

SUPERINTENDENT NOTES

1. MANAGER SIGNATURE _____
2. CURB DAMAGE _____
3. DIG START DATE _____
4. DIG FINISH DATE _____
5. SUPER/OPERATOR MEETING DATE _____
6. OPEN HOLE CALL DATE _____
7. FOUNDATION BRACED & WINDOW WELL INSTALLATION DATE _____
8. SUPER INSPECTION OF BACKFILL DATE _____
9. GRADE OF BACKFILL _____

SFD201609
 PLAT 14621
 RS-5000

APPROVED
 Plan Review
 11/18/2020 2:33:58 PM
 [Signature]
 EPC Planning & Community
 Development Department

ANY APPROVAL GIVEN BY
 EL PASO COUNTY
 DOES NOT OBTAIN THE NEED
 TO COMPLY WITH APPLICABLE
 FEDERAL, STATE, OR LOCAL
 LAWS AND/OR REGULATION

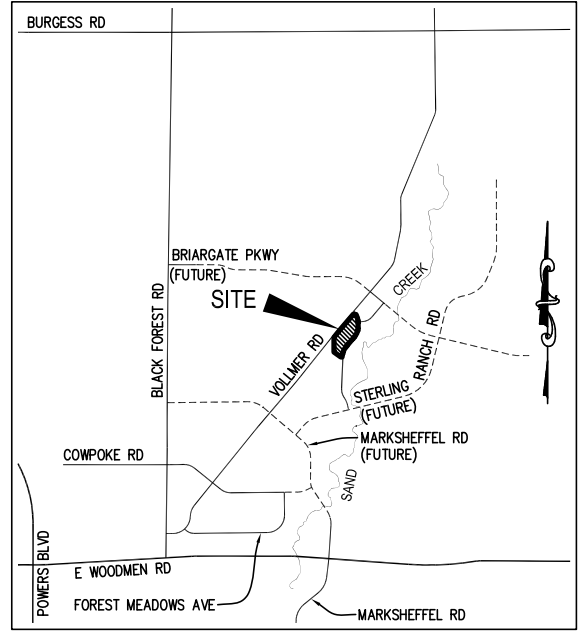
Planning & Community Development Department
 approval is contingent upon compliance with all
 applicable notes on the recorded plat.

An access permit must be granted by the
 Planning & Community Development Department
 prior to the establishment of any driveway onto a
 County road.

Division of blockage of any driveway way
 is not permitted without approval of the
 Planning & Community Development Department

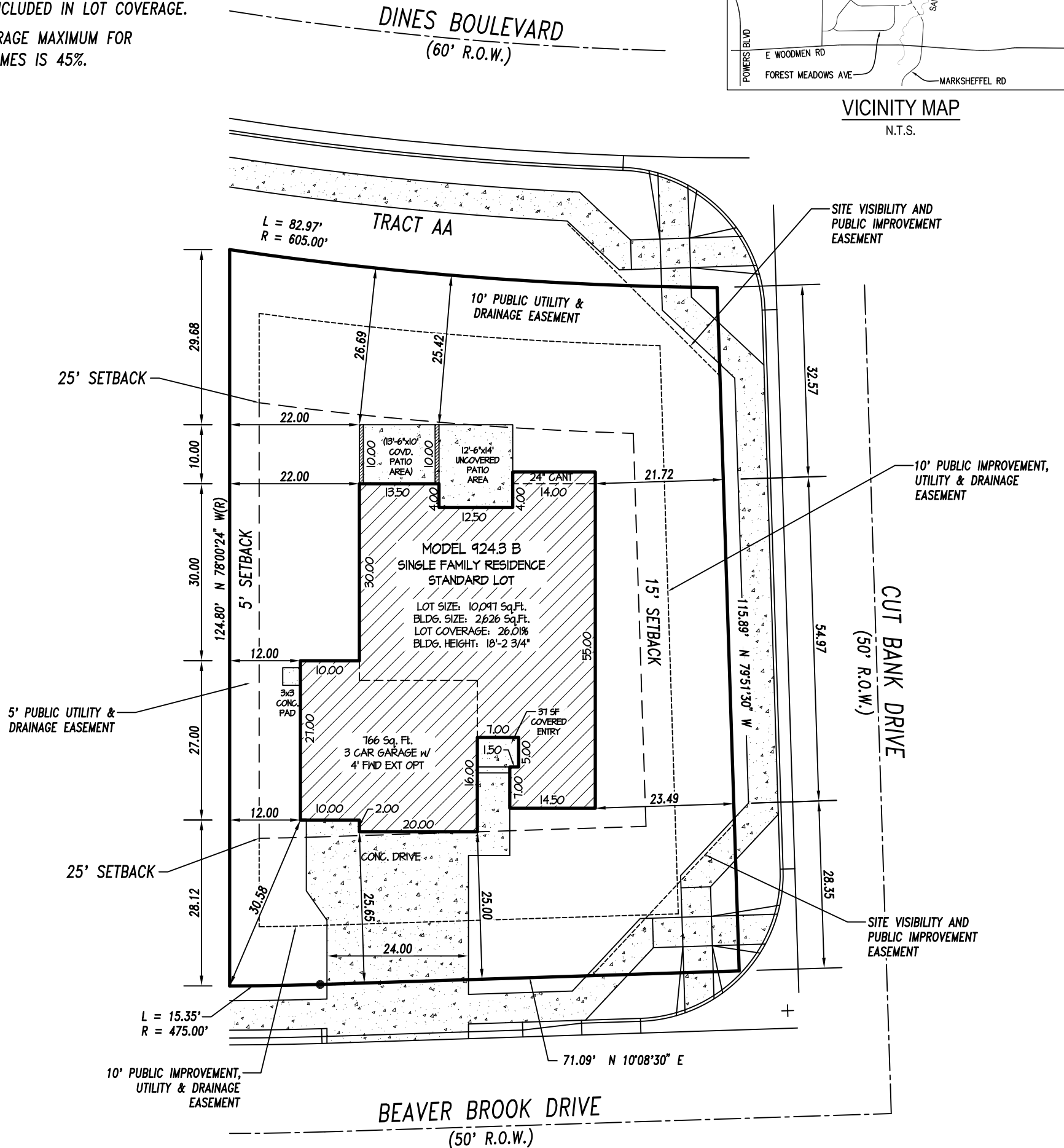
APPROVED
 BESQCP
 11/18/2020 2:34:12 PM
 [Signature]
 EPC Planning & Community
 Development Department

It is the owner's responsibility to
 coordinate with easement holders
 to avoid impact to utilities that
 may be located in the easements.

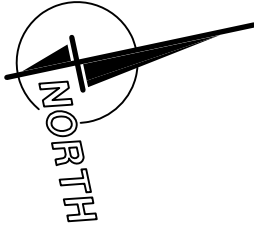


VICINITY MAP
 N.T.S.

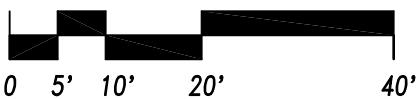
ALL AREAS COVERED BY ROOF ARE
 ALWAYS INCLUDED IN LOT COVERAGE.
 LOT COVERAGE MAXIMUM FOR
 RANCH HOMES IS 45%.



Released for Permit
 11/18/2020 9:45:54 AM
 REGIONAL
 Building Department
 Becky A
 ENUMERATION



SCALE 1"=20'



TAX ID #5233101003

LEGAL DESCRIPTION

ADDRESS: 4288 BEAVER BROOK DRIVE
 DESCRIPTION: FILING 2, LOT 1
 HOMESTEAD AT STERLING RANCH
 COLORADO SPRINGS, COLORADO
 EL PASO COUNTY

CLASSIC
 HOMES

2138 Flying Horse Club Drive

Colorado Springs, Colorado 80921

(719) 542-4333

PLOT PLAN

Drawn by: RC

RS-5000

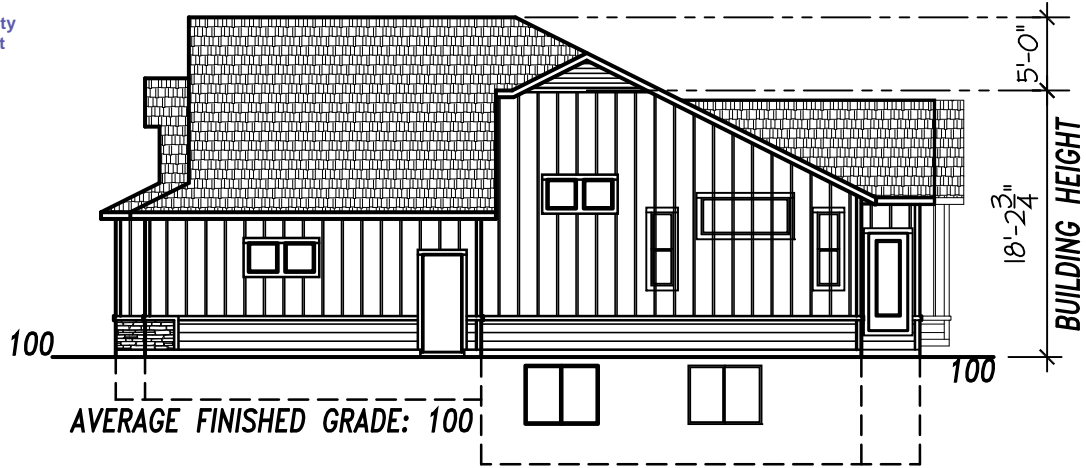
NOVEMBER 9, 2020

APPROVED
Plan Review

11/18/2020 2:31:30 PM

dsdrangel

EPC Planning & Community
Development Department

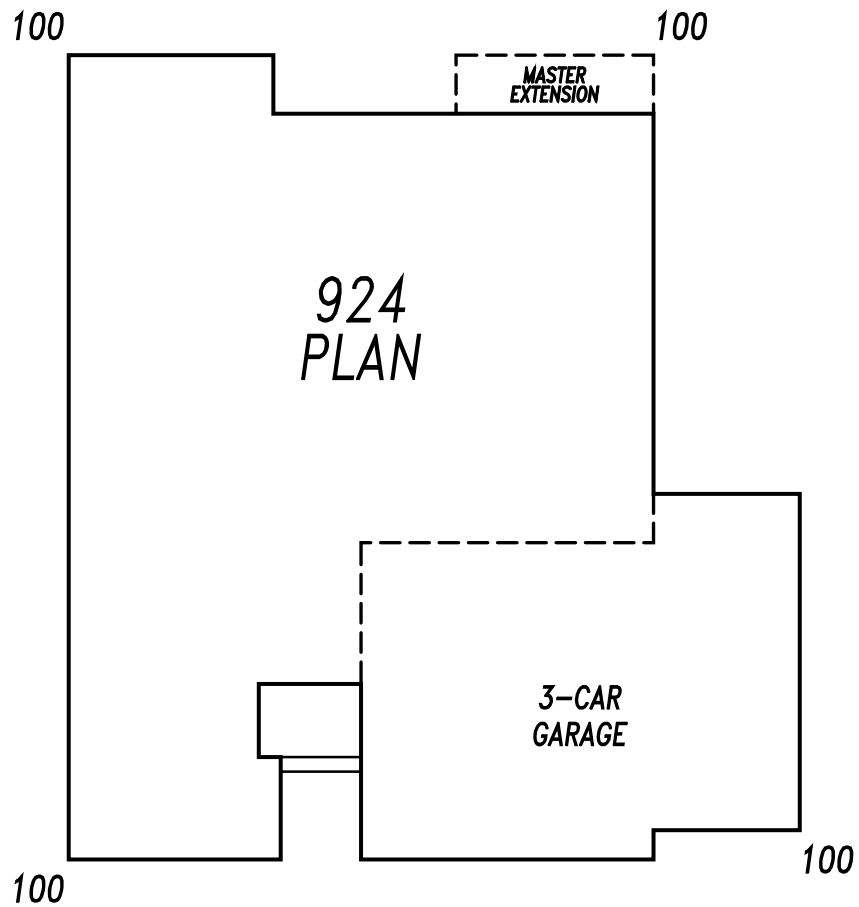


HEIGHT CALCULATIONS:

4 CORNERS @ 100 = 400

TOTAL: 400

400/4 = 100 (AVERAGE FINISHED GRADE)



HEIGHT CALCULATIONS
STANDARD LOT SITE

CLASSIC
HOMES

2138 FLYING HORSE CLUB DRIVE
Colorado Springs, CO 80921
(719) 592-9333

MODEL 924.3

DRAWN BY: ED, KD

ROAD IMPACT FEE PROGRAM - Credit Use Authorization Receipt

Form Valid until 12/31/2020

To use your credits to offset the Road Impact fee applied as part of the Site Plan Review process: ① Complete this form and send to RoadFee@elpasoco.com for an approval signature by a County Representative. ② The signed form will be returned to you via email. ③ Include this form with the Site Plan document package submitted for review. ④ The credits will be applied after the Site Plan Review approval and when you pay associated fees for building permits. ***A separate form is required for each lot. *Credits are deducted when this form is signed *You cannot use credits without this signed form and a valid parcel and schedule number.**

**Site Plan document packages may be submitted either by using Regional's on-line Building Department Assistant program or by taking a paper copy of your Site Review document package to the Planning and Community Development front desk.*

<p>11/10/20 Date Submitted</p> <p>Owner of Credits</p> <p>Elite Properties of America Company</p> <p>Doug Stimple Name</p> <p>(719) 592-9333 Phone number</p> <p>dstimple@classichomes.com Email address</p> <p>2138 Flying Horse Club Drive Address</p> <p>Colorado Springs, CO 80921 City State Zip</p> <p>11/10/20 Signature Date</p>	<p>Authorized Representative (if applicable)</p> <p>Classic Homes Company</p> <p>Rebecca Clark Name</p> <p>(719) 785-3318 Phone number</p> <p>rclark@classichomes.com Email address</p> <p>2138 Flying Horse Club Drive Address</p> <p>Colorado Springs, CO 80921 City State Zip</p>
 Credit Holder Signature	

Property Information

Address: 9288 Beaver Brook Drive

Parcel # 52331-01-003 TAX Schedule #, Parcel not yet assigned.

Legal Description: Lot 1 Blk _____ Homestead at Sterling Ranch Filing 2

Type of land use: Single family dwelling Other _____

Fee/Unit category In a PID: Yes No Mill Levy: 5 mills 10 mills

Credit amount to be used: \$ 1,221.00 Credit Balance: \$ 678,229.00

*****COUNTY USE ONLY BELOW THIS LINE*****

Credit Use Approval	Site Plan Review
Authorization tracking # <u>EP304</u>	Date Received <u>11/18/2020</u>
Date Approved <u>11/13/2020</u>	Received by <u><small>dsdrangel</small> 11/18/2020 2:26:36 PM</u>
Approved by <u>VC</u>	SFD <u>SFD201609</u>
Credit balance before use \$ <u>\$680,034.00</u>	Other _____
Credit use amount per lot \$ <u>1221.00</u>	
Credit balance after use \$ <u>\$678,813.00</u>	


SITE



2017 PPRBC

Address: 9288 BEAVER BROOK DR, COLORADO SPRINGS

Parcel: 5233101003

Plan Track #: 137342 

Received: 18-Nov-2020 (BECKYA)

Description:

RESIDENCE

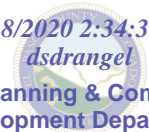
Type of Unit:

Garage	416	
Lower Level 2	1609	
Main Level	1607	
	3632	Total Square Feet

Required PPRBD Departments (2)

Enumeration APPROVED BECKYA 11/18/2020 9:48:16 AM	Floodplain (N/A) RBD GIS
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Required Outside Departments (1)

County Zoning APPROVED <u>Plan Review</u> <i>11/18/2020 2:34:39 PM</i>  EPC Planning & Community Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.