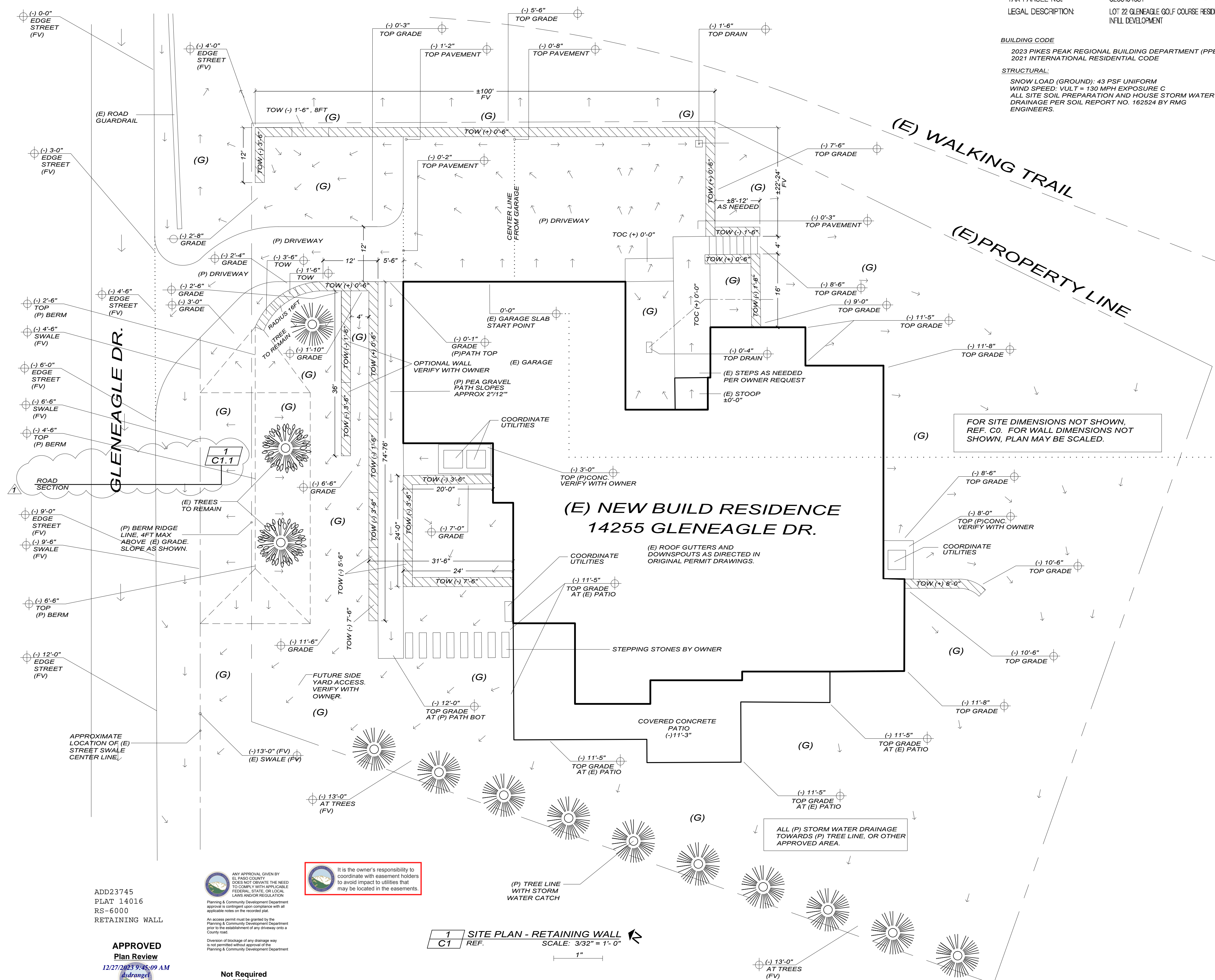


PROJECT ADDRESS: 14255 GLENEAGLE DRIVE
 COLORADO SPRINGS, CO 80921
 TAX PARCEL NO.: 6206104051
 LEGAL DESCRIPTION: LOT 22 GLENEAGLE GOLF COURSE RESIDENTIAL INFLU DEVELOPMENT

BUILDING CODE: 2023 PIKES PEAK REGIONAL BUILDING DEPARTMENT (PPBRD) 2021 INTERNATIONAL RESIDENTIAL CODE

STRUCTURAL: SNOW LOAD (GROUND): 43 PSF UNIFORM WIND SPEED: VULT = 130 MPH EXPOSURE C ALL SITE SOIL PREPARATION AND HOUSE STORM WATER DRAINAGE PER SOIL REPORT NO. 162524 BY RMG ENGINEERS.

- SHEET NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL DRAWINGS AND ALERT ARCHITECTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO BID OR WORK PERFORMED.
 - CONTRACTOR TO ALERT ARCHITECTURAL ENGINEER OF ANY UNUSUAL EXISTING CONDITIONS THAT DEVIATE FROM JURISDICTIONALLY APPROVED BUILDING CODE PRIOR TO BID OR WORK PERFORMED.
 - IF DISCREPANCIES EXIST BETWEEN GRAPHIC SCALE AND TEXT NOTE, THE TEXT NOTE SHALL GOVERN OVER THE GRAPHIC.
 - CONTRACTOR TO USE ALL PERMITTED SHEETS DURING CONSTRUCTION.
 - (P) SITE RETAINING WALLS MAY BE BUILT UP TO PROPERTY LINE, REF. APPROVAL LETTER PROVIDED BY HOMEOWNER.
 - (P) GUARDRAILS ON WALLS SHALL BE PROVIDED PER THE DIRECTION OF THE CITY OF COLORADO SPRINGS AND PPBRD. REF. GUARDRAIL REQUIREMENTS AND APPROVAL LETTER PROVIDED BY HOMEOWNER.
 - REF. CO. ORIGINAL SITE PLAN DRAWING PREPARED BY ANOTHER DESIGN COMPANY AND PERMITTED BY PPBRD FOR THE RESIDENCE RECENTLY BUILT AT 14255 GLENEAGLE DRIVE IN COLORADO SPRINGS, COLORADO. THESE DRAWINGS CONTAIN SURVEY INFORMATION THAT MAY BE USED BY THE CONTRACTOR TO ESTABLISH A BASELINE FOR CONSTRUCTION. AE LEUKEN, LLC (AEL) IS PROVIDING HEREIN ON SHEET C1 A DESIGN FOR SITE RETAINING WALLS.
 - CONTRACTOR TO FOLLOW SOIL PREPARATION DIRECTIVE FROM SOIL REPORT.
 - THESE DRAWINGS HAVE BEEN PREPARED POST CONSTRUCTION OF THE HOUSE. GRADING HAS CHANGED SOME SINCE THE HOUSE CONSTRUCTION STARTED AND MAY LIKELY NOT BE THE EXACT ELEVATIONS SHOWN IN THIS PLAN. THE SITE GRADE ELEVATIONS SHOWN MAY BE ALTERED ASSUMING THE CONTRACTOR TO ENSURE THAT GRADE SLOPES AS GRADUAL AS POSSIBLE DOWN AND AWAY FROM THE HOUSE AND WALL STRUCTURES AND AT NO INSTANCE IS THE GRADE TO BE LESS THAN 1/4 INCH PER FOOT. ALL STORM WATER DRAINAGE TO BE DIRECTED TO APPROVED LOCATIONS.
 - GRADING AT ROADWAY SHALL BE PER EL PASO COUNTY DOT REQUIREMENTS. DETAIL IS PROVIDED AS DETAIL 1 SHEET C1.1
 - VERTI-BLOCK CONSTRUCTION TO BE PERFORMED PER THESE DRAWINGS AND MANUFACTURE RECOMMENDATIONS. IF DISCREPANCIES EXIST BETWEEN THESE DRAWINGS AND VERTI-BLOCK MANUFACTURE RECOMMENDATIONS EXIST, CONTACT ENGINEER PRIOR TO BID AND CONSTRUCTION. NOTE THAT VERTI-BLOCK IS A SYSTEM AND INCLUDES GEOGRID, GEOTEXTILE, DRAINAGE PIPES AMONG OTHER MANUFACTURE SYSTEM INCLUSIONS. THE VERTI-BLOCK WALL IS A SITE WALL AND THEREFORE IS TASKED TO PROVIDE LASTING STABILITY TO THE EARTH IT RETAINS AND CONTRIBUTES TO THE OVERALL SITE STORMWATER DRAINAGE SYSTEM. THEREFORE, SITE WALL CONTRACTOR IS TASKED TO NOT JUST BUILD THE WALL BUT PROVIDE STORMWATER DRAINAGE GRADING FROM WALL TO BUILDING AND FROM WALL TO APPROVED STORMWATER DRAINAGE LOCATIONS. SITE WALL CONTRACTOR IS ALSO TASKED WITH EXCAVATION, GRADING, PLACEMENT OF STORMWATER DRAINAGE PIPING, BACKFILLING AND COMPACTION TO ENSURE ALL HOUSE DOWNSPOUTS DAYLIGHT OUT FROM WALL TO FLOW DOWN AND AWAY FROM WALL TO AN APPROVED LOCATIONS.



START HERE

- LEGEND:**
- (E) EXISTING (TOW) TOP OF WALL
 - (P) PROPOSED (G) GRASS ON LOW PERMEABLE 8-12" ORGANIC SOIL
 - (FV) FIELD VERIFY
 - (P) DIRECTION OF DOWNWARD SLOPE
- (P) VERTI-BLOCK SITE RETAINING WALL**
 AS SHOWN IS TOP OF WALL WIDTH OF 2'. WALLS ARE NOT PLUMB, STACKED BLOCKS HAVE AN OFFSET DIMENSION. WALLS HAVE 3" WIDE BLOCKS ON LOWER COURSE. SEE DETAILS. NOTE THAT LOWER BLOCKS MUST NOT ENCRUSH OUTSIDE OF PROPERTY LINE.

CONTRACTOR TO HAVE A MINIMUM OF 2 YEARS OF EXPERIENCE WITH VERTI-BLOCK AND GRADING. BLOCK QUANTITIES ARE NOT PROVIDED IN THE SCOPE OF AEL'S WORK. HOWEVER, BY USING THE DETAILS PROVIDED THE CONTRACTOR IS EXPECTED TO BE ABLE TO WORK THROUGH THE QUANTITIES NECESSARY FOR A SUCCESSFUL CONSTRUCTION PROJECT. NOTE THAT HEIGHTS AND LENGTHS OF WALLS MAY BE MODIFIED SO AS LONG AS THE HOMEOWNER AGREES TO THE CHANGE AND IT COMPLIES WITH CODE. IF AT ANY TIME THE CONTRACTOR HAS QUESTIONS, HE/SHE MAY EMAIL AEL AT SERVICE@AELEUKEN.COM OR CALL 719-205-2899.

SURVEY BEFORE CONSTRUCTION!
 IT IS RECOMMENDED THAT SURVEYOR STAKE PROPERTY TO SHOW/VERIFY PROPERTY LINES, BOUNDARIES, OR OTHER THAT MAY RESTRICT THE LAYOUT OF THE WALLS PRIOR TO BID OR CONSTRUCTION.

CALL BEFORE YOU DIG!
 CALL PHONE NUMBER 811 BEFORE BIDDING AND CONSTRUCTION.

(P) WALL GUARDRAILS TO COMPLY WITH PPBRD AND CITY CODES. REF. SHEET NOTES FOR MORE INFORMATION.

(E) INSTALLED SITE DRAIN PIPES AND OTHER UTILITIES MAY NEED TO BE MODIFIED BEFORE PLACEMENT OF WALLS.

(E) HOUSE EXTERIOR WAINSCOTING SHALL NOT BE BURIED DURING OR AFTER EXCAVATION/GRADING.

ALL STORM WATER TO BE DIRECTED TO CITY APPROVED LOCATIONS

ADD23745
 PLAT 14016
 RS-6000
 RETAINING WALL

APPROVED
 Plan Review
 12/27/2023 9:45:09 AM
 dsdrangel
 EPC Planning & Community
 Development Department

ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OVIATE THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION.
 Planning & Community Development Department approval is contingent upon compliance with all applicable rules on the recorded plat.
 An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.
 Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department.

Not Required
 BESQCP
 12/27/2023 9:45:19 AM
 dsdrangel
 EPC Planning & Community
 Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.

1 SITE PLAN - RETAINING WALL
 REF. SCALE: 3/32" = 1'-0"
 1" = 1"

AEL ARCHITECTURAL ENGINEERS
 PHONE: (719) 205-2899
 SERVICE@AELEUKEN.COM
 2125 ACADAMY CTR STE 205
 COLORADO SPRINGS CO, 80909

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 THESE DRAWINGS MAY NOT BE DUPLICATED OR REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF AE LEUKEN

LEE RESIDENCE SITE RETAINING WALL
 14255 GLENEAGLE DR. COLORADO SPRINGS, CO 80921
 ADDED EL PASO COUNTY ROADWAY DETAIL AND NOTES MODIFICATION

NO.	DATE	DESCRIPTION
1	12/17/23	ADDED EL PASO COUNTY ROADWAY DETAIL AND NOTES MODIFICATION

PROJECT NO: AE318-R
 SHEET: C1
 SITE PLAN - RETAINING WALL



REAL ESTATE SERVICES

Via Email to:

justing@aeleuken.com

obxkarma@gmail.com

tishpatel@gmail.com

December 15, 2023

Clifford O. Lee
Hiteshree B. Patel
14255 Gleneagle Dr.
Colorado Springs, CO 80921
(or to Present Property Owner)

SUBJECT: EASEMENT ENCROACHMENT – RETAINING WALL

Pursuant to the request of December 13, 2023, to allow an approximate 4 foot tall retaining wall within portions of the easterly 5 foot side lot line and the 10 foot front lot line Public Utility Easements located within Lot 22, Gleneagle Golf Course Residential Infill Development, granted by the plat thereof, also known as El Paso County Parcel No. 6206104051, Colorado Springs Utilities has reviewed your request, and does not object to the encroachment.

Thank you for contacting The City of Colorado Springs, on behalf of its enterprise, Colorado Springs Utilities. We hope this sufficiently addresses your concerns.

Respectfully,

A handwritten signature in blue ink that reads "Barbara Reinardy". The signature is written in a cursive, flowing style.

Barbara J. Reinardy

Real Estate Specialist II

Real Estate Services

30 S. Nevada Avenue, Suite 502, P.O. Box 1575, MC 525, Colorado Springs, CO 80901-1575
Direct Phone: 719-385-5601 / FAX: 719-385-5610 / Email: Barbara.Reinardy@coloradosprings.gov

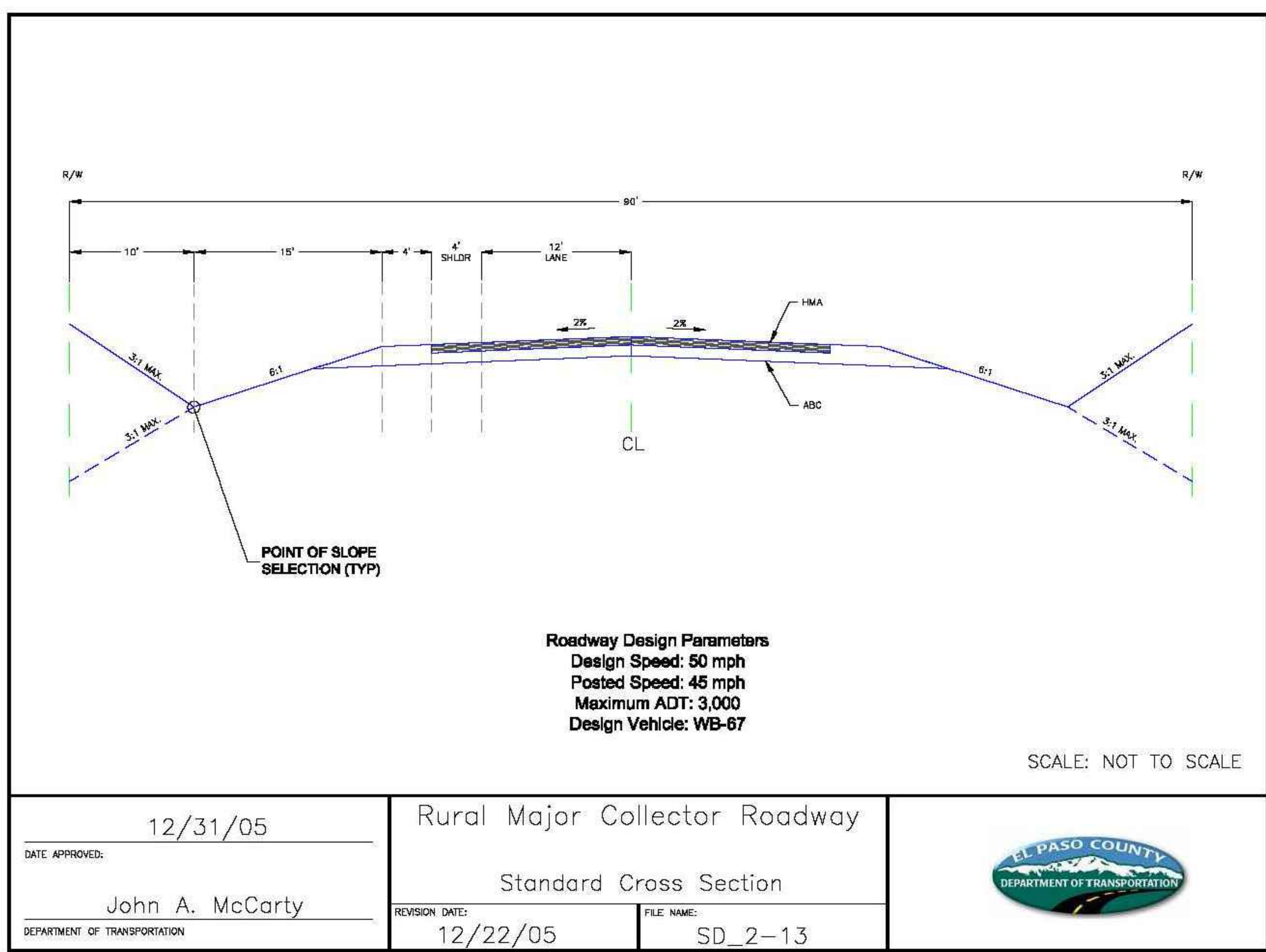
GENERAL SHEET NOTES:
 A. CONTRACTOR TO FIELD VERIFY ALL DRAWINGS AND ALERT ARCHITECTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO BID OR WORK PERFORMED.
 B. CONTRACTOR TO ALERT ARCHITECTURAL ENGINEER OF ANY UNUSUAL EXISTING CONDITIONS THAT DEVIATE FROM JURISDICTIONALLY APPROVED BUILDING CODE PRIOR TO BID OR WORK PERFORMED.
 C. IF DISCREPANCIES EXIST BETWEEN GRAPHIC SCALE AND TEXT NOTE, THE TEXT NOTE SHALL GOVERN OVER THE GRAPHIC.



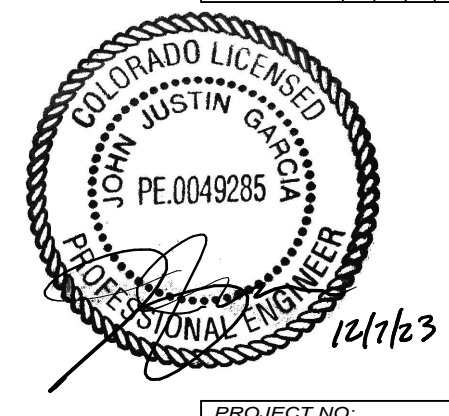
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LEE RESIDENCE SITE RETAINING WALL
 14255 GLENEAGLE DR. COLORADO SPRINGS, CO 80921
 ADDED EL PASO COUNTY ROADWAY DETAIL AND NOTES MODIFICATION

NO.	DATE	DESCRIPTION
1	12/7/23	ADDED EL PASO COUNTY ROADWAY DETAIL AND NOTES MODIFICATION



1 EL PASO COUNTY ROADWAY SECTION DETAIL
 C1.1 REF. NTS



PROJECT NO:
AE318-R
 SHEET:
C1.1
 ROADWAY SECTION DETAIL

RESIDENTIAL



2023 PPRBC
IECC: N/A

Address: 14255 GLENEAGLE DR, COLORADO SPRINGS

Parcel: 6206104051

Plan Track #: 183657 

Received: 21-Nov-2023 (SIERRAC)

Description:

Retaining Wall - Residential

Contractor:

Type of Unit:

Required PPRBD Departments (2)

Floodplain

(N/A) RBD GIS

Construction

Released for Permit
11/28/2023 10:56:01 AM




Christine
CONSTRUCTION

Required Outside Departments (1)

County Zoning

APPROVED
Plan Review

12/27/2023 9:45:34 AM
dsdrangel



EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.