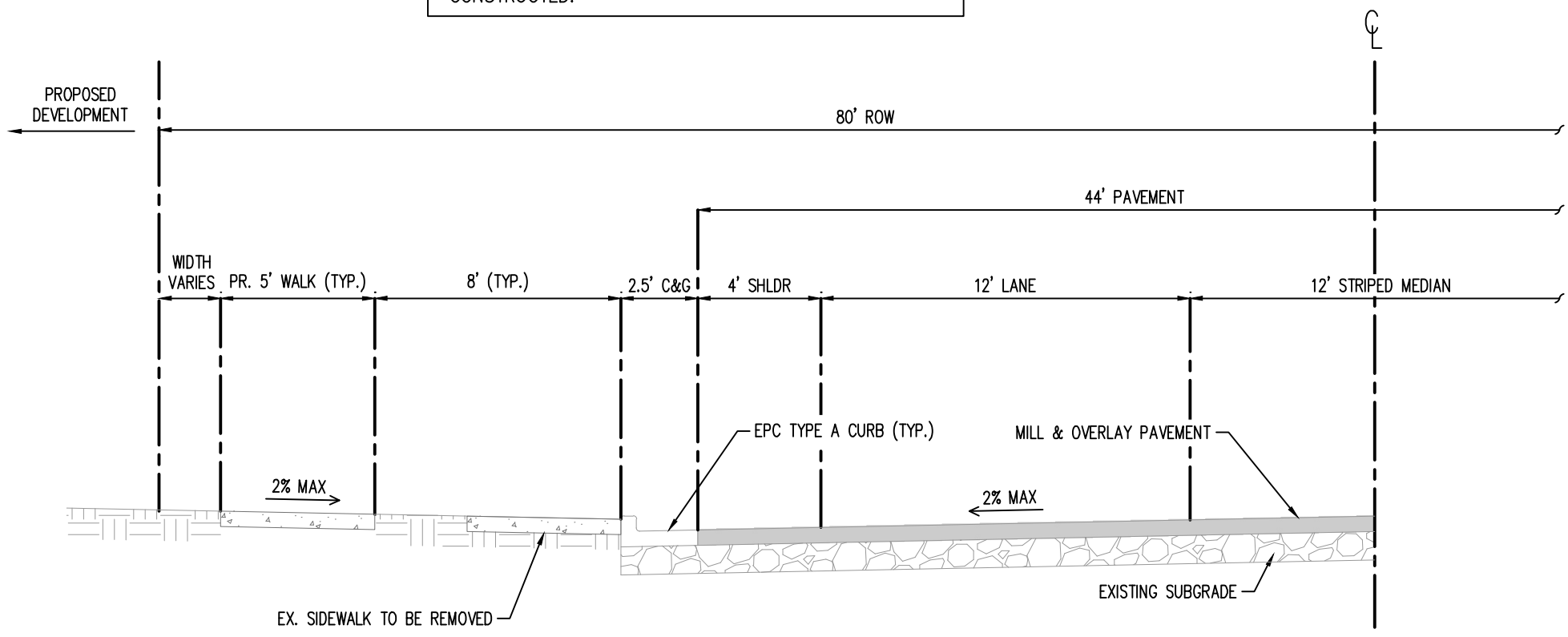


THE MARKETS AT BENT GRASS

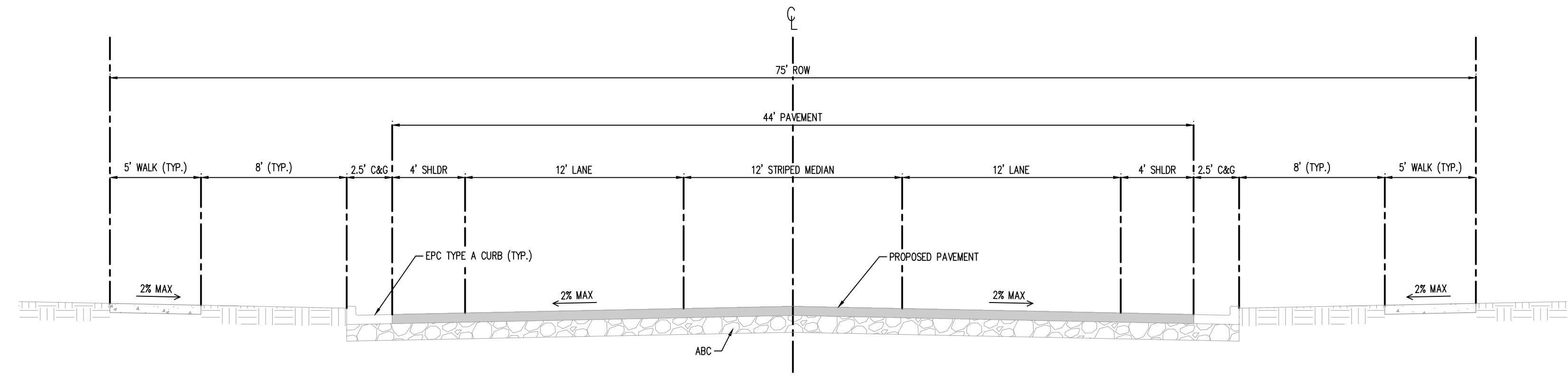
A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

NOTE:
IT IS INTENDED TO MAINTAIN THE EXISTING ROAD SECTION AS CONSTRUCTED. THE EXISTING ATTACHED SIDEWALK WILL BE REMOVED AND A DETACHED SIDEWALK CONSTRUCTED.



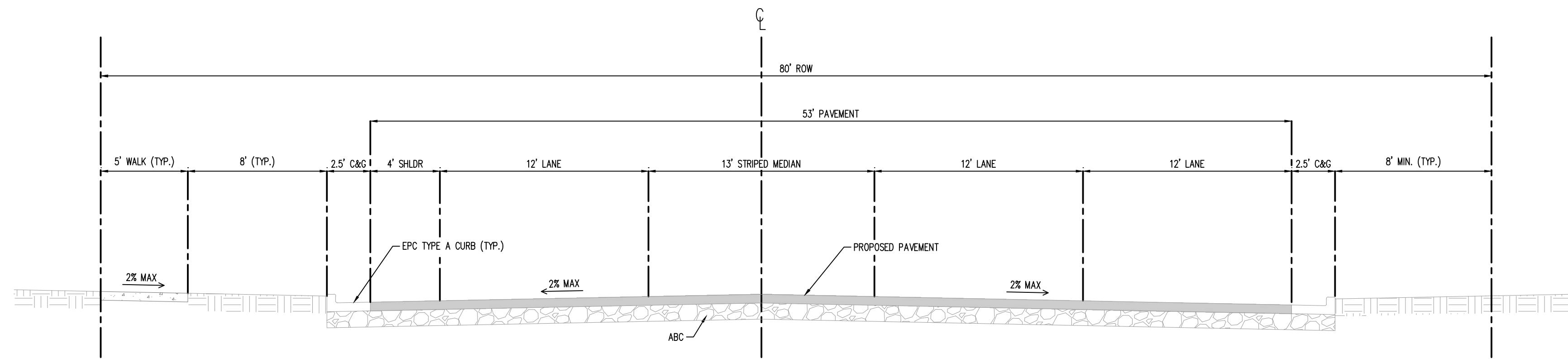
TYPICAL STREET SECTION – MODIFIED URBAN NONRESIDENTIAL COLLECTOR
(BENT GRASS MEADOWS DRIVE – STA: 11+33 TO 23+80)
SCALE: 1"=5'

POSTED SPEED LIMIT: 35 MPH
DESIGN SPEED LIMIT: 40 MPH
MAXIMUM ADT: 20,000



TYPICAL STREET SECTION – MODIFIED URBAN NONRESIDENTIAL COLLECTOR
(BENT GRASS MEADOWS DRIVE – STA: 23+80 TO 29+17)
SCALE: 1"=5'

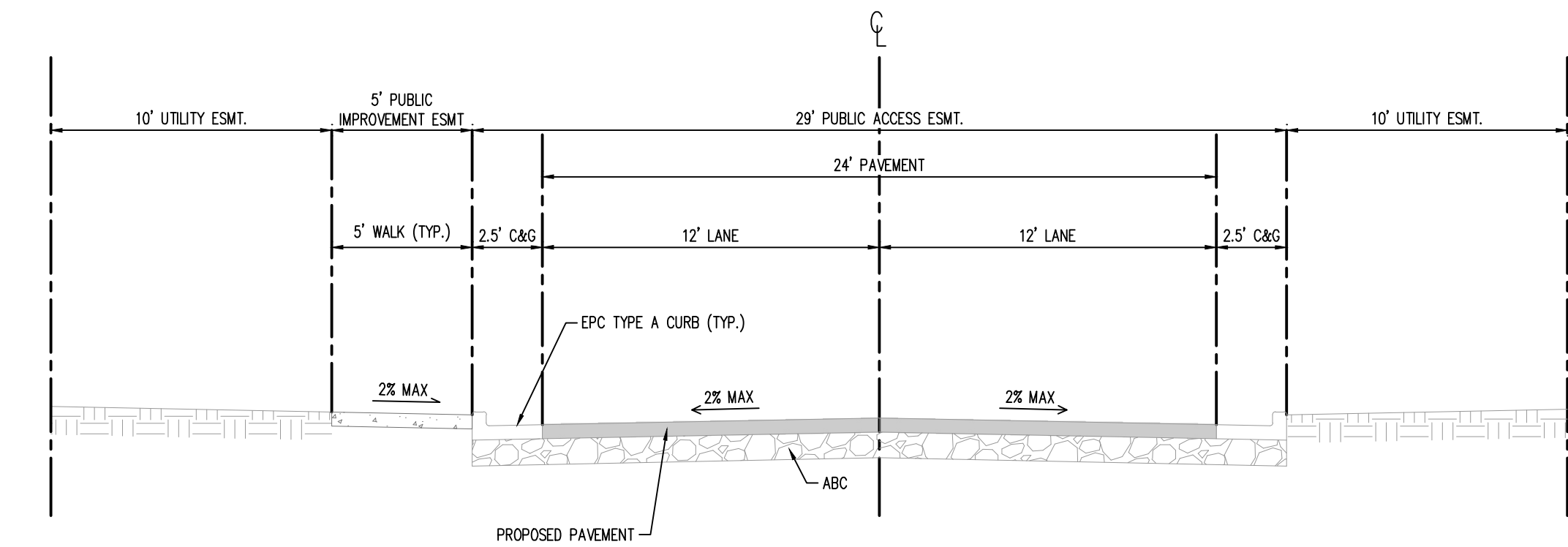
POSTED SPEED LIMIT: 35 MPH
DESIGN SPEED LIMIT: 40 MPH
MAXIMUM ADT: 20,000



TYPICAL STREET SECTION – MODIFIED URBAN NONRESIDENTIAL COLLECTOR
(BENT GRASS MEADOWS DRIVE – STA: 32+94 TO 34+96)
SCALE: 1"=5'

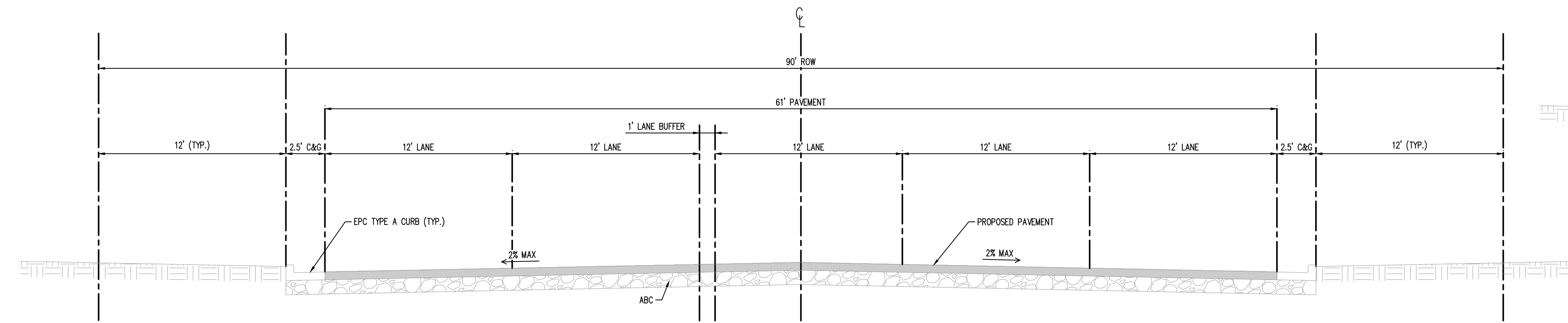
POSTED SPEED LIMIT: 35 MPH
DESIGN SPEED LIMIT: 40 MPH
MAXIMUM ADT: 20,000

NOTE:
TRANSITION BETWEEN TYPICAL SECTIONS FROM STA: 34+96 TO 38+10.



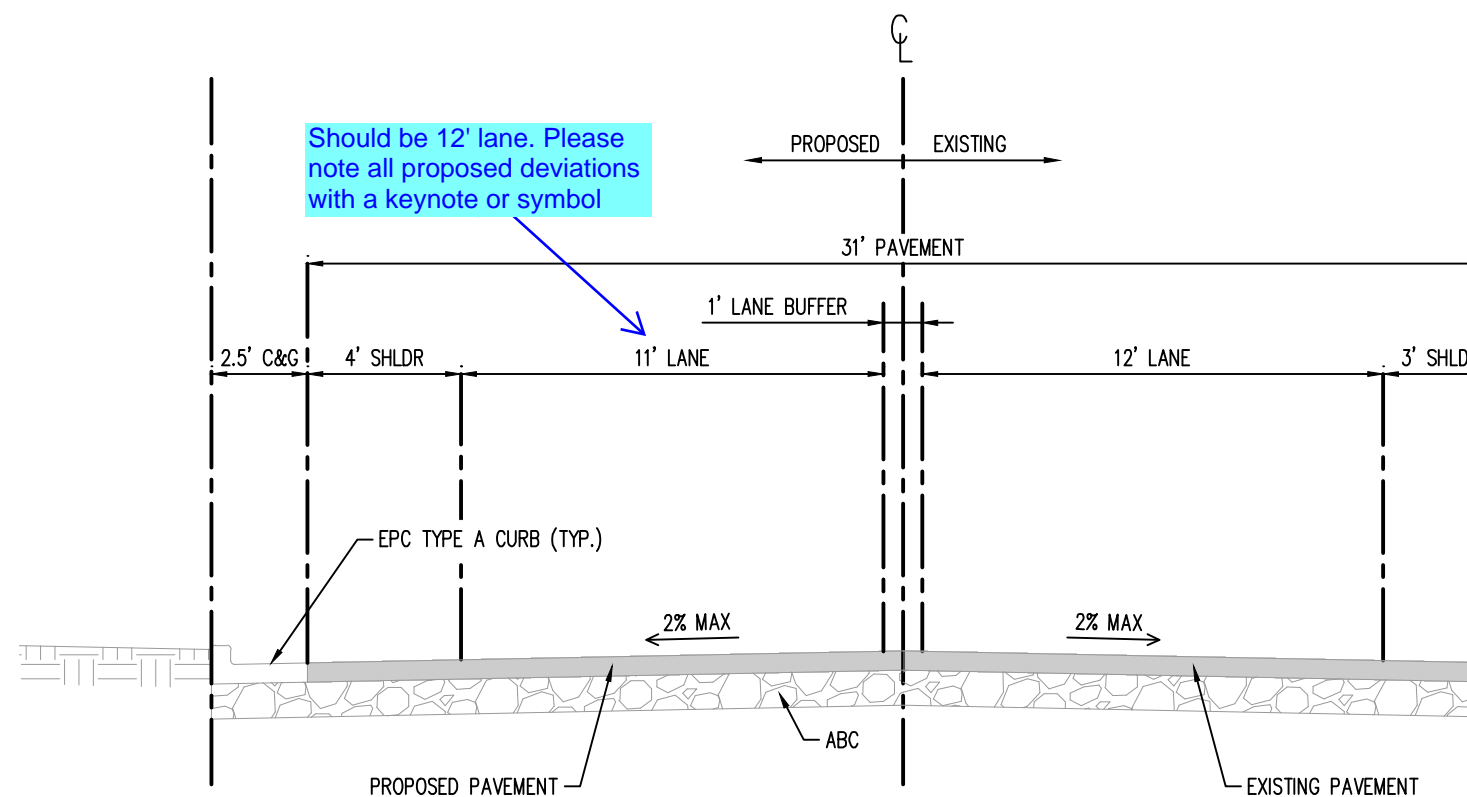
TYPICAL STREET SECTION
(PRIVATE ROAD)
SCALE: 1"=5'

POSTED SPEED LIMIT: 20 MPH
DESIGN SPEED LIMIT: 25 MPH
MAXIMUM ADT: 3,000



TYPICAL STREET SECTION
(SWITCHGRASS DRIVE – STA: 28+81 TO 29+56)
SCALE: 1"=5'

POSTED SPEED LIMIT: 20 MPH
DESIGN SPEED LIMIT: 25 MPH
MAXIMUM ADT: 3,000



TYPICAL STREET SECTION
(CONNECTION TO EX. WOODMEN FRONTAGE ROAD – STA: 38+10)
SCALE: 1"=5'

POSTED SPEED LIMIT: 35 MPH
DESIGN SPEED LIMIT: 40 MPH
MAXIMUM ADT: 20,000

NOTE:
RIGHT-OF-WAY WIDTH AND LANDSCAPE BUFFERS VARY THROUGHOUT THE PUBLIC ROW AS NEEDED TO TRANSITION INTO AND OUT OF THE ROUNDABOUT.

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION



PRELIMINARY PLAN
THE MARKETS AT BENT GRASS
EVERGREEN DEVELOPMENT
EPC FILE #: SP262

NEC OF WOODMEN RD. & BENT GRASS MEADOWS DR.
FALCON, COLORADO

#	Date	Issue / Description	Int.
1	05/22/2025	1ST PRELIMINARY PLAN SUBMITTAL	
2	05/22/2025	2ND PRELIMINARY PLAN SUBMITTAL	

Project No: EDI02
Drawn By: ELB, AGC
Checked By: JAO, TJE, CMVJ
Date: 05/22/2025

TYPICAL ROADWAY SECTIONS

SP262

OWNER OF RECORD

LENA GAL, CASE
119 N WAUSAATCH AVE
COLORADO SPRINGS, CO 80903

OWNER OF RECORD

CYNTHIA BEYOUNG
10924 E HIGHWAY 24
PEYTON, CO 80831

APPLICANT

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PLAN PREPARER

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COLORADO SPRINGS, CO, 80920
TEL: (719) 308-2519

BASED ON SURVEY PERFORMED BY GALLOWAY & COMPANY, LLC
ON 07/01/2025



THE MARKETS AT BENT GRASS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

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PARCEL AREA TABLE			
PARCEL	AREA (AC)	USE	OWNERSHIP & MAINTENANCE
LOT 1	11.89	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 2	10.33	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 3	1.29	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 4	1.45	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 5	0.94	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 6	0.88	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 7	0.89	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 8	1.28	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 9	1.10	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 10	0.78	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 11	0.72	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 12	2.46	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 13	1.71	COMMERCIAL DEVELOPMENT	LOT OWNER
LOT 14	1.37	COMMERCIAL DEVELOPMENT	LOT OWNER
TRACT A	10.94	DRAINAGE CHANNEL	EL PASO COUNTY
TRACT B	1.00	OPEN SPACE	BENT GRASS METRO DISTRICT #2
TRACT C	1.37	DRAINAGE	BENT GRASS METRO DISTRICT #2
TRACT D	0.44	DRAINAGE/PEDESTRIAN ACCESS	BENT GRASS METRO DISTRICT #2
TRACT E	0.38	PRIVATE ROADWAY	BENT GRASS METRO DISTRICT #2
PR PUBLIC R.O.W.	2.75	PUBLIC R.O.W.	EL PASO COUNTY
TOTAL ACERAGE	53.91		

PROPOSED EASEMENT AREA TABLE		
TYPE	AREA (AC)	OWNERSHIP & MAINTENANCE
GENERAL UTILITY	11.89	BENT GRASS METRO DISTRICT #2
PUBLIC IMPROVEMENT	10.33	BENT GRASS METRO DISTRICT #2
PUBLIC ACCESS	1.29	BENT GRASS METRO DISTRICT #2
WATER UTILITY	1.45	WHD
ELECTRIC UTILITY	0.94	MVEA

LEGEND	
	SIGHT DISTANCE LINE - 35 MPH (POSTED)
	SIGHT DISTANCE LINE - 25 MPH (POSTED)
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	ROAD CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING SETBACK LINE
	LANDSCAPE SETBACK LINE
	100-YR - EFFECTIVE 100 YEAR FLOOD PLAN
	100-YR - CORRECTED 100 YEAR FLOOD PLAN
	PROPOSED PAN FLOWLINE
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	FUTURE CURB AND GUTTER FLOWLINE
	PUBLIC RIGHT-OF-WAY
	FUTURE SDP DRIVE AISLE

NOTES
TRACT A IS INCLUSIVE OF THE OF THE EXISTING CHANNEL. THIS DEVELOPMENT IS EXCLUSIVE OF ANY IMPROVEMENTS IN TRACT A, WITH THE EXCEPTION OF POTENTIAL STORM DRAIN DISCHARGE LOCATIONS. THIS DEVELOPMENT DOES NOT PROPOSE ANY CHANNEL IMPROVEMENTS OR SIGNIFICANT DISTURBANCE WITHIN THE CHANNEL (TRACT A).

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119 N WAINSWORTH AVE
COLORADO SPRINGS, CO 80903

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BASED ON SURVEY PERFORMED BY GALLOWAY & COMPANY, LLC ON 07/01/2025

PRELIMINARY PLAN
THE MARKETS AT BENT GRASS
EVERGREEN DEVELOPMENT
EPC FILE #: SP262

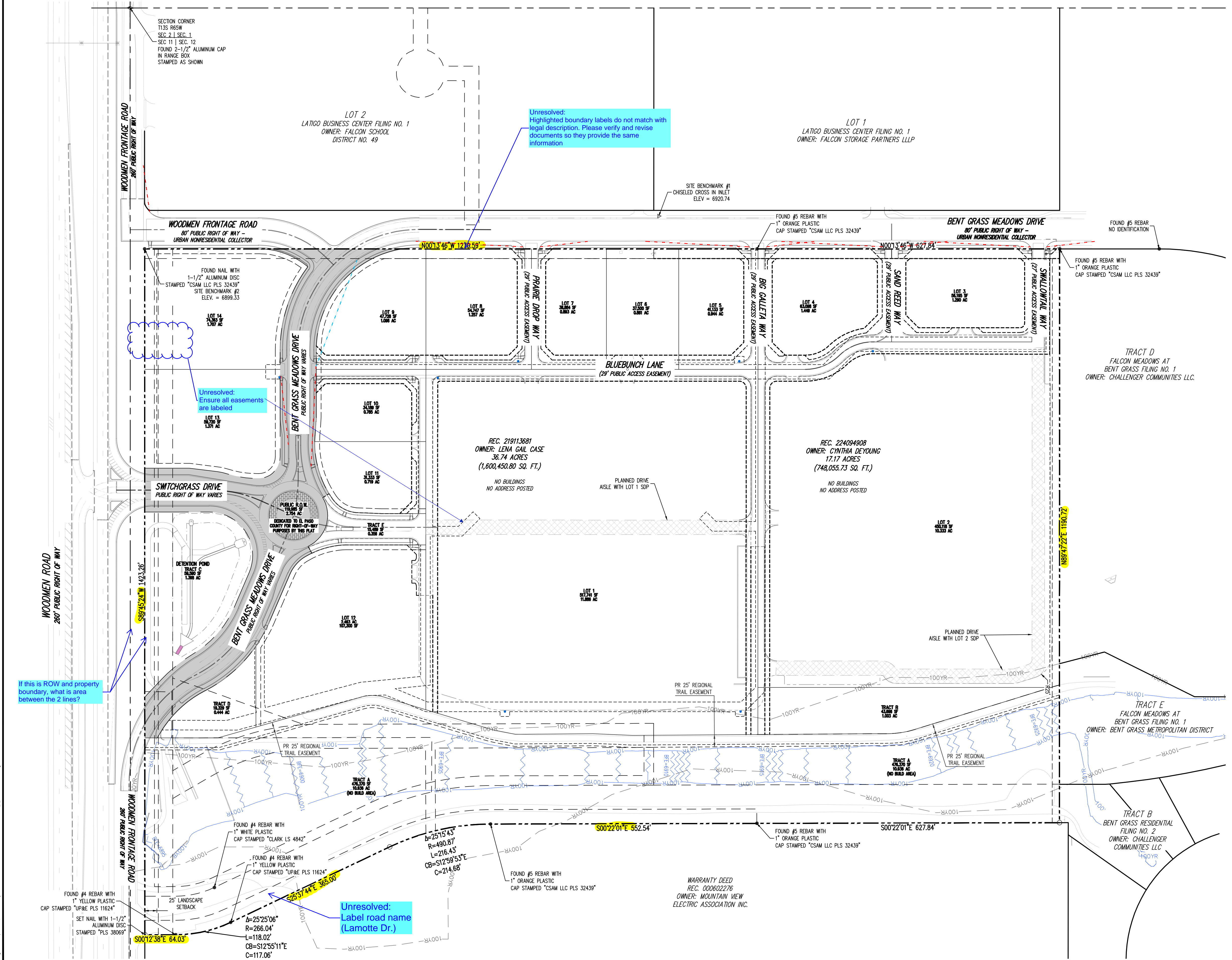
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LOT & TRACT PLAN

SP262

PP-3
3 OF 12



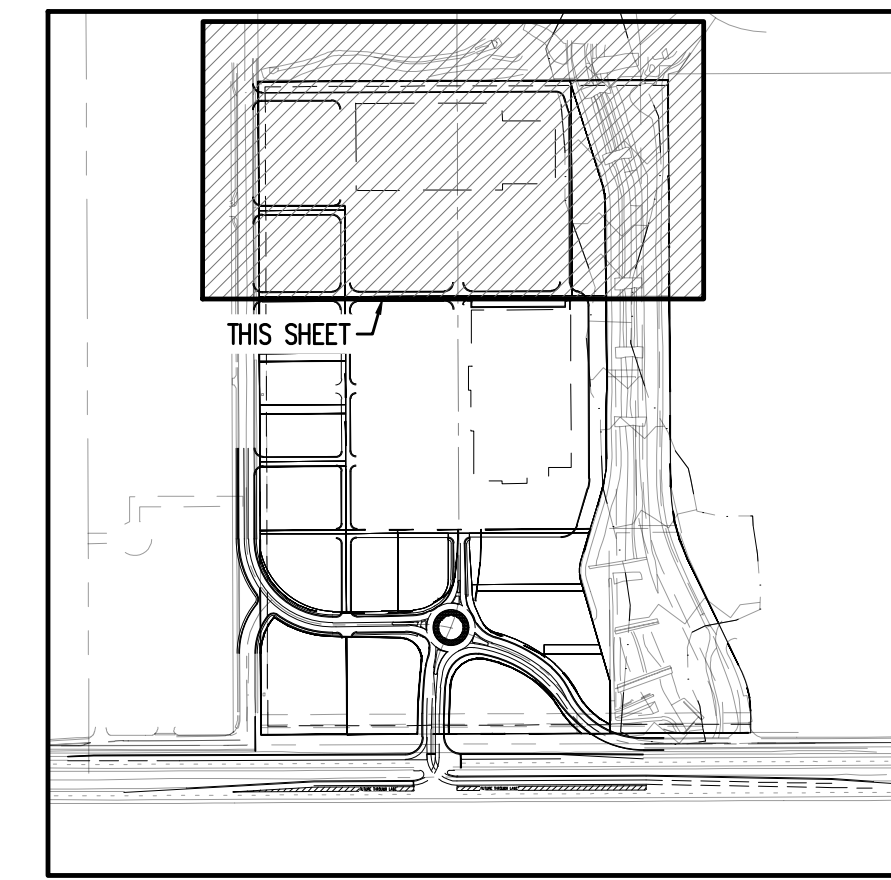
THE MARKETS AT BENT GRASS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

TRACT D
FALCON MEADOWS AT BENT GRASS
FILING NO. 1
OWNER: CHALLENGER COMMUNITIES LLC.

TRACT E
FALCON MEADOWS AT BENT GRASS
FILING NO. 1
OWNER: BENT GRASS METROPOLITAN DISTRICT

TRACT B
BENT GRASS RESIDENTIAL
FILING NO. 2
OWNER: CHALLENGER COMMUNITIES LLC



KEYMAP
NOT TO SCALE

SITE LEGEND

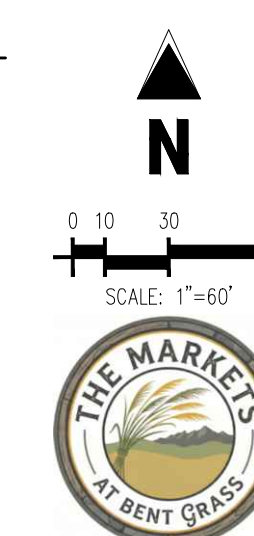
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- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE
- LANDSCAPE SETBACK LINE
- PROPOSED SAWCUT LINE
- PROPOSED FLOW PATH
- EXISTING TO REMAIN
- PROPOSED NEW
- PROPOSED EDGE OF ASPHALT
- PROPOSED EDGE OF GRAVEL
- 100YR PROPOSED FLOODPLAIN BOUNDARY
- 100YR EXISTING FLOODPLAIN BOUNDARY
- PROPOSED CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER
- PROPOSED FIRE LANE CURB PAINT
- EXISTING CURB AND GUTTER

PAVING LEGEND

- MILL & OVERLAY ASPHALT
- CONCRETE SIDEWALK
- STANDARD DUTY CONCRETE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- EXISTING CONCRETE
- EXISTING ASPHALT
- EXISTING CONCRETE SIDEWALK
- EXISTING GRAVEL ROAD
- FUTURE SDP DRIVE AISLE

SCHEDULE

- 1 EXISTING PATH
- 2 5' PROPOSED SIDEWALK
- 3 EPC TYPE A CURB & GUTTER (TYP.)
- 4 BUILDING SETBACK
- 5 LANDSCAPE SETBACK
- 6 FUTURE BUILDING SITE
- 7 PROPOSED PEDESTRIAN CURB RAMP (TYP.)
- 8 6' PROPOSED CROSSPAN (TYP.)



OWNER OF RECORD

LENA GAL CASE
119 N WAUSAATCH AVE
COLORADO SPRINGS, CO 80903

OWNER OF RECORD

CYNTHIA DEYOUNG
10924 E HIGHWAY 24
PEYTON, CO 80831

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ON 07/01/2025

PRELIMINARY
NOT FOR BIDDING
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PRELIMINARY PLAN
THE MARKETS AT BENT GRASS
EVERGREEN DEVELOPMENT
EPC FILE #: SP262

NEC OF WOODMEN RD. & BENT GRASS MEADOWS DR.
FALCON, COLORADO

#	Date	Issue / Description	Int.
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Project No: EDI02
Drawn By: ELB, AGC
Checked By: JAO, TJE, CMWJ
Date: 05/22/2025

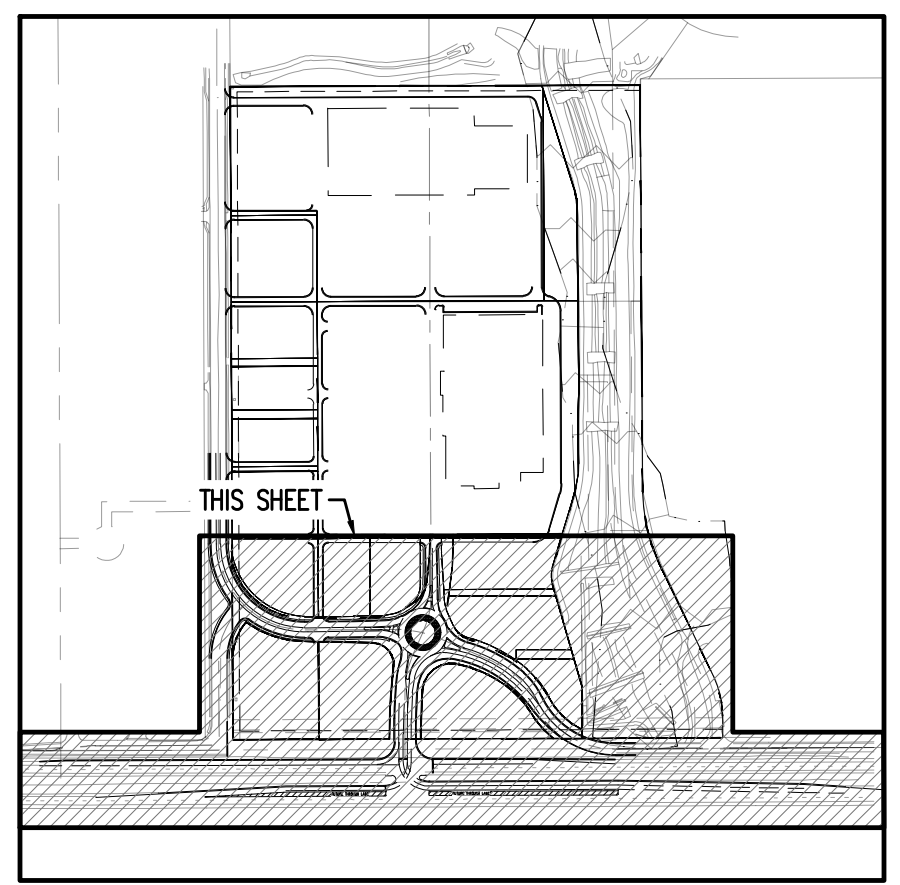
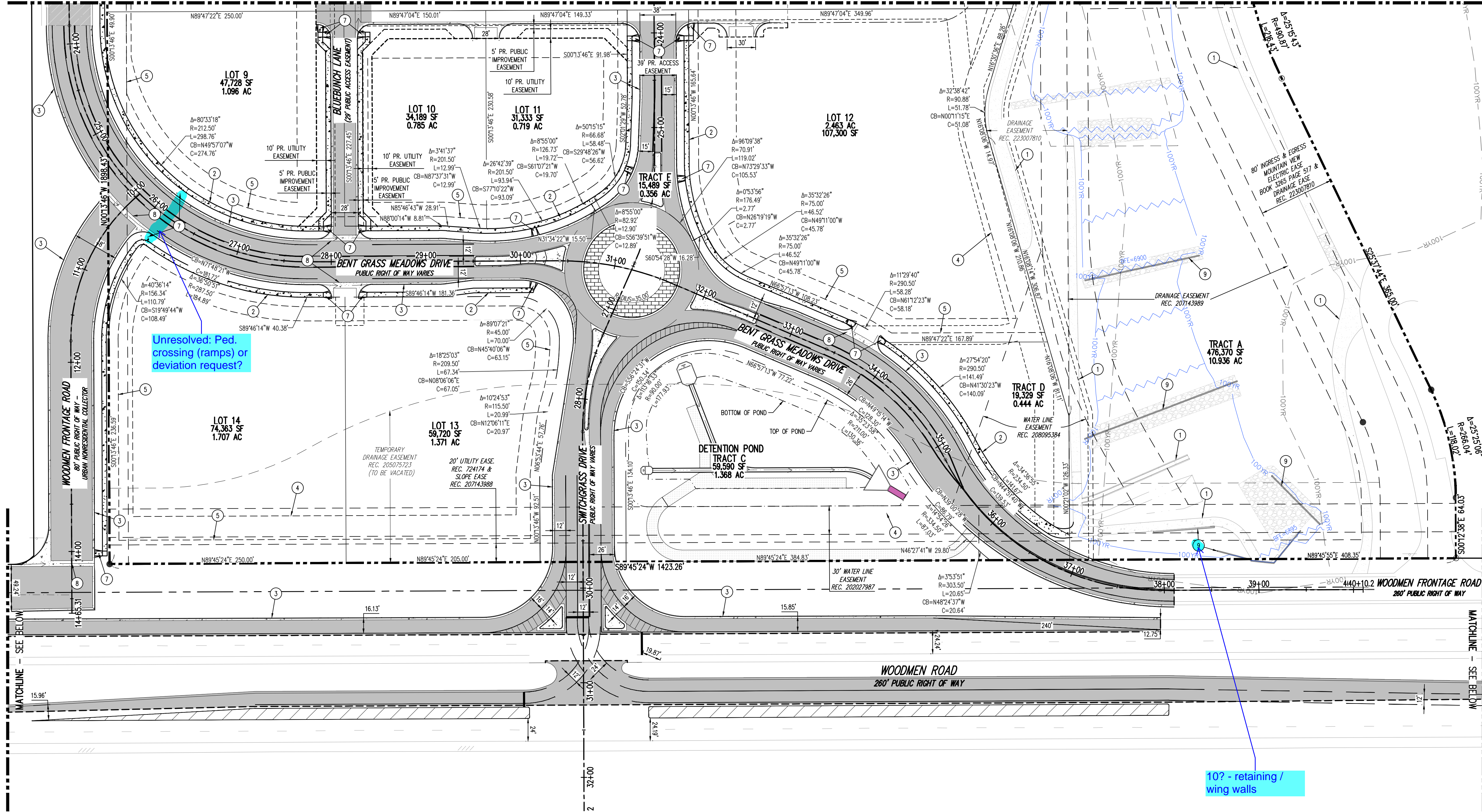
PRELIMINARY SITE PLAN

SP262

THE MARKETS AT BENT GRASS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

MATCHLINE - SEE SHEET PP-5



KEYMAP
NOT TO SCALE

SITE LEGEND

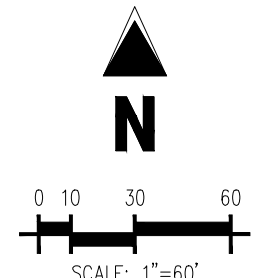
- OVERALL PROPERTY BOUNDARY LINE
- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE
- LANDSCAPE SETBACK LINE
- PROPOSED SAWCUT LINE
- PROPOSED FLOW PATH
- EXISTING TO REMAIN
- PROPOSED NEW
- PROPOSED EDGE OF ASPHALT
- PROPOSED EDGE OF GRAVEL
- PROPOSED FLOODPLAIN BOUNDARY
- 100YR FLOODPLAIN BOUNDARY
- EXISTING FLOODPLAIN BOUNDARY
- PROPOSED CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER
- PROPOSED FIRE LINE CURB PAINT
- EXISTING CURB AND GUTTER

PAVING LEGEND

- [Pattern] MILL & OVERLAY ASPHALT
- [Pattern] CONCRETE SIDEWALK
- [Pattern] STANDARD DUTY CONCRETE
- [Pattern] STANDARD DUTY ASPHALT
- [Pattern] HEAVY DUTY ASPHALT
- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING ASPHALT
- [Pattern] EXISTING CONCRETE SIDEWALK
- [Pattern] EXISTING GRAVEL ROAD
- [Pattern] FUTURE SDP DRIVE ASLE

SCHEDULE

- 1 EXISTING PATH
- 2 5' PROPOSED SIDEWALK
- 3 EPC TYPE A CURB & GUTTER (TYP.)
- 4 BUILDING SETBACK
- 5 LANDSCAPE SETBACK
- 6 FUTURE BUILDING SITE
- 7 PROPOSED PEDESTRIAN CURB RAMP (TYP.)
- 8 6' PROPOSED CROSSPAN (TYP.)
- 9 DROP STRUCTURE



OWNER OF RECORD
LENA GAL CASE
119 N WAUSAATCH AVE
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PRELIMINARY PLAN
THE MARKETS AT BENT GRASS
EVERGREEN DEVELOPMENT
EPC FILE #: SP262

NEC OF WOODMEN RD. & BENT GRASS MEADOWS DR.
FALCON, COLORADO

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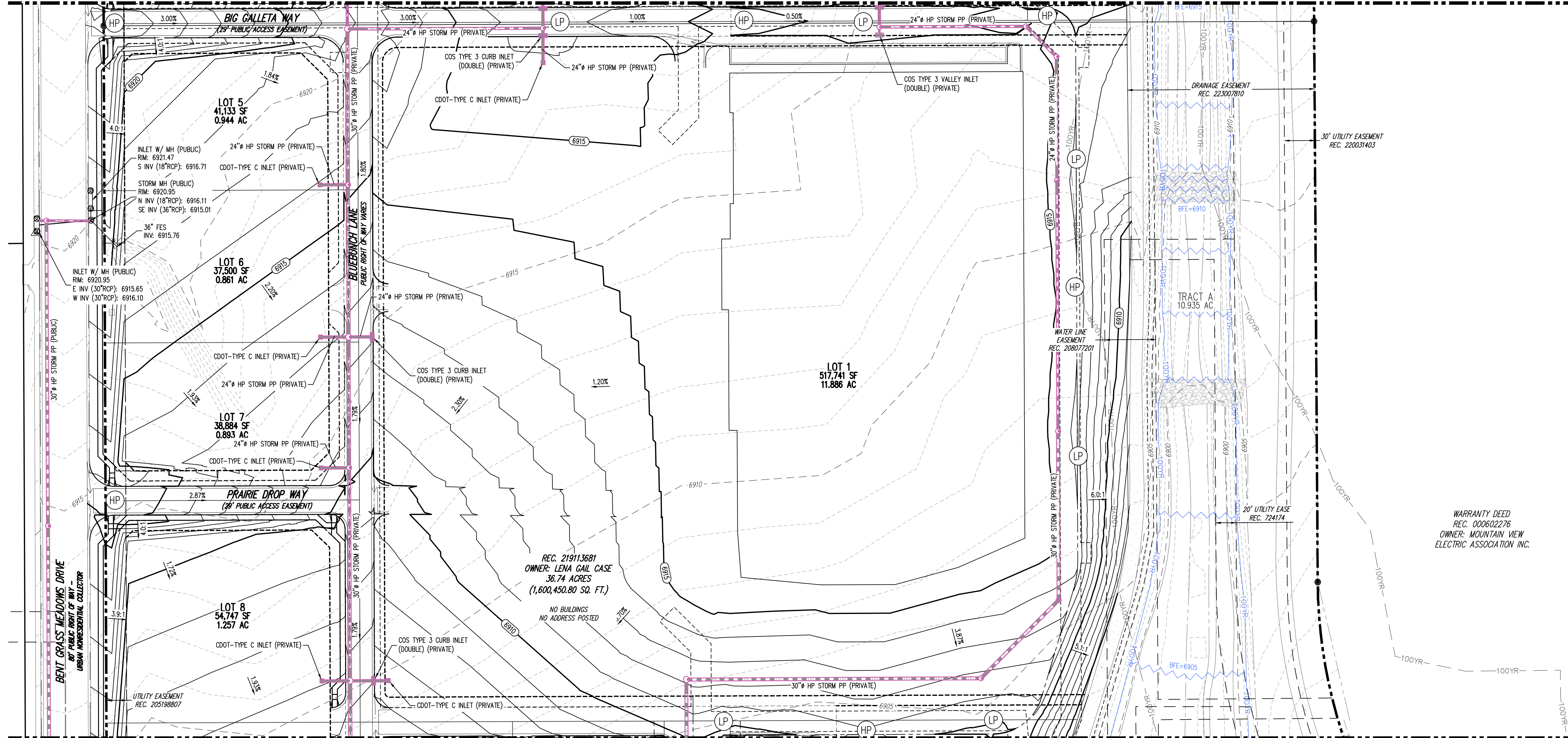
PRELIMINARY SITE PLAN

SP262

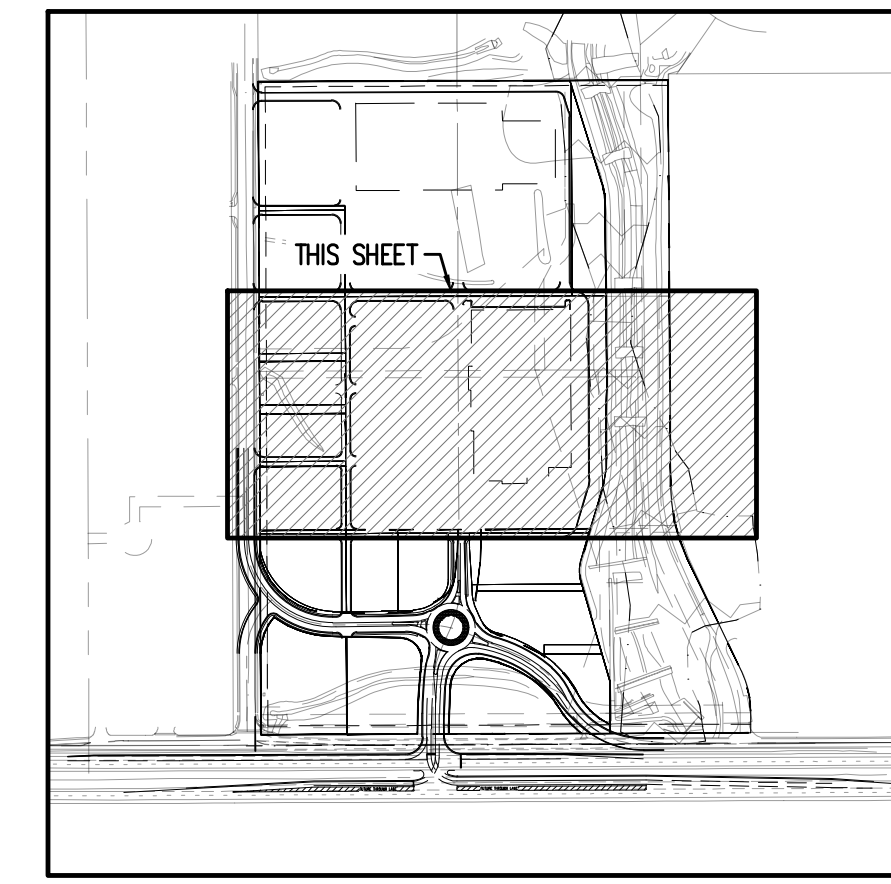
THE MARKETS AT BENT GRASS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

MATCHLINE - SEE SHEET PP-7



MATCHLINE - SEE SHEET PP-9



GRADING LEGEND

- 5460 --- EXISTING MAJOR CONTOUR
- 5465 --- EXISTING MINOR CONTOUR
- 5465 --- PROPOSED MAJOR CONTOUR
- 5465 --- PROPOSED MINOR CONTOUR
- SD --- EXISTING STORM SEWER (LESS THAN 12")
- SD --- EXISTING STORM SEWER (12" AND LARGER)
- SD --- PROPOSED STORM SEWER (LESS THAN 12")
- SD --- PROPOSED STORM SEWER (12" AND LARGER)
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET
- LOD --- LIMIT OF DISTURBANCE
- 100YR --- PROPOSED FLOODPLAIN BOUNDARY
- 100YR --- EXISTING FLOODPLAIN BOUNDARY
- X.XX% PROPOSED SLOPE (PERCENT)
- X:X PROPOSED SLOPE (RISE:RUN)

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION



PRELIMINARY PLAN
THE MARKETS AT BENT GRASS
EVERGREEN DEVELOPMENT
EPC FILE #: SP262

NEC OF WOODMEN RD. & BENT GRASS MEADOWS DR.
FALCON, COLORADO

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PRELIMINARY GRADING PLAN

SP262

OWNER OF RECORD

LENA GAIL CASE
119 N WAUSATCH AVE
COLORADO SPRINGS, CO 80903

OWNER OF RECORD

CYNTHIA DEYOUNG
10924 E HIGHWAY 24
PEYTON, CO 80831

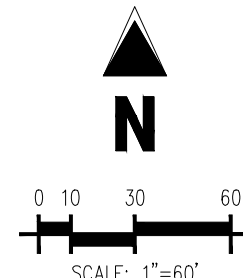
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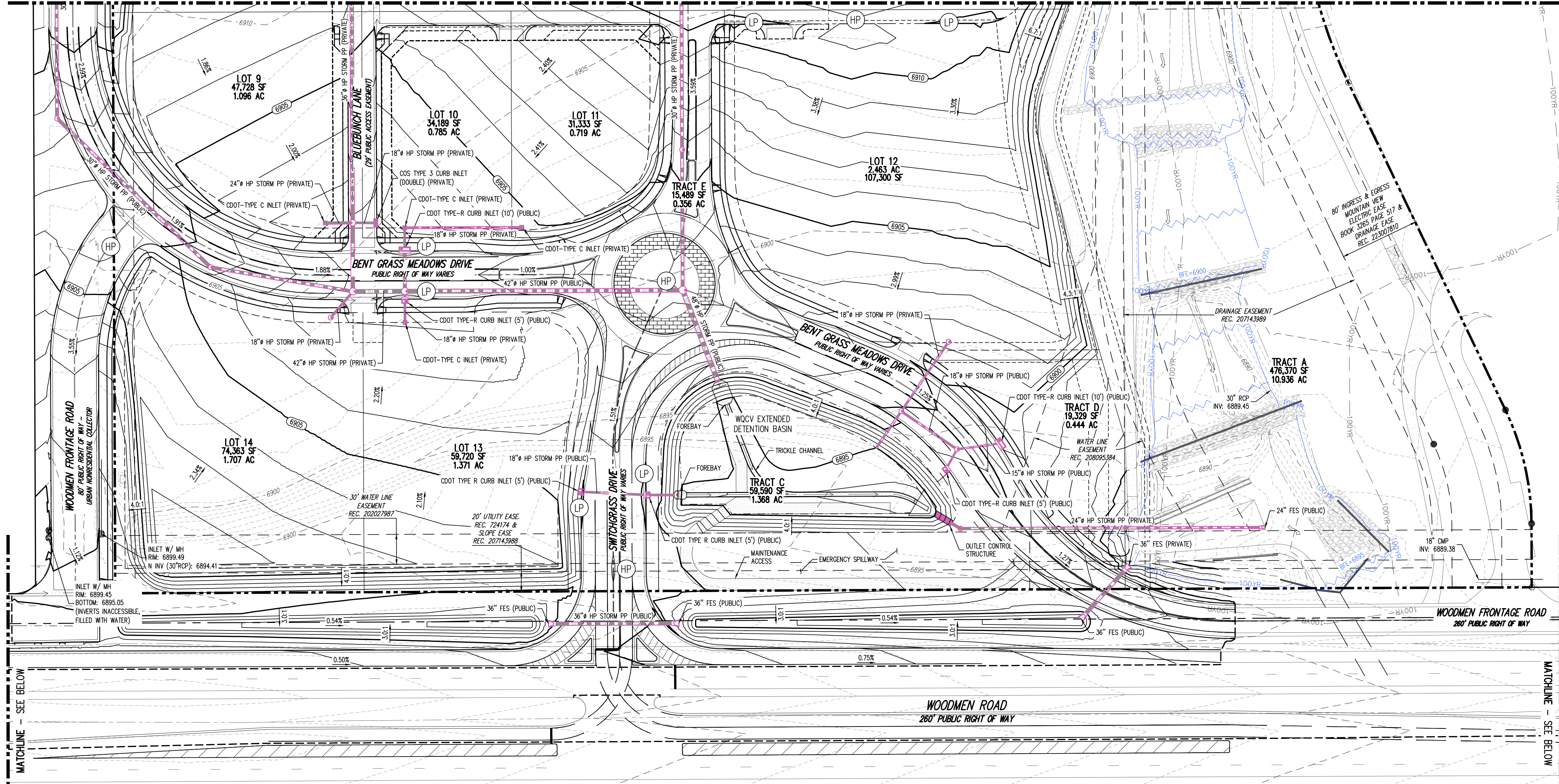


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THE MARKETS AT BENT GRASS

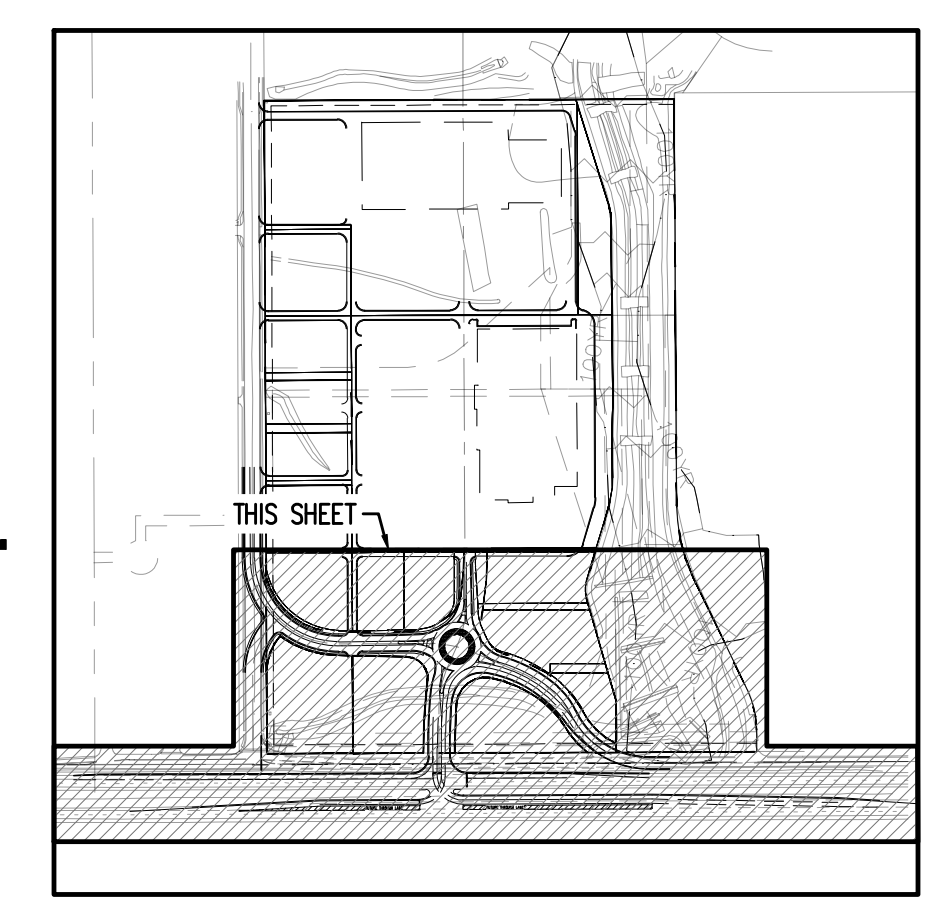
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MATCHLINE - SEE SHEET PP-8



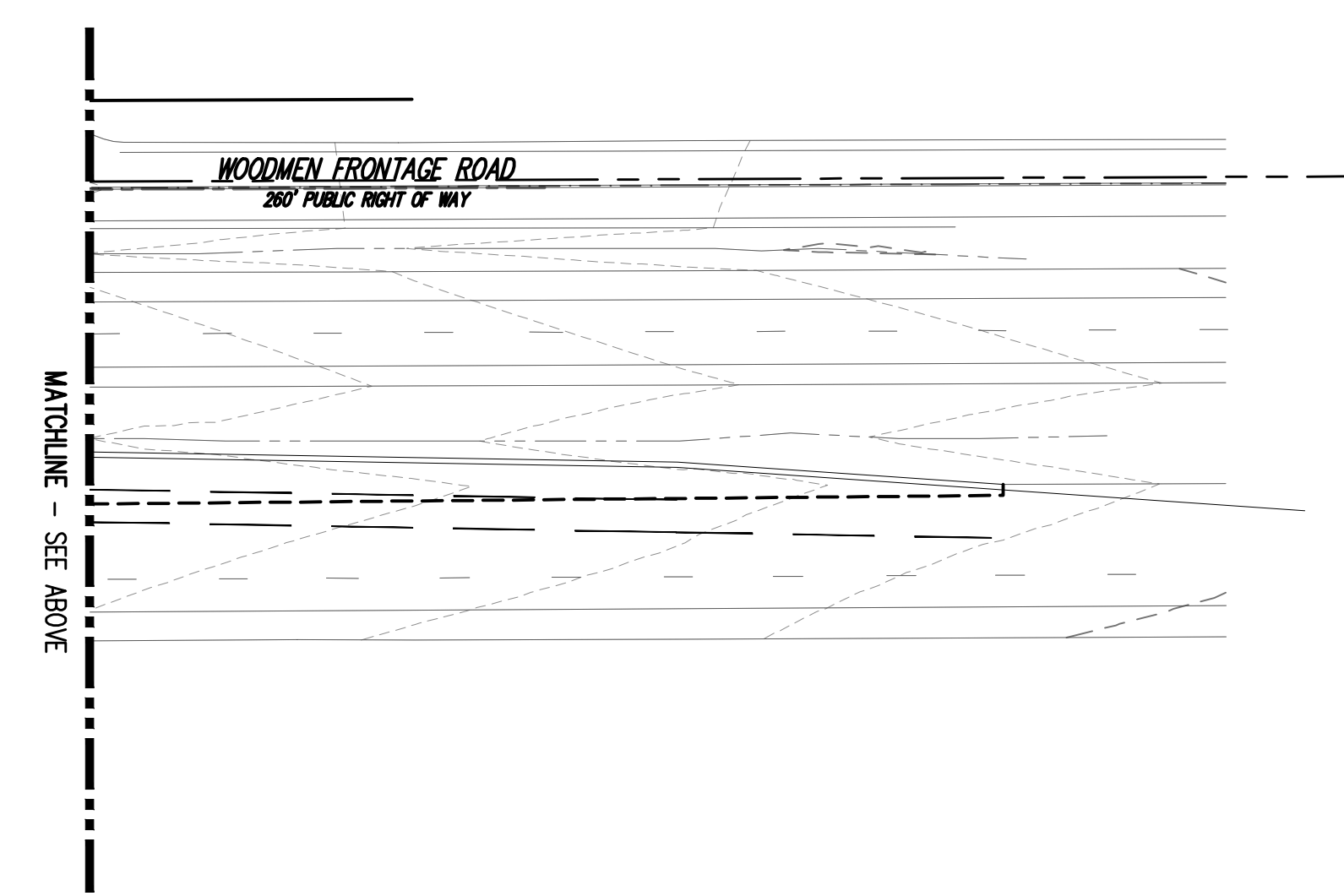
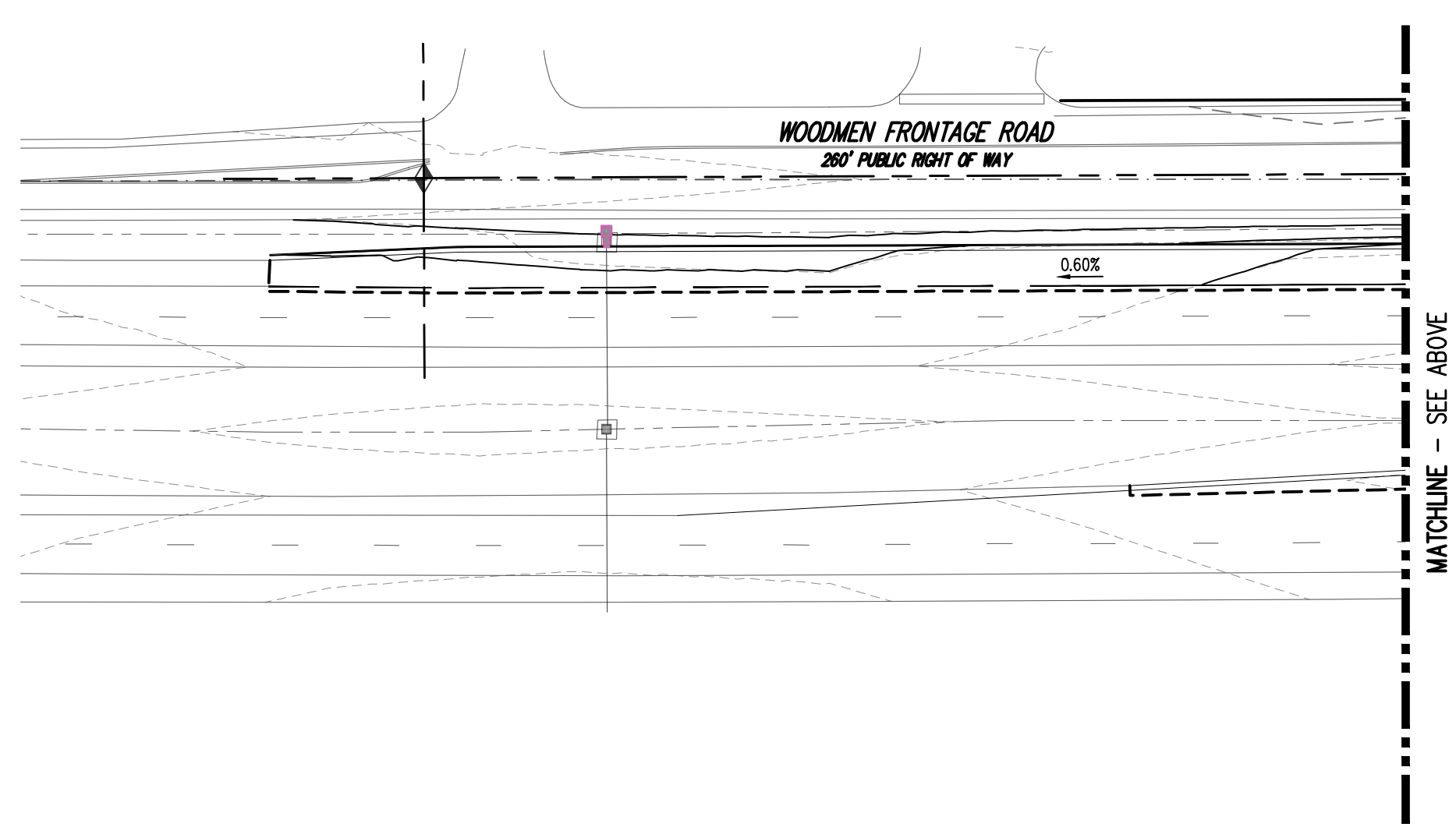
GRADING LEGEND

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- 5465 --- EXISTING MINOR CONTOUR
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- 5465 --- PROPOSED MINOR CONTOUR
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- SD --- EXISTING STORM SEWER (12" AND LARGER)
- SD --- PROPOSED STORM SEWER (LESS THAN 12")
- SD --- PROPOSED STORM SEWER (12" AND LARGER)
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET
- LOD --- LIMIT OF DISTURBANCE
- 100YR --- PROPOSED FLOODPLAIN BOUNDARY
- 100YR --- EXISTING FLOODPLAIN BOUNDARY
- X.XXX --- PROPOSED SLOPE (PERCENT)
- X:X --- PROPOSED SLOPE (RISE:RUN)



MATCHLINE - SEE BELOW

MATCHLINE - SEE BELOW



Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

Galloway & Company, LLC

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NOT FOR CONSTRUCTION

Evergreen
Multi-family Retail Developer



PRELIMINARY PLAN
THE MARKETS AT BENT GRASS
EVERGREEN DEVELOPMENT
EPC FILE #: SP262

NEC OF WOODMEN RD. & BENT GRASS MEADOWS DR.
FALCON, COLORADO

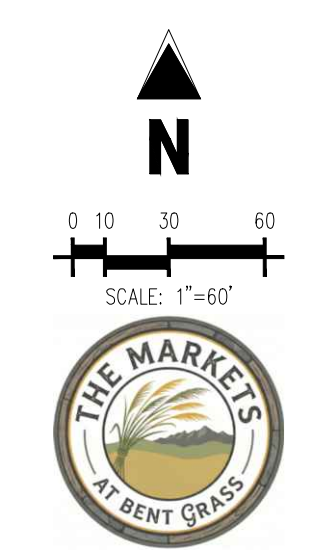
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PRELIMINARY GRADING PLAN

SP262

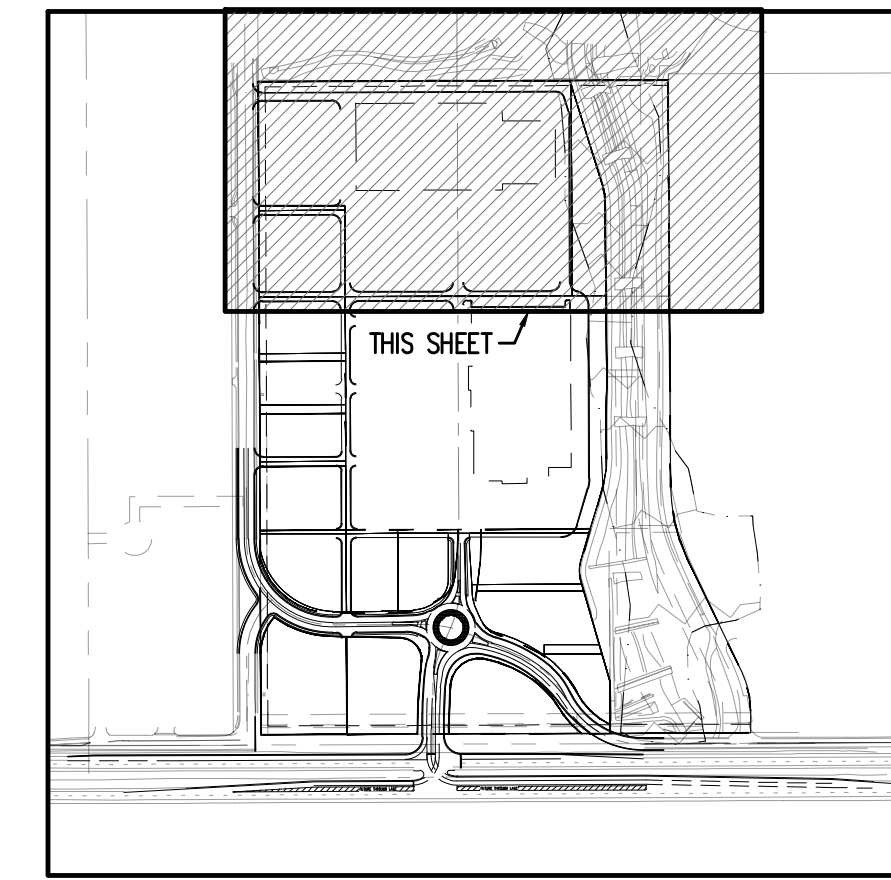
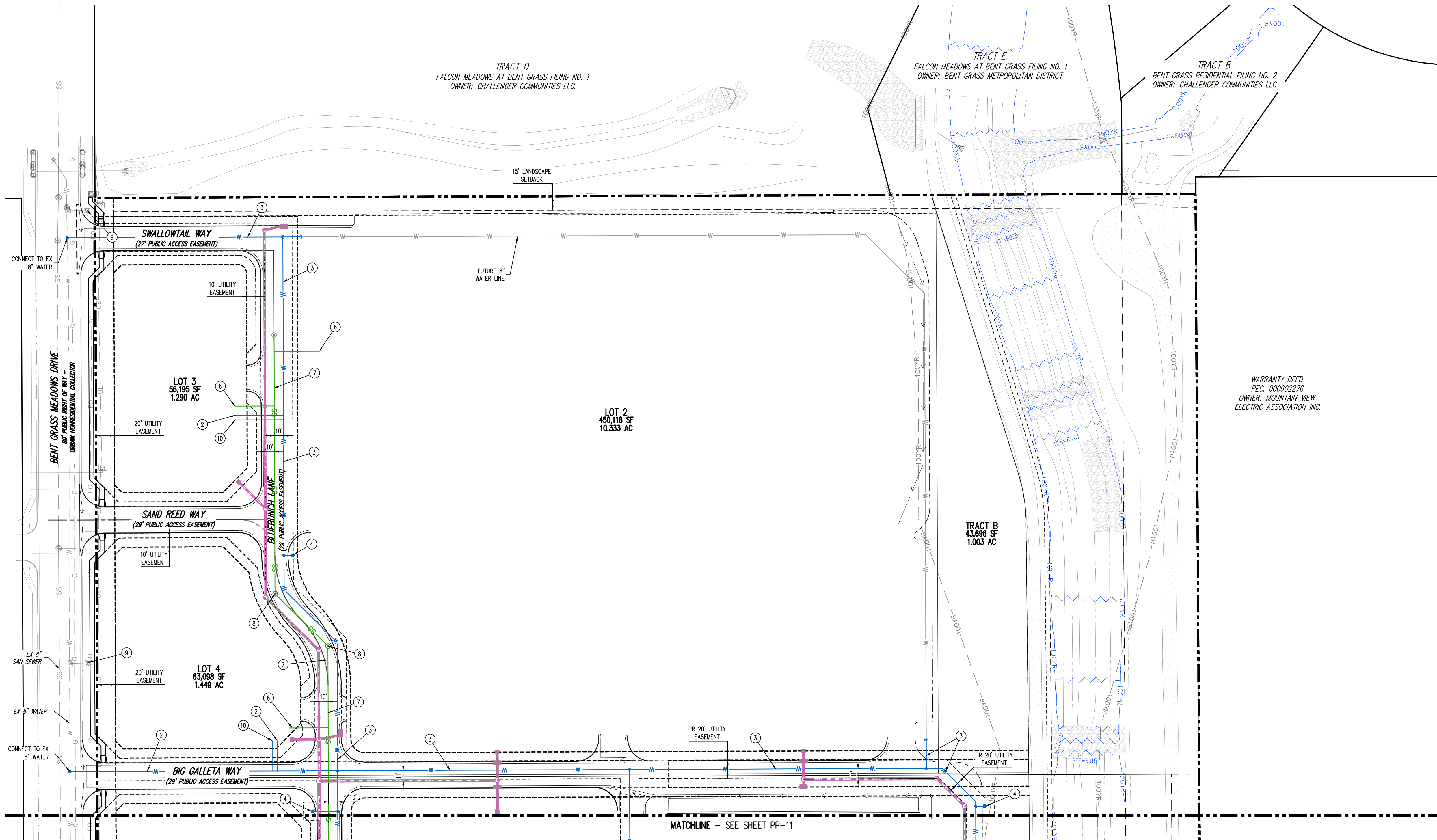
OWNER OF RECORD LENA GAIL CASE 119 N WAUSAATCH AVE COLORADO SPRINGS, CO 80903
OWNER OF RECORD CYNTHIA DEYOUNG 10924 E HIGHWAY 24 PEYTON, CO 80831
APPLICANT EVERGREEN DEVCO, INC. 1873 SOUTH BELLAIRE ST., SUITE 1200 DENVER, CO 80222 TEL: (303) 757-0414
PLAN PREPARER JEFFREY ODOR GALLOWAY & CO, LLC 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO, 80920 TEL: (719) 308-2519
BASED ON SURVEY PERFORMED BY GALLOWAY & COMPANY, LLC ON 07/01/2025



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THE MARKETS AT BENT GRASS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



UTILITY LEGEND

- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER
- SS — PROPOSED SANITARY SEWER
- SD — EXISTING STORM SEWER (LESS THAN 12"Ø)
- SD — EXISTING STORM SEWER (12"Ø AND LARGER)
- SD — PROPOSED STORM SEWER (12"Ø AND LARGER)
- UE — EXISTING UNDERGROUND ELECTRICAL
- FO — EXISTING FIBER OPTIC LINE
- FO — PROPOSED FIBER OPTIC LINE
- UT — EXISTING UNDERGROUND TELEPHONE
- UT — PROPOSED UNDERGROUND TELEPHONE
- G — EXISTING GAS LINE
- EXISTING ELECTRIC SWITCH BOX
- EXISTING ELECTRIC VAULT
- EXISTING PAD MOUNTED TRANSFORMER
- EXISTING FIBER OPTIC PEDESTAL
- EXISTING FIBER OPTIC MANHOLE
- EXISTING FIBER OPTIC PULLBOX
- EXISTING TRAFFIC SIGNAL CABINET
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING TELEPHONE MANHOLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING TELEPHONE VAULT
- EXISTING GAS VALVE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY STORM MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM INLET
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT

SCHEDULE

- ① PROPOSED 3" PVC WATER LINE
- ② PROPOSED 2" WATER SERVICE
- ③ PROPOSED 8" PVC WATER LINE
- ④ PROPOSED FIRE HYDRANT
- ⑤ PROPOSED 6" FIRE LINE
- ⑥ PROPOSED 6" SANITARY SEWER SERVICE (PUBLIC)
- ⑦ PROPOSED 8" SANITARY SEWER LINE (PUBLIC)
- ⑧ PROPOSED 5" CONCENTRIC SANITARY SEWER MANHOLE
- ⑨ EXISTING FIRE HYDRANT
- ⑩ PROPOSED FIRE SERVICE
- ⑪ PROPOSED 8" SANITARY SEWER (PRIVATE)

OWNER OF RECORD

LENA GAL CASE
119 N WAISATCH AVE
COLORADO SPRINGS, CO 80903

OWNER OF RECORD

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10924 E HIGHWAY 24
PEYTON, CO 80831

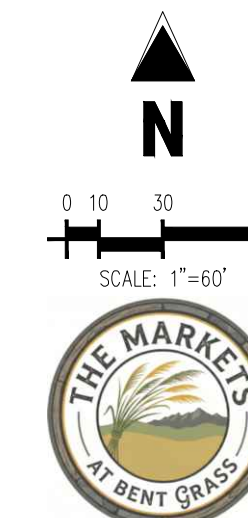
APPLICANT

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TEL: (303) 757-0414

PLAN PREPARER

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BASED ON SURVEY PERFORMED BY GALLOWAY & COMPANY, LLC
ON 07/01/2025



PRELIMINARY
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PRELIMINARY PLAN
THE MARKETS AT BENT GRASS
EVERGREEN DEVELOPMENT
EPC FILE #: SP262

NEC OF WOODMEN RD. & BENT GRASS MEADOWS DR.
FALCON, COLORADO

#	Date	Issue / Description	Int.
1	03/04/2025	1ST PRELIMINARY PLAN SUBMITTAL	
2	05/22/2025	2ND PRELIMINARY PLAN SUBMITTAL	

Project No: EDI02

Drawn By: ELB, AGC

Checked By: JAO, TJE, CMWJ

Date: 05/22/2025

PRELIMINARY UTILITY PLAN

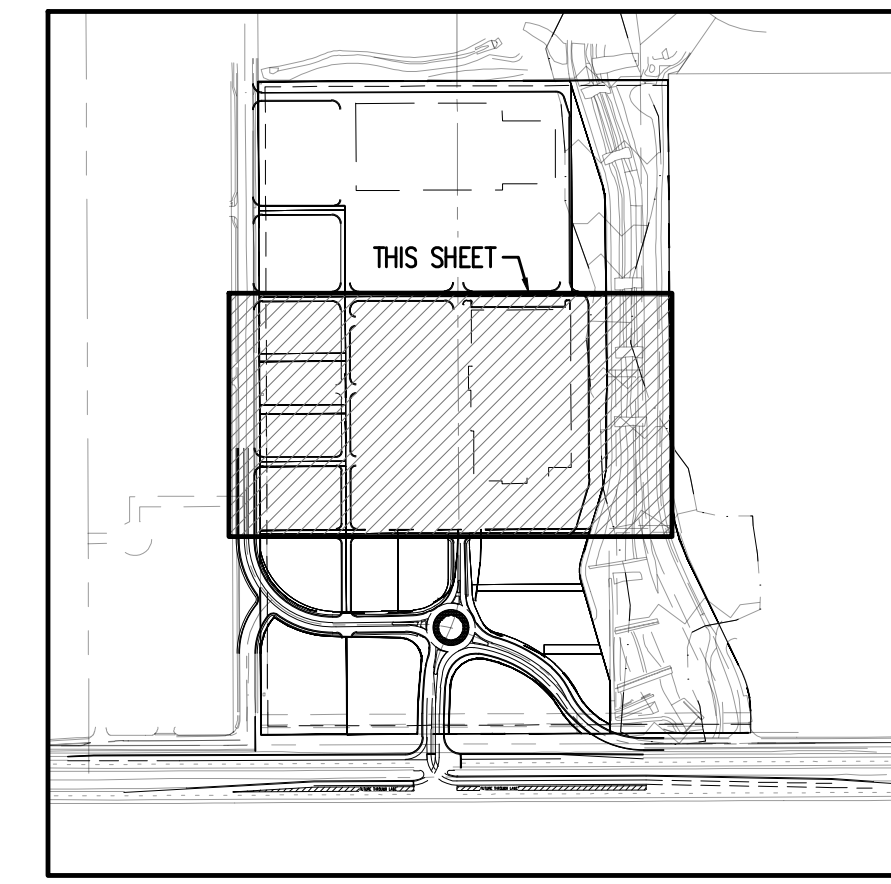
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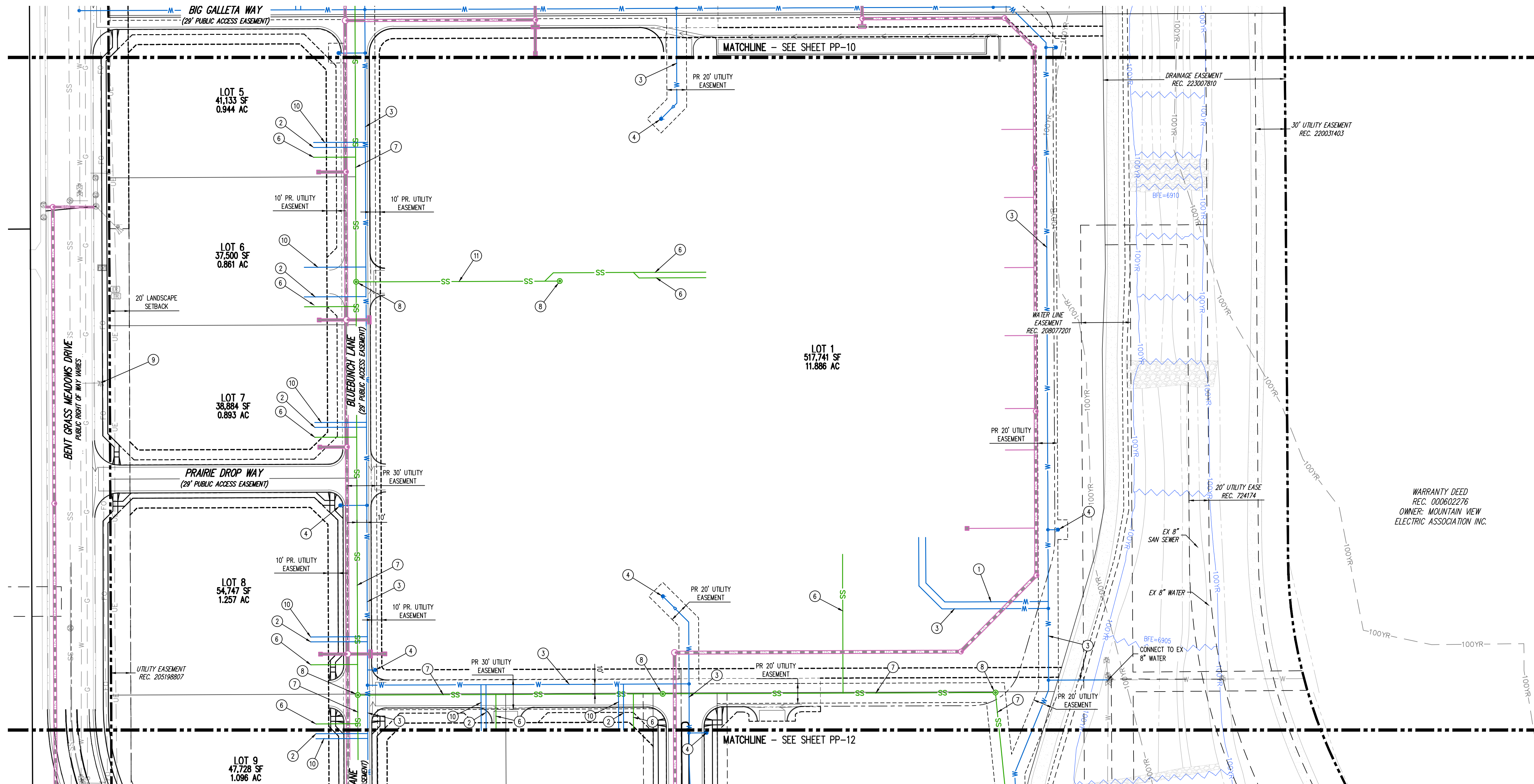
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THE MARKETS AT BENT GRASS

A PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 13 SOUTH,
RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEYMAP
NOT TO SCALE



UTILITY LEGEND

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- G — EXISTING GAS LINE
- SW — EXISTING ELECTRIC SWITCH BOX
- EV — EXISTING ELECTRIC VAULT
- TR — EXISTING PAD MOUNTED TRANSFORMER
- FP — EXISTING FIBER OPTIC PEDESTAL
- FM — EXISTING FIBER OPTIC MANHOLE
- FPB — EXISTING FIBER OPTIC PULLBOX
- TSC — EXISTING TRAFFIC SIGNAL CABINET
- TSV — EXISTING TRAFFIC SIGNAL VAULT
- TMH — EXISTING TELEPHONE MANHOLE
- TP — EXISTING TELEPHONE PEDESTAL
- TV — EXISTING TELEPHONE VAULT
- GV — EXISTING GAS VALVE
- SSMH — EXISTING SANITARY SEWER MANHOLE
- PSMH — PROPOSED SANITARY SEWER MANHOLE
- SSMH — EXISTING SANITARY STORM MANHOLE
- PSMH — PROPOSED SANITARY STORM MANHOLE
- SI — PROPOSED STORM INLET
- WV — EXISTING WATER VALVE
- FH — EXISTING FIRE HYDRANT
- FPH — PROPOSED FIRE HYDRANT

SCHEDULE

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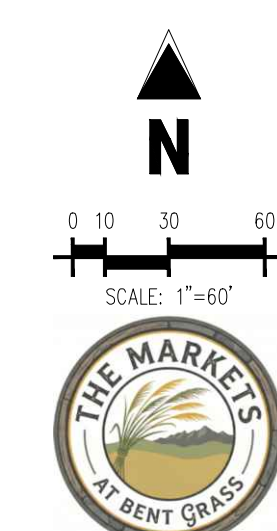
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THE MARKETS AT BENT GRASS
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Project No: EDI02
Drawn By: ELB, AGC
Checked By: JAO, TJE, CMVJ
Date: 05/22/2025

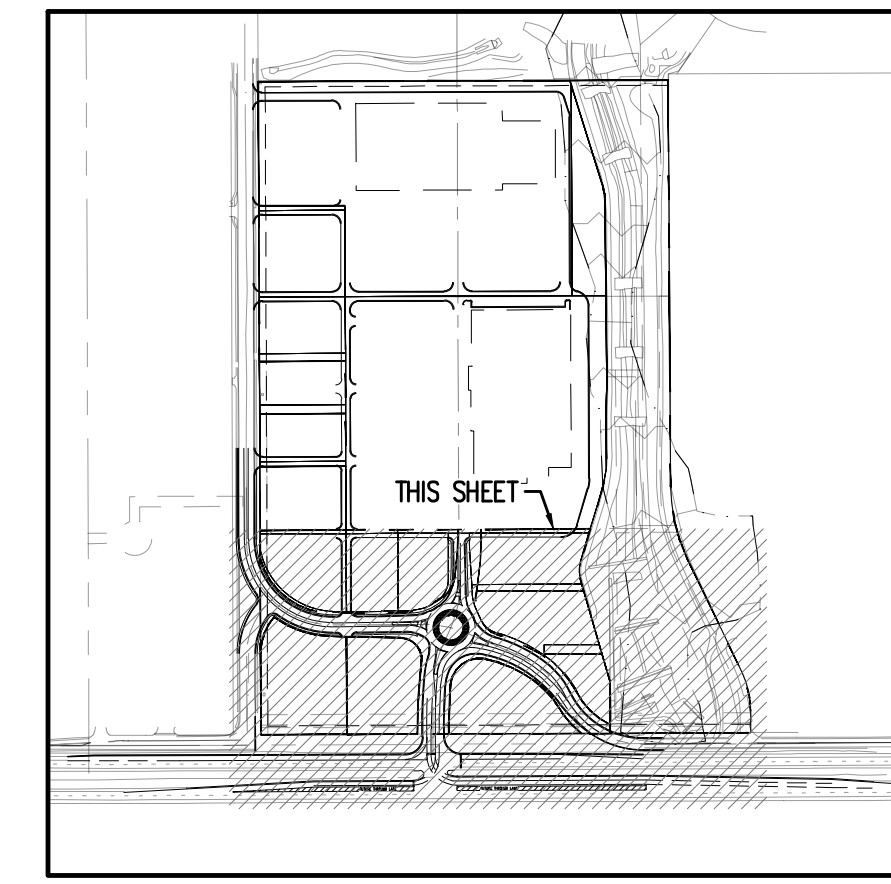
PRELIMINARY UTILITY PLAN

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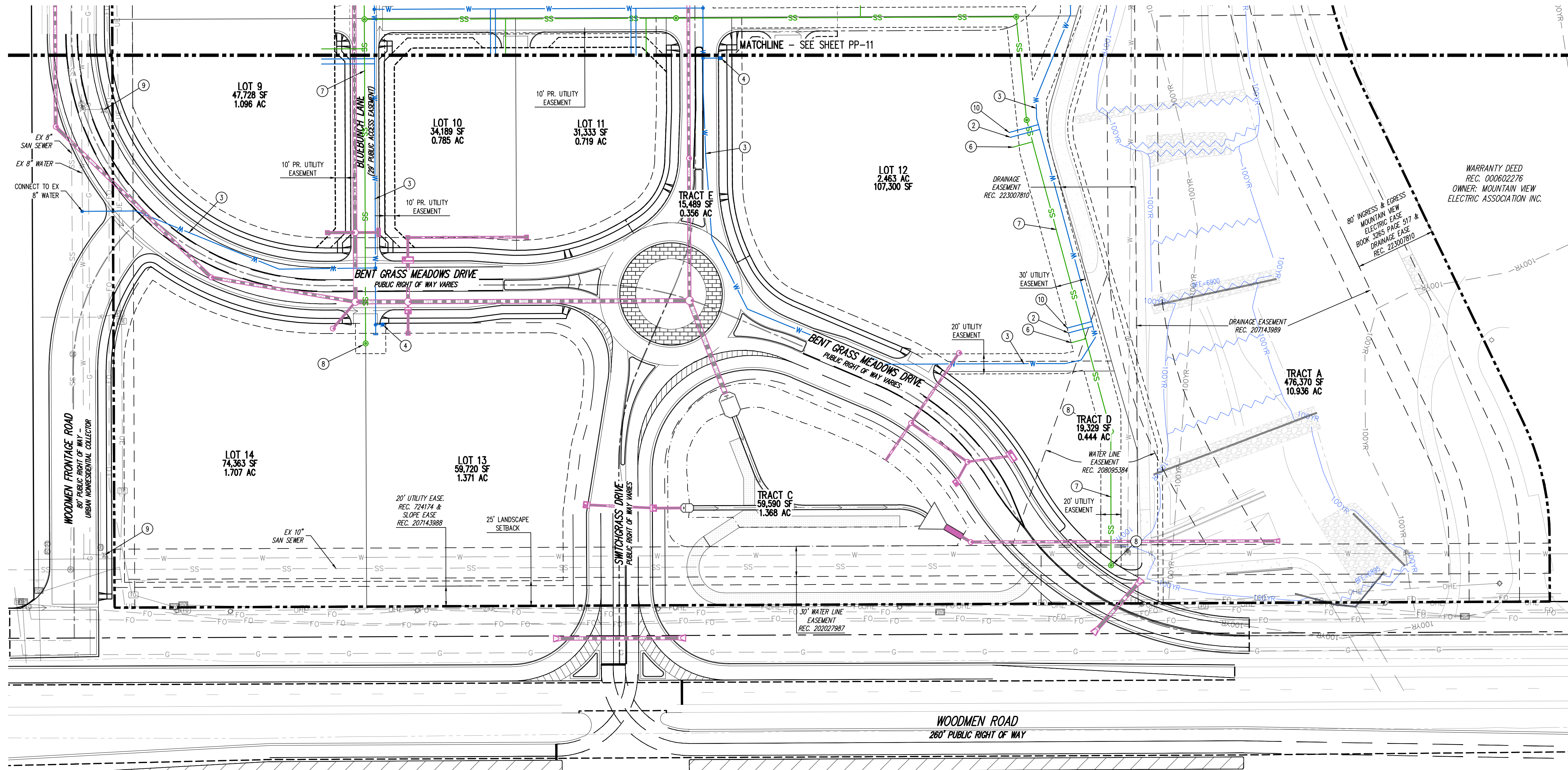
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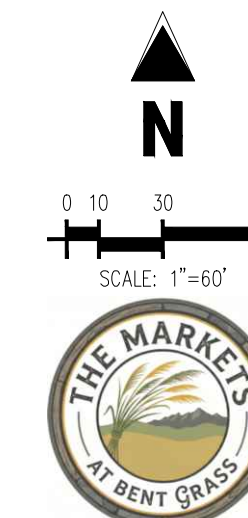
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