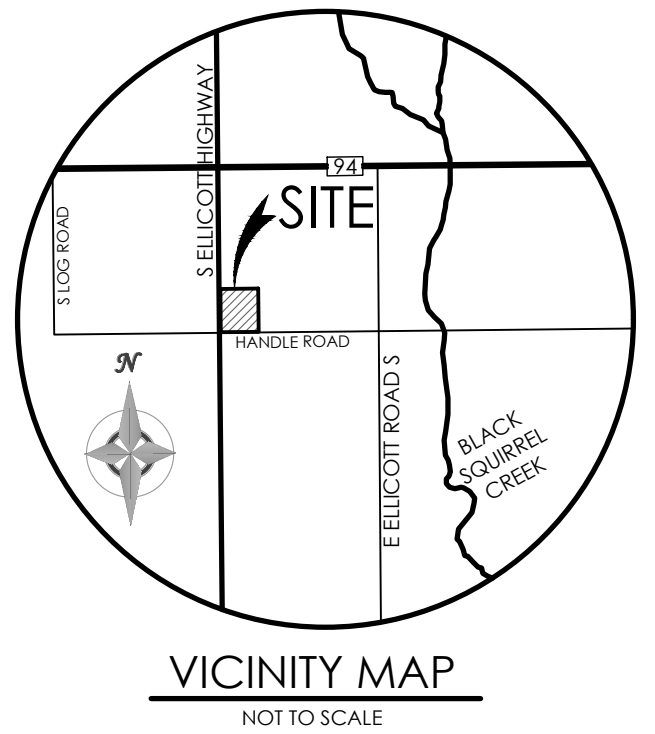


SITE DEVELOPMENT PLAN FOR ELLICOTT SCHOOL ADDITION - 2 BUILDINGS

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO



LEGEND

-----	PROPERTY LINE	-----	EASEMENT LINE
-----	LOT LINE	-----	BUILDING SETBACK LINE
-----	ADJACENT PROPERTY LINE	-----	PHASE BOUNDARY LINE
-----	INDEX CONTOUR	-----	INDEX CONTOUR
-----	INTERMEDIATE CONTOUR	-----	INTERMEDIATE CONTOUR
▨	CONCRETE AREA	▨	CONCRETE AREA
▨	GRAVEL AREA	▨	GRAVEL AREA
▨	CURB AND GUTTER	▨	CURB AND GUTTER
-----	BUILDING / BUILDING OVERHANG	-----	BUILDING / BUILDING OVERHANG
-----	DECK	-----	DECK
-----	RETAINING WALL - SOLID / ROCK	-----	RETAINING WALL - SOLID / ROCK
-----	SIGN	-----	SIGN
○	BOLLARD	○	BOLLARD
-----	WOOD FENCE	-----	WOOD FENCE
-----	CHAIN LINK FENCE	-----	CHAIN LINK FENCE
-----	BARBED WIRE FENCE	-----	BARBED WIRE FENCE
○	TREE (EVERGREEN/DECIDUOUS)	○	TREE (EVERGREEN/DECIDUOUS)
○	SHRUB	○	SHRUB
○	ROCK	○	ROCK

ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
⊙	CATCH CURB
⊙	SPILL CURB

ADA NOTE

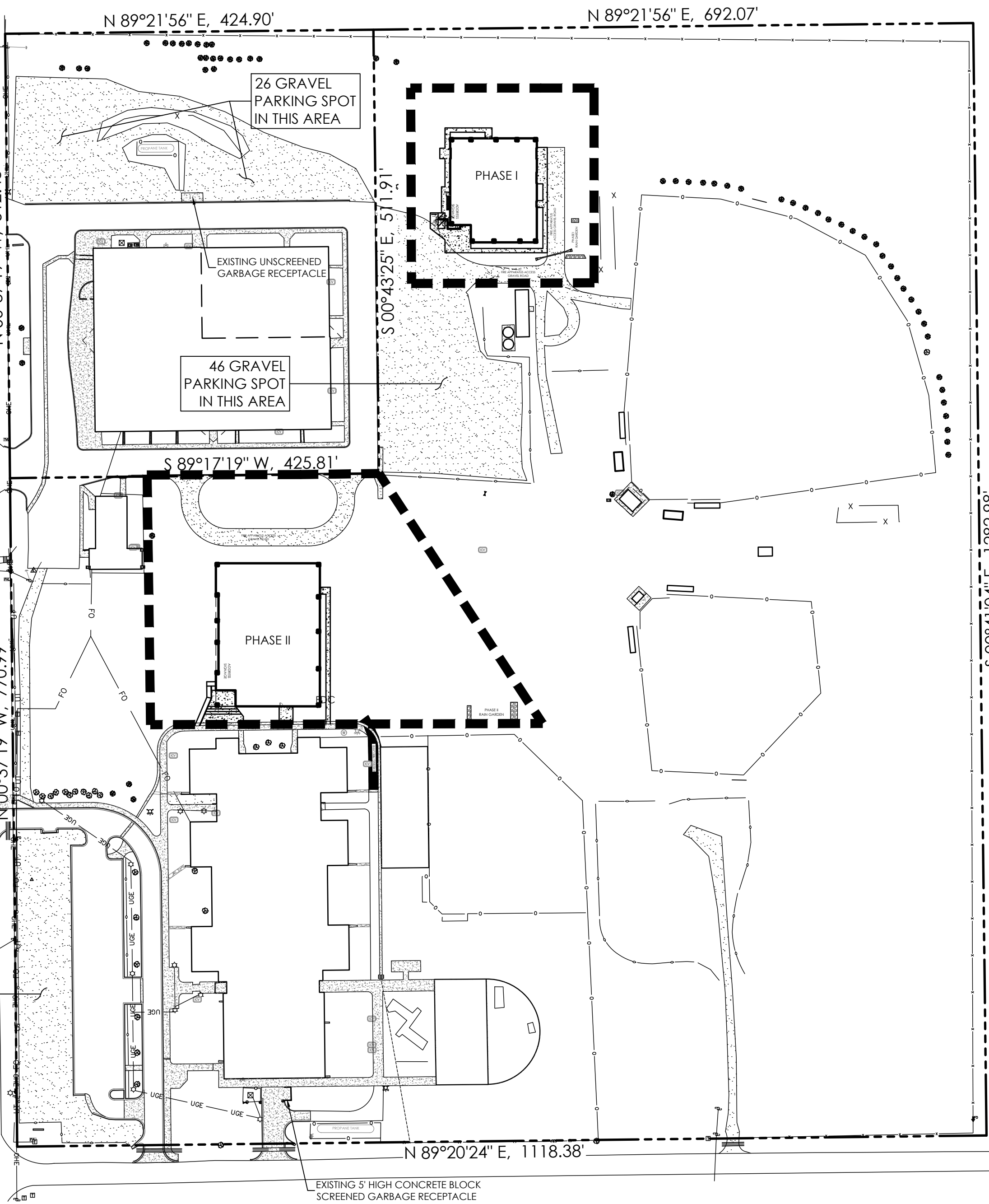
THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH REFERENCE TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C089G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY CLARK LAND SURVEYING INC.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.



LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 14 SOUTH, RANGE 62 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO EXCEPT THAT TRACT DESCRIBED IN THE RECORDS OF EL PASO COUNTY AT RECEPTION NO. 200036673 AND EXCEPT ROADS.

CONTAINING AN AREA OF 28.51 ACRES, MORE OR LESS.

DEVELOPMENT NOTES

1. WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT.
2. SANITARY SEWER SYSTEM ON THIS SITE IS PRIVATE. WASTEWATER TREATMENT IS PROVIDED OFFSITE.
3. NATURAL GAS SERVICE PROVIDED BY PRIVATELY OWNED ON-SITE PROPANE TANKS.
4. ELECTRIC SERVICE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION.
5. FIRE SERVICE PROVIDED BY ELLICOTT FIRE PROTECTION DISTRICT.

WELL NOTE

WATER SERVICE PROVIDED BY OFFSITE PRIVATE WELLS AND CHEROKEE METROPOLITAN DISTRICT. THERE ARE NO ON-SITE WELLS.

SEPTIC NOTE

THERE ARE NO SEPTIC FACILITIES ON THIS SITE. WASTEWATER IS CONVEYED BY PIPE EAST OF ELLICOTT HIGHWAY AND TREATMENT IS PROVIDED OFFSITE.

FENCING

NO NEW FENCES ARE PROPOSED FOR THE PHASE I AND PHASE II BUILDING ADDITION AREAS. ALL FENCES SHOWN ON PLAN ARE EXISTING AND DO NOT IMPACT PHASE I AND PHASE II.

SITE DATA

OWNER
ELLICOTT SCHOOL DISTRICT NO 22
322 S ELLICOTT HIGHWAY,
CALHAN, CO 80808
(719) 683-2700
INFO@ESD22.ORG

DEVELOPER
ED GREEN CONSTRUCTION
1180 TRANSIT DR,
COLORADO SPRINGS, CO 80903
(719) 475-0922

CONSULTANT/ENGINEER
M.V.E., INC.
1903 LELARAY STREET, SUITE 200
COLORADO SPRINGS, CO 80909
(719) 635-5736
MVE@MVECIVIL.COM

ZONING
AGRICULTURAL (A-35)

BUILDING USE
POLITICAL SUBDIVISION/PUBLIC SCHOOL

CONSTRUCTION SCHEDULE
START: FALL 2022
FINISH: SPRING 2023

TAX SCHEDULE NO.
241800019
241800018

PROPERTY ADDRESS
399 S ELLICOTT HIGHWAY,
CALHAN, CO 80808

375 S ELLICOTT HIGHWAY,
CALHAN, CO 80808

PARCEL SIZE
32.93 ACRES

PHASE I IMPROVEMENTS	AREA	PERCENTAGE OF TOTAL
PHASE I IMPROVEMENTS	11,499 SF	0.80%
BUILDING (TWO STORY):	4,820 SF	0.34%
GRAVEL DRIVE:	3,323 SF	0.23%
SIDEWALK:	1,280 SF	0.09%
LANDSCAPING:		

PHASE II IMPROVEMENTS	19,123 SF	1.33%
BUILDING (ONE STORY):	12140 SF	0.85%
GRAVEL DRIVE:	2,231 SF	0.16%
SIDEWALK:	2,674 SF	0.19%
LANDSCAPING:		

TOTAL IMPROVEMENTS	57,090 SF	3.98%
EXISTING BUILDINGS	36,366 SF	2.54%
EXISTING SIDEWALK	119,100 SF	8.30%
EXISTING GRAVEL AREA	113,932 SF	7.94%

PARKING DATA
REQUIRED STANDARD PARKING = 162 SPACES
HIGH SCHOOL + PHASE I:
288 STUDENTS @ 1 SPACE PER 4 STUDENTS = 72 SPACES
ELEMENTARY SCHOOL + PHASE II:
45 CLASSROOMS @ 2 SPACES PER CLASSROOM = 90 SPACES
REQUIRED DISABLED PARKING = 6 SPACES
151 TO 200 REQUIRED STANDARD SPACES = 6 HANDICAP SPACES

PROVIDED PARKING:
104 STANDARD PARKING SPACES*
134 GRAVEL PARKING SPACES
- 62 GRAVEL SPOTS WEST OF ELEMENTARY SCHOOL
- 26 GRAVEL SPOTS NORTH OF HIGH SCHOOL
- 46 GRAVEL SPOTS EAST OF HIGH SCHOOL
8 DISABLED PARKING SPACES**

**ALL STANDARD PARKING SPACES ARE A MINIMUM OF 9 FEET WIDE
**ALL DISABLED PARKING SPACES ARE DIMENSIONALLY ADA COMPLIANT

TOTAL PARKING = 246 SPACES PROVIDED
BUILDING TYPE
PHASE I
BUILDING AREA - 11,499 SF
TWO STORIES - TYPE 5b
FIRE SPRINKLED / NO FIRE WALLS

PHASE II
BUILDING AREA - 19,123 SF
ONE STORY - TYPE 5b
FIRE SPRINKLED / NO FIRE WALLS

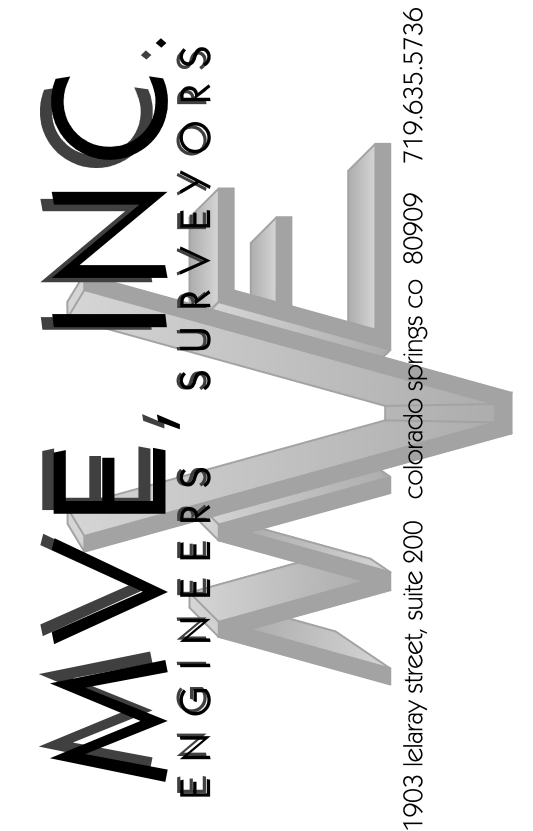
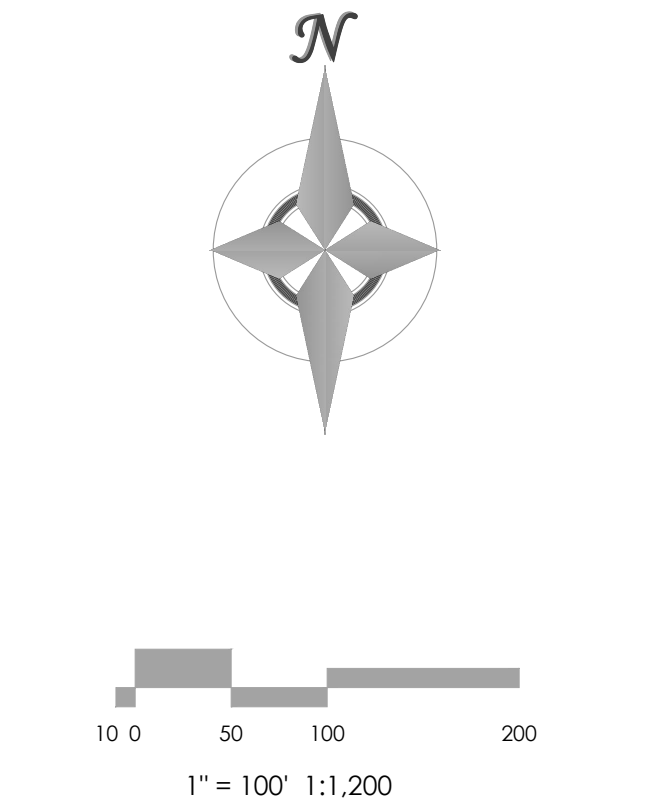
BUILDING HEIGHT
30 FT MAX.
PHASE I
25' (TWO STORIES)
PHASE II
20' (ONE STORY)

SETBACKS
25' FRONT
25' SIDE
25' REAR
LIGHTING
LIGHTING WILL BE PROVIDED FROM WALL MOUNTED FIXTURES.

SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	PHASE I SITE PLAN
DP-3	PHASE II SITE PLAN
GRADING & EROSION CONTROL PLAN	
C1.1	COVER SHEET
C1.2	PHASE I GRADING PLAN
C1.3	PHASE I EROSION CONTROL PLAN
C1.4	PHASE II GRADING PLAN
C1.5	PHASE II EROSION CONTROL PLAN
C1.6	EROSION CONTROL DETAILS
C1.7	EROSION CONTROL DETAILS
UTILITY PLAN	
C2.1	PHASE I UTILITY SERVICE PLAN
C2.2	PHASE II UTILITY SERVICE PLAN
LANDSCAPE PLAN	
LS1.1	COVER SHEET
LS1.2	PLAN SHEET
BUILDING FLOOR PLAN	
A1.1	PHASE I FLOOR PLAN
A1.2	PHASE II FLOOR PLAN
BUILDING ELEVATIONS	
A2.1	PHASE I EXTERIOR ELEVATIONS
A2.2	PHASE II EXTERIOR ELEVATIONS

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



REVISIONS
1 Fire apparatus access road updated pursuant to Fire Department comments

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

**ELLICOTT SCHOOL
ADDITION 2 BLDGS**

**SITE DEVELOPMENT
PLAN
COVER SHEET**

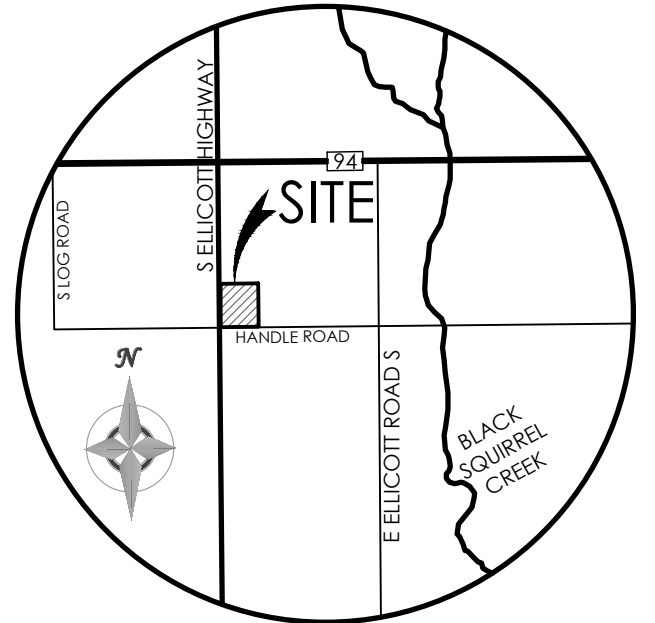
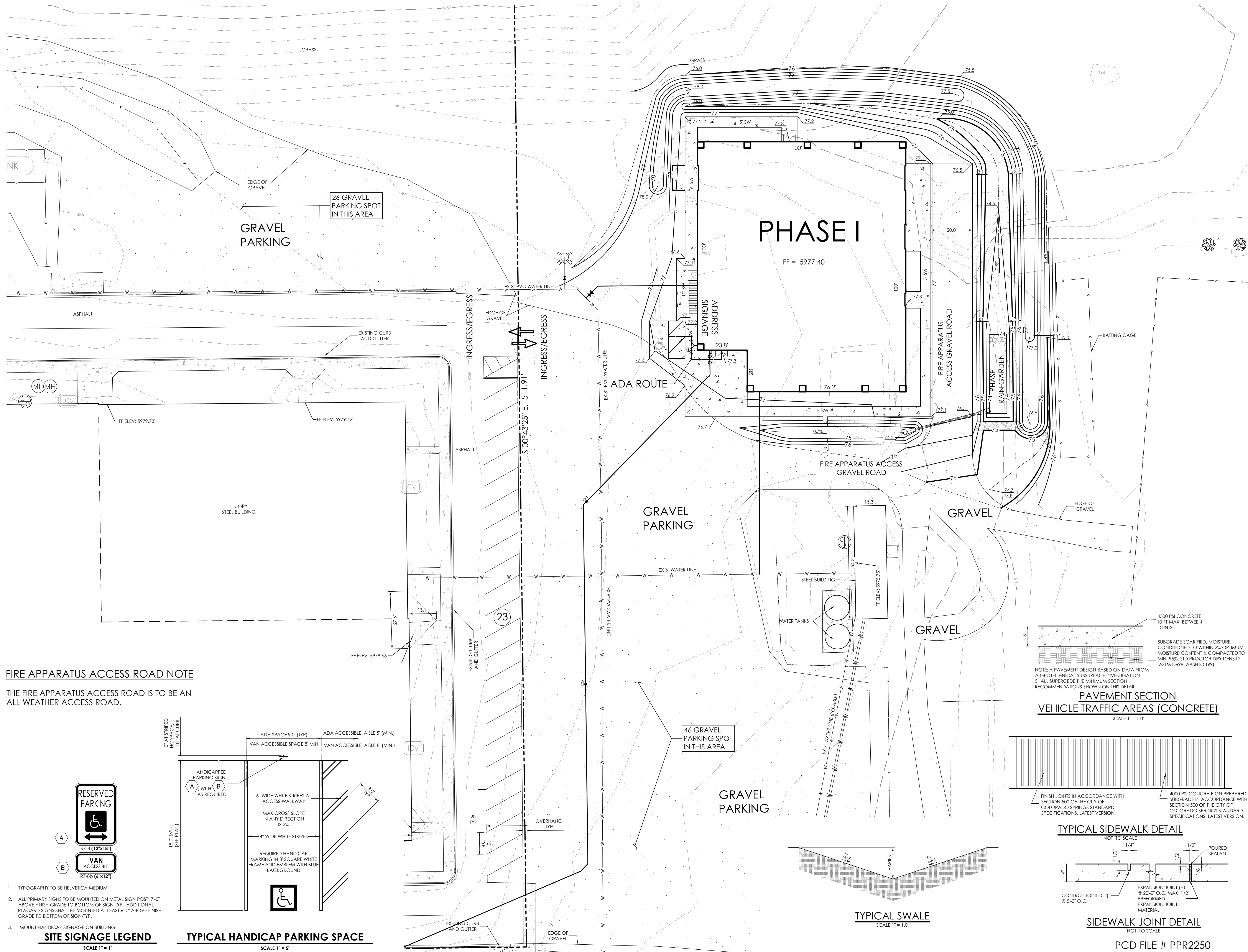
DP-1 MVE PROJECT 61183
MVE DRAWING DEV-CS

**NOVEMBER 28, 2022
SHEET 1 OF 3**

Approved
By: *Justin Kilgore*
Planning Manager
Date: 04/06/2023
El Paso County Planning & Community Development

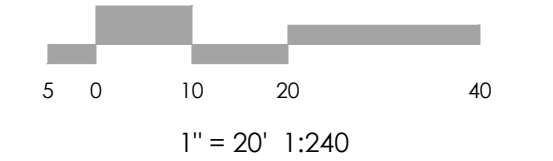
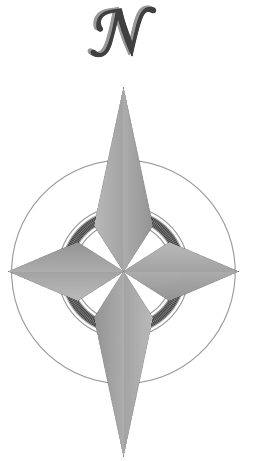


PCD FILE # PPR2250



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.

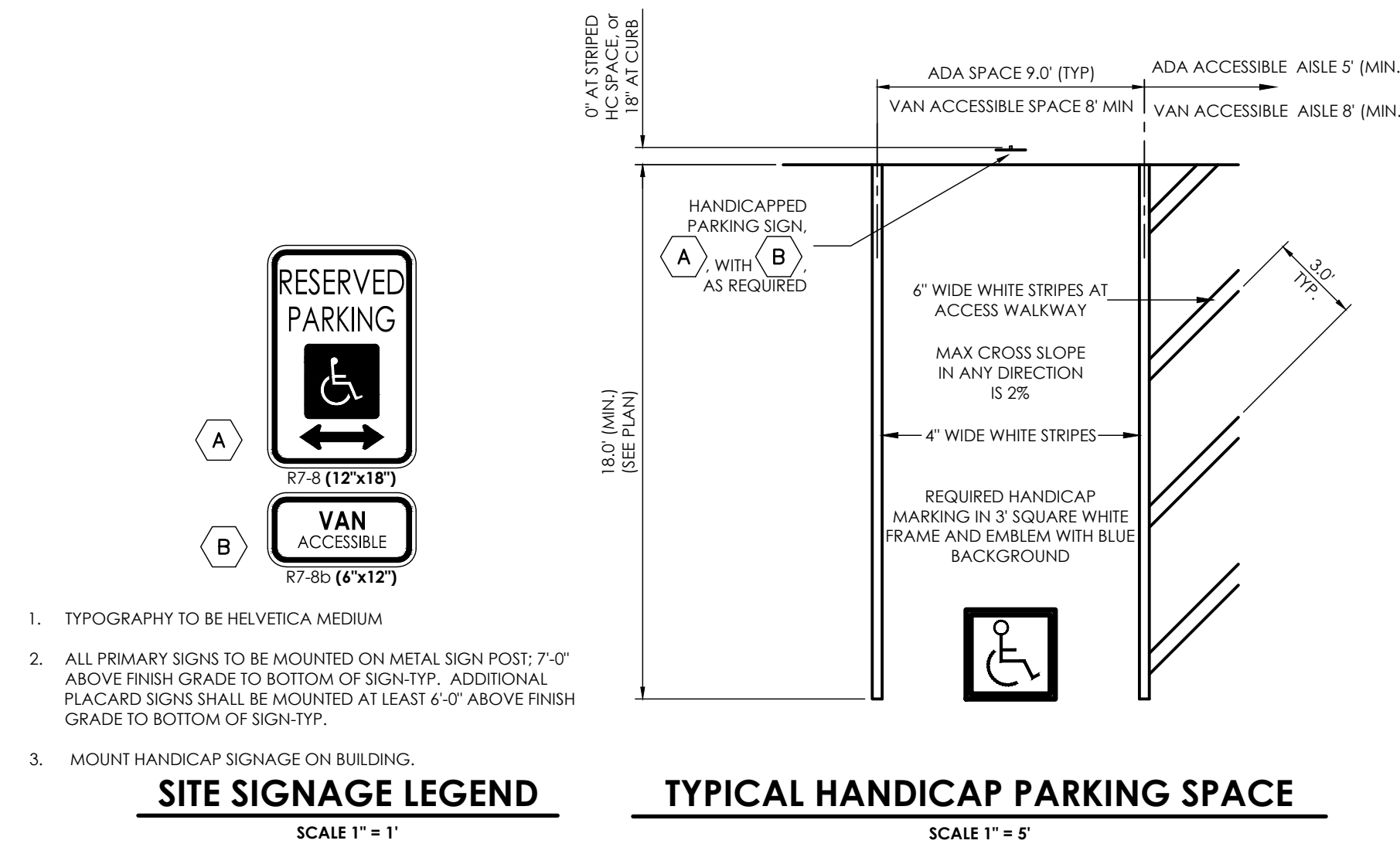
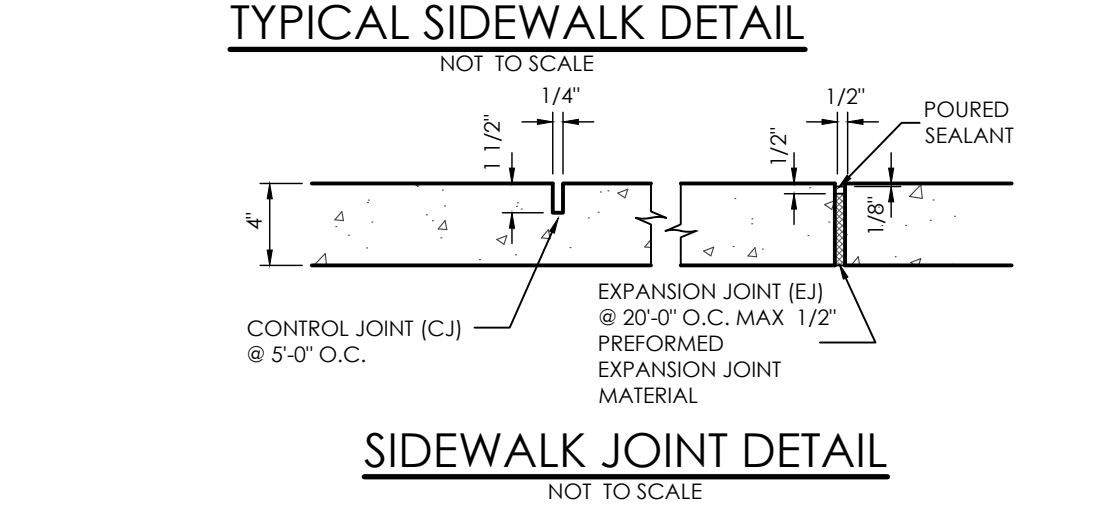
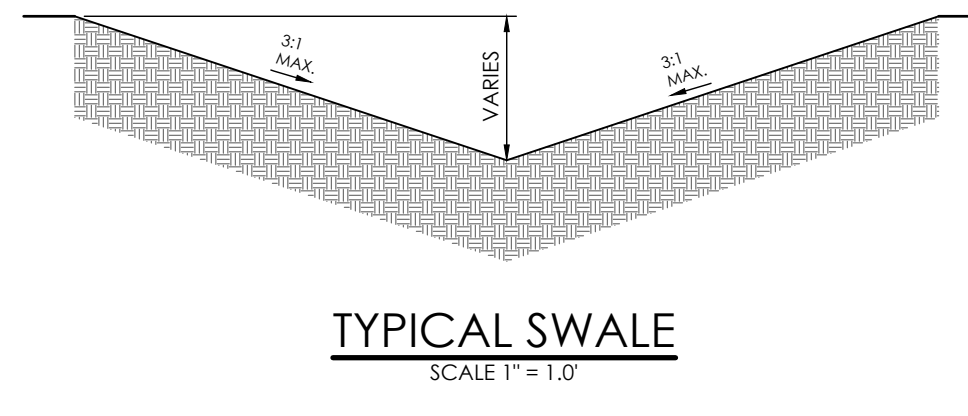
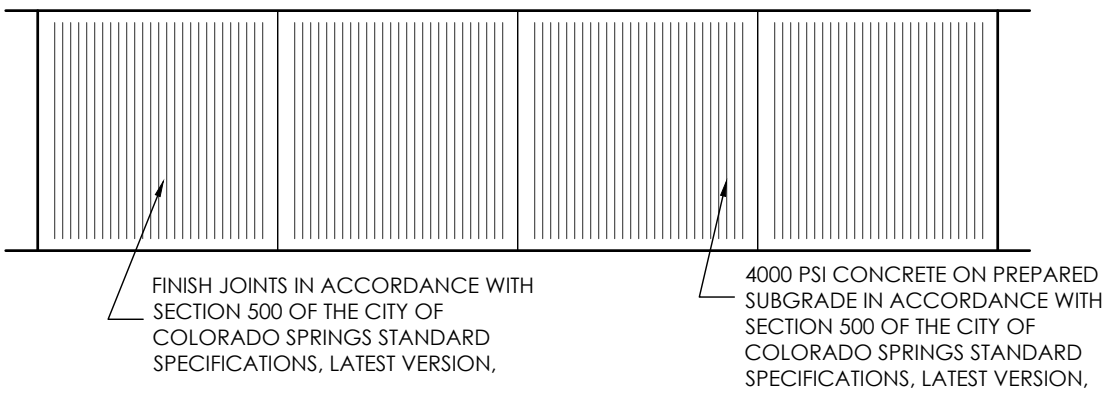
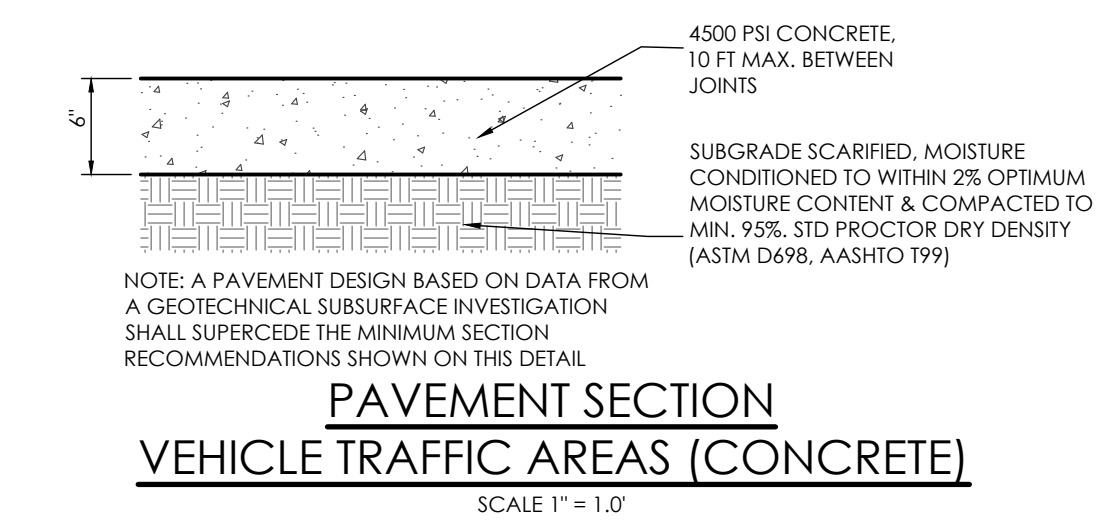


MVE, INC.
ENGINEERS & SURVEYORS

1903 Library Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

REVISIONS
1 Fire apparatus access road updated pursuant to Fire Department comments

FIRE APPARATUS ACCESS ROAD NOTE
THE FIRE APPARATUS ACCESS ROAD IS TO BE AN ALL-WEATHER ACCESS ROAD.



1. TOPOGRAPHY TO BE HELVETICA MEDIUM
2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. MOUNT HANDICAP SIGNAGE ON BUILDING.

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

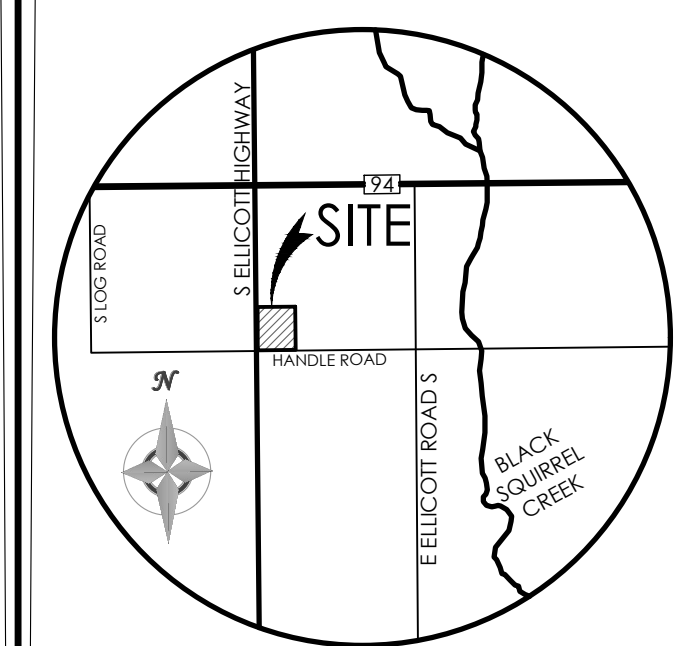
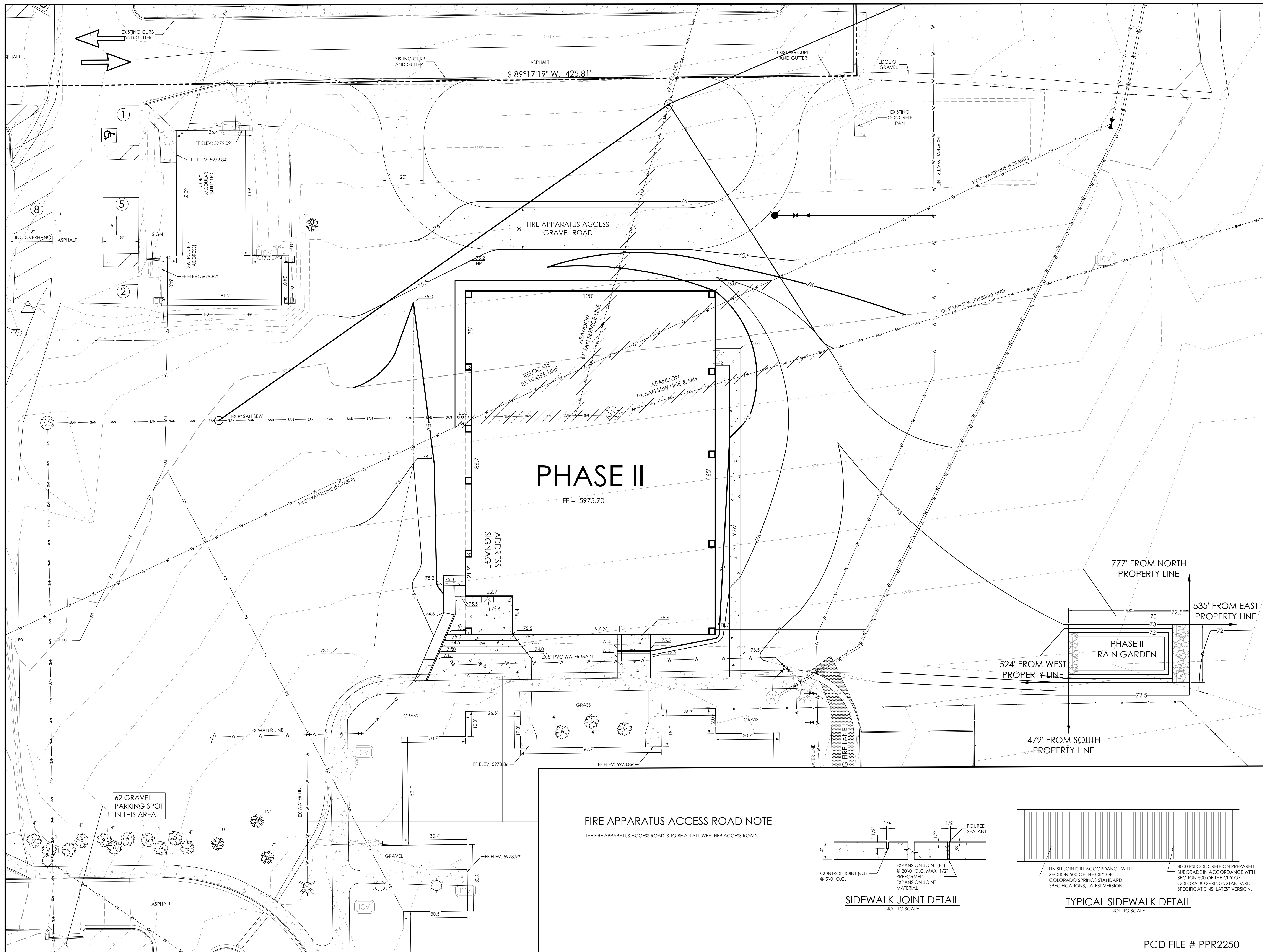
ELLICOTT SCHOOL
ADDITION 2 BLDGS

SITE DEVELOPMENT PLAN
PHASE I SITE PLAN

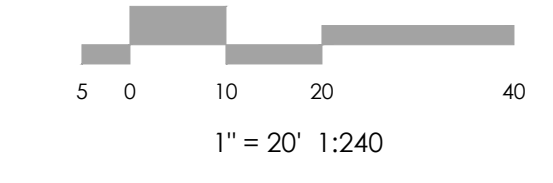
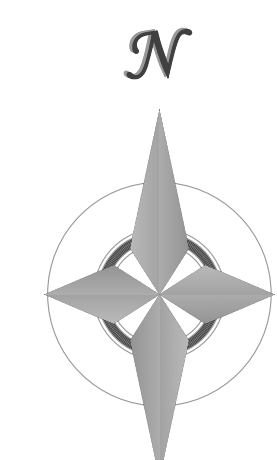
DP-2 MVE PROJECT 61183
MVE DRAWING DEV-SP-1

NOVEMBER 28, 2022
SHEET 2 OF 3

PCD FILE # PPR2250



BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



MVE, INC.
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

- REVISIONS
1 Fire apparatus access road updated pursuant to Fire Department comments

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

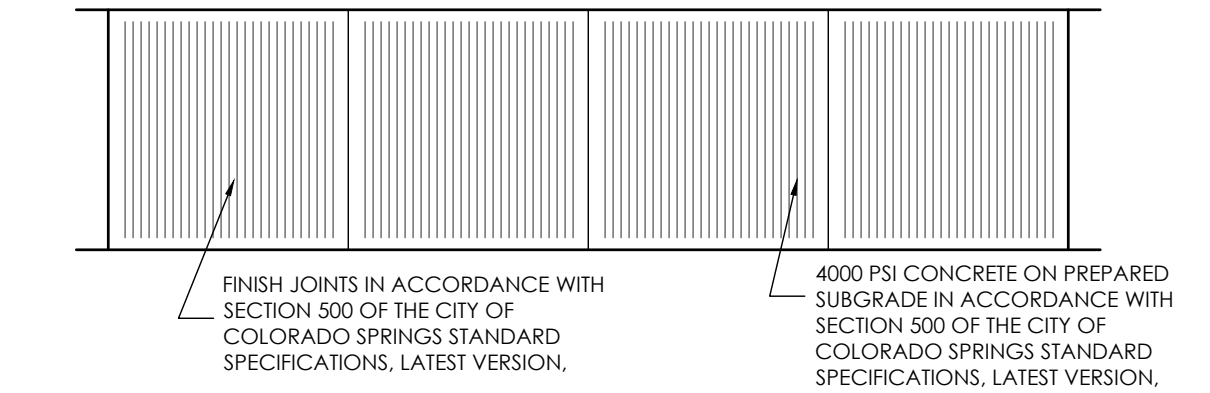
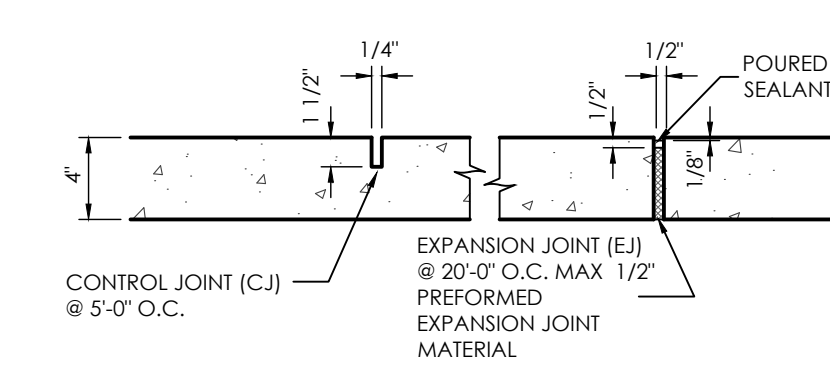
ELLICOTT SCHOOL
ADDITION 2 BLDGS

SITE DEVELOPMENT
PLAN
PHASE II SITE PLAN

DP-3 MVE PROJECT 61183
MVE DRAWING DEV-SP-II








NOVEMBER 28, 2022
SHEET 3 OF 3

FIRE APPARATUS ACCESS ROAD NOTE
THE FIRE APPARATUS ACCESS ROAD IS TO BE AN ALL-WEATHER ACCESS ROAD.

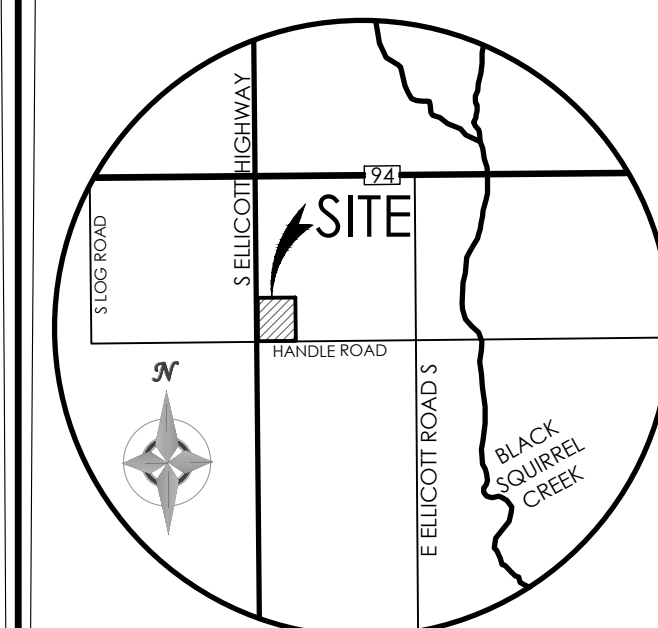


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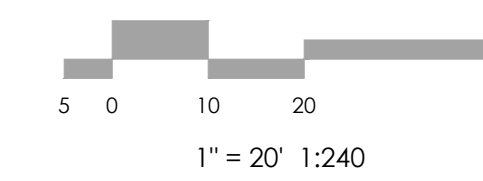
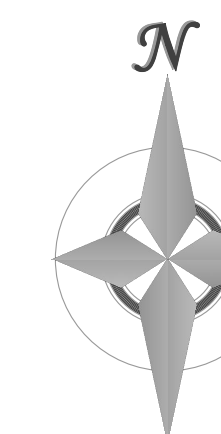
-  EXISTING TREE
-  PROPOSED SHRUB
-  PROPOSED ORNAMENTAL GRASSES
-  EDGE OF DISTURBANCE
-  NATIVE SEED
-  COBBLE
-  RAIN GARDEN FILTER MEDIA

ALTERNATIVE LANDSCAPE PLAN REQUEST - BECAUSE THIS IS A RURAL SITE WITH VERY FEW NEIGHBORS ADJACENT TO THIS SITE AND THE PROJECT IS A BUILDING ADDITION TO AN EXISTING SCHOOL SITE, AN ALTERNATIVE LANDSCAPE PLAN IS REQUESTED. TREE SCREENING EXISTS ON THE SITE AND THERE CONTINUES TO BE SIGNIFICANT BUILDING SETBACKS. NEW ORNAMENTAL GRASS AND SHRUB PLANTING ARE PROPOSED ADJACENT TO THE BUILDINGS. A WAIVER OF TYPICAL LANDSCAPE REQUIREMENTS IS REQUESTED.

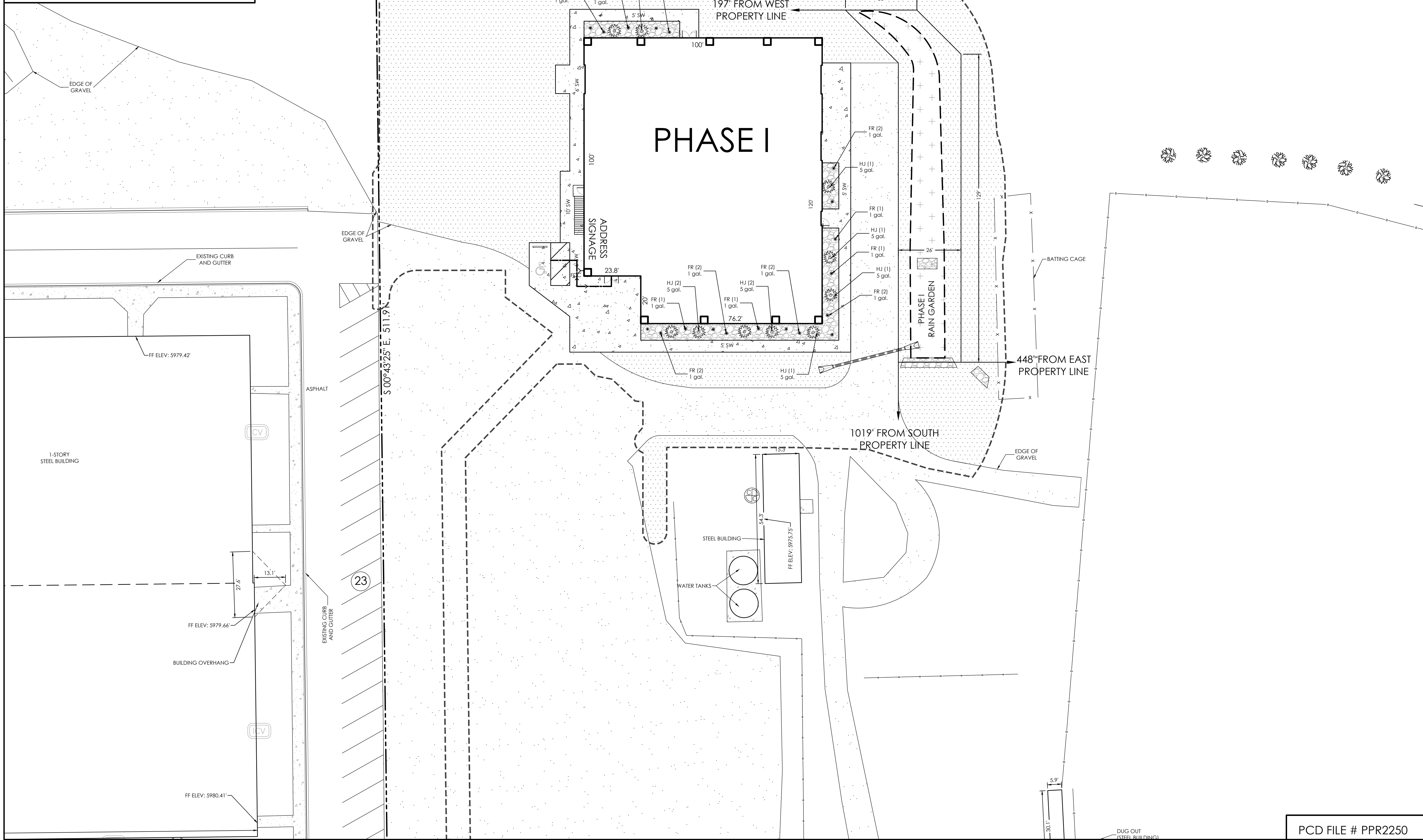


VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



PHASE I



REVISIONS

DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 AS-BUILTS BY _____
 CHECKED BY _____

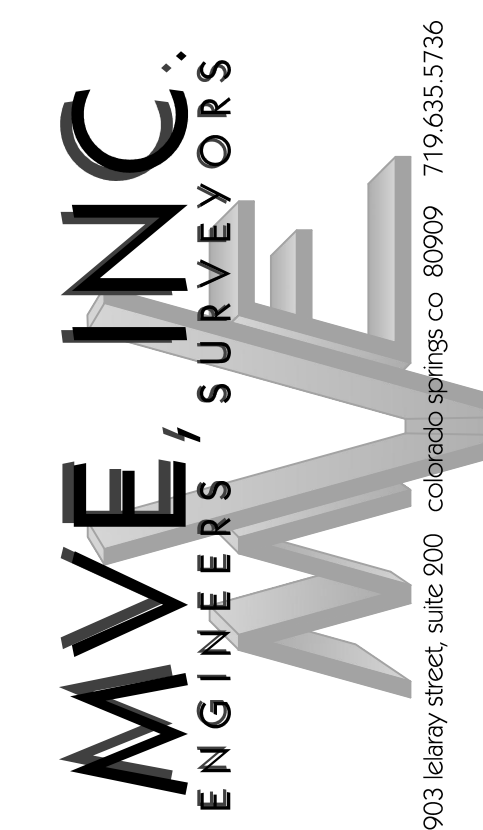
ELLICOTT SCHOOL
 ADDITION 2 BLDGS

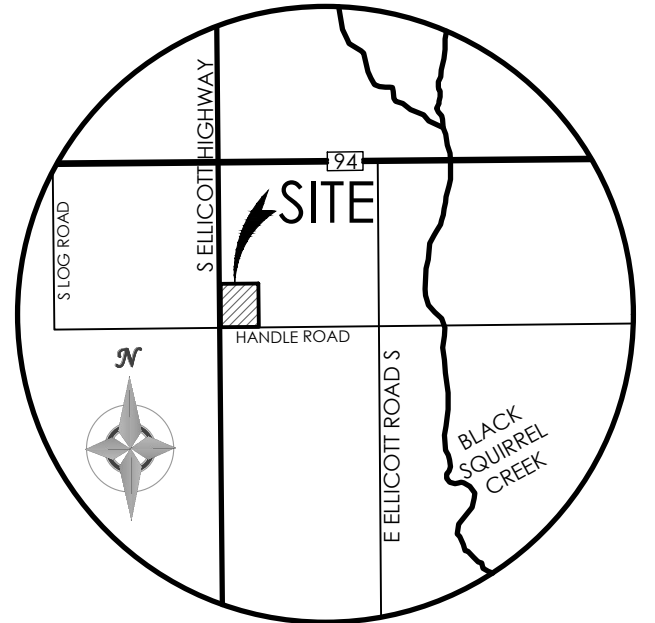
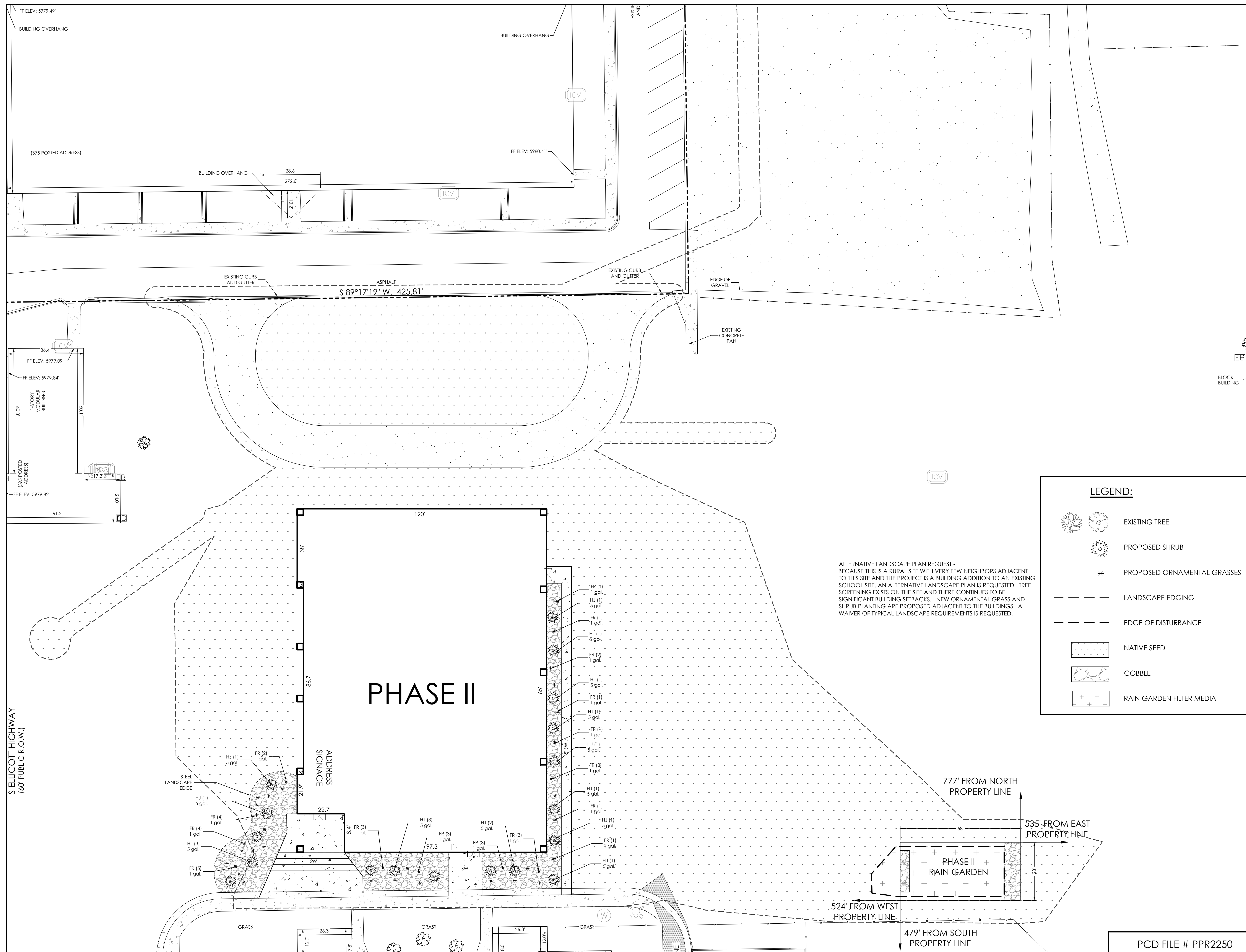
LANDSCAPING
 PLAN
 PHASE I

LS1.2 MVE PROJECT 61183
 MVE DRAWING LS-PS-I

MARCH 20, 2023
 SHEET 2 OF 3

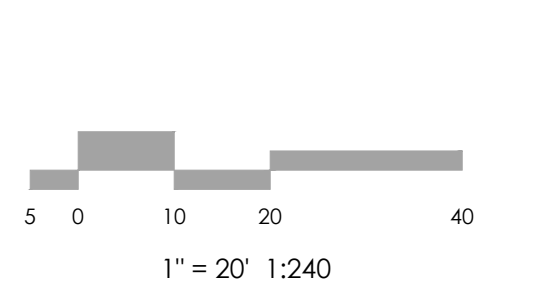
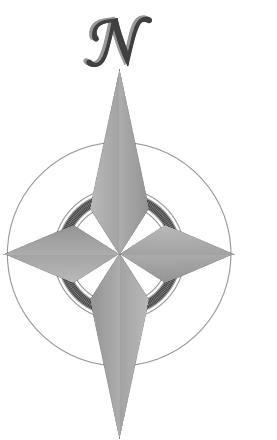
PCD FILE # PPR2250





VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY AND PROVIDED BY CLARK LAND SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO THE NAVD 88 VERTICAL DATUM.



1" = 20' 1:240

ALTERNATIVE LANDSCAPE PLAN REQUEST - BECAUSE THIS IS A RURAL SITE WITH VERY FEW NEIGHBORS ADJACENT TO THIS SITE AND THE PROJECT IS A BUILDING ADDITION TO AN EXISTING SCHOOL SITE, AN ALTERNATIVE LANDSCAPE PLAN IS REQUESTED. TREE SCREENING EXISTS ON THE SITE AND THERE CONTINUES TO BE SIGNIFICANT BUILDING SETBACKS. NEW ORNAMENTAL GRASS AND SHRUB PLANTING ARE PROPOSED ADJACENT TO THE BUILDINGS. A WAIVER OF TYPICAL LANDSCAPE REQUIREMENTS IS REQUESTED.

LEGEND:

- (Tree symbol) EXISTING TREE
- (Shrub symbol) PROPOSED SHRUB
- (Grass symbol) PROPOSED ORNAMENTAL GRASSES
- (Dashed line) LANDSCAPE EDGING
- (Dash-dot line) EDGE OF DISTURBANCE
- (Dotted pattern) NATIVE SEED
- (Cobble pattern) COBBLE
- (Plus sign pattern) RAIN GARDEN FILTER MEDIA

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ELLICOTT SCHOOL ADDITION 2 BLDGS

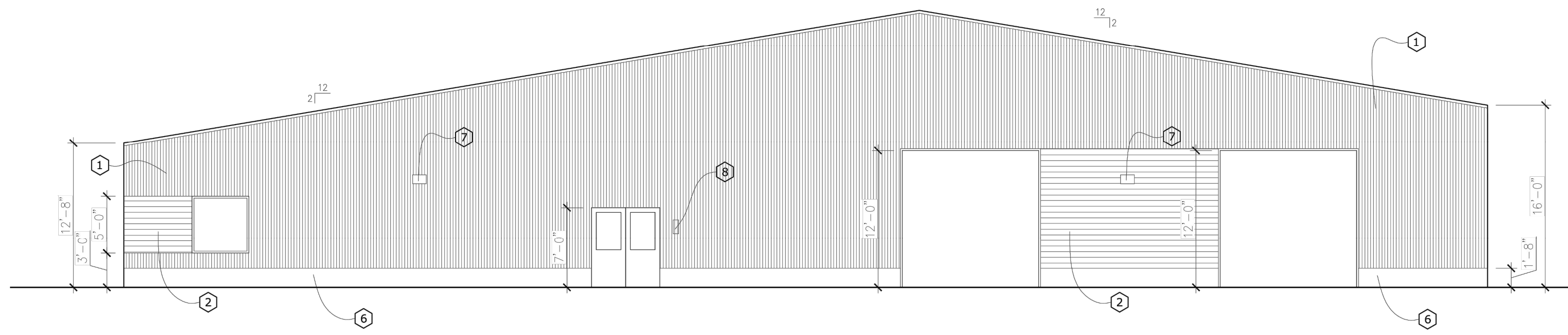
LANDSCAPING PLAN PHASE II

LS1.3 MVE PROJECT 61183
MVE DRAWING LS-PS-I

MARCH 20, 2023
SHEET 3 OF 3

PCD FILE # PPR2250

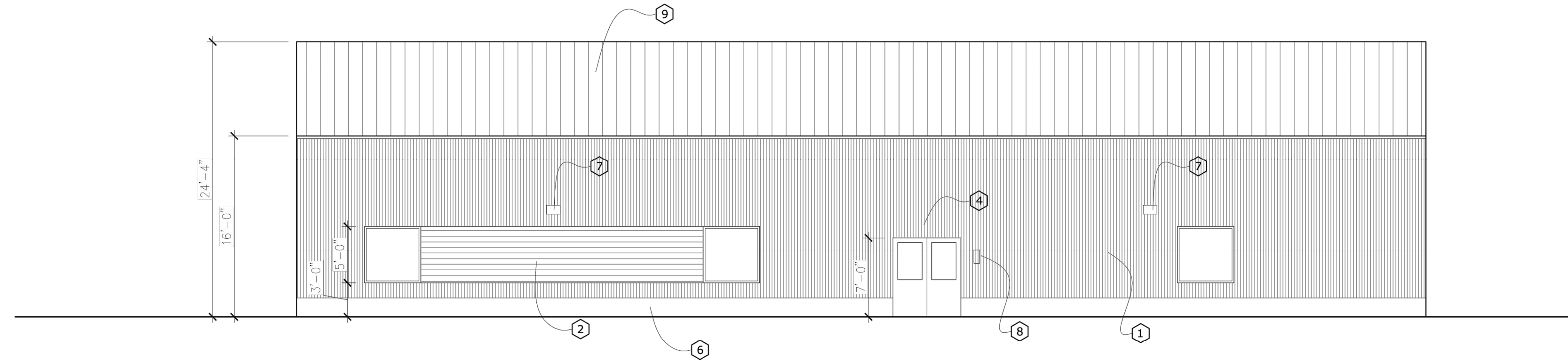




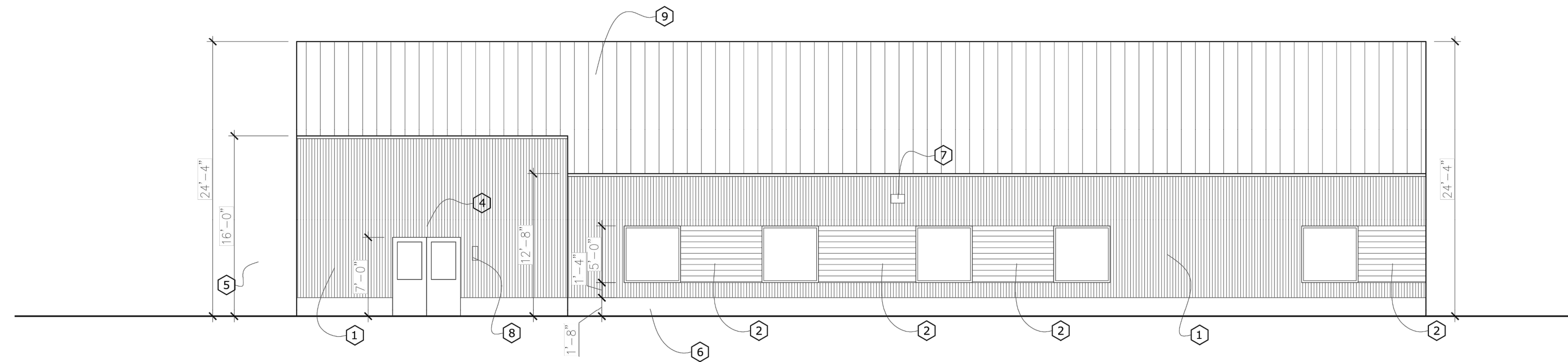
1 EAST ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES:

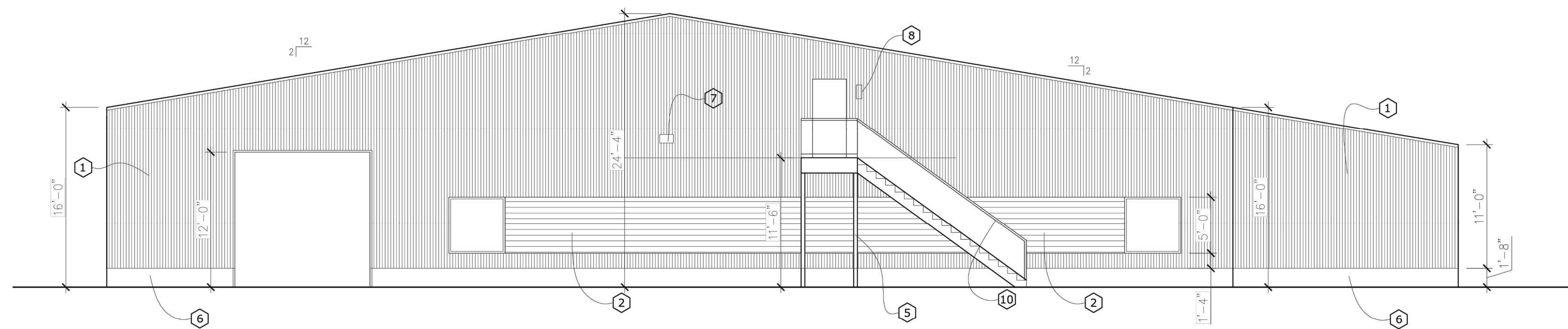
- ① BUILDING RIGID METAL SIDING: VERTICAL COLOR: TBD
- ② ACCENT BAND: RIGID METAL SIDING: HORIZONTAL COLOR: TBD
- ③ BREAK METAL TRIM: POWDER COAT OR PAINT COLOR: TBD
- ④ METAL FASCIA AWNING: POWDER COAT OR PAINT COLOR: TBD
- ⑤ PAINTED STEEL EXTERIOR STAIR SUPPORT
- ⑥ EXPOSED CONCRETE FOUNDATION STEM WALL
- ⑦ EXTERIOR SECURITY LIGHTING, TBD
- ⑧ EXTERIOR WALL SCONCE, TBD
- ⑨ ROOFING: RIGID METAL ROOFING COLOR: TBD
- ⑩ PAINTED STEEL RAILING, TBD



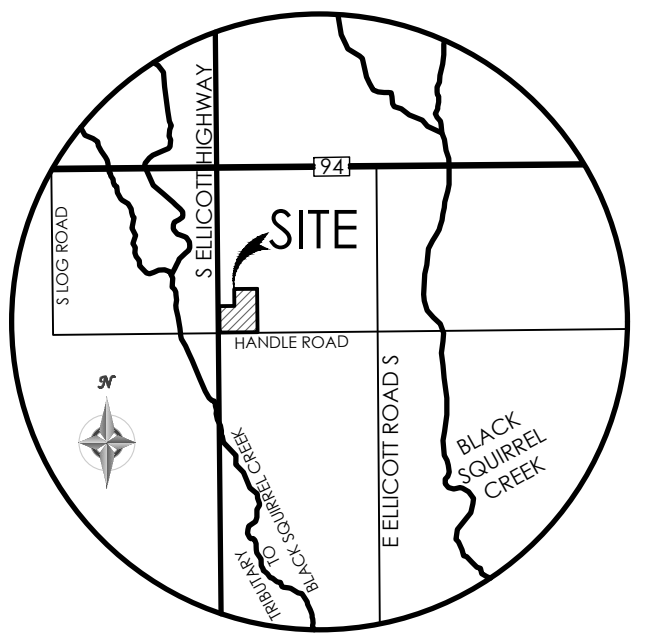
2 NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

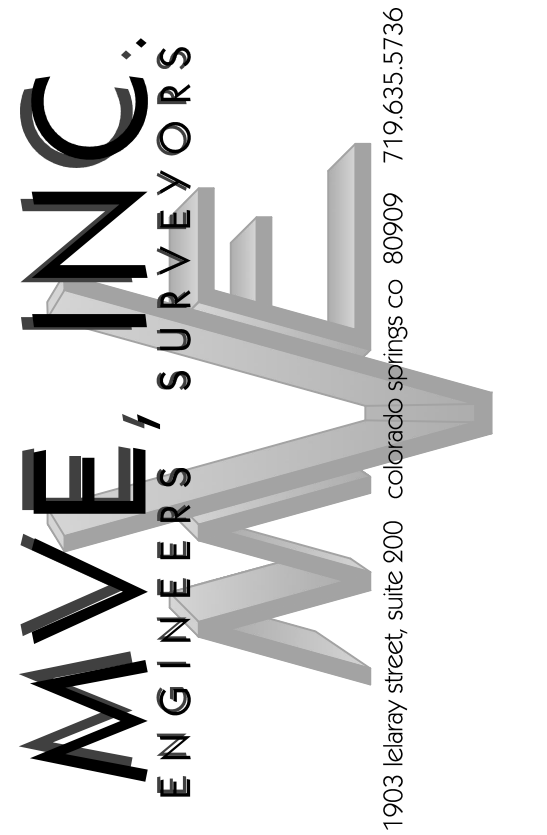


2 WEST ELEVATION
SCALE: 1/4"=1'-0"



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

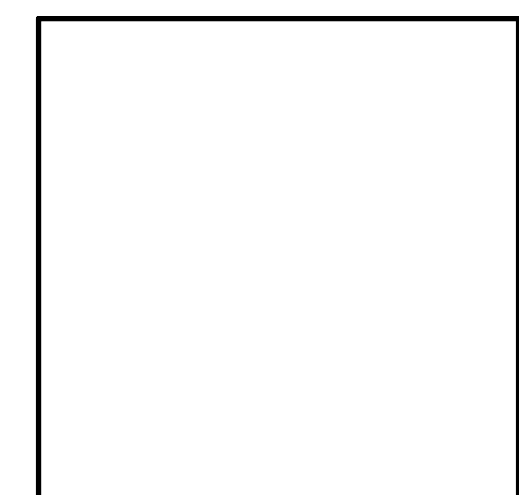
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DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

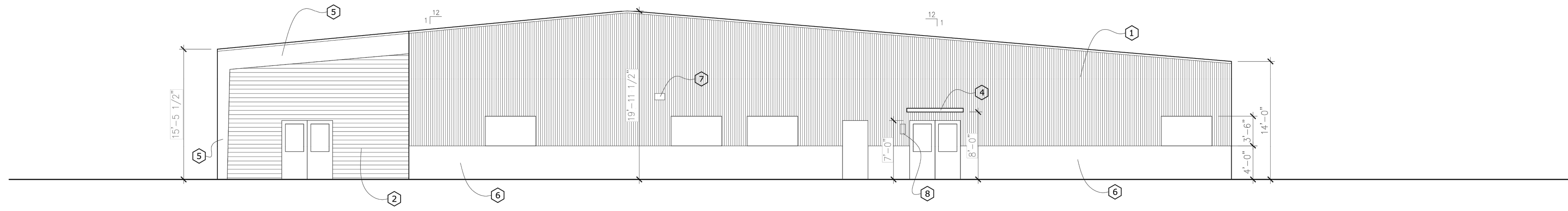
ELICOTT SCHOOL
ADDITION 2 BLDGS

PHASE I
EXTERIOR ELEVATIONS

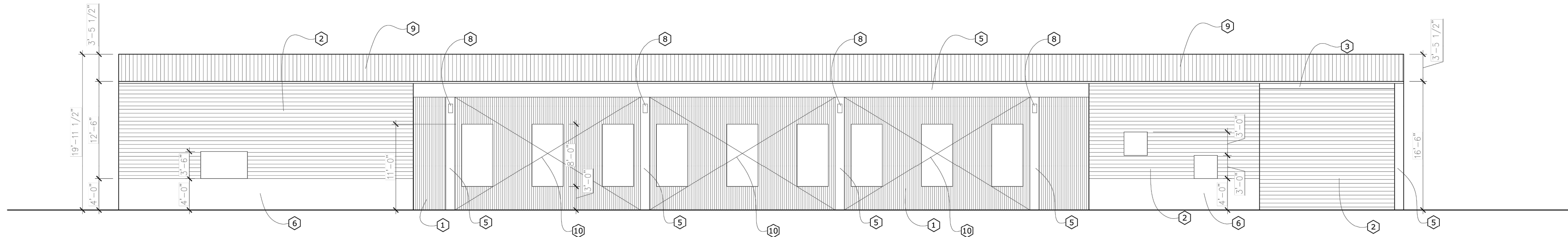
A2.1
MVE PROJECT **61183**
MVE DRAWING **DEV-EL-1**

SEPTEMBER 16, 2022
SHEET 1 OF 2





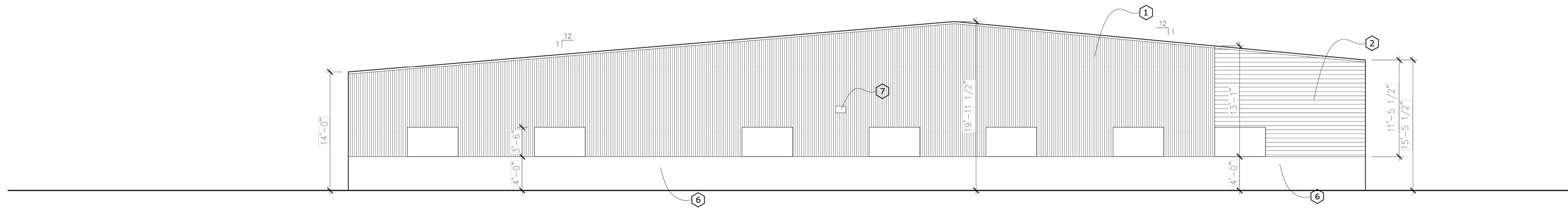
2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



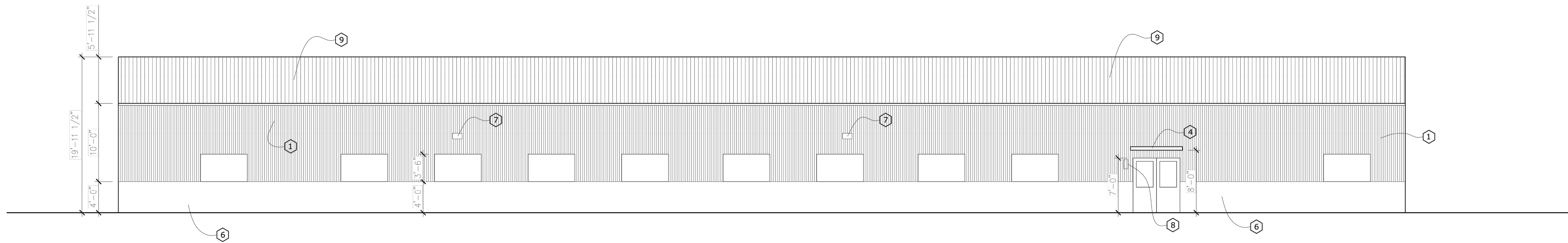
1 WEST ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION NOTES:

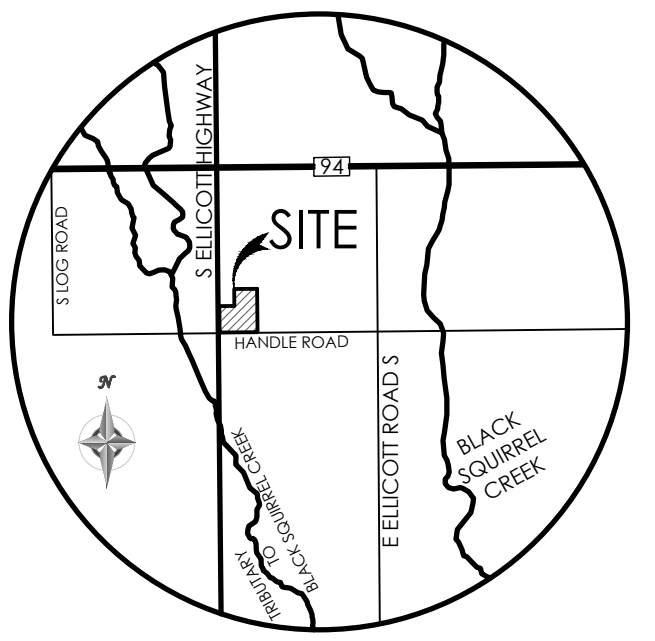
- ① BUILDING RIGID METAL SIDING: VERTICAL
COLOR: TBD
- ② ACCENT BAND: RIGID METAL SIDING: HORIZONTAL
COLOR: TBD
- ③ BREAK METAL TRIM: POWDER COAT OR PAINT
COLOR: TBD
- ④ METAL FASCIA AWNING: POWDER COAT OR PAINT
COLOR: TBD
- ⑤ PAINTED STEEL METAL BUILDING FRAME
- ⑥ MASONRY BLOCK VENEER WAINSCOT
- ⑦ EXTERIOR SECURITY LIGHTING, TBD
- ⑧ EXTERIOR WALL SCENCE, TBD
- ⑨ ROOFING: RIGID METAL ROOFING
COLOR: TBD
- ⑩ PAINTED STEEL ROD CROSS TIES, TBD BY STEEL BUILDING MANUF.



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"

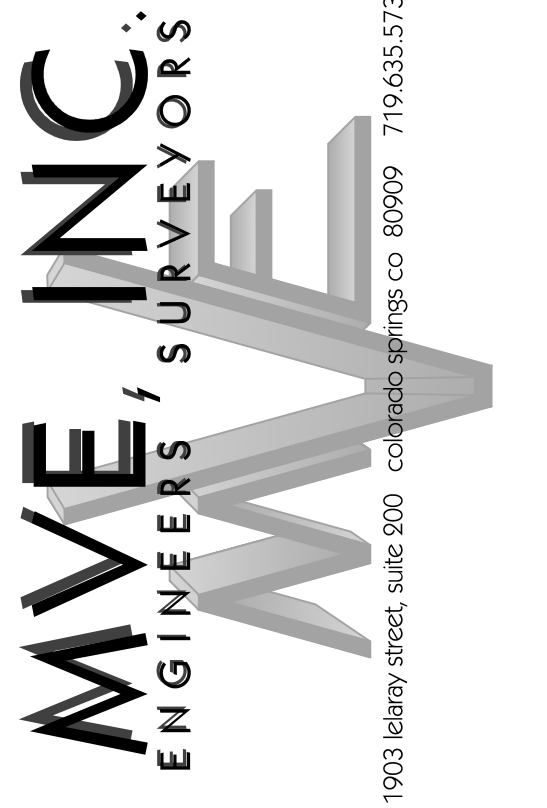


1 EAST ELEVATION
SCALE: 1/8"=1'-0"



VICINITY MAP
NOT TO SCALE

BENCHMARK



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

ELICOTT SCHOOL
ADDITION 2 BLDGS

PHASE II
EXTERIOR ELEVATIONS

A2.2
MVE PROJECT **61183**
MVE DRAWING **DEV-EL-II**

SEPTEMBER 16, 2022
SHEET 2 OF 2



January 23, 2023

PCD File No. PPR-22-050

**LETTER OF INTENT
ELLICOTT SCHOOL ADDITION 2 BUILDINGS
SITE DEVELOPMENT PLAN
(MVE Proj. No. 61183)**

Owner:

Ellicott School District No 22
322 S Ellicott Highway
Colorado Springs, CO 80808
(719) 683-2700

Consultant:

M.V.E., Inc.
1903 Lelaray Street, Suite 200
Colorado Springs, CO 80909
(719) 635-5736

Site Location Size and Zoning:

The Ellicott School Addition 2 Buildings site is located within the southwest quarter of Section 18, Township 14 South, Range 62 West of the 6th Principal Meridian, El Paso County, Colorado. The site is 32.93± acres in area and has tax schedule numbers 2418000019 (399 S Ellicott Highway), and 2418000018 (375 S Ellicott Highway). The site is located north of Handle Road and east of South Ellicott Highway in El Paso County. The site is zoned Agricultural - 35 Acres (A-35). The property contains several structures: an elementary school building, a highschool building, a superintendent office building, and various ancillary buildings as well as parking lots and grass covered ball fields.

Request and Justification:

The request is for Site Development Plan Approval for site grading and construction of two (2) new buildings along with sidewalks, drives, connected utilities, and permanent storm water BMPs. The project will consist of one (1) classroom building having one (1) story and 19,123 sf building footprint containing 13 classrooms, paved sidewalks, and landscaping will serve Ellicott Elementary School at 399 S Ellicott Hwy. One (1) Votech building having two (2) stories and 11,499 sf building footprint with a gravel access driveway, paved sidewalks, and landscaping will serve Ellicott Sr High School at 375 S Ellicott Hwy. The project also includes connecting internal potable water, sanitary sewer service lines, and two (2) proposed rain gardens, each one located downstream of each new building addition to provide water quality enhancement to their respective phase of development. This application also includes a request for the approval of an alternative landscaping plan.

*Engineers • Surveyors
1903 Lelaray Street, Suite 200 • Colorado Springs, CO 80909 • Phone 719-635-5736
Fax 719-635-5450 • e-mail mve@mvecivil.com*

Access

The main access to this project is from existing public South Ellicott Highway. There are two access points from South Ellicott Highway, one directly in front of Ellicott Sr High School at 375 S Ellicott Hwy as well as another access directly in front of Ellicott Elementary School at 399 S Ellicott Hwy. There is also access to the south west parking lot from Handle Road to the south.

Parking and Traffic Generation

The required parking for this project is 162 standard spaces and 6 handicap spaces. The total enrollment for the high school was used in calculating the required parking for the Votech building (Phase I). The total existing and proposed number of classrooms of the elementary school were used in calculating the required parking for the elementary school classrooms additions (Phase II). There currently exists 104 standard parking spaces on the site, as well as seven (7) ADA spaces. There are also 134 gravel parking spaces in use today by the elementary school and high school. None of the southeastern extended parking areas that are not in compliance with LDC 6.2.5 access requirements are included in gravel parking assumptions and is outside the scope of the current building addition project. There is one proposed ADA compliant van accessible disabled parking space provided to Phase I. The total provided parking for this site is 246 spaces. The available 245 parking spaces and proposed disabled space will be sufficient for the schools following the construction and use of the proposed facilities -these spaces are in compliance with LDC 6.2.5 access requirements. No significant increase in traffic generation due to the proposed development is anticipated.

ADA Requirements

The site is provided with the required number ADA parking spaces. All proposed dimensions and slopes for new building access ways have been examined and are deemed compliant with the Department of Justice 2010 ADA Standards for Accessible Design.

Alternative Landscape Plan

This is an existing developed school site in current use that contains existing mature landscaping. The scope of the project is limited to the addition of two new buildings that encompass less than 6% of the site. It is not appropriate to evaluate and involve the landscape requirements for the entire site due to the the proposed building additions. A significant amount of water is dedicated for the irrigation of the existing landscaping and the school's sports fields because of the educational use. Irrigation is accomplished utilizing the existing irrigation system. Expanding the landscaping throughout the entire school site would require significantly more water which the district does not have to spare and the expansion of the irrigation system into established areas. Also, the new buildings are located large distances away from the site boundaries. The new northerly building (Votech) is located more than 125' from the northern property line and more than 500' from the east property line. Other buildings are located south and west of the new Votec building. The new southerly building (3-5) is located more than 230' from the west property line and more than 760 from the east property line. Other buildings are located south and west of the new 3-5 building. These distances proved adequate setbacks for the new buildings. Therefore, this application includes a request for the approval of Alternative Landscaping. Currently, the site is covered with native grasses, planted turf, trees and shrubs. Landscaping for the two new buildings shall include shrubs and ornamental grasses. An Alternative Landscape plan is included in the site development plan drawing set. Although the provided Alternative plan may not meet the specific

requirements of Section 6.2.2. of the El Paso LDC, the proposed landscaping meets the purpose of Section 6.2.2. of the LDC, promotes the concepts contained in the Landscape and Water Conservation Manual, and provides an equivalent benefit to the community and environment as would otherwise be achieved by meeting the specified LDC requirements.

Grading/Erosion Control/Storm Drainage

Portions of the site shall be graded to accept the new improvements and to tie into the existing grades along the edge of disturbance/construction. Water quality treatment for the new disturbed impervious areas on the site will be provided by two (2) proposed rain gardens, each one located downstream of each new building addition to provide water quality enhancement to their respective phase of development. A Final Drainage Report has been prepared as part of the submittal material for this application. The development of this site shall be in conformance with the Final Drainage Report.

Water, Sanitary Sewer, Electric and Gas Utilities

The site is contained within the service area of Cherokee Metropolitan District which will provide water service. Sanitary sewer system on this site is private. Wastewater treatment is provided offsite. Mountain View Electric Association serves the site with electricity service. Privately owned on-site propane tanks serves the site with natural gas. Construction Documents for the proposed buildings will be reviewed by utility organizations. Internal water supply is provided through private well and a private water distribution system.

Fire Protection

Fire Protection is provided by Ellicott Fire Protection District. This plan has been received and approved by Ellicott Fire Department. Water mains with fire hydrants exist on the site. The two proposed buildings will be sprinkled for fire protection. Construction Documents for the proposed buildings will be reviewed by Pike Peak Regional Building Department and the Fire District.

Existing and Proposed Public Facilities

The site requires no new public facilities or public improvements. Construction Drawings for the buildings will be reviewed by Pike Peak Regional Building Department. No new signage is being added to the site. Also, no new lighting is being added to the site.

Letter of Intent – Site Development Plan – Ellicott School Addition 2 Bldgs

January 23, 2023

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Fax 719-635-5450 • e-mail mve@mvecivil.com***