

LEGEND

	PROPERTY LINE				
	EASEMENT LINE				
	LOT LINE				
	— — BUILDING SETBACK LINE				
	ADJACENT PROPERTY LINE				
	PHASE BOUNDARY LINE				N 89
					,
EXISTING		PROPOSED			
- — — — 5985 — -	— — – INDEX CONTOUR		- INDEX CONTOUR		
		84	- INTERMEDIATE CONTOUR		Ð
			CONCRETE AREA		
	GRAVEL AREA		GRAVEL AREA	7.48	
	CURB AND GUTTER		CURB AND GUTTER	21	
	BUILDING/ — — – BUILDING OVERHANG		 BUILDING/ BUILDING OVERHANG 		
	DECK		- DECK		
•	RETAINING WALL - SOLID/	· ~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	RETAINING WALL - SOLID	(60' I	
	- o SIGN		SIGN	S ELLICOTT HIGH	
BO	BOLLARD	o B	BOLLARD		
	WOOD FENCE	2515 LARAMIE DRIVE	BUILDING ADDRESS	R.O	
0	CHAIN LINK FENCE	(100)	UNIT ADDRESS	.0.W.)	
x	BARBED WIRE FENCE		■ FIRE LANE		
	TREE				
9	(EVERGREEN/DECIDUOUS SHRUB	5)			
\bigotimes	ROCK				
ABBREVIA	TION LEGEND				3
ASPH	ASPHALT			- 66	\backslash
CONC	CONCRETE			0.02	
C & G	CURB & GUTTER				6
DET.	DETAIL				
ESMT	EASEMENT			وه هچ هو وه م م م م م م م م م م م م م م م م م م م	
ME	MATCH EXISTING				8 ₀ 0 6
P.B., PG.	PLAT BOOK, PAGE				
PVMT	PAVEMENT				`*Q
RET. WALL	RETAINING WALL				
REC. NO.	RECEPTION NUMBER				9 (
R.O.W.	RIGHT-OF-WAY				L UE
SF	SQUARE FOOT		62 GRAVEL		Ľ,
STBK	SETBACK		PARKING SPOT		
SW	SIDEWALK		IN THIS AREA		
UTIL	UTILITY				
C	CATCH CURB				
S	SPILL CURB				
-					·

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0809G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

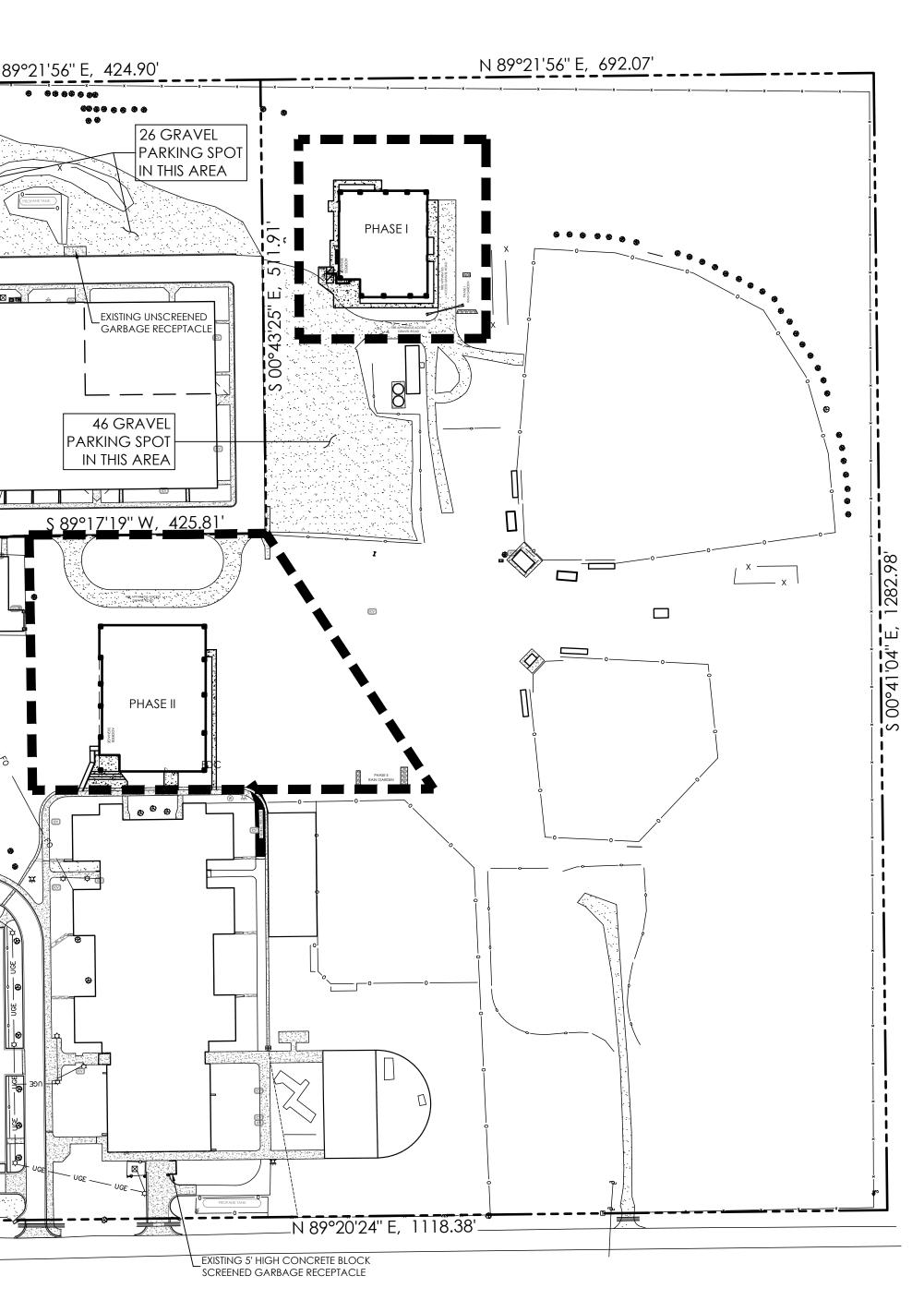
1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY CLARK LAND SURVEYING INC. 2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

LEGAL DESCRIPTION

DEVELOPMENT NOTES

SITE DEVELOPMENT PLAN FOR ELLICOTT SCHOOL ADDITION - 2 BUILDINGS

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



OWNER ELLICOTT SCHOOL DISTRICT NO 322 S ELLICOTT HIGHWAY, CALHAN, CO 80808 (719) 683-2700 INFO@ESD22.ORG

DEVELOPER ED GREEN CONSTRUCTION 1180 TRANSIT DR, COLORADO SPRINGS, CO 809 (719) 475-0922

CONSULTANT/ENGINEER M.V.E., INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80 (719) 635-5736 MVE@MVECIVIL.COM

ZONING AGRICULTURAL (A-35)

BUILDING USE POLITICAL SUBDIVISION/PUBLIC

CONSTRUCTION SCHEDU FINISH: SPRING 2023

TAX SCHEDULE NO. 2418000019 2418000018

PROPERTY ADDRESS 399 S ELLICOTT HIGHWAY, CALHAN, CO 80808

375 S ELLICOTT HIGHWAY, CALHAN, CO 80808

PARCEL SIZE 32.93 ACRES

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO EXCEPT THAT TRACT DESCRIBED IN THE RECORDS OF EL PASO COUNTY AT RECEPTION NO. 200056673 AND EXCEPT ROADS.

CONTAINING AN AREA OF 28.51 ACRES, MORE OR LESS.

1. WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT. 2. SANITARY SEWER SYSTEM ON THIS SITE IS PRIVATE, WASTEWATER TREATMENT IS PROVIDED OFFSITE. 3. NATURAL GAS SERVICE PROVIDED BY PRIVATELY OWNED ON-SITE PROPANE TANKS. 4. ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION.

5. FIRE SERVICE PROVIDED BY ELLICOTT FIRE PROTECTION DISTRICT.

WELL NOTE

WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT. THERE ARE NO ON-SITE WELLS. SEPTIC NOTE

THERE ARE NO SEPTIC FACILITIES ON THIS SITE. WASTEWATER IS CONVEYED BY PIPE EAST OF ELLICOTT HIGHWAY AND TREATMENT IS PROVIDED OFFSITE.

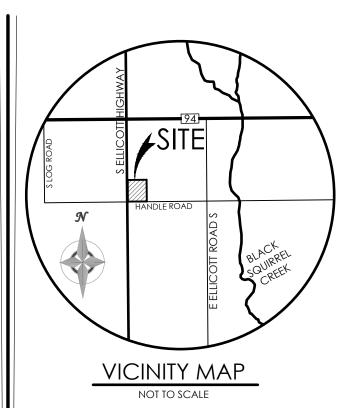
FENCING

NO NEW FENCES ARE PROPOSED FOR THE PHASE I AND PHASE II BUILDING ADDITION AREAS. ALL FENCES SHOWN ON PLAN ARE EXISTING AND DO NOT IMPACT PHASE I AND PHASE II.



SITE DATA

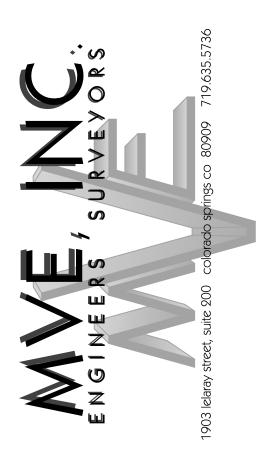
10 22	COVERAGE DATA PHASE I IMPROVEMEN BUILDING (TWO STOR GRAVEL DRIVE:	ITS AREA	PERCENTAGE OF TOTAL 0.80% 0.34%
	SIDEWALK: LANDSCAPING:	3,323 SF 1,280 SF	0.23% 0.09%
	PHASE II IMPROVEMEI BUILDING (ONE STOR)	(): 19,123 SF	1.33%
	GRAVEL DRIVE: SIDEWALK:	12140 SF 2,231 SF	0.85% 0.16%
0903	LANDSCAPING: TOTAL IMPROVEMENT	2,674 SF S 57,090 SF	0.19% 3.98%
2	EXISTING BUILDINGS	<u>36,366</u> SF	2.54%
00 0909	EXISTING SIDEWALK EXISTING GRAVEL ARF	119,100 SF	8.30% 7.94%
		D PARKING = 162 SPACES	
	HIGH SCHOOL + PH 288 STUDENTS @ 1 S ELEMENTARY SCHC	PACE PER 4 STUDENTS	= 72 SPACES
	45 CLASSROOMS	2 SPACES PER CLASSROO PARKING = 6 SPACES	M = 90 SPACES
IC SCHOOL	151 TO 200 REQUIR PROVIDED PARKING	ed standard spaces	= 6 HANDICAP SPACES
ULE	104 STANDARD PAI 134 GRAVEL PARKI	NG SPACES	
	- 26 GRAVEL SP	OTS WEST OF ELEMENTARY OTS NORTH OF HIGH SCHC	OOL
	8 DISABLED PARKIN		L E A MINIMUM OF 9 FEET WIDE
			NSIONALLY ADA COMPLIANT
	TOTAL PARKING = 24 BUILDING TYPE	6 SPACES PROVIDED	
	PHASEI	100.05	
	BUILDING AREA - 11,4 TWO STORIES - TYPE 5	o	
	FIRE SPRINKLED / NO I	FIRE WALLS	
	<u>Phase II</u> Building Area - 19, [°]	23 SF	
	ONE STORY - TYPE 5b FIRE SPRINKLED / NO I		
	BUILDING HEIGHT		
	PHASE I		
	25' (TWO STORIES) <u>PHASE II</u>		
	20' (ONE STORY) SETBACKS		
	25' FRONT 25' SIDE		
	25 'REAR		
	<u>LIGHTING</u> LIGHTING WILL BE PRC	OVIDED FROM WALL MOUN	ITED FIXTURES.
	SHEET	<u>INDEX</u>	
	SITE DEV	ELOPMENT PLAN	
	DP		
	DP- DP-		
		IG & EROSION CONTR	
	C1		
	C1 C1		ADING PLAN DSION CONTROL PLAN
	C1	4 PHASE II GR.	ADING PLAN
	C1 C1		DSION CONTROL PLAN ONTROL DETAILS
	C1 C1		ONTROL DETAILS
	UTILITY F	PLAN	
	C2 C2		ITY SERVICE PLAN LITY SERVICE PLAN
		CAPE PLAN	
	LS1		
	LS1 BUILDIN	.2 PLAN SHEET G FLOOR PLAN	
	DUILDIN A1		OR PLAN
	Al		OOR PLAN
	A2 A2		ERIOR ELEVATIONS ERIOR ELEVATIONS
er 🔰			
& Community D	evelopment	PCD F	FILE # PPR2250



BENCHMARK THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



10 0 100 50 1" = 100' 1:1,200



REVISIONS Fire apparatus access road updated 9/30/2022 pursuant to Fire Department comments

> DESIGNED BY DRAWN BY CHECKED BY AS-BUILTS BY CHECKED BY

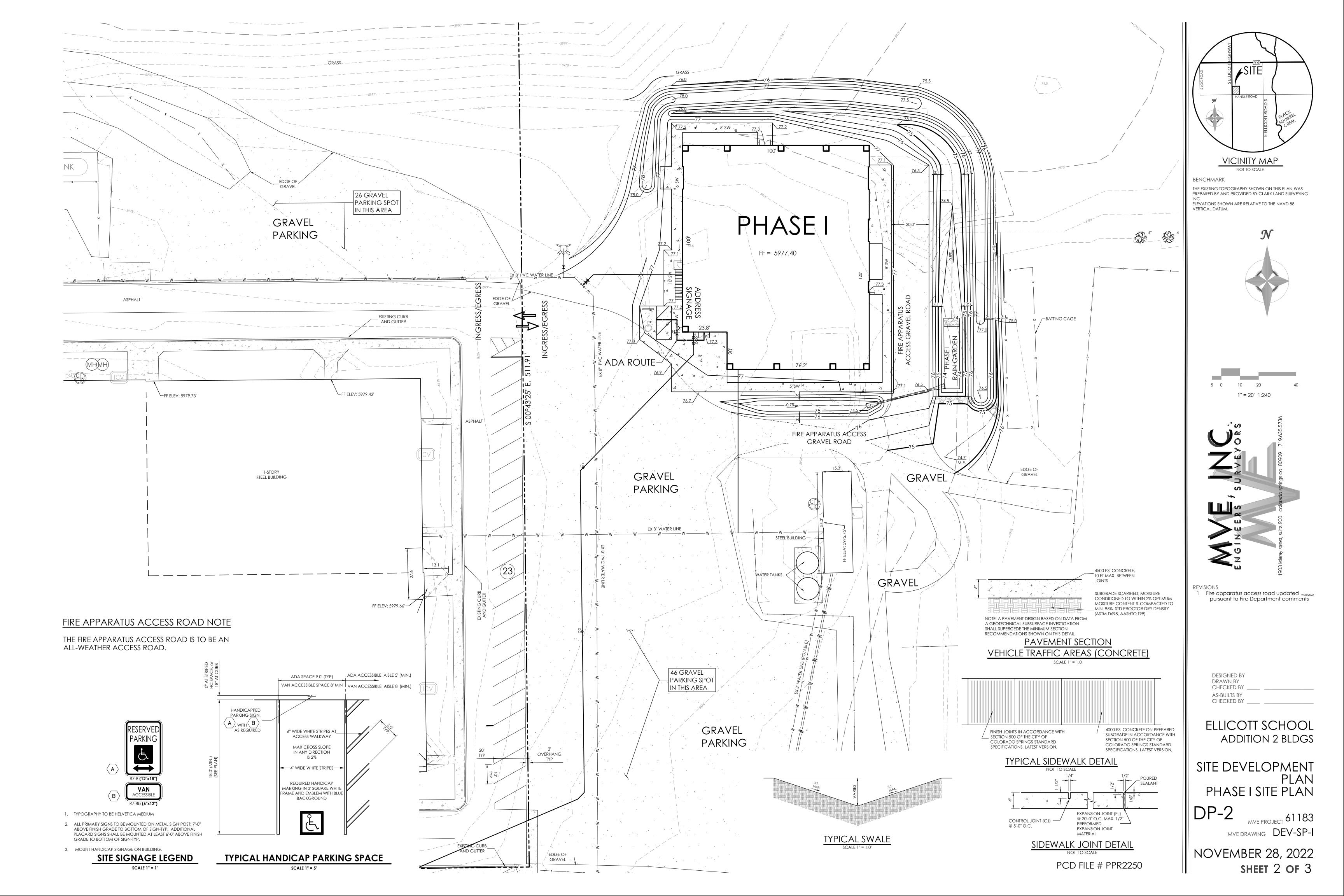
ELLICOTT SCHOOL **ADDITION 2 BLDGS**

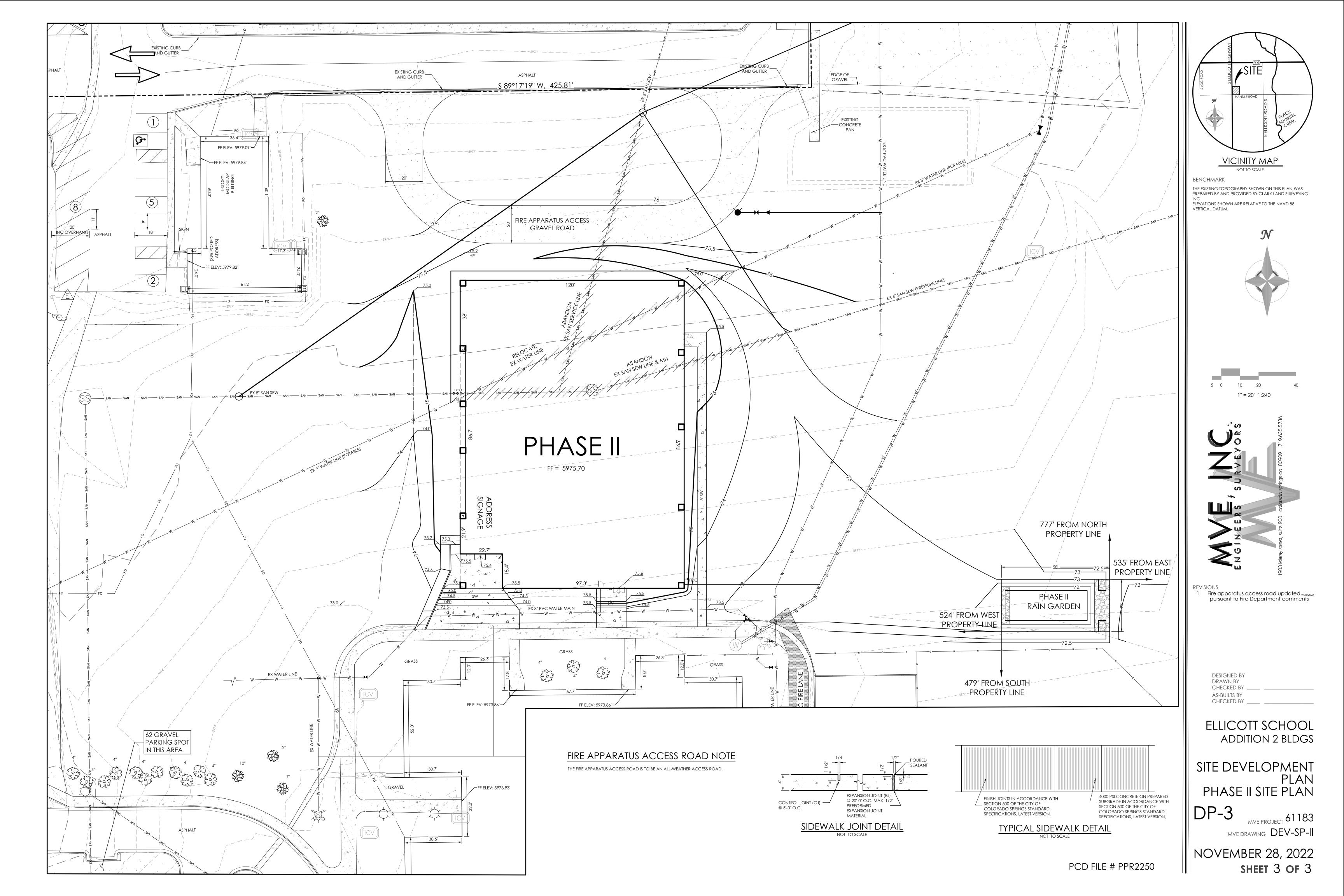
SITE DEVELOPMENT PLAN COVER SHEET

DP-

MVE PROJECT 61183 MVE DRAWING DEV-CS

NOVEMBER 28, 2022 SHEET 1 OF 3



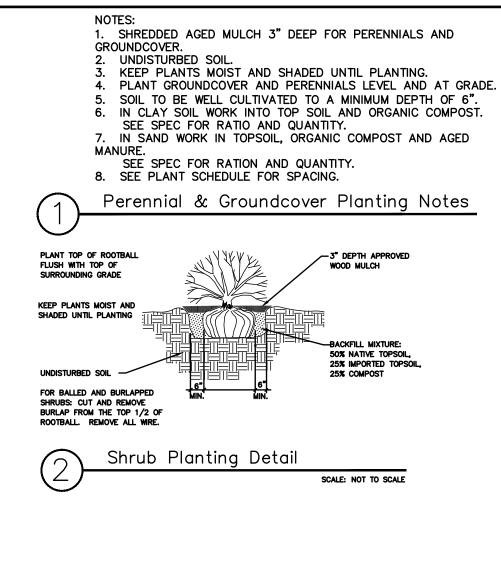


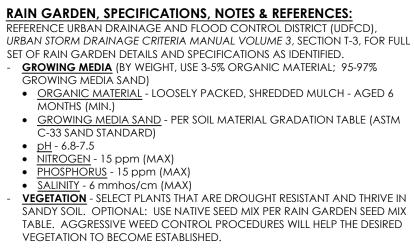
ABBREVIATION LEGEND

R.O.W.	RIGHT-OF-WAY
SF	square foot
SW	SIDEWALK
UTIL	UTILITY

	LEGEN	ID			
	PROPERTY LINE				
	EASEMENT LINE				
	LOT LINE				SIGHT
	BUILDING SETBACK LINE				
	ADJACENT PROPERTY LINE				
EXISTING		PROPOSED			GRAVĘL
- — — 5 985 — — — —	INDEX CONTOUR	— 5985 —	INDEX CONTOUR		
	INTERMEDIATE CONTOUR		INTERMEDIATE CONTOUR		SIGHT
	CONCRETE AREA		CONCRETE AREA		TRIAN
	GRAVEL AREA		GRAVEL AREA	-	
	CURB AND GUTTER		CURB AND GUTTER		
	BUILDING/ BUILDING OVERHANG		BUILDING/ BUILDING OVERHANG	024	<u>37</u> 19 ^m
	DECK		DECK	413000 IING: A	
	RETAINING WALL - SOLID/ ROCK	• • • • • • • • • • • • • • • • • • • •	RETAINING WALL - SOLID ROCK	PARCEL ID: 3413000024 EXISTING ZONING: A-35	
	SIGN		SIGN	PAR EXIS	
oB	BOLLARD	B	BOLLARD		ILIC
<i></i> →	WOOD FENCE	2515 LARAMIE DRIVE	BUILDING ADDRESS		
0	CHAIN LINK FENCE	(100)	UNIT ADDRESS		SIGHT
x	BARBED WIRE FENCE		FIRE LANE		TRIANG
W ¹ 2" W (PVC) (PUBLIC) W	WATER MAIN	12" PVC WATER MAIN (PUBLIC)	WATER MAIN		
WW	WATER SERVICE LINE	1 1/2" HDPE WATER SERVICE	WATER SERVICE LINE		
W	WATER VALVE	— 	WATER VALVE		
G€ 859-B W	FIRE HYDRANT	€ HYD "A"	FIRE HYDRANT		
—— san <u>10'' SAN (PVC)</u> san —— (PUBLIC)	SANITARY SEWER MAIN	10" PVC SANITARY SEWER (PUBLIC)	SANITARY SEWER MAIN		SIGHT TRIA
	SANITARY SEWER SERVICE LINE	4" PVC SAN SEWER SERVICE MH-1	SANITARY SEWER SERVICE LINE		ANGL - NVS
SAN SAN	SANITARY SEWER MANHOLE	O	SANITARY SEWER MANHOLE		
— SAN 60 SAN — SAN —	SANITARY SEWER CLEANOUT		SANITARY SEWER CLEANOUT/ DOUBLE CLEANOUT		
	EXISTING TREE	NV2 NV2 NV2 NV2 NV2 NV2 NV2 NV2 NV2 NV2	PROPOSED SHRUB		
		*	PROPOSED ORNAMENTAL GRASSES	41300025 4NG: A-35	
			LANDSCAPE EDGING	PARCEL ID: 3413000025 EXISTING ZONING: A-35	
			NATIVE SEED	ڪ ٽن	
			COBBLE		
			RAIN GARDEN FILTER MEDIA		

PLANTING DETAILS



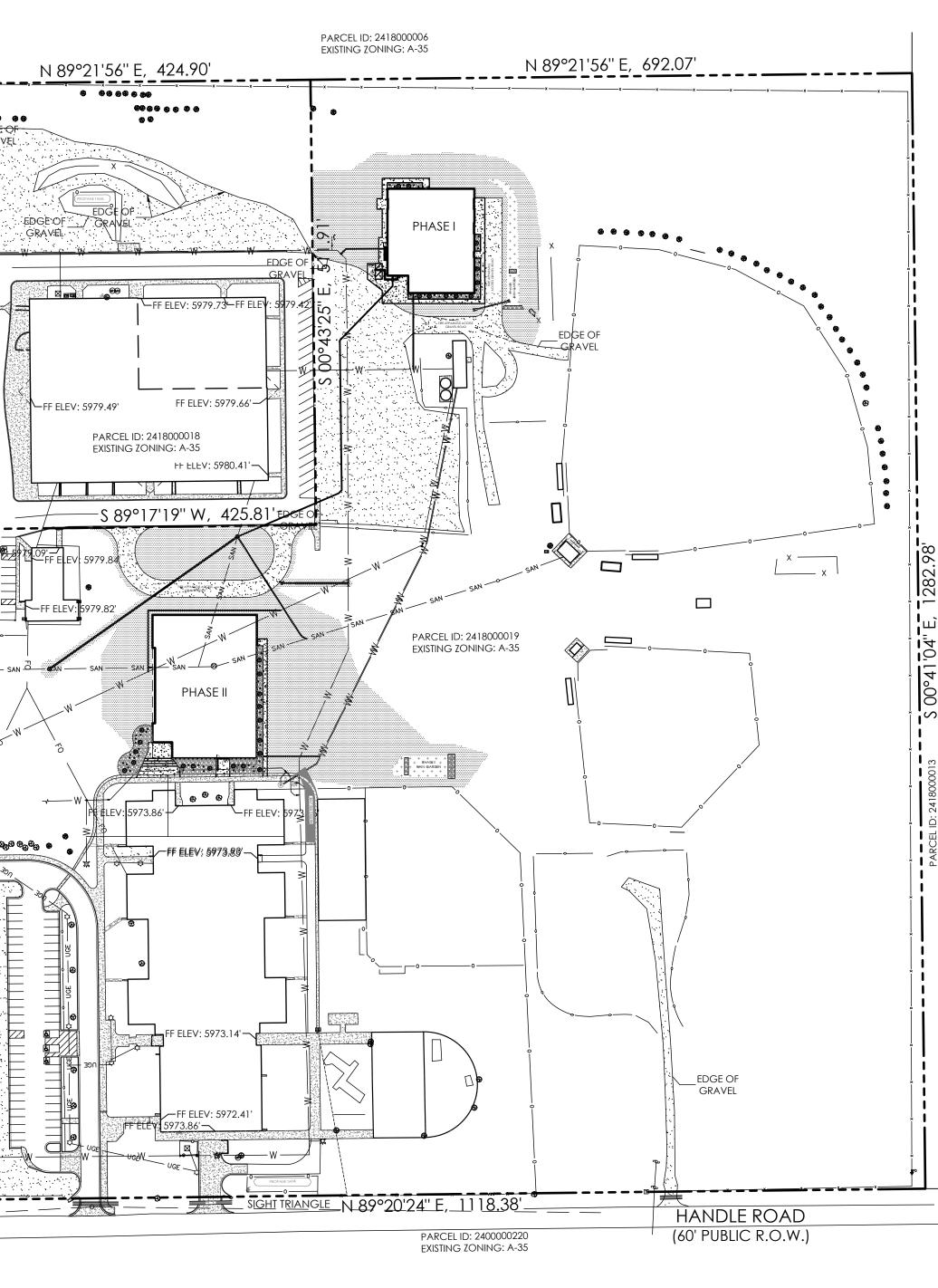


SIGHT TRIANGLE

Rain Garden Planting Notes

ALTERNATIVE LANDSCAPE PLAN ELLICOTT SCHOOL ADDITION - 2 BUILDINGS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN,

EL PASO COUNTY, COLORADO



RAIN GARDEN SEED MIX TABLE GROWING MEE STANDARD SIEVE SIZE 3/8" (9.5 mm) NO. 4 (4.75 mm) NO.8 (2.36 mm) NO. 16 (1.18 mm) NO. 30 (600 um) NO. 50 (300 um) NO. 100 (150 um) LESS THAN 1.5% ORGA

edia sand'		RAIN GARDEN SEED MIX TABLE		
		(SOURCE: UDFCD BIORETENTION (RG) TABLE B-3)		
% PASSING		COMMON NAME	LB/AC PLS ²	
%TA33ING		SAND BLUESTEM	3.5	
		SIDEOATS GRAMA	3	
	100	PRAIRIE SANDREED	3	
	95 - 100	INDIAN RICEGRASS	3	
	80 - 100	SWITCHGRASS	4	
	50 - 85	WESTERN WHEATGRASS	3	
	25 - 60	LITTLE BLUESTEM	3	
	10 - 30	ALKALI SACATON	3	
	2 - 10	SAND DROPSEED	3	
ANIC MATERIAL		TOTAL	27.5	
		SEE UDFCD TABLE B-3 FOR SC	IENTIFIC NAMES	

AND WILDFLOWER MIX OPTION 2 PLS = PURE LIVE SEED

OWNER ELLICOTT SCHOOL DISTRICT NO 22 322 S ELLICOTT HIGHWAY, CALHAN, CO 80808 (719) 683-2700 INFO@ESD22.ORG

DEVELOPER ED GREEN CONSTRUCTION 1180 TRANSIT DR, COLORADO SPRINGS, CO 80903 (719) 475-0922 JOSH@EDGREENCONSTRUCTION.COM

CONSULTANT/ENGINEER M.V.E., INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736 MVE@MVECIVIL.COM

ZONING AGRICULTURAL (A-35) **BUILDING USE** POLITICAL SUBDIVISION/PUBLIC SCHOOL

CLIMATE ZONE: PLAINS PLANT COMMUNITIES: PLAINS AND LOWER ELEVATION RIPARIAN PLANTING SCHEDULE

ABBREV

SHRUBS

ORNAN

CONDITIONS.

5. CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS, IRRIGATION COMPONENTS, NATIVE GRASS, AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE OWNER WITH WARRANTY CONDITIONS AND COMMENCE WARRANTY PERIOD UPON FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION. 6. THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE . MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, PRUNING, AND PLANT MATERIAL REPLACEMENT NATIVE SEED: 'LOW GROW MIX' SUPPLIED BY ARKANSAS VALLEY SEED CO.,4300 MONACO ST., DENVER, CO 80216 (303) 907-3337

COBBLE: TO BE 4-6" WHOLE WASHED RIVER COBBLES INSTALLED AT A 6" DEPTH ON FABRIC UNDERLAYMENT. PROVIDE REPRESENTATIVE SAMPLE OF COBBLE TO BE USED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO JOB SITE DELIVERY.

4. ADD 3 LBS. N FOR ALL TURFGRASS AREAS PER SPECIFICATIONS.

EXCEED 6" X 6". OVER SEEDING

EXISTING UTILITIES NOTE

SITE DATA

CONSTRUCTION SCHEDULE

START: FALL 2022

2418000019

2418000018

FINISH: SPRING 2023

TAX SCHEDULE NO.

PROPERTY ADDRESS

CALHAN, CO 80808

CALHAN, CO 80808

PARCEL SIZE

32.93 ACRES

399 S ELLICOTT HIGHWAY,

375 S ELLICOTT HIGHWAY,

V.	QTY.	BOTANICAL NAME	COMMON NAME	Mature Height/ Width	Planting Size
S					

	28	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	1-2' 5-6'	5 gal.		
ME	MENTAL GRASSES/PERENNIALS						
	56	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	4-5' 18-24''	1 gal.		

LANDSCAPE NOTES

IRRIGATION OF ALL LANDSCAPE AREAS TO BE PERFORMED BY OWNER UNTIL PLANTS ARE ESTABLISHED ALL REFERENCES TO 'CONTRACTOR' REFER TO LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR GETTING ALL UTILITY LOCATES PRIOR TO STARTING ANY WORK ON SITE AND ALSO HAVING UTILITIES RELOCATED AS NECESSARY FOR THE DURATION OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD, NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF LANDSCAPE MATERIALS ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. NOTIFY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF LANDSCAPE MATERIAL LOCATIONS NEED TO BE ALTERED DUE TO ON-SITE

SOIL AMENDMENTS

EPA CLASS 'A' CO-COMPOST OR COMPOST. ADD 3 CY PER 1,000 SF FOR ALL SODDED AND PLANTING BED AREAS.

ROTOTILL INTO FIRST 4" OF TOPSOIL. 2. EPA CLASS 'A' CO-COMPOST OR COMPOST. ADD 1.5 CY PER 1,000 SF FOR ALL NATIVE SEED AREAS.

ROTOTILL INTO FIRST 4" OF TOPSOIL.

3. ADD 4 LBS. OF P2O5 PER 1,000 S.F. PER SPECIFICATIONS.

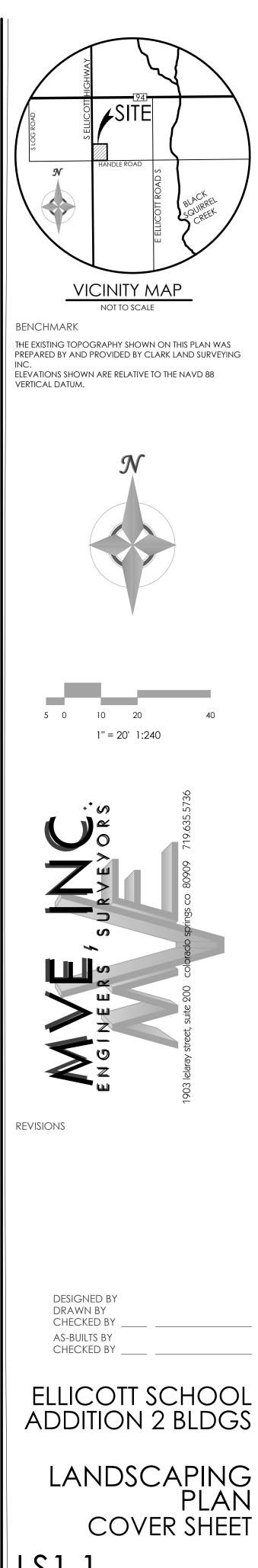
NATIVE SEED ESTABLISHMENT

INITIAL PLANTING

STOCKPILED TOPSOIL SHOULD BE SPREAD EVENLY OVER ALL AREAS TO RECEIVE NATIVE SEED. SEED BED IS TO BE WEED-FREE. SPECIFIED SOIL AMENDMENTS SHOULD BE SPREAD AND INCORPORATED INTO TOP 6" OF SOIL. SEED BED IS TO BE RAKED SMOOTH AND FREE OF DEBRIS LARGER THAN 1" IN DIAMETER. ANY AREAS THAT THE CONTRACTOR BELIEVES TO BE SUSCEPTIBLE TO EROSION ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO SEEDING. THE SPECIFIED SEED MIX IS TO BE APPLIED BY HYDRO-MULCH SEEDING AT THE RATE SPECIFIED. SEED IS TO BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 15. SEED SHALL NOT BE SOWN IF GROUND IS IN A FROZEN STATE. SPECIFIED EROSION CONTROL BLANKET IS TO BE INSTALLED IMMEDIATELY AFTER SEEDING. BLANKET SHALL BE LAID AND SECURED WITH 6" METAL STAPLES AS PER MANUFACTURER'S INSTRUCTIONS. CONTRACTOR IS TO PROVIDE INCIDENTAL WATERING OF ALL SEEDED AREAS THREE TIMES A WEEK DURING GROWING SEASON FOR A MINIMUM OF 8 WEEKS, OR UNTIL ESTABLISHED AND MEETING COVERAGE REQUIREMENTS. MOWING MAY BE NECESSARY DURING THE FIRST GROWING SEASON TO KEEP INVASIVE WEEDS FROM SETTING SEEDS. CONTRACTOR IS RESPONSIBLE FOR KEEPING BROADLEAF WEEDS UNDER CONTROL FOR 12 MONTHS AFTER INITIAL SEEDING AND IS ALSO RESPONSIBLE FOR OVER SEEDING BARE AREAS UNTIL SPECIFIED NATIVE GRASSES COVER ALL AREAS AND AREAS WITHOUT SPECIFIED NATIVE GRASS DO NOT

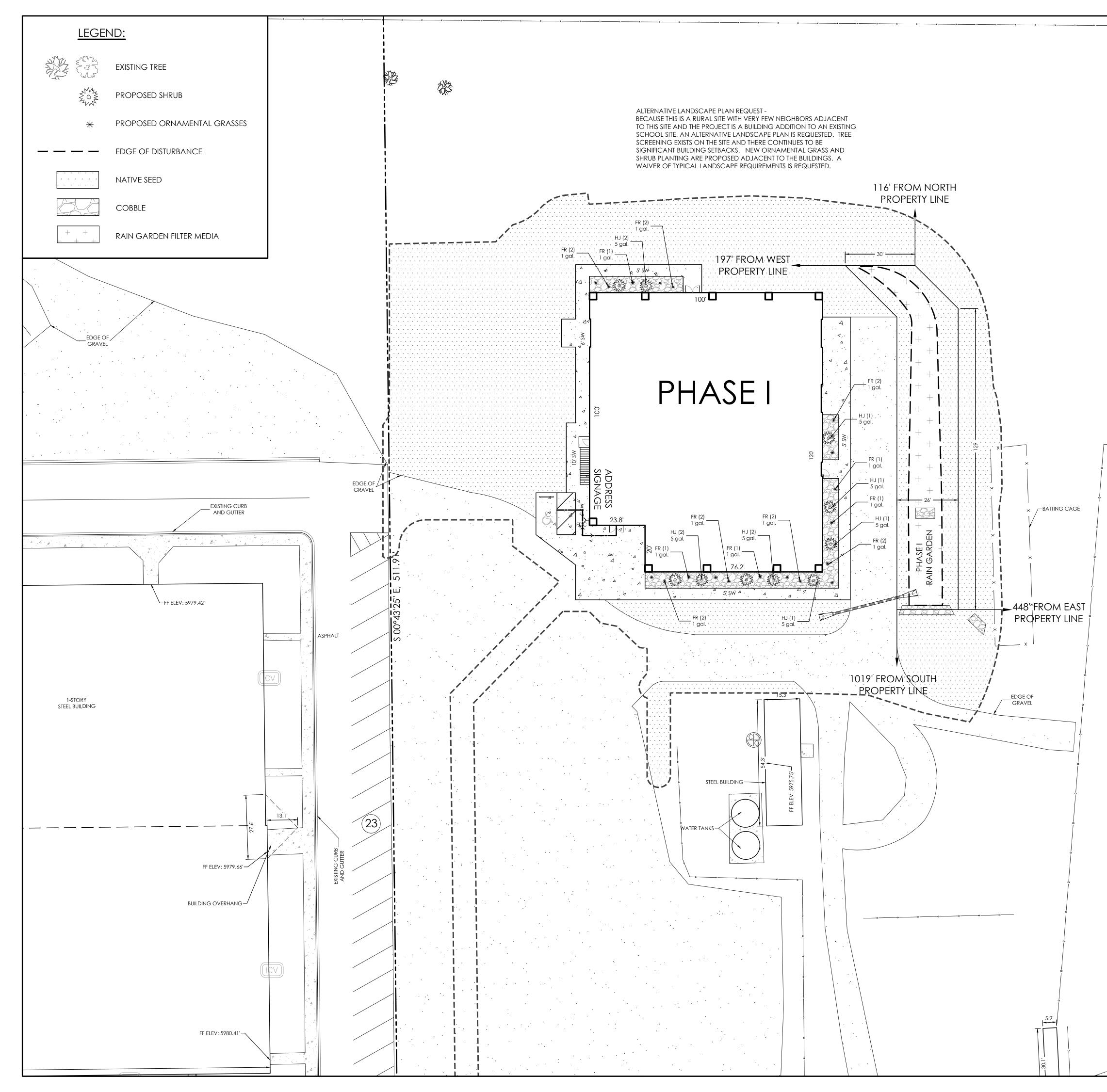
SIX WEEKS AFTER THE INITIAL SEEDING DURING THE FIRST GROWING SEASON AND/OR DURING THE SPRING OF THE SECOND GROWING SEASON CONTRACTOR IS TO REPAIR ANY ERODED AREAS AND OVER SEED ALL BARE NATIVE GRASS AREAS. CONTRACTOR IS TO USE SPECIFIED SEED MIX BY BROADCAST AND RAKING INTO TOP 1/4" TO 1/2" OF SOIL, INCIDENTAL WATERING IS TO BE PROVIDED TO ESTABLISH OVER-SEEDED AREAS. BROADLEAF WEEDS ARE TO BE KEPT UNDER CONTROL BY MANUALLY PULLING OR CUTTING WEEDS OR SPRAYING OF BROADLEAF WEED HERBICIDE. HERBICIDE AND APPLICATION SHALL CONFORM TO ALL APPLICABLE LAWS OF THE STATE OF COLORADO AND MANUFACTURERS INSTRUCTIONS.

THE LOCATION OF EXISTING UTILITIES DEPICTED ON THIS PLAN ARE SHOWN ACCORDING TO AVAILABLE RECORDS, SURFACE EVIDENCE AND THE RECOLECTIONS/BEST KNOWLEDGE OF THE OWNER AND DESIGN TEAM. ELECTRIC UTILITY LOCATION IS NOT POSSIBLE. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED. EXERCISE CAUTION DURING EXCAVATION OPERATIONS.

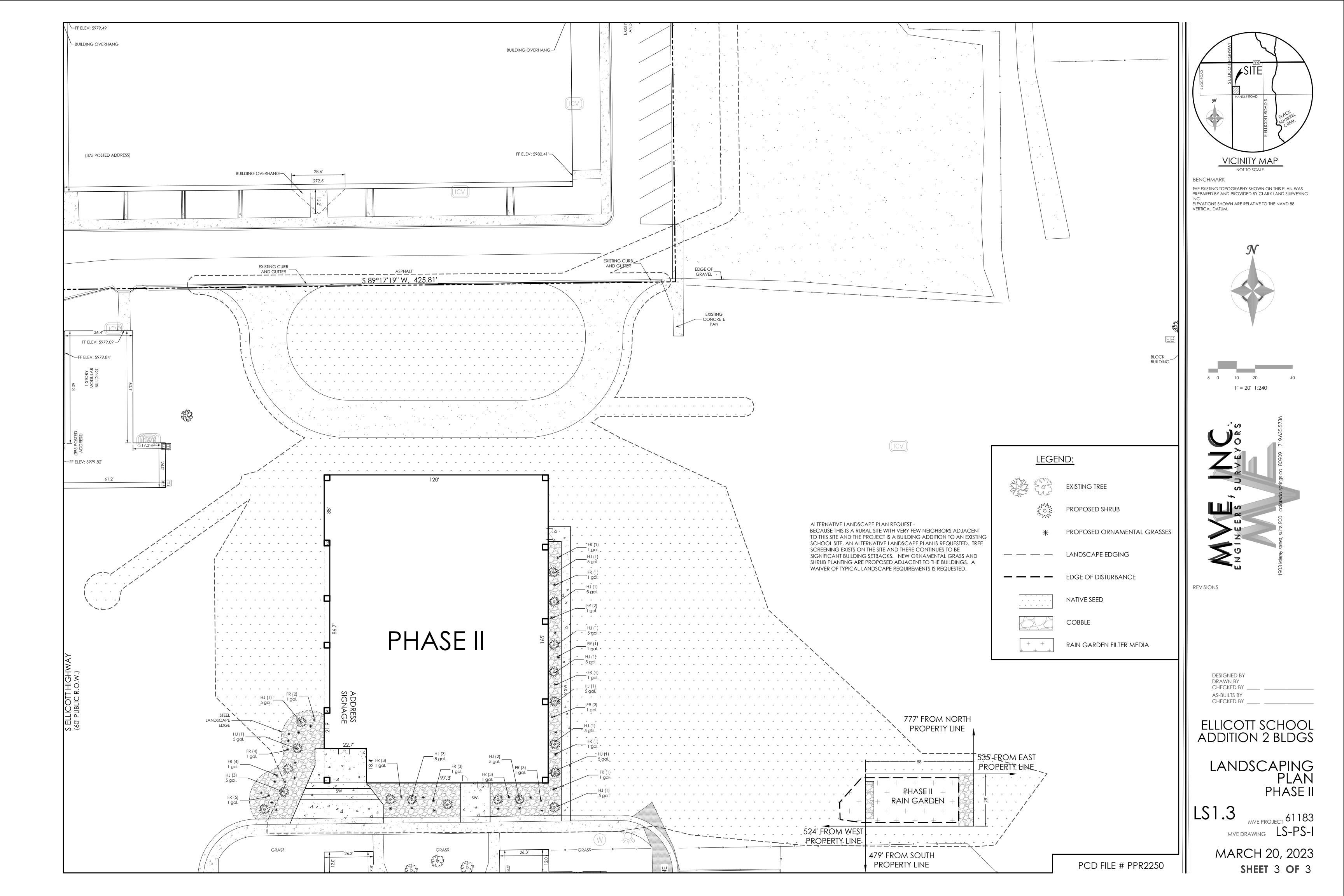


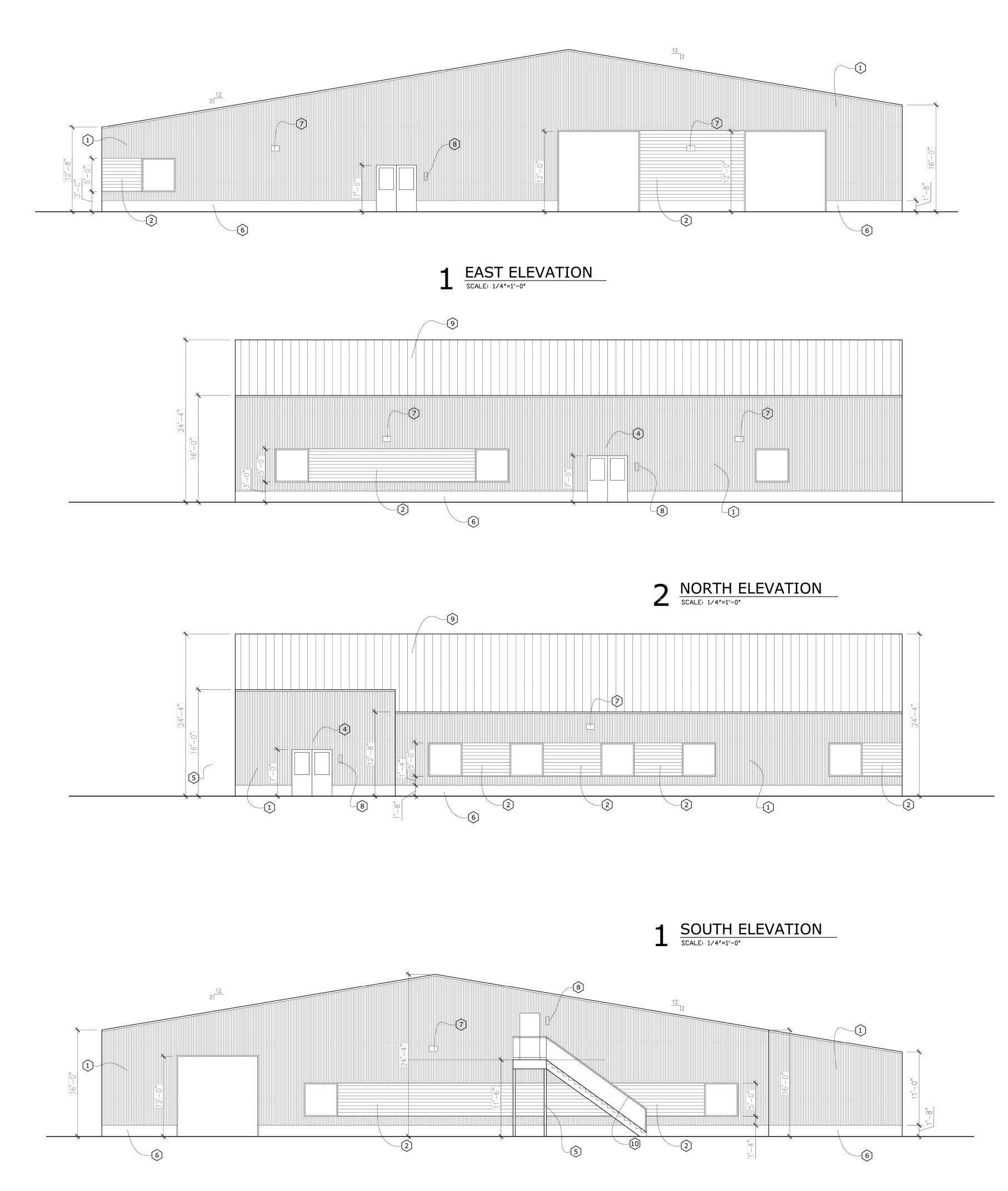
LJI. MVE PROJECT 61183 LS-PS MVE DRAWING

> MARCH 20, 2023 SHEET 1 OF 2



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		REVISIONS OR DATES TO TARGE A STATES TO TARGE A
		DESIGNED BY DRAWN BY CHECKED BYAS-BUILTS BY CHECKED BY ELLICOTT SCHOOL ADDITION 2 BLDGS LANDSCAPING PLAN PHASE I LS1.2
_DUG OUT _(STEEL BUILDING)	PCD FILE # PPR2250	LSI.Z MVE PROJECT 61183 MVE DRAWING LS-PS-I MARCH 20, 2023 SHEET 2 OF 3

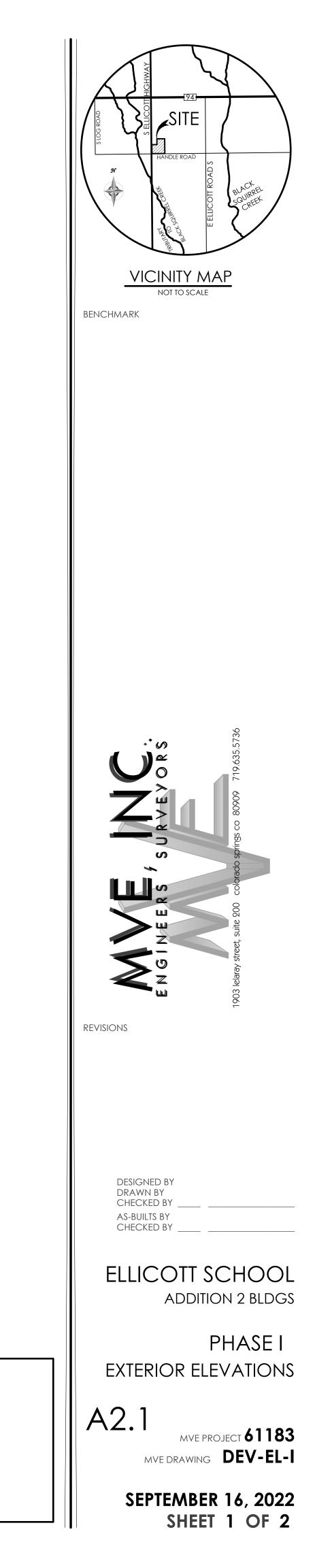


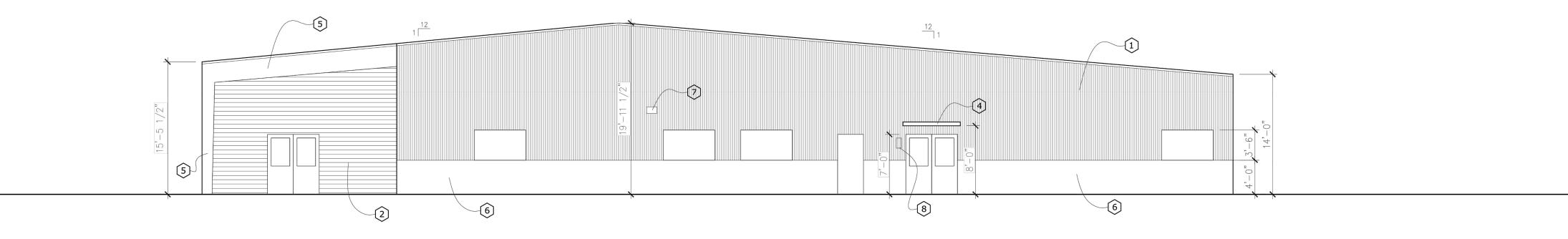


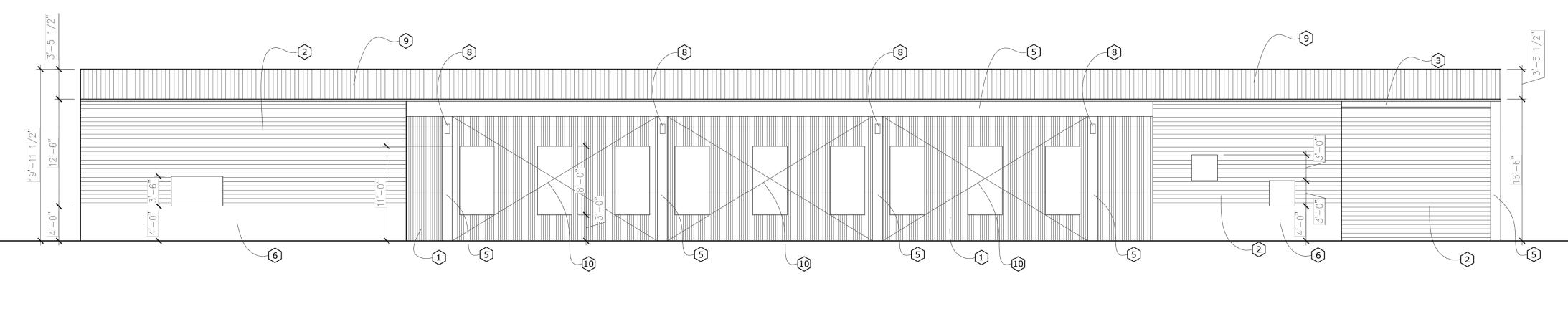


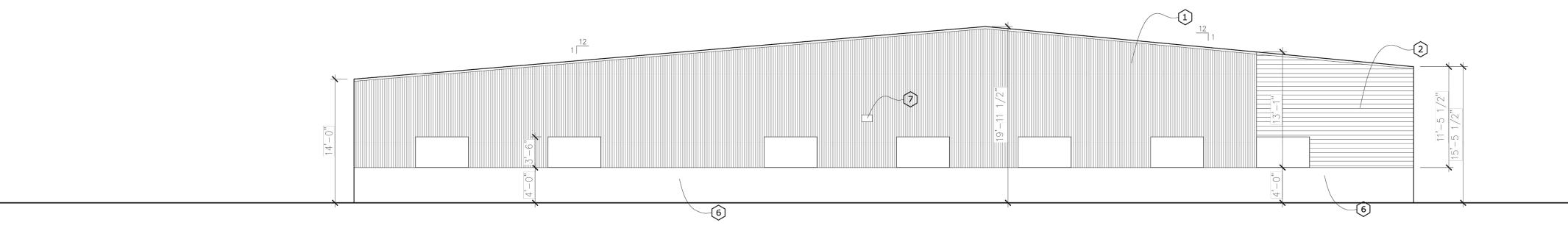
<u>elevation notes;</u>

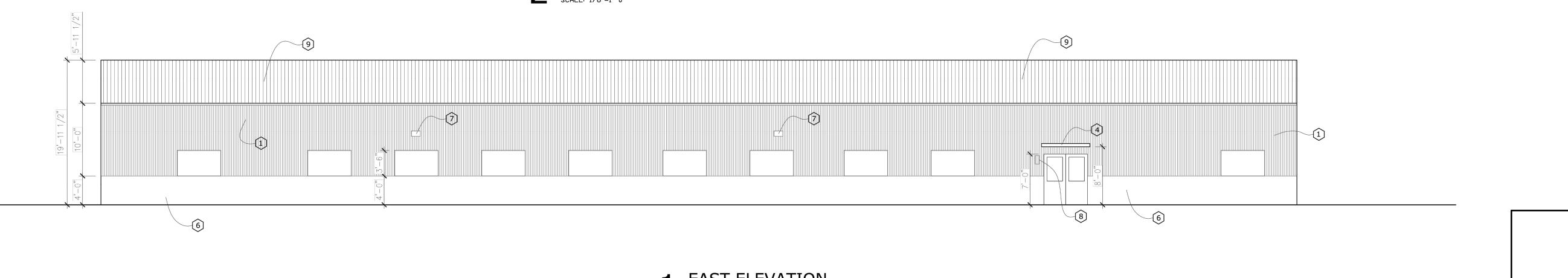
- $\widehat{(1)} \begin{array}{c} \text{BUILDING RIGID METAL SIDING: VERTICAL} \\ \text{COLOR: TBD} \end{array}$
- 2 ACCENT BAND: RIGID METAL SIDING: HORIZONTAL COLOR: TBD
- 3 BREAK METAL TRIM: POWDER COAT OR PAINT COLOR: TBD
- (4) METAL FASCIA AWNING: POWDER COAT OR PAINT COLOR: TBD
- 5 PAINTED STEEL EXTERIOR STAIR SUPPORT
- 6 EXPOSED CONCRETE FOUNDATION STEM WALL
- 7 EXTERIOR SECURITY LIGHTING, TBD
- $(\hat{8})$ exterior wall sconce, tbd
- (9) ROOFING: RIGID METAL ROOFING COLOR: TBD
- 10 PAINTED STEEL RAILING, TBD











2 SOUTH ELEVATION SCALE: 1/8"=1'-0"

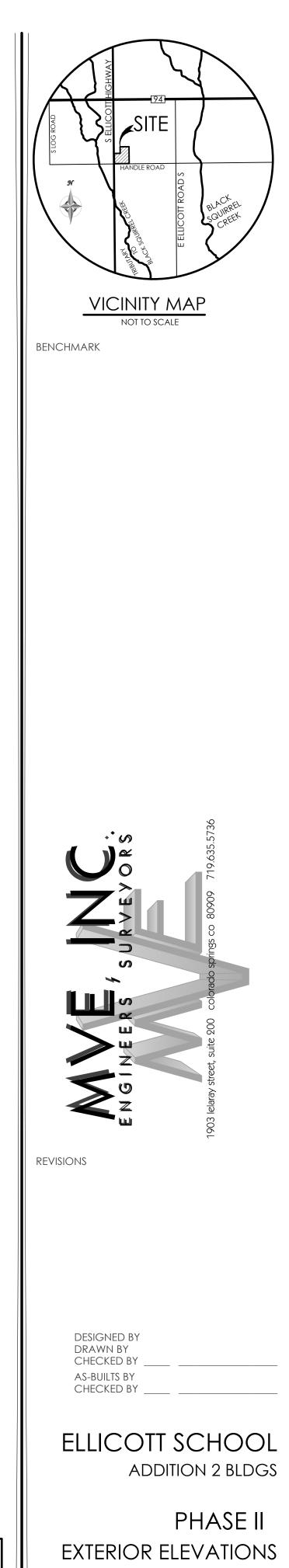
1 WEST ELEVATION SCALE: 1/8"=1'-0"

2 NORTH ELEVATION SCALE: 1/8'=1'-0'





- 2 ACCENT BAND: RIGID METAL SIDING: HORIZONTAL COLOR: TBD
- 3 BREAK METAL TRIM: POWDER COAT OR PAINT COLOR: TBD
- (4) METAL FASCIA AWNING: POWDER COAT OR PAINT COLOR: TBD
- 5 PAINTED STEEL METAL BUILDING FRAME
- 6 MASONRY BLOCK VENEER WAINSCOT
- $\overbrace{7}^{\sim}$ exterior security lighting, tBD
- (8) Exterior Wall Sconce, TBD
- 9 ROOFING: RIGID METAL ROOFING COLOR: TBD
- 10 PAINTED STEEL ROD CROSS TIES, TBD BY STEEL BUILDING MANUF.



A2.2 MVE PROJECT **61183**

MVE DRAWING DEV-EL-II

SEPTEMBER 16, 2022 SHEET 2 OF 2



January 23, 2023

PCD File No. PPR-22-050

LETTER OF INTENT ELLICOTT SCHOOL ADDITION 2 BUILDINGS SITE DEVELOPMENT PLAN (MVE Proj. No. 61183)

Owner:

Ellicott School District No 22 322 S Ellicott Highway Colorado Springs, CO 80808 (719) 683-2700

Consultant:

M.V.E., Inc. 1903 Lelaray Street, Suite 200 Colorado Springs, CO 80909 (719) 635-5736

Site Location Size and Zoning:

The Ellicott School Addition 2 Buildings site is located within the southwest quarter of Section 18, Township 14 South, Range 62 West of the 6th Principal Meridian, El Paso County, Colorado. The site is $32.93\pm$ acres in area and has tax schedule numbers 2418000019 (399 S Ellicott Highway), and 2418000018 (375 S Ellicott Highway). The site is located north of Handle Road and east of South Ellicott Highway in El Paso County. The site is zoned Agricultural - 35 Acres (A-35). The property contains several structures: an elementary school building, a highschool building, a superintendent office building, and various ancillary buildings as well as parking lots and grass covered ball fields.

Request and Justification:

The request is for Site Development Plan Approval for site grading and construction of two (2) new buildings along with sidewalks, drives, connected utilities, and permanent storm water BMPs. The project will consist of one (1) classroom building having one (1) story and 19,123 sf building footprint containing 13 classrooms, paved sidewalks, and landscaping will serve Ellicott Elementary School at 399 S Ellicott Hwy. One (1) Votech building having two (2) stories and 11,499 sf building footprint with a gravel access driveway, paved sidewalks, and landscaping will serve Ellicott Sr High School at 375 S Ellicott Hwy. The project also includes connecting internal potable water, sanitary sewer service lines, and two (2) proposed rain gardens, each one located downstream of each new building addition to provide water quality enhancement to their respective phase of development. This application also includes a request for the approval of an alternative landscaping plan.

Engineers • Surveyors 1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736 Fax 719-635-5450 • e-mail mve@mvecivil.com

Access

The main access to this project is from existing public South Ellicott Highway. There are two access points from South Ellicott Highway, one directly in front of Ellicott Sr High School at 375 S Ellicott Hwy as well as another access directly in front of Ellicott Elementary School at 399 S Ellicott Hwy. There is also access to the south west parking lot from Handle Road to the south.

Parking and Traffic Generation

The required parking for this project is 162 standard spaces and 6 handicap spaces. The total enrollment for the high school was used in calculating the required parking for the Votech building (Phase I). The total existing and proposed number of classrooms of the elementary school were used in calculating the required parking for the elementary school classrooms additions (Phase II). There currently exists 104 standard parking spaces on the site, as well as seven (7) ADA spaces. There are also 134 gravel parking spaces in use today by the elementary school and high school. None of the southeastern extended parking areas that are not in compliance with LDC 6.2.5 access requirements are included in gravel parking space for the school disabled parking space and proposed disabled space will be sufficient for the schools following the construction and use of the proposed facilities -these spaces are in compliance with LDC 6.2.5 access requirements in compliance with LDC 6.2.5 access requirements are included parking for the schools following the construction and use of the proposed facilities -these spaces are in compliance with LDC 6.2.5 access requirements is anticipated.

ADA Requirements

The site is provided with the required number ADA parking spaces. All proposed dimensions and slopes for new building access ways have been examined and are deemed compliant with the Department of Justice 2010 ADA Standards for Accessible Design.

Alternative Landscape Plan

This is an existing developed school site in current use that contains existing mature landscaping. The scope of the project is limited to the addition of two new buildings that encompass less than 6% of the site. It is not appropriate to evaluate and involve the landscape requirements for the entire site due to the the proposed building additions. A significant amount of water is dedicated for the irrigation of the existing landscaping and the school's sports fields because of the educational use. Irrigation is accomplished utilizing the existing irrigation system. Expanding the landscaping throughout the entire school site would require significantly more water which the district does not have to spare and the expansion of the irrigation system into established areas. Also, the new buildings are located large distances away from the site boundaries. The new northerly building (Votech) is located more than 125' from the northern property line and more than 500' from the east property line. Other buildings are located south and west of the new Votec building. The new southerly building (3-5) is located more than 230' from the west property line and more than 760 from the east property line. Other buildings are located south and west of the new 3-5 building. These distances proved adequate setbacks for the new buildings. Therefore, this application includes a request for the approval of Alternative Landscaping. Currently, the site is covered with native grasses, planted turf, trees and shrubs. Landscaping for the two new buildings shall include shrubs and ornamental grasses. An Alternative Landscape plan is included in the site development plan drawing set. Although the provided Alternative plan may not meet the specific

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requirements of Section 6.2.2. of the El Paso LDC, the proposed landscaping meets the purpose of Section 6.2.2. of the LDC, promotes the concepts contained in the Landscape and Water Conservation Manual, and provides an equivalent benefit to the community and environment as would otherwise be achieved by meeting the specified LDC requirements.

Grading/Erosion Control/Storm Drainage

Portions of the site shall be graded to accept the new improvements and to tie into the existing grades along the edge of disturbance/construction. Water quality treatment for the new disturbed impervious areas on the site will be provided by two (2) proposed rain gardens, each one located downstream of each new building addition to provide water quality enhancement to their respective phase of development. A Final Drainage Report has been prepared as part of the submittal material for this application. The development of this site shall be in conformance with the Final Drainage Report.

Water, Sanitary Sewer, Electric and Gas Utilities

The site is contained within the service area of Cherokee Metropolitan District which will provide water service. Sanitary sewer system on this site is private. Wastewater treatment is provided offsite. Mountain View Electric Association serves the site with electricity service. Privately owned on-site propane tanks serves the site with natural gas. Construction Documents for the proposed buildings will be reviewed by utility organizations. Internal water supply is provided through private well and a private water distribution system.

Fire Protection

Fire Protection is provided by Ellicott Fire Protection District. This plan has been received and approved by Ellicott Fire Department. Water mains with fire hydrants exist on the site. The two proposed buildings will be sprinkled for fire protection. Construction Documents for the proposed buildings will be reviewed by Pike Peak Regional Building Department and the Fire District.

Existing and Proposed Public Facilities

The site requires no new public facilities or public improvements. Construction Drawings for the buildings will be reviewed by Pike Peak Regional Building Department. No new signage is being added to the site.

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