

# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

### ROADWAY PLAN

#### CITY OF COLORADO SPRINGS STANDARD NOTES

1. NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN ISSUED.
2. ALL LAND DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH AND THE APPROVED GEC PLAN AND CSWMP.
3. INITIAL CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN "CONDITIONALLY APPROVED." CALL CITY STORMWATER INSPECTIONS, 385-5980, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN FULL PERMIT APPROVAL.
4. INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE CITY'S MS4 PERMIT, STORMWATER CONSTRUCTION MANUAL. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
5. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
6. ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IMPLEMENTED. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSEOUT.
7. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO ALLOW OR ALLOWED TO RUNOFF TO STATE WATERS OR ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
8. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE GEC INSPECTOR IF DEEMED NECESSARY BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G., ESTIMATED TIME OF EXPOSURE, SEASON OF YEAR, ETC.)
9. ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
10. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
11. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER SYSTEM AT ANY TIME.
12. SPILL PREVENTION AND CONTAINMENT MEASURES SHALL BE USED AT ALL STORAGE, EQUIPMENT FUELING, AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITY. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
13. SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO TO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
14. NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
15. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL BE ROUGHENED, MULCHED, TACKIFIED, OR STABILIZED WITH TARPS WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDED, UNLESS AN ALTERNATIVE STABILIZATION MEASURE IS ACCEPTED AT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
16. THE GEC PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE STORMWATER ENTERPRISE SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY'S ACCEPTANCE OF THE PLAN, THE CONSTRUCTION SITE IS IDLE FOR TWELVE (12) CONSECUTIVE MONTHS, A CHANGE IN PROPERTY OWNERSHIP OCCURS, THE PLANNED DEVELOPMENT CHANGES, OR ANY OTHER MAJOR MODIFICATIONS ARE PROPOSED AS DEFINED IN THE STORMWATER CONSTRUCTION MANUAL.
17. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSWMP DOES NOT SATISFY THIS REQUIREMENT. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES TO ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATED OR PROTECT EXISTING UTILITIES OR TO PROVIDE INTERIM ACCESS SHALL BE AT THE APPLICANT'S EXPENSE.
18. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT PROVIDE APPROVAL FOR THE APPLICANT TO PERFORM WORK ON ADJACENT PROPERTY.
19. ALL UTILITY INSTALLATIONS WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE CONSIDERED TO BE A PART OF THE LARGER DEVELOPMENT, AND THEREFORE REQUIRE A PLAN MODIFICATION OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA.

#### FINANCIAL ASSURANCE

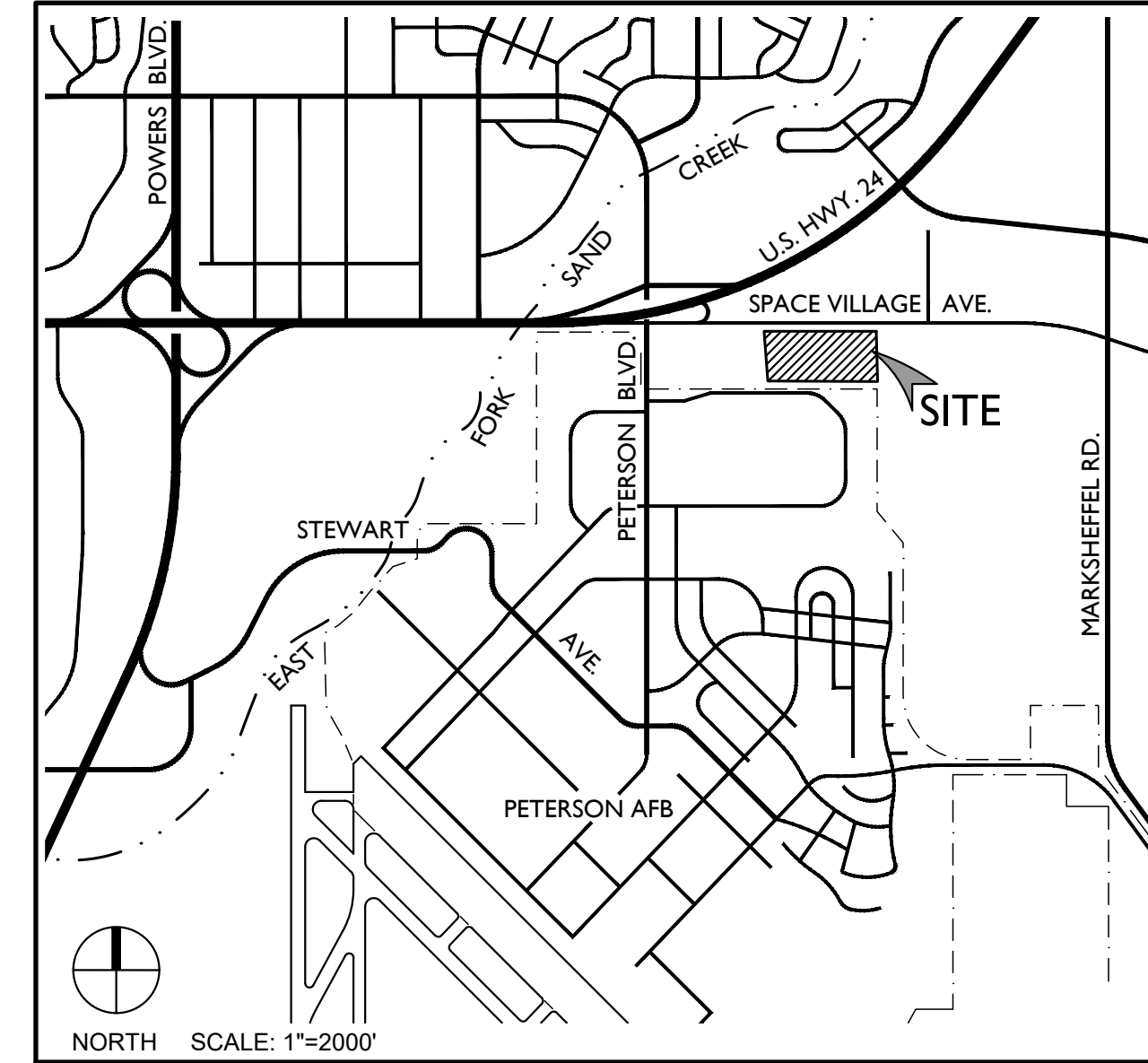
DESCRIPTION	QUANTITY	UNITS	UNIT COST	TOTAL
CURB / GUTTER, TYPE 2	1,285	LF	\$ 29	\$ 37,265
PEDESTRIAN RAMP	563	SF	\$ 38	\$ 21,394
SIDEWALK / TRAIL, 10'	860	SY	\$ 79	\$ 67,940
CONCRETE CROSSSPAN & SQUARED RETURN / COMMERCIAL DRIVEWAY APRON	155	SY	\$ 134	\$ 20,770
CURB CHASE	375	SF	\$ 318	\$ 119,250
SUB-TOTAL				\$ 266,619
INCIDENTALS (20%)				\$ 53,324
TOTAL				\$ 319,943

#### CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

#### VICINITY MAP



#### SHEET INDEX

- 1 C800 COVER SHEET
- 2 C803 ROADWAY PLAN
- 3 C805 EROSION CONTROL PLAN (SWMP - SITE MAP)
- 4 C810 DETAILS
- 5 C811 DETAILS
- 6 C815 EROSION CONTROL DETAILS (SWMP - SITE MAP)
- 7 C816 EROSION CONTROL DETAILS (SWMP - SITE MAP)

#### STATEMENT

THE CITY OF COLORADO SPRINGS RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE CITY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY. RESUBMITTAL REQUIRED IF CONSTRUCTION HAS NOT COMMENCED WITHIN 180 DAYS AFTER REVIEW DATE.

#### DESIGN DATA

SIDEWALKS: WIDTH 10 FT.  
 LOCATION: ATTACHED  
 DESIGN SPEED: 45 MPH  
 CURB TYPE: TYPE 2  
 ROW WIDTH: 100 FT. / EOA-EOA ±50 FT.  
 STREET TYPE: MINOR ARTERIAL  
 PAVEMENT:  
 TYPE: HMA  
 THICKNESS: \_\_\_\_\_  
 COMPOSITE SECTION:  
 HMA BASE  
 SUBGRADE STABILIZATION:  
 CHEMICAL  MECHANICAL   
 TYPE: \_\_\_\_\_ THICKNESS: \_\_\_\_\_

#### FLOODPLAIN

ZONE X, "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." AS SHOWN ON FEMA FIRM MAP NO. 08041C0754G, EFFECTIVE DATE, DECEMBER 7, 2018.

#### CITY ENGINEERING REVIEW

STREET DESIGN FOR CITY ENGINEERING:

UTILITY GRADE REVIEW \_\_\_\_\_ DATE \_\_\_\_\_  
 CURB & GUTTER REVIEW \_\_\_\_\_ DATE \_\_\_\_\_  
 FINAL REVIEW \_\_\_\_\_ DATE \_\_\_\_\_

#### SIGNAGE AND STRIPING REVIEW

\_\_\_\_\_ DATE \_\_\_\_\_

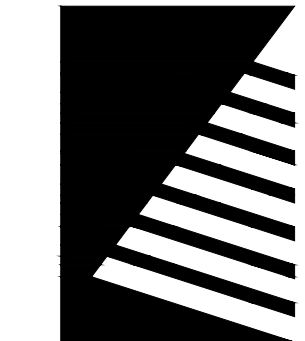
TRAFFIC ENGINEERING

#### ENGINEER'S STATEMENT

I HEREBY AFFIRM THAT THESE CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE CITY OF COLORADO SPRINGS STANDARDS AND POLICIES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATED TO SAID PLANS.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINTED NAME: JAY M. NEWELL, PE SEAL: \_\_\_\_\_



**Farnsworth**  
GROUP

FARNSWORTH GROUP, INC.

ISSUES & REVISIONS	
NO. 1 DATE: _____	BY: _____
DESCRIPTION: _____	
NO. 2 DATE: _____	BY: _____
DESCRIPTION: _____	
NO. 3 DATE: _____	BY: _____
DESCRIPTION: _____	
NO. 4 DATE: _____	BY: _____
DESCRIPTION: _____	
NO. 5 DATE: _____	BY: _____
DESCRIPTION: _____	
NO. 6 DATE: _____	BY: _____
DESCRIPTION: _____	

DATE: 5/2024	SCALE: N/A
PROJECT MANAGER: JS	PROJECT NO.:
DRAWN BY: JN	DRAWING FILE:

PROJECT:

#### SPACE VILLAGE FILING NO. 4 EL PASO COUNTY, CO

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**COVER SHEET**

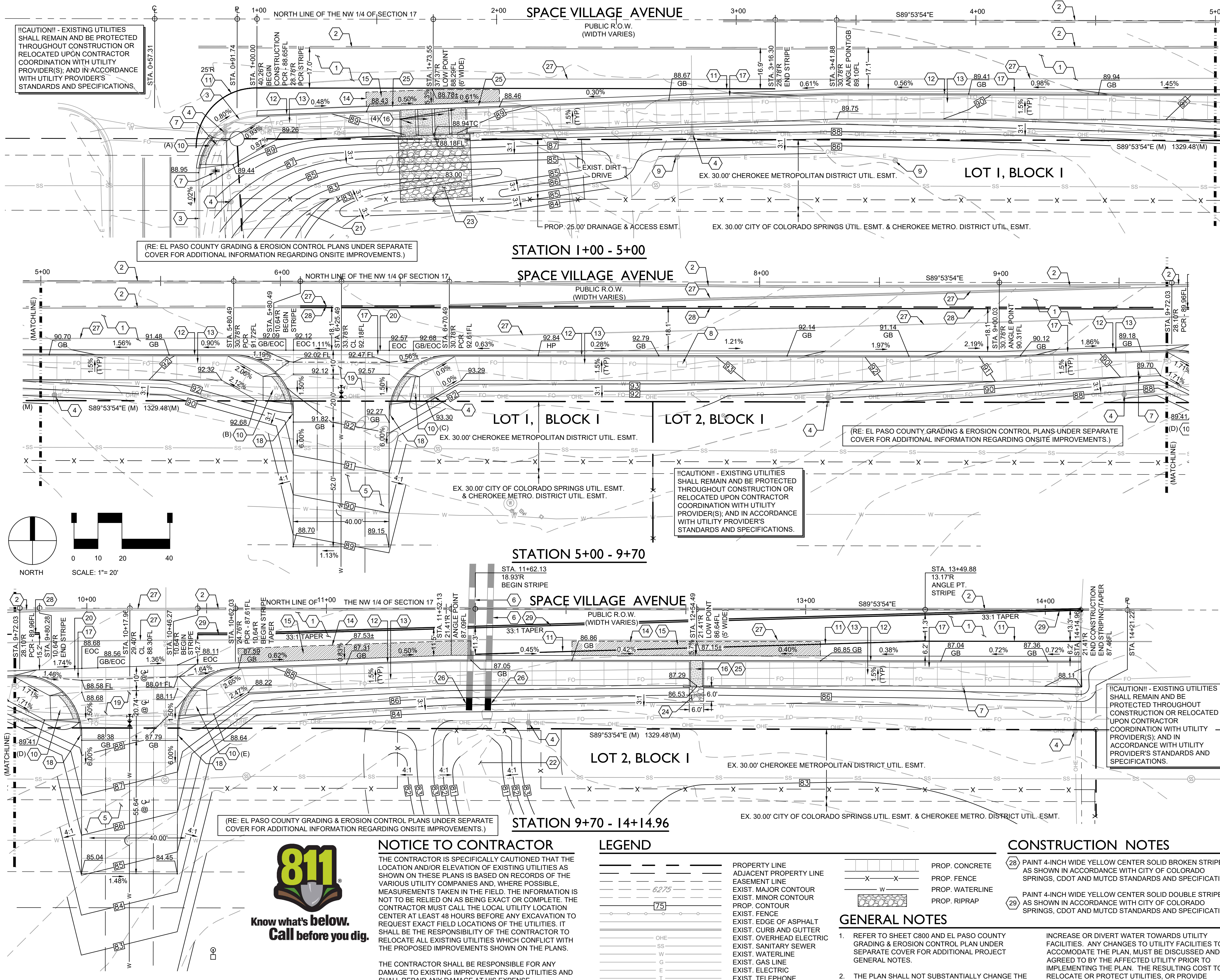
SHEET NUMBER:  
**1 C800**



# SPACE VILLAGE FILING NO. 4

## A PORTION OF THE NW 1/4 OF SEC. 17, T14S, R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO

### ROADWAY PLAN



#### BENCHMARK

AS PROVIDED ON ALTA/NSPS LAND TITLE SURVEY PREPARED BY ALTURA LAND CONSULTANTS, DATED APRIL 28, 2022 FOR THIS PROJECT.

\*NGS BENCHMARK "R 76" - LOCATED 0.2 MILE EAST ALONG HIGHWAY 94, FROM PETERSON ROAD, 22 FEET SOUTH-SOUTHWEST OF THE SOUTHWEST CORNER OF AN ADDITION TO THE BUILDING (SANDY'S RESTAURANT), 48 FEET NORTH OF THE CENTERLINE OF THE HIGHWAY, 3.5 FEET SOUTH OF A POWER POLE AND 3 FEET SOUTH OF A FIBERGLASS WITNESS POST. ELEVATION = 6289.86 FEET (NAVD 1988)

#### PAVING NOTE

ALL PAVING, INCLUDING CURB, GUTTER, AND SIDEWALK, TO BE INSTALLED OUTSIDE OF THE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION PAVEMENT RECOMMENDATIONS INCLUDING, BUT NOT LIMITED TO, THE PAVEMENT SECTION, MATERIAL, AND SUBGRADE PREPARATION. THE CONTRACTOR SHALL COORDINATE APPROVAL FOR INSTALLATION OF ANY ALTERNATE RECOMMENDATIONS INCLUDED IN THE INVESTIGATION OR DESIRED MODIFICATIONS TO THE RECOMMENDATIONS WITH THE OWNER/DEVELOPER AND/OR THEIR CONSTRUCTION MANAGER PRIOR TO BID AND PRIOR TO CONSTRUCTION. FOR GEOTECHNICAL INVESTIGATIONS WHICH DO NOT SPECIFICALLY ADDRESS CURB, GUTTER, SIDEWALK AND SIMILAR IMPROVEMENTS NOT SUBJECT TO VEHICULAR LOADS, CONCRETE SHALL BE CDOT CLASS B, IN ACCORDANCE WITH CDOT STANDARDS AND SPECIFICATIONS.

#### CONSTRUCTION NOTES

- 1 EXISTING ASPHALT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 2 EXISTING STRIPING TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 3 EXISTING CURB & GUTTER TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 4 EXISTING UTILITY POLE & OVERHEAD UTILITY TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 5 CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT WITH #4 REINFORCING AT 18" O.C.E.W. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION.
- 6 EXISTING CULVERT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 7 EXISTING SIGN TO BE RELOCATED OR REPLACED IN KIND TO MATCH EXISTING INSTALLATION AS SHOWN.
- 8 EXISTING UTILITY VAULT & LID TO BE ADJUSTED AS NECESSARY TO MATCH PROPOSED IMPROVEMENTS.
- 9 REMOVE, RELOCATE, OR PROTECT EXISTING UTILITY AND/OR UTILITY APPURTENANCE TO REMAIN. CONTRACTOR SHALL COORDINATE SAID WORK WITH OWNER/DEVELOPER AND UTILITY PROVIDER PRIOR TO COMMENCEMENT OF WORK.
- 10 CONSTRUCT PUBLIC CURB RAMP, TYPE AS SHOWN. RE: SHEET C810, DETAIL B, AND CITY OF COLORADO SPRINGS DETAILS D8-A, D8-B, AND D8-L.
- 11 PAINT 4-INCH WIDE WHITE STRIPE AS SHOWN IN ACCORDANCE WITH CITY OF COLORADO SPRINGS, CDOT AND MUTCD STANDARDS AND SPECIFICATIONS.
- 12 CONSTRUCT TYPE 2, 6-INCH CONCRETE VERTICAL CURB & GUTTER. RE: SHEET C811, CITY OF COLORADO SPRINGS DETAIL 6B.
- 13 CONSTRUCT 10-FOOT WIDE, 5-INCH THICK CONCRETE WITH FIBERMESH SIDEWALK IN ACCORDANCE WITH CITY OF COLORADO SPRINGS STANDARDS AND REGULATIONS INCLUDING, BUT NOT LIMITED TO MATERIALS, SUB-GRADE, COMPACTION, AND JOINTING.
- 14 SAWCUT AND REMOVE EXISTING PAVEMENT AS SHOWN.
- 15 CONSTRUCT 4-INCH HMA WITH 12-INCH ABC PAVEMENT OR MATCH EXISTING, WHICHEVER IS GREATER, IN SHOULDER AS SHOWN IN ACCORDANCE WITH THE CITY OF COLORADO SPRINGS LIST - 2023 APPROVED ASPHALT MIX DESIGNS, AVAILABLE ON THE CITY WEBSITE. PAVEMENT INSTALLATION IN ACCORDANCE WITH THE CITY PAVEMENT DESIGN CRITERIA AND THE CITY ENGINEERING STANDARD SPECIFICATIONS MANUAL SHALL INCLUDE, BUT NOT BE LIMITED TO THE PAVEMENT SECTION, MATERIALS, SUB-GRADE, AND COMPACTION.
- 16 CONSTRUCT CURB OPENING WITH DRAINAGE CHASE TO WIDTH SHOWN. RE: SHEET C811, DETAIL A, AND CITY OF COLORADO SPRINGS DETAILS D-21A AND D-21B.
- 17 SAWCUT AND REMOVE EXISTING EDGE OF ASPHALT (TYP.) IF SAWCUT AT PROPOSED LIP ALIGNMENT IS NOT POSSIBLE OR IS NOT ACHIEVED, CONTRACTOR SHALL SAWCUT TO PROVIDE A 2-FOOT PATCH ADJACENT TO THE PROPOSED LIP OF GUTTER.
- 18 TAPER END OF VERTICAL CURB TO FLUSH WITH ADJACENT PAVEMENT OVER 3' HORIZONTAL.
- 19 CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT WITH #4 REINFORCING AT 18" O.C.E.W. - SEE PAVING NOTE (THIS SHEET) AND SHEET C811, CITY OF COLORADO SPRINGS DETAILS D7A AND D7B.
- 20 CONSTRUCT CONCRETE CROSS PAN. RE: SHEET C811, CITY OF COLORADO SPRINGS DETAILS D7A AND D7B.
- 21 CONSTRUCT DRAINAGE SWALE. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.
- 22 CONSTRUCT DRAINAGE CHANNEL. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.
- 23 CONSTRUCT RIPRAP APRON. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.
- 24 CONSTRUCT 6.0' X 6.0' TYPE L RIPRAP APRON. RE: SHEET C810, DETAIL A.
- 25 DEPRESS GUTTER 2" TO ACCOMPLISH 8" VERTICAL CURB AT CURB OPENING. TRANSITION OVER 2' HORIZONTAL PAST OUTSIDE EDGE OF CURB OPENING, EITHER SIDE OF TOTAL OPENING(S).
- 26 EXTEND CULVERT, INSTALL END SECTION, AND CONSTRUCT TOE WALL. RE: GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER.
- 27 REMOVE EXISTING STRIPING IN ACCORDANCE WITH CITY OF COLORADO SPRINGS AND CDOT STANDARDS AND SPECIFICATIONS.

**Farnsworth GROUP**

PREPARED UNDER THE DIRECT SUPERVISION OF  
JAY M. NEWELL, PE  
COLORADO REGISTRATION 35219  
FOR & ON BEHALF OF FARNSWORTH GROUP, INC.



ISSUES & REVISIONS	
NO. 1	DATE: _____ BY: _____
DESCRIPTION:	
NO. 2	DATE: _____ BY: _____
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NO. 3	DATE: _____ BY: _____
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NO. 4	DATE: _____ BY: _____
DESCRIPTION:	
NO. 5	DATE: _____ BY: _____
DESCRIPTION:	
NO. 6	DATE: _____ BY: _____
DESCRIPTION:	

DATE:	5/2024	SCALE:	1" = 20'-0"
PROJECT MANAGER:	JS	PROJECT NO.:	
DRAWN BY:	JN	DRAWING FILE:	
PROJECT:			

#### SPACE VILLAGE FILING NO. 4 EL PASO COUNTY, CO

CLIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122  
TEL: (303) 730-3001

#### SHEET TITLE: ROADWAY PLAN

SHEET NUMBER:  
**2** **C803**



#### NOTICE TO CONTRACTOR

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#### LEGEND

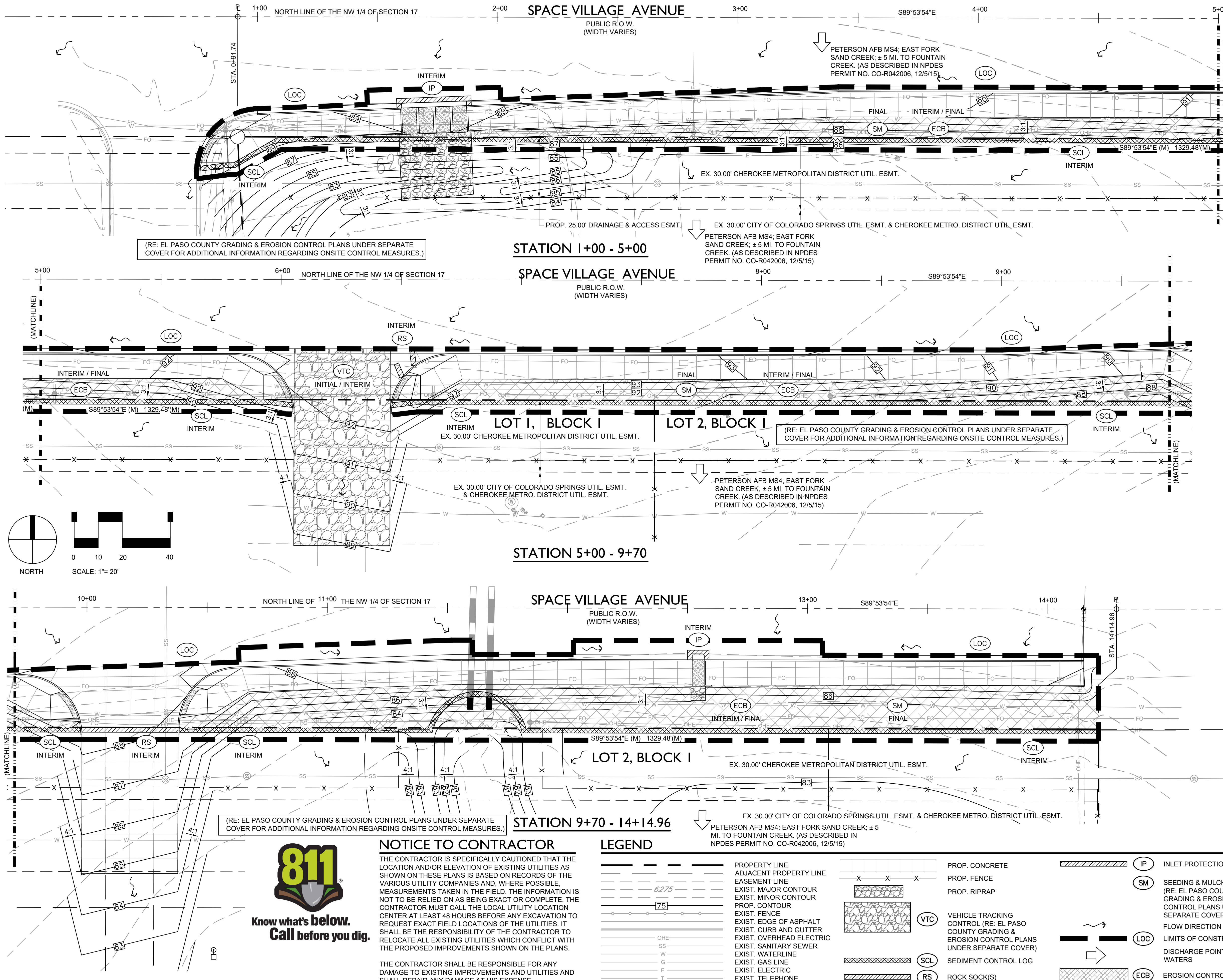
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT LINE
---	EXIST. MAJOR CONTOUR
---	EXIST. MINOR CONTOUR
---	PROP. CONTOUR
---	EXIST. FENCE
---	EXIST. EDGE OF ASPHALT
---	EXIST. CURB AND GUTTER
---	EXIST. OVERHEAD ELECTRIC
---	EXIST. SANITARY SEWER
---	EXIST. WATERLINE
---	EXIST. GAS LINE
---	EXIST. ELECTRIC
---	EXIST. TELEPHONE
---	EXIST. FIBER OPTIC

#### CONSTRUCTION NOTES

	PROP. CONCRETE
	PROP. FENCE
	PROP. WATERLINE
	PROP. RIPRAP

- #### GENERAL NOTES
- 1 REFER TO SHEET C800 AND EL PASO COUNTY GRADING & EROSION CONTROL PLAN UNDER SEPARATE COVER FOR ADDITIONAL PROJECT GENERAL NOTES.
  - 2 THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.

**SPACE VILLAGE FILING NO. 4**  
 A PORTION OF THE NW 1/4 OF SEC. 17, T14S,  
 R65W, OF THE 6th P.M., EL PASO COUNTY, COLORADO  
 ROADWAY PLAN



(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE CONTROL MEASURES.)

**STATION 1+00 - 5+00**

PETERSON AFB MS4: EAST FORK SAND CREEK; ± 5 MI. TO FOUNTAIN CREEK. (AS DESCRIBED IN NPDES PERMIT NO. CO-R042006, 12/5/15)

(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE CONTROL MEASURES.)

**LOT 1, BLOCK 1**

(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE CONTROL MEASURES.)

**STATION 5+00 - 9+70**

(RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER FOR ADDITIONAL INFORMATION REGARDING ONSITE CONTROL MEASURES.)

**STATION 9+70 - 14+14.96**

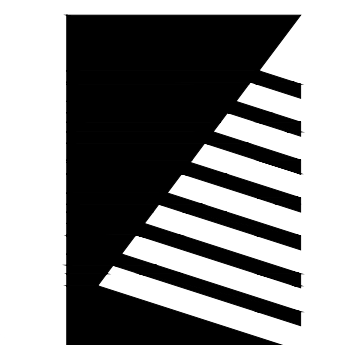
PETERSON AFB MS4: EAST FORK SAND CREEK; ± 5 MI. TO FOUNTAIN CREEK. (AS DESCRIBED IN NPDES PERMIT NO. CO-R042006, 12/5/15)



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 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS AND UTILITIES AND SHALL REPAIR ANY DAMAGE AT HIS EXPENSE.

**LEGEND**

	PROPERTY LINE		PROP. CONCRETE		INLET PROTECTION
	ADJACENT PROPERTY LINE		PROP. FENCE		SEEDING & MULCHING (RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER)
	EASEMENT LINE		PROP. RIPRAP		LIMITS OF CONSTRUCTION
	EXIST. MAJOR CONTOUR				EROSION CONTROL BLANKET
	EXIST. MINOR CONTOUR				
	PROP. CONTOUR				
	EXIST. FENCE				
	EXIST. EDGE OF ASPHALT				
	EXIST. CURB AND GUTTER				
	EXIST. OVERHEAD ELECTRIC				
	EXIST. SANITARY SEWER				
	EXIST. WATERLINE				
	EXIST. GAS LINE				
	EXIST. ELECTRIC				
	EXIST. TELEPHONE				
	EXIST. FIBER OPTIC				
	VTC		VEHICLE TRACKING CONTROL (RE: EL PASO COUNTY GRADING & EROSION CONTROL PLANS UNDER SEPARATE COVER)		FLOW DIRECTION
	SCL		SEDIMENT CONTROL LOG		DISCHARGE POINT / RECEIVING WATERS
	RS		ROCK SOCK(S)		



**Farnsworth GROUP**

PREPARED UNDER THE DIRECT SUPERVISION OF  
 JAY M. NEWELL, PE  
 COLORADO REGISTRATION 35219  
 FOR & ON BEHALF OF FARNSWORTH GROUP, INC.



5/1/24  
 FARNSWORTH GROUP, INC.

**BENCHMARK**

AS PROVIDED ON ALTA/NPS LAND TITLE SURVEY PREPARED BY ALTA LAND CONSULTANTS, DATED APRIL 28, 2022 FOR THIS PROJECT:

"NGS BENCHMARK 'R 76' - LOCATED 0.2 MILE EAST ALONG HIGHWAY 94, FROM PETERSON ROAD, 22 FEET SOUTH-SOUTHEAST OF THE SOUTHEAST CORNER OF AN ADDITION TO THE BUILDING (SANDY'S RESTAURANT), 48 FEET NORTH OF THE CENTERLINE OF THE HIGHWAY, 3.5 FEET SOUTH OF A POWER POLE AND 3 FEET SOUTH OF A FIBERGLASS WITNESS POST. ELEVATION = 6289.86 FEET (NAVD 1988)"

**GENERAL NOTES**

- REFER TO SHEET C800 AND EL PASO COUNTY GRADING & EROSION CONTROL PLAN UNDER SEPARATE COVER FOR ADDITIONAL PROJECT GENERAL NOTES.
- THE PLAN SHALL NOT SUBSTANTIALLY CHANGE THE DEPTH OF COVER, OR ACCESS TO UTILITY FACILITIES. ADDITIONALLY, THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO UTILITY FACILITIES TO ACCOMMODATE THE PLAN, MUST BE DISCUSSED AND AGREED TO BY THE AFFECTED UTILITY PRIOR TO IMPLEMENTING THE PLAN. THE RESULTING COST TO RELOCATE OR PROTECT UTILITIES, OR PROVIDE INTERIM ACCESS IS AT THE EXPENSE OF THE PLAN APPLICANT.
- REFER TO EL PASO COUNTY GRADING & EROSION CONTROL PLANS FOR LOCATION(S) OF SOIL STOCKPILE(S), CONCRETE WASHOUT AREA(S), STAGING AREA(S), ADDITIONAL CONTROL MEASURES SUCH AS STREET SWEEPING, SEEDING & MULCHING AND VEHICLE TRACKING CONTROL; AND ADDITIONAL ON SITE CONTROL MEASURES.
- AREA OF LAND DISTURBANCE: ±0.75 AC (W/IN R.O.W). REFER TO EL PASO COUNTY GRADING & EROSION CONTROL PLANS FOR ON SITE AREA OF LAND DISTURBANCE.
- ANTICIPATED START: SUMMER 2024  
 ANTICIPATED COMPLETION: FALL 2024  
 ANTICIPATED FINAL STABILIZATION: FALL 2024

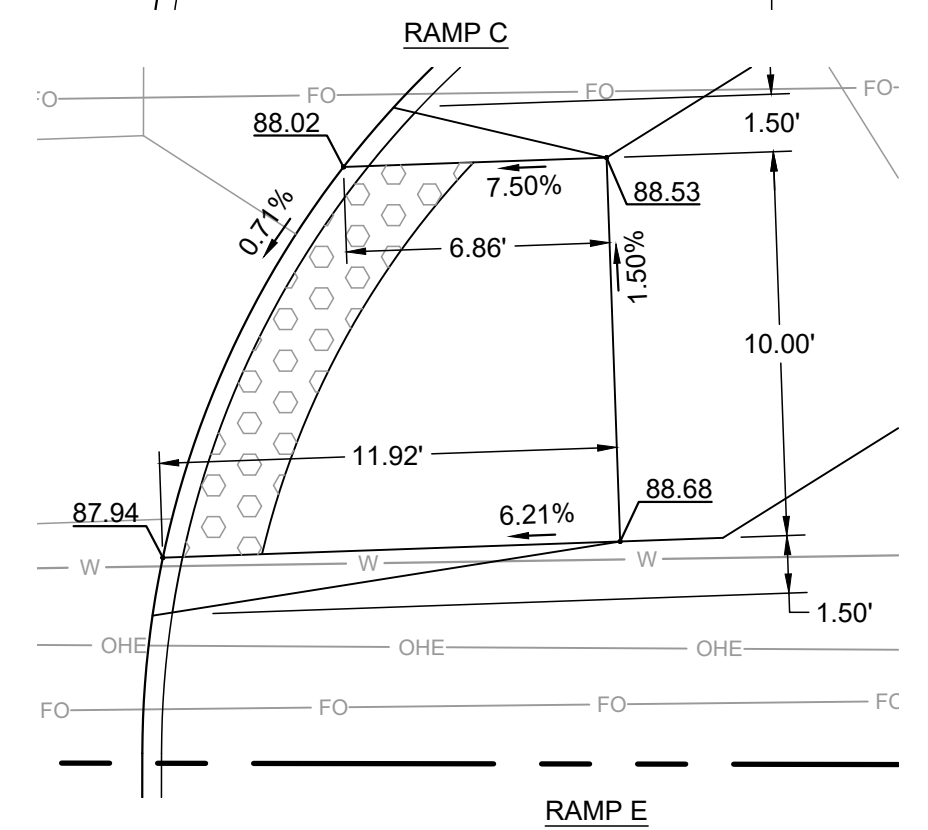
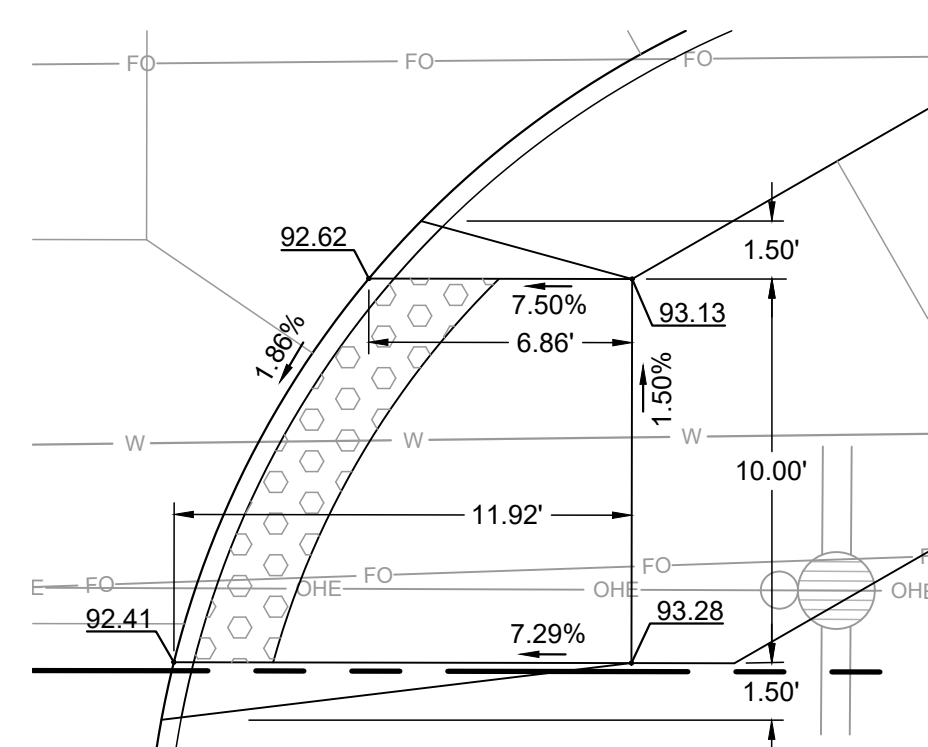
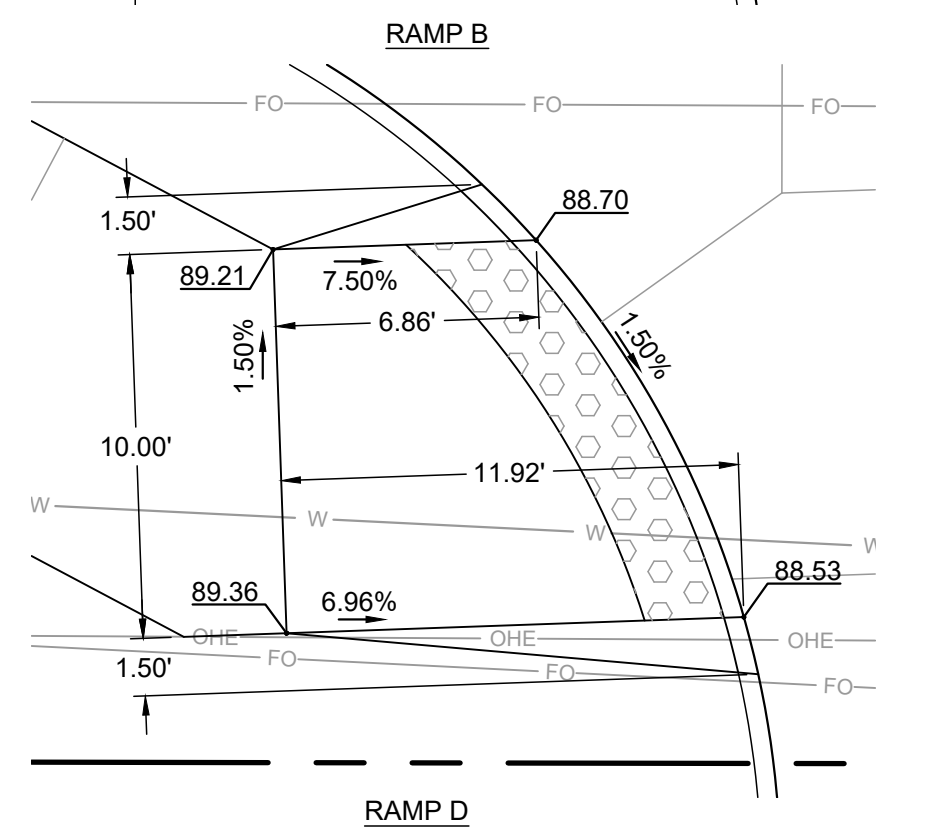
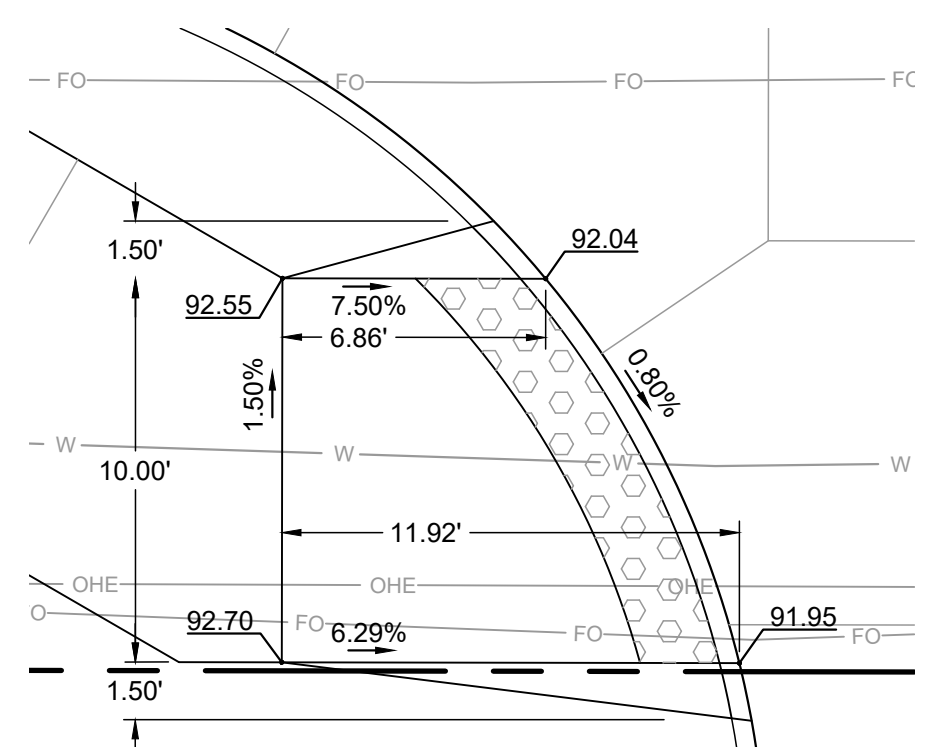
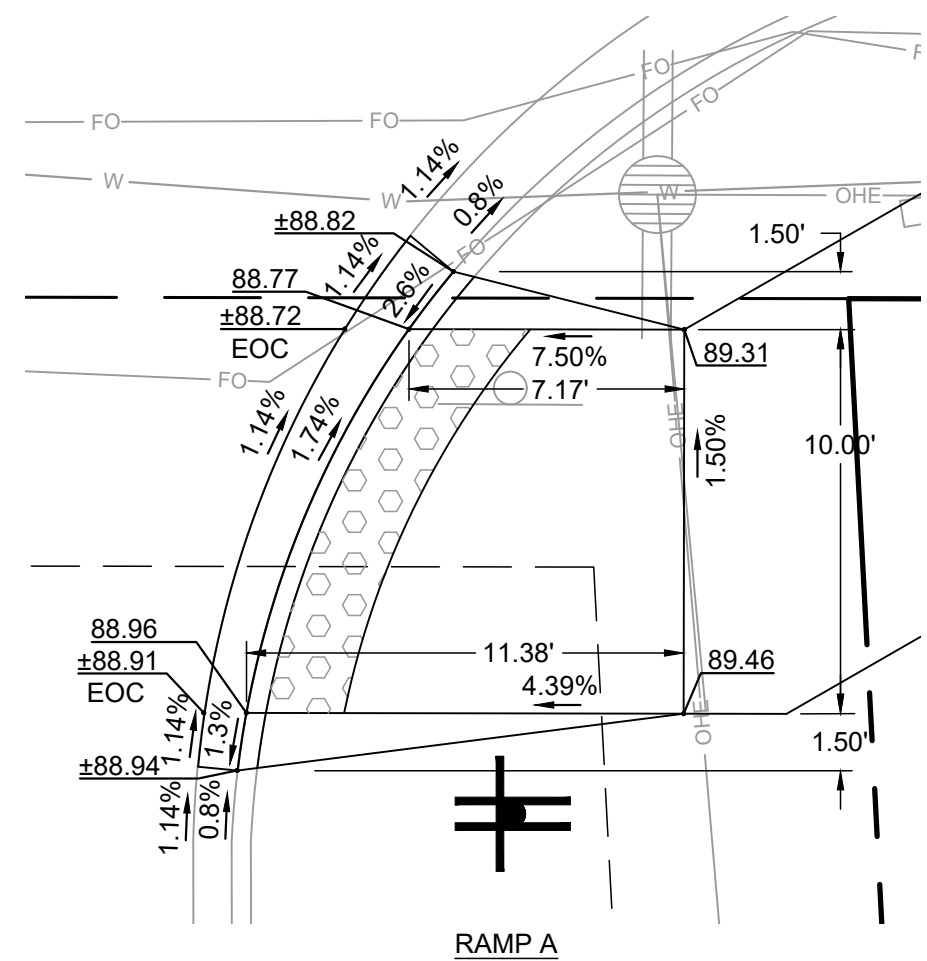
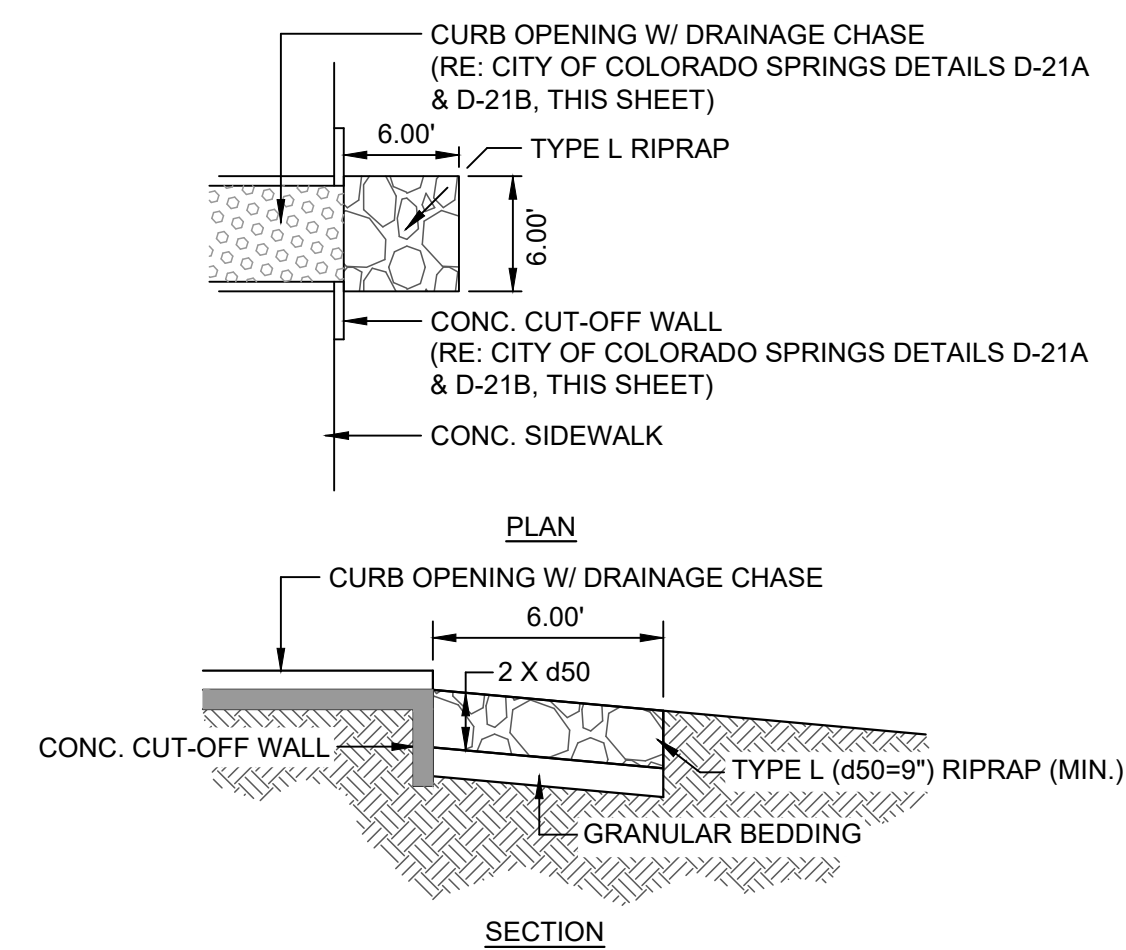
**SPACE VILLAGE FILING NO. 4  
 EL PASO COUNTY, CO**

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
 LITTLETON, COLORADO 80122

TEL: (303) 730-3001

**SHEET TITLE:  
 EROSION CONTROL PLAN  
 (SWMP-SITE MAP)**

SHEET NUMBER:  
**3** **C805**



RIPRAP SIZE	% SMALLER THAN GIVEN SIZE BY WEIGHT	INTERMEDIATE ROCK DIMENSION (INCHES)	d50 (INCHES)
L	70 - 100	15	9
	50 - 70	12	
	35 - 50	9	
	2 - 10	3	

d50 = MEAN ROCK SIZE

RIPRAP DESIGNATION	THICKNESS REQUIREMENTS FOR GRANULAR BEDDING		
	MINIMUM BEDDING THICKNESS (INCHES)		
	FINE-GRAINED SOILS <sup>1</sup>		COARSE-GRAINED SOILS <sup>2</sup>
L	TYPE I (LOWER LAYER)	TYPE II (UPPER LAYER)	TYPE II
	4	4	6

<sup>1</sup> MAY SUBSTITUTE ONE 12-INCH LAYER OF TYPE II BEDDING.  
<sup>2</sup> FIFTY PERCENT OR MORE BY WEIGHT RETAINED ON THE # 40 SIEVE.

U.S. STANDARD SIEVE SIZE	% PASSING BY WEIGHT	
	TYPE I CDOT SECT. 703.01	TYPE II CDOT SECT. 703.09 CLASS A
3 INCHES	-	90 - 100
1 1/2 INCHES	-	-
3/4 INCHES	-	20 - 90
3/8 INCHES	100	-
# 4	95 - 100	0 - 20
# 16	45 - 80	-
# 50	10 - 30	-
# 100	2 - 10	-
# 200	0 - 2	0 - 3

**RIPRAP PROTECTION**

NOT TO SCALE



**CURB RAMP (PUBLIC)**

SCALE: 1" = 5'-0"



**General Notes**

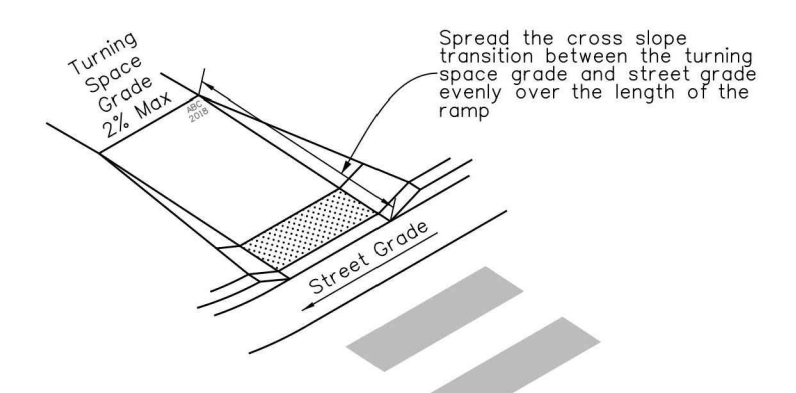
- All work shall be done in accordance with the current City of Colorado Springs Engineering Division (the City) Standard Specifications.
- The Contractor shall obtain all required permits and notify City Engineering by 1500 hours the business day before inspection is required.
- Concrete shall have a minimum compressive strength of 4,000 psi and use a City-approved concrete mix.
- A broom finish, with sweeps perpendicular to the direction of pedestrian traffic, shall be applied to all ramp surfaces.
- The Contractor shall stamp their company name and construction date at the top right corner of the ramp as viewed from the street.
- Detectable warnings shall be installed at sidewalk to street transitions and shall consist of prefabricated truncated dome panels approved by the City. The detectable warning panels shall be set into the wet concrete. The domes shall be in a square grid pattern and aligned with pedestrian traffic.
- All detectable warning surfaces at the base of ramps shall start a minimum of 6 inches from the flowline of the curb and not be more than 8 inches from any point on the flowline of the curb, with the exception for ramps that are constructed within the curved portion of the return as approved by the City.
- Ramp and detectable warning running slope shall be 8.3% or flatter except on long ramps as specified by Note 14.
- Drainage structures, traffic signal equipment, or other obstructions shall not be installed in the ramp or turning space areas.
- If a traffic signal pedestrian push button cannot be mounted within 10 inches horizontally of the pedestrian path or is obstructed from reach then a separate pedestrian push button post assembly shall be installed. Push buttons shall meet the requirements of MUTCD Chapter 4 for pedestrian detectors.
- Diagonal ramps on the apex are not allowed in new construction. A single diagonal ramp on the apex may be permitted during reconstruction or alteration where physical or site constraints prevent two ramps from being installed and shall require approval from the City on a case-by-case basis.
- Ramps, excluding flared sides or blended transitions, shall be wholly contained within the width of the crosswalk and/or the pedestrian street crossing that they serve.
- All ramp joints and grade breaks shall be flush (0"±/8"). The joint between the roadway surface and gutter pan shall be flush.
- In retrofit applications, to avoid closing grade indefinitely on steep streets, ramp length is not required to exceed 15 feet.
- The counter slope of the gutter or road at the foot of a ramp, turning space, or blended transition shall not exceed 5.0%.
- Flared side slopes may exceed 10% only where they abut a non-walkable surface (landscaping or domed surface) or the adjacent circulation path is blocked such that it is unlikely for a pedestrian to walk across the flared side slope.

- The minimum turning space for new construction is 5 feet by 5 feet. The minimum turning space allowed for retrofit applications is 4 feet by 4 feet. In all types of construction where the turning space is constrained by an element taller than 2 inches such as curb, the turning space shall be 5 feet by 5 feet.
- Contact the City Forestry Division if it is necessary to disturb trees or roots.
- All curb ramps shall have a minimum concrete thickness of 6 inches.
- All sidewalks and turning spaces shall have a cross slope between 0.5% and 2.0%.
- Ramps shall align with each other across the street.

**Slope Table**

The table below is intended to be used to convert between the percent (rise/run) and ratio (runrise) methods of expressing the magnitude of a slope:

PERCENT SLOPE	0.5%	1.0%	2.0%	5.0%	7.1%	8.3%	10.0%
RATIO SLOPE	200:1	100:1	50:1	20:1	14:1	12:1	10:1



**Ramp Cross Slope Transition To Match Roadway Profile**  
 Ramp cross slopes and turning spaces shall be:  
 A. 2% max when a yield or stop control is present.  
 B. Permitted to equal the street grade when there is no yield or stop control, when a traffic signal is present, at a mid block crossing location, or in retrofit applications.

COLORADO SPRINGS		SIDEWALK CURB RAMPS GENERAL NOTES AND DETAILS	
APPROVED:		ISSUES:	3/28/2019
REVISOR:		REVISIONS:	
CITY ENGINEER:		DRAWING NO.:	D-8A

PREPARED UNDER THE DIRECT SUPERVISION OF  
 JAY M. NEWELL, PE  
 COLORADO REGISTRATION 35219  
 FOR & ON BEHALF OF FARNSWORTH GROUP, INC.

5/1/24

ISSUES & REVISIONS	
NO. 1 DATE:	BY:
DESCRIPTION:	
NO. 2 DATE:	BY:
DESCRIPTION:	
NO. 3 DATE:	BY:
DESCRIPTION:	
NO. 4 DATE:	BY:
DESCRIPTION:	
NO. 5 DATE:	BY:
DESCRIPTION:	
NO. 6 DATE:	BY:
DESCRIPTION:	

DATE:	SCALE:
5/2024	N/A
PROJECT MANAGER:	PROJECT NO.:
JS	
DRAWN BY:	DRAWING FILE:
JN	
PROJECT:	

**SPACE VILLAGE FILING NO. 4 EL PASO COUNTY, CO**

CLIENT:  
 COMMERCIAL BUILDING SERVICES  
 7561 S. GRANT STR., SUITE A-4  
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 TEL: (303) 730-3001

SHEET TITLE:
DETAILS
SHEET NUMBER:
4

Notes

- Detectable warnings shall consist of prefabricated panels of truncated domes approved by the City.
- The detectable warning surface shall span the entire width of the ramp. If conditions do not allow the entire span, the detectable warning surface span shall not be more than 2 inches away from each side of the ramp.
- Dome spacing shall be equal in both directions.

**SIDEWALK CURB RAMPS TRUNCATED DOME DETAILS**

APPROVED:

CITY ENGINEER:

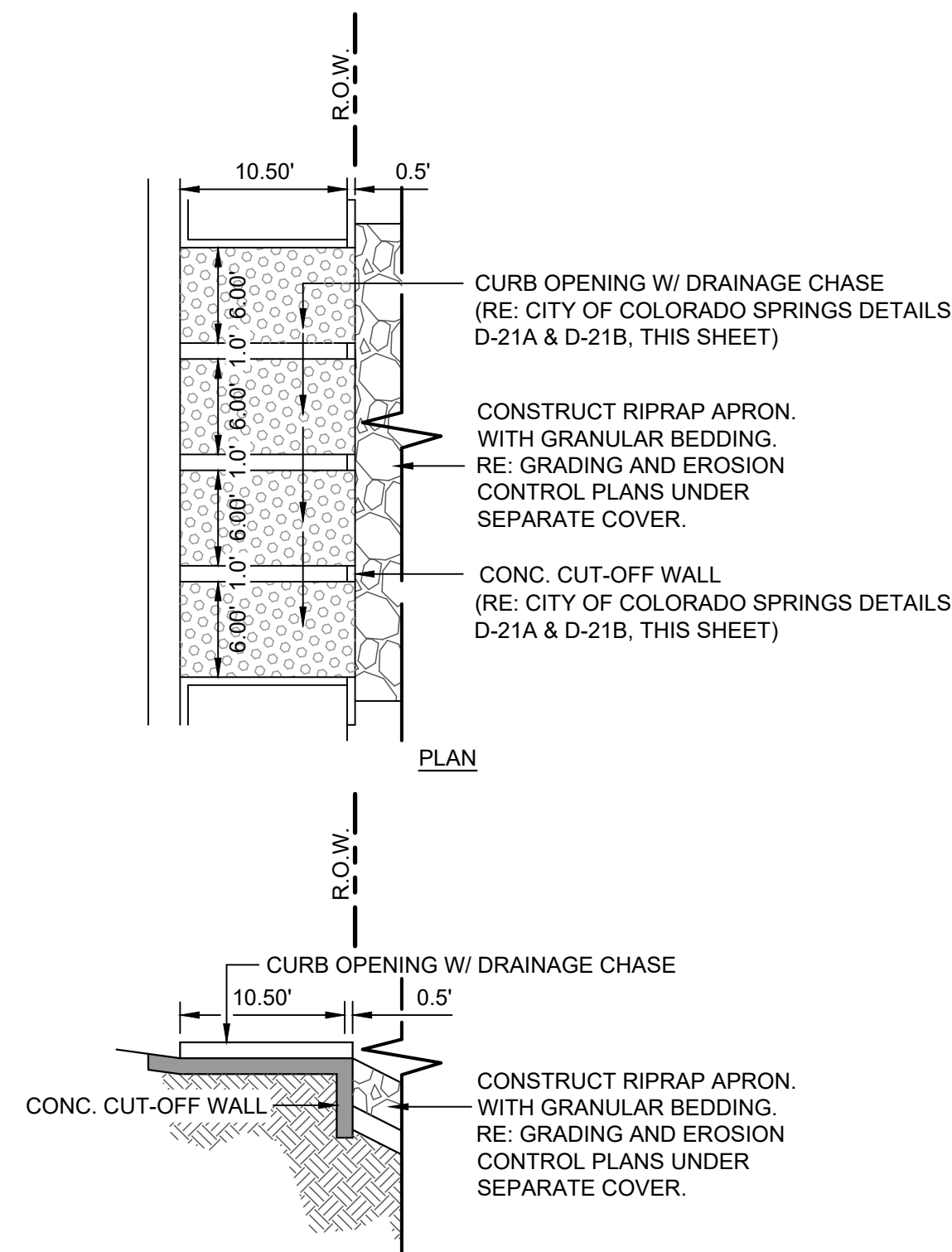
ISSUES: 3/28/2019 REVISIONS: DRAWING NO. D-8L

**SIDEWALK CURB RAMPS TYPE 1 CURB RAMP**

APPROVED:

CITY ENGINEER:

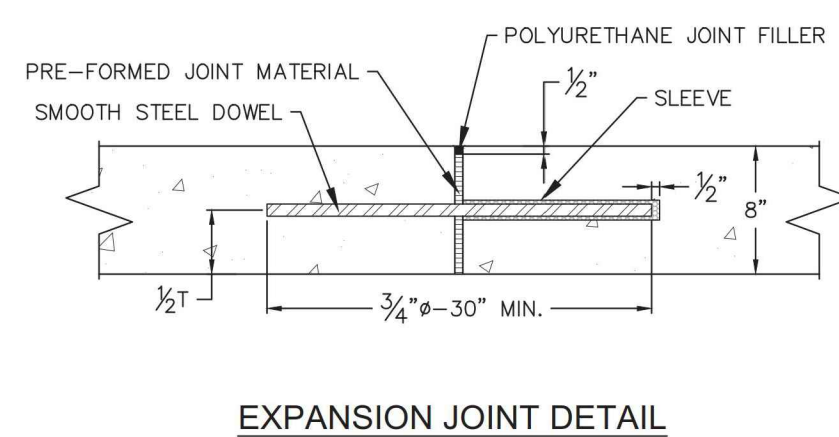
ISSUES: 3/28/2019 REVISIONS: DRAWING NO. D-8B



**CURB OPENING WITH DRAINAGE CHASE** (A)  
NOT TO SCALE

**GENERAL NOTES:**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CITY OF COLORADO SPRINGS ENGINEERING DIVISION (THE CITY) STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR CITY PERMITS. CONTRACTORS SHALL USE THE ACCELA ON-LINE PERMIT SYSTEM. ONCE CITY PERMITS ARE APPROVED AND PAID, THEN APPROPRIATE SCHEDULING AND NOTIFICATIONS SHALL BE IN ACCELA.
3. CONTACT CITY PARKS PRIOR TO STARTING WORK IF IT IS NECESSARY TO DISTURB MEDIAN LANDSCAPING OR WORK IS ADJACENT TO AN EXISTING PARK.
4. CONTACT THE CITY FORESTRY DIVISION, PRIOR TO STARTING WORK, IF IT IS NECESSARY TO DISTURB TREES OR ROOTS.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AND BE A CITY APPROVED CONCRETE MIX DESIGN.
6. A BROOM FINISH, WITH SWEEPS IN THE DIRECTION OF FLOW, SHALL BE APPLIED TO ALL GUTTER AND CROSS PANS.
7. PRIOR TO OPENING TO TRAFFIC, CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS.
8. NEW ASPHALT SHALL NOT BE PLACED AGAINST FRESHLY POURED CONCRETE. CONCRETE SHALL BE 5-DAYS OLD OR HAVE A COMPRESSIVE STRENGTH OF 3,200 PSI AS DEMONSTRATED BY FIELD CURE CYLINDERS. WHERE PATCHING IN AN EXISTING ROADWAY, PATCHING SHALL BE IN ACCORDANCE WITH ASPHALT REPAIR DRAWINGS.
9. THE CONTRACTOR SHALL STAMP THEIR COMPANY NAME AND CONSTRUCTION DATE ON FRONT FACE OF CURB.
10. WHITE CURE SHALL BE PLACED WITH 100% COVERAGE, AND MEET THE SPECIFICATION OF SECTION 500.



**EXPANSION JOINT DETAIL**

	<b>CROSS PAN NOTES</b>		
	APPROVED: <i>Jayle Stundivant</i> CITY ENGINEER	ISSUED: 8/4/21	DRAWING NO. 07A

**REINFORCING LAYOUT**

**SECTION A-A'**

**CURB & GUTTER SECTION**

**NOTES:**

1. SQUARED-OFF RETURN TO BE POURED MONOLITHIC 8-INCHES P.C.C. MINIMUM WITH #4 AT 18-INCHES EACH WAY.
2. ASPHALT PATCH SHALL BE PER 'ASPHALT PAVEMENT REPAIR' DETAIL.
3. SQUARED-OFF RETURN AREAS REQUIRE REINFORCING FROM B.C.R. TO E.C.R.
4. POLYURETHANE JOINT FILLER REQUIRED OVER EXPANSION JOINTS.
5. MINIMUM DEPTH OF SAWCUT OR TOOL JOINT SHALL BE 2-INCHES.
6. CURB RAMP SHALL BE LOCATED OUTSIDE OF CROSSPAN FLOWLINE.
7. DOWELED EXPANSION JOINT SHALL BE INSTALLED WHEN POURING HALF PANS.

	<b>CROSS PAN</b>		
	APPROVED: <i>Jayle Stundivant</i> CITY ENGINEER	ISSUED: 8/4/21	DRAWING NO. 07B

**TYPE 1 8" VERTICAL**

**TYPE 2 6" VERTICAL**

**TYPE 3 STANDARD MEDIAN**

**TYPE 4 MOUNTABLE**

**TYPE 5 RESIDENTIAL CURB & GUTTER ONLY**

**CURB ENDING**

**ROUNDABOUT APRON**

**RADI LEGEND**

A	1/4" - 1/2"
B	1 1/2"
C	1 1/2" - 2"

	<b>CURB &amp; GUTTER DETAILS</b>		
	APPROVED: <i>Jayle Stundivant</i> CITY ENGINEER	ISSUED: 2/26/20	DRAWING NO. 09

**SECTION A-A**  
FLOW FROM GUTTER

**SECTION A-A'**  
FLOW TO GUTTER

**SECTION B-B**

**SECTION C-C**

**DETAIL 1**

**NOTE:** EACH END OF FLOOR PLATE SHALL BE SUPPORTED BY SUPPORT BARS, WHEN SUPPORT BARS ARE SPECIFIED. CHASE OPENING (C) = W - 2 1/2"

	<b>CITY OF COLORADO SPRINGS</b>		
	<b>CURB OPENING DETAIL</b>		
APPROVED: <i>Shay P. Thomas</i> CITY ENGINEER	SCALE: NO SCALE	DATE: JAN. 89	DRAWN: PL.B. SHEET: D-21A 1 OF 2

**DETAIL 1**

	<b>CITY OF COLORADO SPRINGS</b>		
	<b>CURB OPENING DETAIL</b>		
APPROVED: <i>Shay P. Thomas</i> CITY ENGINEER	SCALE: NO SCALE	DATE: JAN. 89	DRAWN: PL.B. SHEET: D-21B 2 OF 2



PREPARED UNDER THE DIRECT SUPERVISION OF  
JAY M. NEWELL, PE  
COLORADO REGISTRATION 35219  
FOR & ON BEHALF OF FARNSWORTH GROUP, INC.



5/1/24

FARNSWORTH GROUP, INC.

<b>ISSUES &amp; REVISIONS</b>	
NO. 1 DATE:	BY:
NO. 2 DATE:	BY:
NO. 3 DATE:	BY:
NO. 4 DATE:	BY:
NO. 5 DATE:	BY:
NO. 6 DATE:	BY:

DATE: 5/2024	SCALE: N/A
PROJECT MANAGER: JS	PROJECT NO.:
DRAWN BY: JN	DRAWING FILE:

**SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

CIENT:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

**DETAILS**

SHEET NUMBER:

**EROSION CONTROL BLANKET**

STAKING PATTERN PER MANUFACTURER SPECIFICATION OR 18" O.C.

OVERLAPPING JOINT

6" OVERLAP

6"x6" TRENCH (TYPICAL)

KEY IN EDGES

PERIMETER ANCHOR TRENCH

JOINT ANCHOR TRENCH

INTERMEDIATE CHECK SLOT

OVERLAPPING JOINT

STAPLE CHECK TO BE USED ON SLOPE EVERY 15 FEET

**EROSION CONTROL BLANKET**

APPROVED: [Signature]

ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-ECB-1

**CURB INLET PROTECTION PLAN**

**SECTION A-A'**

ROCK SOCK (SEE ALTERNATIVE BELOW)

SEE ROCK SOCK DETAIL FOR OVERLAP

INLET

TOP BACK OF CURB

CURB FL

ROCK SOCK

12" MIN.

2x4 WOOD STUD OR 3" PVC

SEDIMENT CONTROL LOG (ALTERNATIVE)

ROCK SOCK

2x4 WOOD STUD OR 3" PVC

FLOW

INLET

**CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION**

SECTION A-A'

CURB ROCK SOCKS (MIN. OF 2)

SEE ROCK SOCK DETAIL FOR OVERLAP

±40'

5' MIN.

5' MIN.

CURB FL

SEDIMENT CONTROL LOG (ALTERNATIVE)

INLET

**INSTALLATION NOTES**

- SEE ROCK SOCK DETAIL FOR INSTALLATION REQUIREMENTS.
- PLACEMENT OF THE ROCK SOCK SHALL BE APPROXIMATELY 40 DEGREES FROM THE CURB.
- ROCK SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5' APART.
- AT LEAST TWO CURB ROCK SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.
- ADDITIONAL ROCK SOCKS MAY BE REQUIRED AT GEC INSPECTOR'S DISCRETION.

**MAINTENANCE NOTES**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 1/2 OF THE DESIGN DEPTH OF THE INLET BARRIER.
- ROCK SOCKS MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
- PERMANENTLY STABILIZE AREA BEHIND INLET AFTER ROCK SOCKS ARE REMOVED WHEN REMOVAL IS APPROPRIATE.

**ON-GRADE INLET PROTECTION**

APPROVED: [Signature]

ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-IP-1

**ROCK SOCK SUMP INLET PROTECTION PLAN**

**SECTION A-A'**

INLET GRATE

SEE ROCK SOCK DETAIL FOR JOINING

ROCK SOCK

ROCK SOCK

SUMP

**INSTALLATION NOTES**

- SEE ROCK SOCK DETAIL FOR INSTALLATION REQUIREMENTS.
- SEDIMENT CONTROL LOGS MAY BE USED IN PLACE OF ROCK SOCKS IN PERVIOUS AREAS. INSTALL PER SEDIMENT CONTROL LOG DETAIL.
- CONTROL MEASURES MUST BE WRAPPED AROUND INLET AS TIGHTLY AS POSSIBLE.

**MAINTENANCE NOTES**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 1/2 OF THE DESIGN DEPTH OF THE INLET BARRIER.
- ROCK SOCKS MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
- PERMANENTLY STABILIZE AREA AROUND INLET AFTER ROCK SOCKS ARE REMOVED WHEN REMOVAL IS APPROPRIATE.

**SUMP INLET PROTECTION**

APPROVED: [Signature]

ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-IP-2

**INSTALLATION NOTES**

- 100% NATURAL AND BIODEGRADABLE MATERIALS ARE REQUIRED FOR EROSION CONTROL BLANKETS. TRM PRODUCTS MAY BE USED WHERE APPROPRIATE AS DESIGNATED BY THE ENGINEER.
- IN AREAS WHERE EROSION CONTROL BLANKETS ARE SHOWN ON THE PLANS, THE PERMITTEE SHALL PLACE TOPSOIL AND PERFORM FINAL GRADING, SURFACE PREPARATION, AND SEEDING AND MULCHING. SUBGRADE SHALL BE SMOOTH AND MOIST PRIOR TO EROSION CONTROL BLANKET INSTALLATION, AND THE EROSION CONTROL BLANKET SHALL BE IN FULL CONTACT WITH THE SUBGRADE. NO GAPS OR VOIDS SHALL EXIST UNDER THE BLANKET.
- PERIMETER ANCHOR TRENCH SHALL BE USED ALONG THE OUTSIDE PERIMETER OF ALL BLANKET AREAS.
- JOINT ANCHOR TRENCH SHALL BE USED TO JOIN ROLLS OF EROSION CONTROL BLANKETS TOGETHER (LONGITUDINALLY AND TRANSVERSELY) FOR ALL EROSION CONTROL BLANKETS.
- INTERMEDIATE CHECK SLOT OR STAPLE CHECK SHALL BE INSTALLED EVERY 15' DOWN SLOPES. IN DRAINAGEWAYS, INSTALL CHECK SLOTS EVERY 25' PERPENDICULAR TO FLOW DIRECTION.
- OVERLAPPING JOINT DETAIL SHALL BE USED TO JOIN ROLLS OF EROSION CONTROL BLANKETS TOGETHER FOR EROSION CONTROL BLANKETS ON SLOPES.
- MATERIAL SPECIFICATIONS OF EROSION CONTROL BLANKETS SHALL CONFORM TO TABLE ECB-1.
- ANY AREAS OF SEEDING AND MULCHING DISTURBED IN THE PROCESS OF INSTALLING EROSION CONTROL BLANKETS SHALL BE RESEEDED AND MULCHED.
- STRAW EROSION CONTROL BLANKETS SHALL NOT BE USED WITHIN STREAMS AND DRAINAGE CHANNELS.
- COMPACT ALL TRENCHES.

**MAINTENANCE NOTES**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- EROSION CONTROL BLANKETS SHALL BE LEFT IN PLACE TO EVENTUALLY BIODEGRADE. TRM MUST BE REMOVED AT THE DISCRETION OF THE GEC INSPECTOR.
- ANY EROSION CONTROL BLANKET PULLED OUT, TORN, OR OTHERWISE DAMAGED SHALL BE REPAIRED OR REINSTALLED. ANY SUBGRADE AREAS BELOW GEOTEXTILE THAT HAVE ERODED TO CREATE A VOID UNDER THE BLANKET, OR THAT REMAIN DEVOID OF GRASS SHALL BE REPAIRED, RESEEDED AND MULCHED AND THE EROSION CONTROL BLANKET REINSTALLED.

**TABLE ECB-1, EROSION CONTROL BLANKET MATERIAL SPECIFICATIONS**

TYPE	COCONUT CONTENT	STRAW CONTENT	EXCELSIOR CONTENT	RECOMMENDED NETTING
STRAW	-	100%	-	DOUBLE/NATURAL
STRAW-COCONUT	30% MIN.	70% MAX.	-	DOUBLE/NATURAL
COCONUT	100%	-	-	DOUBLE/NATURAL
EXCELSIOR	-	-	100%	DOUBLE/NATURAL

**EROSION CONTROL BLANKET**

APPROVED: [Signature]

ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-ECB-2

**SILT FENCE SUMP INLET PROTECTION PLAN**

**SECTION A-A'**

INLET GRATE

STAKE

SILT FENCE (SEE SILT FENCE DETAIL)

STAKE

SUMP

**INSTALLATION NOTES**

- SEE SILT FENCE DETAIL FOR INSTALLATION REQUIREMENTS.
- POSTS SHALL BE PLACED AT EACH CORNER OF THE INLET AND AROUND THE EDGES AT A MAXIMUM SPACING OF THREE FEET.
- SILT FENCE FABRIC SHOULD HAVE A FLOW RATE IN EXCESS OF 30 GALLONS PER MINUTE PER SQUARE YARD SO AS TO ALLOW SOME WATER FLOW AND NOT DAM THE WATER. STANDARD, LOW-FLOW SILT FENCE FABRIC WILL NOT BE ALLOWED.

**MAINTENANCE NOTES**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 1/2 OF THE DESIGN DEPTH OF THE INLET BARRIER.
- SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
- PERMANENTLY STABILIZE AREA AROUND INLET AFTER SILT FENCE IS REMOVED WHEN REMOVAL IS APPROPRIATE.

**SUMP INLET PROTECTION**

APPROVED: [Signature]

ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-IP-3

**STRAW BALE SUMP INLET PROTECTION PLAN**

**SECTION A-A'**

STAKE

INLET GRATE

36" TYPICAL

18" TYP.

18" TYP.

6" MIN.

4" MIN.

STRAW BALE (SEE STRAW BALE DETAIL FOR DESIGN)

2"x2"x24" STAKE

BACKFILL AND COMPACT EXCAVATED TRENCH SOIL

SUMP

**INSTALLATION NOTES**

- BALES SHALL BE PLACED IN A SINGLE ROW AROUND THE INLET WITH THE ENDS OF THE BALES TIGHTLY ABUTTING ONE ANOTHER.
- STRAW BALES SHALL CONSIST OF CERTIFIED WEED FREE STRAW OR HAY. LOCAL JURISDICTIONS MAY REQUIRE PROOF THAT BALES ARE WEED FREE.
- STRAW BALES SHALL CONSIST OF APPROXIMATELY 5 CUBIC FEET OF STRAW OR HAY AND WEIGH NOT LESS THAN 35 POUNDS.
- STRAW BALE DIMENSIONS SHALL BE APPROXIMATELY 36"x18"x18".
- A UNIFORM ANCHOR TRENCH SHALL BE EXCAVATED TO A DEPTH OF 4". STRAW BALES SHALL BE PACED SO THAT THE BINDING TWINE IS ENCOMPASSING THE VERTICAL SIDES OF THE BALE(S).
- TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE 2"x2"x24" (MIN.), WOODEN STAKES SHALL BE DRIVEN A MINIMUM OF 6" INTO THE GROUND.

**MAINTENANCE NOTES**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 1/2 OF THE DESIGN DEPTH OF THE INLET BARRIER.
- STRAW BALES MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
- PERMANENTLY STABILIZE AREA AROUND INLET AFTER STRAW BALES ARE REMOVED WHEN REMOVAL IS APPROPRIATE.
- STRAW BALES SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN OR DAMAGED BEYOND REPAIR.

**SUMP INLET PROTECTION**

APPROVED: [Signature]

ISSUED: 10/7/19 REVISED: 8/19/2020 DRAWING NO. 900-IP-4

**Farnsworth GROUP**

PREPARED UNDER THE DIRECT SUPERVISION OF  
JAY M. NEWELL, PE  
COLORADO REGISTRATION 35219  
FOR & ON BEHALF OF FARNSWORTH GROUP, INC.



5/1/24  
FARNSWORTH GROUP, INC.

**ISSUES & REVISIONS**

NO.	DATE	BY	DESCRIPTION
NO: 1	DATE: -	BY: -	DESCRIPTION: -
NO: 2	DATE: -	BY: -	DESCRIPTION: -
NO: 3	DATE: -	BY: -	DESCRIPTION: -
NO: 4	DATE: -	BY: -	DESCRIPTION: -
NO: 5	DATE: -	BY: -	DESCRIPTION: -
NO: 6	DATE: -	BY: -	DESCRIPTION: -

DATE: 5/2024 SCALE: N/A

PROJECT MANAGER: JS PROJECT NO.:

DRAWN BY: JN DRAWING FILE:

PROJECT:

**SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

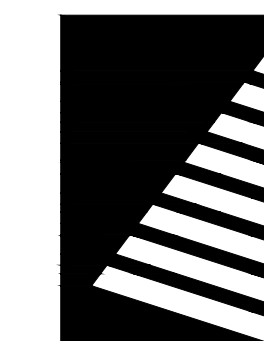
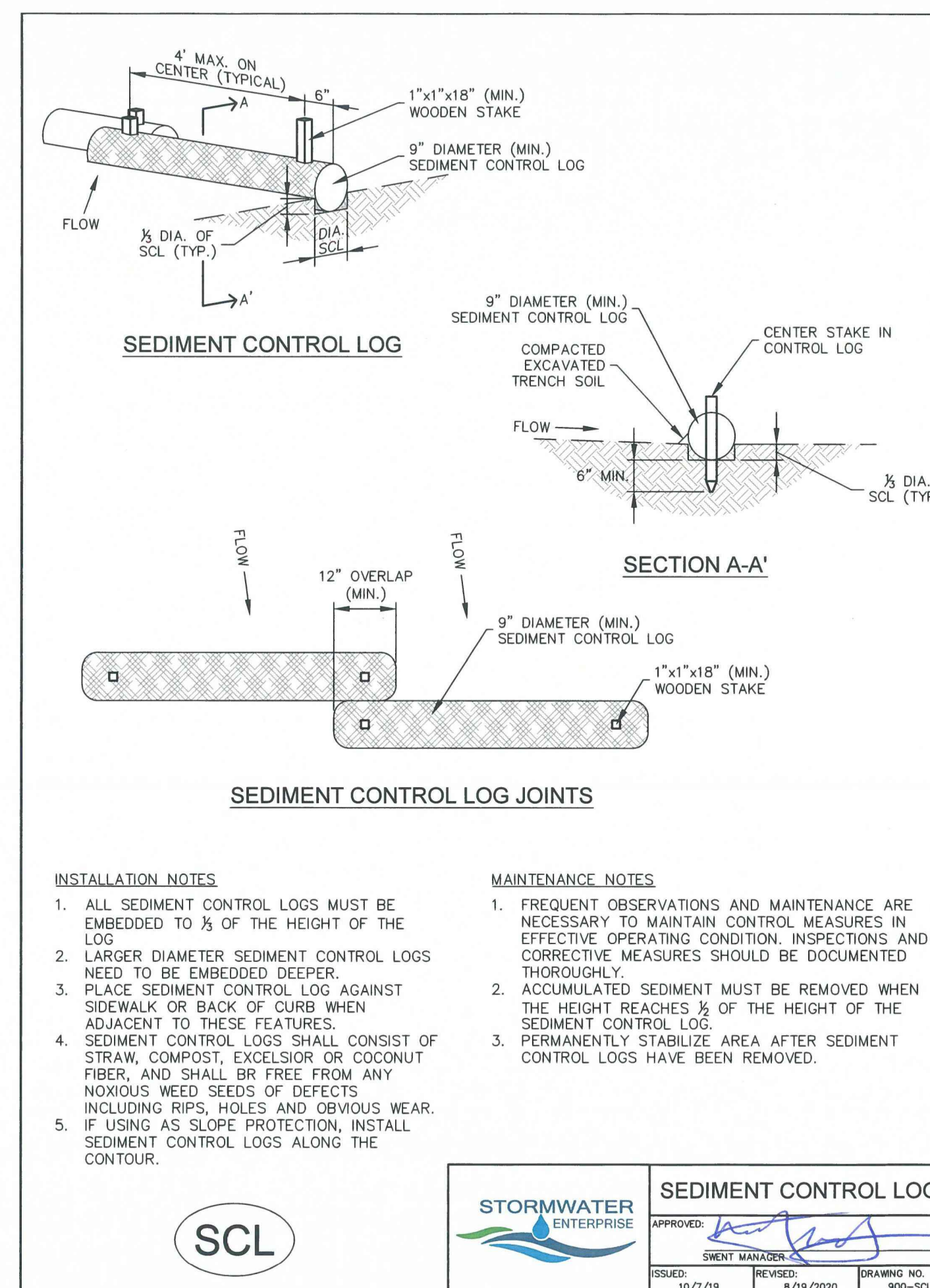
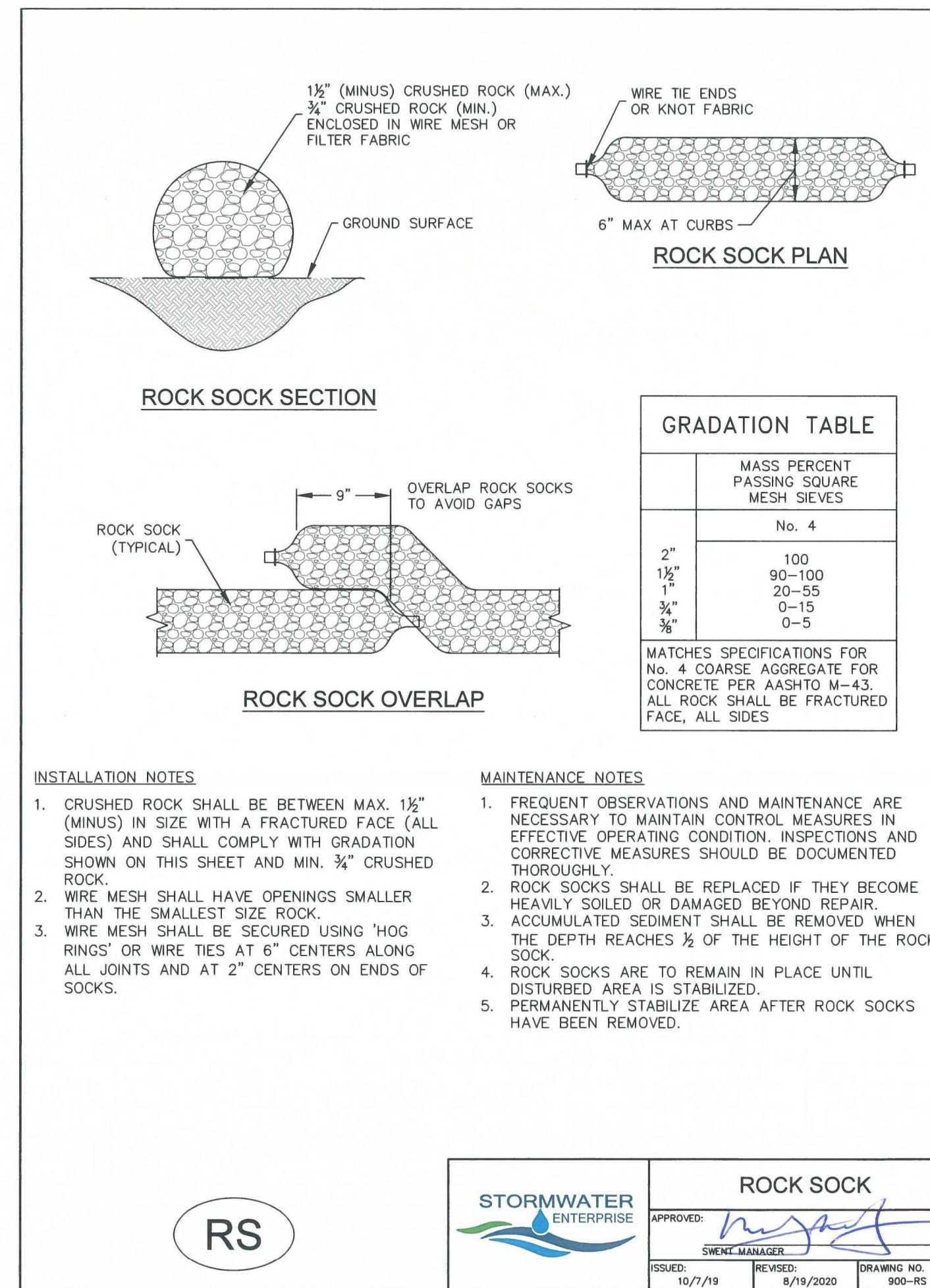
CUSTOMER:  
COMMERCIAL BUILDING SERVICES  
7561 S. GRANT STR., SUITE A-4  
LITTLETON, COLORADO 80122

TEL: (303) 730-3001

SHEET TITLE:  
**EROSION CONTROL DETAILS  
(SWMP-SITE MAP)**

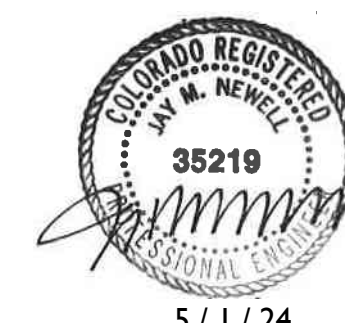
SHEET NUMBER:  
**6**

**C815**



**Farnsworth GROUP**

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JAY M. NEWELL, PE  
COLORADO REGISTRATION 35219  
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5/1/24  
FARNSWORTH GROUP, INC.

ISSUES & REVISIONS		
NO. 1	DATE:	BY:
DESCRIPTION:		
NO. 2	DATE: -	BY: -
DESCRIPTION: -		
NO. 3	DATE: -	BY: -
DESCRIPTION: -		
NO. 4	DATE: -	BY: -
DESCRIPTION: -		
NO. 5	DATE: -	BY: -
DESCRIPTION: -		
NO. 6	DATE: -	BY: -
DESCRIPTION: -		

DATE:	SCALE:
5/2024	N/A
PROJECT MANAGER:	PROJECT NO.:
JS	
DRAWN BY:	DRAWING FILE:
JN	

PROJECT:

**SPACE VILLAGE FILING NO. 4  
EL PASO COUNTY, CO**

CLIENT:  
COMMERCIAL BUILDING SERVICES  
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SHEET TITLE:  
**EROSION CONTROL DETAILS  
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SHEET NUMBER:

7

C816