. Adjacency. The structure containing the industrial use shall be located a minimum of five hundred (500) feet from the boundary of any residential zone district.
✓	There are no nearby residential streets	2. Traffic. Traffic generated by the industrial use shall not impact nearby residential streets.
✓	<ul style="list-style-type: none"> <li>➤ There is more than 100' between the construction yard and the residentially zoned property in the County to the southwest</li> <li>➤ A landscape buffer will be created between the shop building and the western property line</li> </ul>	3. Buffer. A minimum fifty (50) foot wide landscape buffer shall be provided along any property line where an industrial use is adjacent to a less intense use or zone district. If an industrial use has already been established, then a buffer shall be provided within the new less intense development.
✓	An 6' tall opaque fence is proposed around the construction yard.	4. Screening. A fence, wall, hedge, landscaping, earth berm, natural buffer area, or any combination thereof shall be provided to obscure an industrial use. Minimum height of screening shall be six (6) feet at the time the screen is installed. The following specific uses or features in any industrial zone district shall be screened so as to not be visible from adjacent property or from public right-of-way:

✓		a. Dumpster or trash-handling areas;
✓		b. Service entrances and utility facilities;
✓		c. Loading docks or spaces;
✓		d. Storage, material stocks, and equipment; and
NA		e. Outdoor freezers
✓		5. Screening - Trees. For every twenty-five (25) linear feet of property line where screening is required, an evergreen tree meeting the standards of these regulations shall be planted and maintained.
✓	The shop building is an enclosed structure. The construction yard, as described above, will have screening that is in compliance with these standards.	6. Enclosure. Every industrial use, unless expressly exempted by the Board of Trustees, shall be operated in its entirety within a completely enclosed structure.  a. Screening of large commercial vehicles such as trash collection trucks, etc. from the public right-of-way and any surrounding residential properties is required.
✓	The construction yard, with outdoor storage, as described above, will have screening that is in compliance with these standards.	b. Outdoor storage shall be behind any building setback line, screened from view from adjacent properties and abutting streets.
NA	Woodcarver Road remains a private road maintained by NSC. The TOM has no responsibility for road maintenance.	7. Prevention of Road Damage. Roads serving heavy industrial uses shall be designed and built to support the maximum axle weight for vehicles serving the property on a recurring basis. New industrial uses with heavy vehicles may be required to upgrade the street they are located on to accommodate heavy vehicles.
		<b>B. Building Features</b>
✓	The shop building will have metal siding. The entire site, business and operations are owned and operated by NSC. As such, there will be no covenants or architectural control committee.	1. Metal Buildings. Metal buildings shall be permitted on an industrial site, provided however, that such buildings shall be restricted pursuant to protective covenants which developer agrees to impose prior to the final platting of any portion of the industrial use area. Such covenants shall contain certain specific requirements providing that the exterior treatment of such buildings shall be subject to the review and approval of the architectural control committee or other committee established pursuant to said covenants for the purpose of improvement review.

✓	Roof-top mechanical equipment will be screened from view by the use of compatible materials, as applicable.	2. Roof-Top Mechanical Equipment and Other Special Equipment. All roof-top mechanical equipment with the exception of solar energy devices shall be screened from view by the use of compatible and appropriate materials.
✓		a. Roof top screening will only be required to screen equipment from views at the finished grade of the developed building site, or the equivalent grade on the adjacent portion of contiguous building sites.
NA		b. Where roof-top mechanical equipment cannot be adequately screened because of elevation changes or higher buildings in the vicinity then screening accompanied by compatible painting of equipment is permissible.
		<b>C. External Effects.</b>
✓	The proposed industrial use is very compatible with existing and proposed land uses.	1. Safety. No industrial use shall create any danger to safety in any area of the Town.
✓	Noise generated will be below the standards.	2. Noise. Noise generated on the property shall not exceed eighty (80) dB between 6:00 a.m. and 6:00 p.m. and seventy-five (75) dB between 6:00 p.m. and 6:00 a.m. Noise generated on the property shall not exceed the above levels at the perimeter of the property.
		3. Vibration.
✓		a. Every industrial use shall be so operated that the ground vibration inherently and recurrently generated is not perceptible, without instruments, at any point of any boundary line of the zone lot on which the use is located.
NA		b. The owner of an industrial use regularly emitting vibrations shall be required to submit an annual report from a qualified professional documenting compliance with the standards in subsection c below. The Town may request additional reports if there is a complaint and/or evidence to suggest that vibrations being emitted may be exceeding the standards. Exceptions: (1) Vibrations from temporary construction, (2) Vehicles in an adjoining right-of-way.

✓		c. Maximum permitted steady state and impact vibration displacements:	
		Frequency (Cycles per Second) Steady State	Vibration Displacement in Inches Impact
		Under 10	.0055
		10—19	.0044
		20—29	.0033
		30—39	.0002
		40 and over	.0001

✓		4. Material Handling and Waste Disposal. No materials or wastes shall be deposited upon a property in such form or manner that they may be transferred off the property by natural causes or forces.
✓		5. Radioactivity. The airborne emission of radioactive material shall comply with the latest provisions of the State of Colorado rules and regulations pertaining to radiation control.
✓		6. Prevention of Water Pollution. All industrial uses shall comply with all applicable federal, state and local laws, orders and regulations concerning the prevention and abatement of water pollution. An industrial use will be conducted by methods that will prevent entrance or accidental spillage of solid matter, contaminants, debris, and other objectionable pollutants and wastes into streams, flowing or dry water courses, and underground water sources. Such pollutants and wastes include, but are not restricted to, refuse, garbage, cement, concrete, sewage effluent, industrial waste, radioactive substances, oil and other petroleum products, aggregate processing tailings, mineral salts and thermal pollution. Wastewater shall not enter streams, water courses or other surface waters.
✓		7. Abatement of Air Pollution. The industrial use shall comply with all applicable federal, state and local regulations concerning the prevention and control of air pollution. In conduct of construction activities and operation of equipment, the industrial use will incorporate such practicable methods and devices as are available to control, prevent and otherwise reduce atmospheric emissions or discharges of air contaminants. The emission of dust into the atmosphere will not be permitted. The industrial use shall incorporate such methods and equipment as are necessary for the collection and disposal or prevention of dust during operations.

NA		8. Carcinogens. Use of carcinogens in the manufacturing or distribution process is prohibited. Carcinogens shall be defined as agents determined by the federal or state government to be cancer-causing and which agents have been banned by either the federal or state government. The Board of Trustees may also consider whether or not it is in the health, safety and welfare of the residents of the Town of Monument if the applicant is using carcinogenic materials in the manufacturing or distribution process which have been found in laboratory research to produce cancer in human beings.
✓		9. Smoke Emissions. No person shall emit or cause to be emitted into the atmosphere from any air contamination source of emission whatsoever any air contaminant which is of such a shade or density as to obscure an observer's vision to a degree in excess of twenty (20) percent opacity.
✓		10. Odors. It is a violation if odors are detected after the odorous air has been diluted with seven or more volumes of odor-free air.
NA		11. Other Emissions. Emissions of electromagnetic radiation, heat or glare shall in no case endanger human health, cause damage to vegetation on property, interfere with the normal operation of equipment or instruments, or interfere with the reasonable use and enjoyment of property located outside the lot on which a use is operated.