

CONSTRUCTION DOCUMENTS CHICK-FIL-A POWERS & PALMER

PORTION OF LOT 1, BLOCK 1, WALDORF SUBDIVISION
LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6th P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
(1"= 500')

LEGEND:

	PROPERTY LINE
	WATER METER
	IRRIGATION METER
	GREASE TRAP
	SINGLE CLEANOUT
	TWO-WAY CLEANOUT
	TRANSFORMER
	STORM INLET
	STORM MANHOLE
	LIGHT POLE
	PROPOSED TRAFFIC SIGN
	PAVEMENT STRIPING
	PARKING STALL COUNT
	FIRE LINE
	WATER LINE
	SANITARY SEWER
	GAS SERVICE
	ELECTRIC SERVICE
	TELEPHONE SERVICE
	STORM SEWER
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EX STORM MANHOLE
	EX SANITARY MANHOLE
	EX STORM INLET
	EX LIGHT POLE
	EX UNDERGROUND ELECTRIC
	EX GAS SERVICE
	EX WATER LINE
	EX STORM SEWER
	EX SANITARY SEWER
	EX TELEPHONE SERVICE
	EX GUARDRAIL
	EX FIRE HYDRANT
	EX TRAFFIC SIGN
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX TREE
	EX IRRIGATION VALVE
	EX WATER VALVE
	EX TELEPHONE BOX
	EX ELECTRIC BOX
	EX RECLAIMED WATER MAIN
	EX STORM SEWER
	PROPOSED SIDEWALK CHASE

ABBREVIATION LEGEND

TW	GRADE AT TOP OF WALL
BG	GRADE AT BOTTOM OF WALL
PC	POINT OF CURVE
PT	POINT OF TANGENT
Δ	DELTA, HORIZONTAL CURVE DIRECTION CHANGE
C&G	CURB AND GUTTER
CL	CENTERLINE
FL	FLOWLINE
DBL	DOUBLE
C.O.	CLEAN OUT
K	RATE OF CURVATURE
AD	ABSOLUTE GRADE DIFFERENCE IN %
VC	VERTICAL CURVE
PVC	POINT OF VERTICAL CURVE
PVT	POINT OF VERTICAL TANGENT
PVI	POINT OF VERTICAL INTERSECTION
PI	POINT OF TANGENT INTERSECTION
ROW	RIGHT OF WAY
PVMT	PAVEMENT
HP	HIGH POINT
LP	LOW POINT
PCR	POINT OF CURB RETURN
PCC	POINT OF COMPOUND CURVE
PRC	POINT OF REVERSE CURVE
EX. EX.	EXISTING
PR. PR.	PROPOSED
ME	MATCH EXISTING
TC	BACK TOP OF CURB
FG	FINISHED GRADE
STA	STATION
EL. ELEV.	ELEVATION
FF	FINISHED FLOOR
TC	TOP OF CONCRETE
B/P	BOTTOM OF PIPE
T/P	TOP OF PIPE
Ø	DIAMETER
UE	UTILITY EASEMENT
ESMT	EASEMENT
HCL	HORIZONTAL CONTROL LINE
N	NORTH/NORTHING
E	EAST/EASTING
W	WEST
S	SOUTH
R	RADIUS
LC	LENGTH OF CORD
LF	LENGTH FOOT
L	LENGTH
CB	CHORD BEARING

BASIS OF BEARINGS:

BEARINGS ARE ASSUMED AND ARE BASED UPON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 14 SOUTH, RANGE 65 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO AS BEARING S00°28'23"E A DISTANCE OF 2639.11 FEET BETWEEN THE MONUMENTS SHOWN HEREON.

BENCHMARK:

COLORADO SPRINGS MONUMENT PW 13, FOUND 2" FIMS CAP, STAMPED "PW 12" FLUSH WITH CONCRETE SURFACE, SOUTH OF THE INTERSECTION OF VICTOR PLACE AND NORTH POWERS BOULEVARD, ELEV. = 6350.64 NAVD 88

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Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



FOR AND ON BEHALF OF
MERRICK AND COMPANY

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

[NAME, P.E. # _____] DATE _____

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

[NAME, TITLE] _____ DATE _____
[BUSINESS NAME] _____
[ADDRESS] _____

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

CONSTRUCTION DOCUMENTS

**CHICK-FIL-A
POWERS & PALMER PARK**
SEC OF POWERS BLVD AND PALMER
PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # _____

PRINTED FOR _____

DATE 01/31/2024

DRAWN BY _____

SHEET CSS

COVER SHEET

SHEET NUMBER _____

C0.0



GENERAL NOTES:

- DESCRIPTION OF PROPOSED ARCHITECTURAL STYLE AND MATERIALS
- PUBLIC LAND DEDICATION (PLD) TABLE OR STATEMENT WITH CALCULATIONS OF PLD (REQUIRED AND PROVIDED)
- RESIDENTIAL SUBDIVISIONS: LIST PROPOSED SUBDIVISION QUALITY ENHANCEMENTS
- STATEMENT THAT AN OWNER'S ASSOCIATION WILL BE FORMED FOR COMMON AND RIGHT-OF-WAY LANDSCAPE MAINTENANCE (FOR RESIDENTIAL SUBDIVISIONS AND MULTIPLE LOT NON-RESIDENTIAL PROJECTS)
- STATEMENT THAT THE ADJACENT PROPERTY OWNER OR ASSIGNS MAINTAINS THE LANDSCAPING INCLUDING RIGHT-OF-WAY LANDSCAPING
- THE PROPOSED SITE PLAN INCLUDED IN THIS PLAN SET IS CONCEPTUAL IN NATURE. THE FINAL CIVIL SITE DESIGN FOR THE REQUIRED PUBLIC/PRIVATE IMPROVEMENTS (INCLUDING BUT NOT LIMITED TO ROADWAY SECTIONS, SIDEWALKS, WATER, SANITARY SEWER, STORM SEWER, DRAINAGE, OTHER GENERAL INFRASTRUCTURE, ETC.) AND THE ASSOCIATED EASEMENTS AND RIGHT-OF-WAY FOR THOSE IMPROVEMENTS SHALL BE DETERMINED WITH THE SUBDIVISION PLAT, DEVELOPER'S AGREEMENT AND CIVIL CONSTRUCTION DRAWINGS. THESE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR PUBLIC AND PRIVATE IMPROVEMENTS AND BASED UPON APPROVED MASTER PLANS APPROVED AT THE TIME OF THE RECORDATION OF THE DEVELOPER'S AGREEMENT.

MERRICK GENERAL NOTES:

- THE OWNER SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE LOCAL ENTITY'S INSPECTOR AT ALL TIMES.
- THE PROJECT PLANS AND SPECIFICATIONS AS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, FOR AND ON BEHALF OF MERRICK AND COMPANY, REPRESENT THE FINAL CONSTRUCTION DOCUMENTS FOR THIS PROJECT. THE USE OF ANY ELECTRONIC OR OTHER MEDIA PURPORTING TO REPRESENT THE FINAL CONSTRUCTION DOCUMENTS FOR THIS PROJECT SHALL NOT BE RELIED UPON AS FINAL CONSTRUCTION DOCUMENTS. SHOULD THERE BE A CONFLICT BETWEEN SEALED DRAWINGS AND ELECTRONIC OR OTHER MEDIA FILES, THE SEALED DRAWINGS SHALL GOVERN. EACH USER OF ANY ELECTRONIC OR OTHER MEDIA WAIVES AND RELEASES MERRICK FROM ALL ACTIONS, CLAIMS, DAMAGES, ACTIONS, OBLIGATIONS AND LIABILITIES OF ANY KIND OR NATURE WITH RESPECT TO THE ELECTRONIC OR OTHER MEDIA FILES.
- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
- THE PROJECT PLANS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE COMPLETED PROJECT IN A COMPLETE AND OPERABLE CONDITION. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND PROVIDE ALL LABOR NECESSARY TO COMPLETE THE PROJECT IN A NEAT AND WORKMANLIKE MANNER, INCLUDING ALL INCIDENTALS NECESSARY TO COMPLETE THE WORK, WITHOUT ADDITIONAL COST TO THE OWNER.
- UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS. EXISTING FENCES, TREES, STREETS, SIDEWALKS, CURBS AND GUTTERS, LANDSCAPING, STRUCTURES, AND IMPROVEMENTS DESTROYED, DAMAGED OR REMOVED DUE TO CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE KIND AT THE OWNER'S EXPENSE, UNLESS OTHERWISE INDICATED ON THESE PLANS.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE MAY CAUSE THE WORK TO BE DEEMED UNACCEPTABLE.
- MERRICK & COMPANY IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK. MERRICK WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- WHEN APPLICABLE, THE OWNER SHALL HAVE ONSITE AT ALL TIMES, EACH OF THE FOLLOWING:
 - THE NOTICE OF INTENT (NOI)
 - BEST MANAGEMENT PRACTICES (BMP) MAINTENANCE FOLDER
 - UP TO DATE STORMWATER MANAGEMENT PLAN (SWMP) THAT ACCURATELY REPRESENTS CURRENT FIELD CONDITIONS
 - ONE (1) SIGNED COPY OF THE APPROVED PLANS
 - ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS
 - A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF LONE TREE STANDARDS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MOST RESTRICTIVE STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ENTITY.
- DO NOT SCALE DRAWINGS. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE DESIGNER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- THE BOUNDARY AND TOPOGRAPHIC INFORMATION ON THESE PLANS IS TAKEN FROM FIELD SURVEYS PREPARED BY MERRICK AND COMPANY DATED AUGUST 14, 2024. CONTRACTOR TO FIELD VERIFY EXISTING TOPOGRAPHY OF THE DOUGLAS COUNTY PEDESTRIAN BRIDGE IMPROVEMENTS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF RECORD IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS REPORT COMPLETED DECEMBER 31, 2024 BY GILES ENGINEERING ASSOCIATES, INC.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE THE WORK AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. A COPY OF ALL PERMITS SHALL BE MAINTAINED ON-SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY OF ALL PERSONNEL AND EQUIPMENT ON THE PROJECT SITE AT ALL TIMES, AND IS NOT LIMITED TO NORMAL WORKING HOURS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS.
- IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE OWNER SHALL CONTACT THE DESIGNER AND THE LOCAL ENTITY ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THERE SHALL BE NO WORK PERFORMED ON WEEKENDS OR HOLIDAYS, UNLESS ACCEPTED AND APPROVED IN WRITING AND IN ADVANCE BY THE OWNER, ENGINEER, AND LOCAL JURISDICTION.
- MAINTAIN EMERGENCY VEHICLE ACCESS TO AND THROUGH THE PROJECT SITE AT ALL TIMES.
- ACCESS TO PRIVATE PROPERTY AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES. CONTRACTOR TO PROVIDE ALTERNATIVE MEANS OF INGRESS AND EGRESS TO PRIVATE PROPERTY AND BUSINESS LOCATIONS AS NECESSARY TO PROVIDE FOR THE TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL CALL THE NATIONWIDE UTILITY CONTACT NUMBER (811) OR LOCAL UTILITY LOCATE SERVICE, TO REQUEST LOCATES OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES, INCLUDING DEPTH, THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE ONLY AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. THE UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST AVAILABLE INFORMATION AND MAY NOT INCLUDE ALL UTILITIES THAT EXIST ON THE PROJECT SITE. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK BEFORE COMMENCING NEW CONSTRUCTION. THE OWNER SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.

- APPROXIMATE WHEN SHOWN ON THE DRAWINGS, ALL UTILITY INSTALLATIONS WITHIN OR ACROSS THE ROADBED OF NEW RESIDENTIAL ROADS MUST BE COMPLETED PRIOR TO THE FINAL STAGES OF ROAD CONSTRUCTION. FOR THE PURPOSES OF THESE STANDARDS, ANY WORK EXCEPT CIG ABOVE THE SUBGRADE IS CONSIDERED FINAL STAGE WORK. ALL SERVICE LINES MUST BE STUBBED TO THE PROPERTY LINES AND MARKED SO AS TO REDUCE THE EXCAVATION NECESSARY FOR BUILDING CONNECTIONS.
- A STATE CONSTRUCTION DEWATERING WASTEWATER DISCHARGE PERMIT IS REQUIRED IF DEWATERING IS REQUIRED IN ORDER TO INSTALL UTILITIES OR BEFORE WATER IS DISCHARGED INTO A STORM SEWER, CHANNEL, IRRIGATION DITCH OR ANY WATERS OF THE UNITED STATES.
- THE OWNER SHALL COORDINATE AND COOPERATE WITH THE LOCAL ENTITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE OWNER SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED.
- THE CONTRACTOR SHALL VERIFY SITE CONDITIONS, EXISTING TOPOGRAPHIC DATA, AND LOCATIONS OF ALL UTILITIES PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES ON THE PROJECT SITE. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES, WHETHER SHOWN OR NOT ON THE PROJECT PLANS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES FOUND PRIOR TO INITIATING ANY WORK.
- ANY DISRUPTION IN UTILITIES SHALL BE COORDINATED AT LEAST 48 HOURS IN ADVANCE WITH THE UTILITY OWNER, PROJECT OWNER, EMERGENCY PROVIDERS, ALL IMPACTED LOCAL RESIDENTS, AND IMPACTED BUSINESS OWNERS. METHOD OF NOTIFICATION SHALL BE SUBJECT TO APPROVAL OF THE PROJECT OWNER AND AFFECTED UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF SURFACE CONDITIONS DISTURBED BY CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE OWNER, PROPERTY OWNER, AFFECTED UTILITY, AND/OR LOCAL JURISDICTION. ALL SURFACE AND UTILITY RESTORATION SHALL BE REPLACED WITH LIKE KIND, SIZE, AND TYPE OF IMPROVEMENT THAT EXISTED PRIOR TO INITIATING CONSTRUCTION AT NO ADDITIONAL EXPENSE TO THE PROJECT OWNER.
- OVERLOT GRADING CONSTRUCTION MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." CONTACT THE COLORADO DEPARTMENT OF PUBLIC HEALTH & ENVIRONMENT, WATER QUALITY CONTROL DIVISION, PHONE (303) 692-3500.
- PAVING SHALL NOT START UNTIL A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE LOCAL ENTITY ENGINEER AND SUBGRADE COMPACTION TESTS ARE TAKEN AND ACCEPTED BY THE LOCAL ENTITY ENGINEER.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING SOILS TESTS WITHIN THE PUBLIC RIGHT-OF-WAY AFTER RIGHT OF WAY GRADING AND ALL UTILITY TRENCH WORK IS COMPLETE. IF THE FINAL SOILS/PAVEMENT DESIGN REPORT DOES NOT CORRESPOND WITH THE RESULTS OF THE ORIGINAL GEOTECHNICAL REPORT, THE OWNER SHALL BE RESPONSIBLE FOR A RE-DESIGN OF THE SUBJECT PAVEMENT SECTION OR, THE OWNER MAY USE THE LOCAL ENTITY'S DEFAULT PAVEMENT THICKNESS SECTION(S). REGARDLESS OF THE OPTION USED, ALL FINAL SOILS/PAVEMENT DESIGN REPORTS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER. THE FINAL REPORT SHALL BE SUBMITTED TO THE INSPECTOR A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO PLACEMENT OF BASE AND ASPHALT. PLACEMENT OF BASE AND ASPHALT SHALL NOT OCCUR UNTIL THE ENGINEERING DIVISION APPROVES THE FINAL REPORT.
- ALL ROAD CONSTRUCTION IN AREAS DESIGNATED AS WILD FIRE HAZARD AREAS SHALL BE DONE IN ACCORDANCE WITH THE CONSTRUCTION CRITERIA AS ESTABLISHED IN THE WILD FIRE HAZARD AREA MITIGATION REGULATIONS IN FORCE AT THE TIME OF FINAL PLAT APPROVAL.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- TRAFFIC CONTROL STANDARDS FOR THIS PROJECT SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. A TRAFFIC CONTROL PLAN APPROVED BY THE LOCAL ENTITY EXERCISING JURISDICTION SHALL BE OBTAINED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE OWNER SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY, (LOCAL ENTITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- SAW CUT ALL JOINTS IN EXISTING PAVEMENTS. SAW CUT JOINTS IN CURB AND GUTTER SECTIONS SHALL BE CONTINUOUS THROUGH THE CURB HEAD.
- INSTALL SEDIMENTATION AND EROSION CONTROL MEASURES PRIOR TO INITIATING ANY WORK ON THE PROJECT SITE. MAINTAIN ALL EROSION CONTROL MEASURES UNTIL FINAL ACCEPTANCE BY A CITY OF LONE TREE GESC INSPECTOR.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL, ON- OR OFF-SITE, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE OWNER, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE OR LANDSCAPING.
- THE OWNER SHALL BE RESPONSIBLE FOR INSURING THAT NO MUD OR DEBRIS SHALL BE TRACKED ONTO THE EXISTING PUBLIC STREET SYSTEM. MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, LIGHT DUTY FRONT-END LOADER, ETC.) OR AS APPROVED BY THE LOCAL ENTITY STREET INSPECTOR.
- ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF IN AN APPROVED LANDFILL PERMITTED TO ACCEPT THAT PARTICULAR TYPE OF WASTE.
- WHERE CONFLICTS EXIST BETWEEN GENERAL NOTES AND THE NOTES OF SPECIFIC GOVERNING JURISDICTIONS, THE GREATER STANDARD OR REQUIREMENT SHALL PREVAIL. WHERE CONFLICTS BETWEEN THE PLANS AND SPECIFICATIONS AND THE NOTES OR REQUIREMENTS OF SPECIFIC GOVERNING JURISDICTIONS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER IMMEDIATELY AND REQUEST CLARIFICATION.
- CONTRACTOR RESPONSIBLE FOR PROVIDING STRUCTURAL DESIGN OF PROPOSED RETAINING WALL AND PROCESSING STRUCTURAL DRAWINGS THROUGH CITY OF LONE TREE PUBLIC WORKS. CONTRACTOR SHALL VERIFY THAT ADDITIONS TO EXISTING WALL SHALL FIT WITH PROPOSED WALL.
- A COLORADO PE SIGNED/SEALED RETAINING WALL DESIGN MUST BE PREPARED AND SUBMITTED TO THE CITY (ATTENTION PUBLIC WORKS/ENGINEERING) IF ANY PORTION OF THE EXISTING RETAINING WALL IS DAMAGED AND IN NEED OF REPLACEMENT. ENGINEER OF RECORD TO BE NOTIFIED IMMEDIATELY IN THE EVENT THE EXISTING RETAINING WALL IS DAMAGED.
- IN THE EVENT A RETAINING WALL IS TO BE CONSTRUCTED THE CITY WILL "RECEIVE AND PLACE ON FILE" THE DESIGN REPORT. WHILE THE CITY MAY SCAN THE REPORT FOR GENERAL CONTENT AND APPARENT SUFFICIENCY OF DOCUMENTATION, THE CITY WILL NOT DO AN ENGINEERING REVIEW FOR ADEQUACY OF THE DESIGN NOR ISSUE A FORMAL APPROVAL. THE RESPONSIBILITY FOR THE ADEQUACY OF WALL DESIGN WILL REST WITH THE PE SIGNED/SEALED DESIGN.
- IN THE EVENT A RETAINING WALL IS TO BE CONSTRUCTED, DURING CONSTRUCTION OF THE WALL, THE DEVELOPER/CONTRACTOR SHALL PROVIDE, VIA A THIRD PARTY ENTITY, SUFFICIENT INSPECTION DOCUMENTATION TO BE ABLE TO PROVIDE TO THE CITY (ATTENTION PUBLIC WORKS/ENGINEERING) A PE SIGNED/SEALED POST CONSTRUCTION CERTIFICATION THAT THE WALL(S) WERE CONSTRUCTED IN GENERAL CONFORMANCE WITH THE SUBMITTED PE SIGNED/SEALED DESIGN.
- THE NOTED CONSTRUCTION CERTIFICATION MUST BE SUBMITTED TO THE CITY PRIOR TO ISSUANCE OF FINAL CERTIFICATE(S) OF OCCUPANCY.
- THE CITY (VIA PUBLIC WORKS/ENGINEERING WILL "RECEIVE AND PLACE ON FILE" THE PE SIGNED/SEALED POST CONSTRUCTION WALL CERTIFICATION.
- ALL EXISTING AND PROPOSED VALVE AND MANHOLE COVERS SHALL BE ADJUSTED TO FINAL PAVEMENT GRADE DURING CONSTRUCTION. SEWER RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE PIPELINE CONTRACTOR SHALL USE CONCRETE ADJUSTMENT RINGS TO ALLOW FOR LATER ADJUSTMENT TO MATCH FINAL PAVEMENT ELEVATIONS.
- THE MAXIMUM CROSS SLOPE FOR ANY SIDEWALK SHALL NOT EXCEED 2.00%. THE MAXIMUM LONGITUDINAL GRADE SHALL NOT EXCEED 5.00%, EXCEPT WHERE SPECIFICALLY NOTED AS "RAMPS", ANYWHERE ON THIS PROJECT. "RAMPS", EXCEPT FOR CURB RAMPS, SHALL NOT HAVE A SLOPE EXCEEDING 1:12 AND SHALL HAVE APPROVED PEDESTRIAN HAND RAIL ON BOTH SIDES OF THE RAMP.
- ALL EXTERIOR STEPS SHALL HAVE RISER HEIGHTS AS NOTED ON THE GRADING PLAN AND 12-INCH TREAD DEPTHS (UNLESS OTHERWISE NOTED).
- TREADS SHALL HAVE A SLOPE OF ONE PERCENT AND SHALL HAVE A 1/2-INCH RADIUS ON THE NOSING.
- LANDINGS SHALL HAVE A MAXIMUM SLOPE, IN ANY DIRECTION, OF TWO PERCENT AND SHALL NOT BE LESS THAN FIVE FEET WIDE IN ANY DIRECTION.



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741

FOR AND ON BEHALF OF
 MERRICK AND COMPANY

CHICK-FIL-A
POWERS & PALMER PARK
 SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
 RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	
PRINTED FOR	
DATE	01/31/2024
DRAWN BY	CSS
SHEET	
GENERAL NOTES	

SHEET NUMBER
C0.1

CONSTRUCTION DOCUMENTS

File Path: C:\DEN\Projects\00810.00 CFA Powers & Palmer\CADD\CDs\100810 - C0.0 - CD - COVER SHEET & GN.dwg Last
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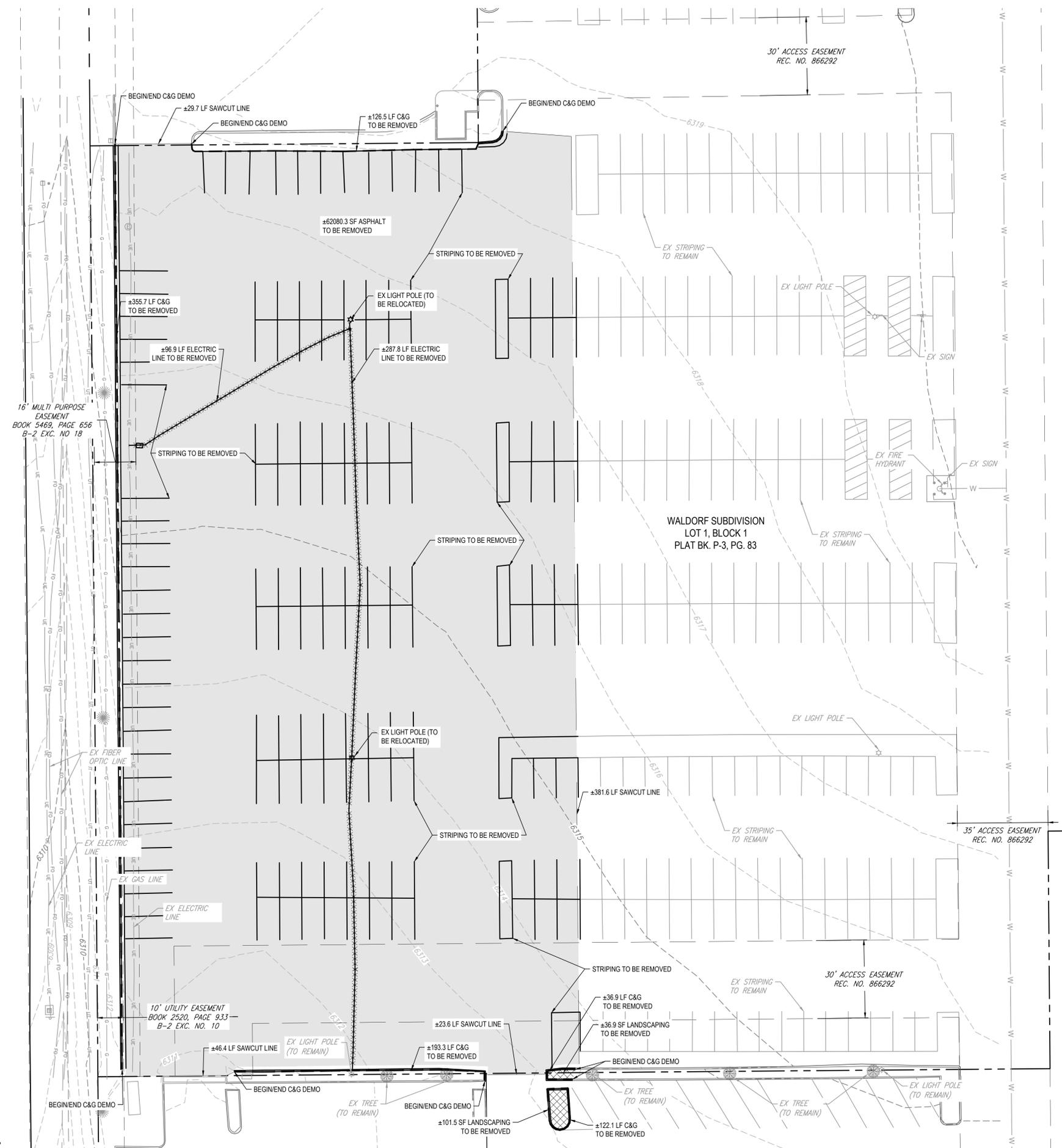
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POWERS BOULEVARD
 (174' R.O.W.)
 REC. NO. 202065502

16' MULTI PURPOSE
 EASEMENT
 BOOK 5489, PAGE 656
 B-2 EXC. NO. 18



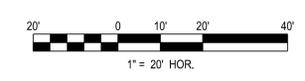
NOTES:

1. CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
2. CONTRACTOR TO PROTECT IN PLACE ALL FEATURES TO REMAIN.
3. CONTRACTOR TO INSTALL ALL STORM CONTROL MEASURES PRIOR TO COMMENCING DEMOLITION.
4. CONTRACTOR SHALL RELOCATE AND/OR ADJUST ELEVATIONS OF EXISTING UTILITIES AS NECESSARY TO ENSURE COMPLETION OF PROPOSED IMPROVEMENT AND NOT INTERFERE WITH OTHER UTILITIES, ROADWAY OR PEDESTRIAN FACILITIES. UTILITY ON GRADE MUST BE LOCATED WITHIN LANDSCAPE AREAS. CONTRACTOR TO COORDINATE WITH EACH UTILITY PURVEYOR TO CONFIRM CONTRACTOR/PURVEYOR RESPONSIBILITIES OF RELOCATION OF EXISTING UTILITIES.

LEGEND:

- PROPERTY LINE
- XXXXXXXXXXXXXX EX UTILITY TO BE REMOVED
- EX CURB TO BE REMOVED
- SAWCUT LINE
- EX ASPHALT TO BE REMOVED
- EX LANDSCAPE AREA TO BE REMOVED

ITEM TO BE REMOVED	QUANTITY	
ASPHALT	62,080	SF
CURB & GUTTER	835	LF
SAWCUT	481	LF
LANDSCAPING	138	SF
ELECTRIC LINE	385	LF
LIGHT POLE	2	EACH



CONSTRUCTION DOCUMENTS

CHICK-FIL-A
POWERS & PALMER PARK

FSR#05934
 BUILDING TYPE / SIZE: P12 LS LRG
 RELEASE: vX.YY.MM

REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT #
 PRINTED FOR
 DATE 01/31/2024
 DRAWN BY CSS

SHEET
DEMO PLAN

SHEET NUMBER
C1.0



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741

FOR AND ON-BEHALF OF
 MERRICK AND COMPANY

SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

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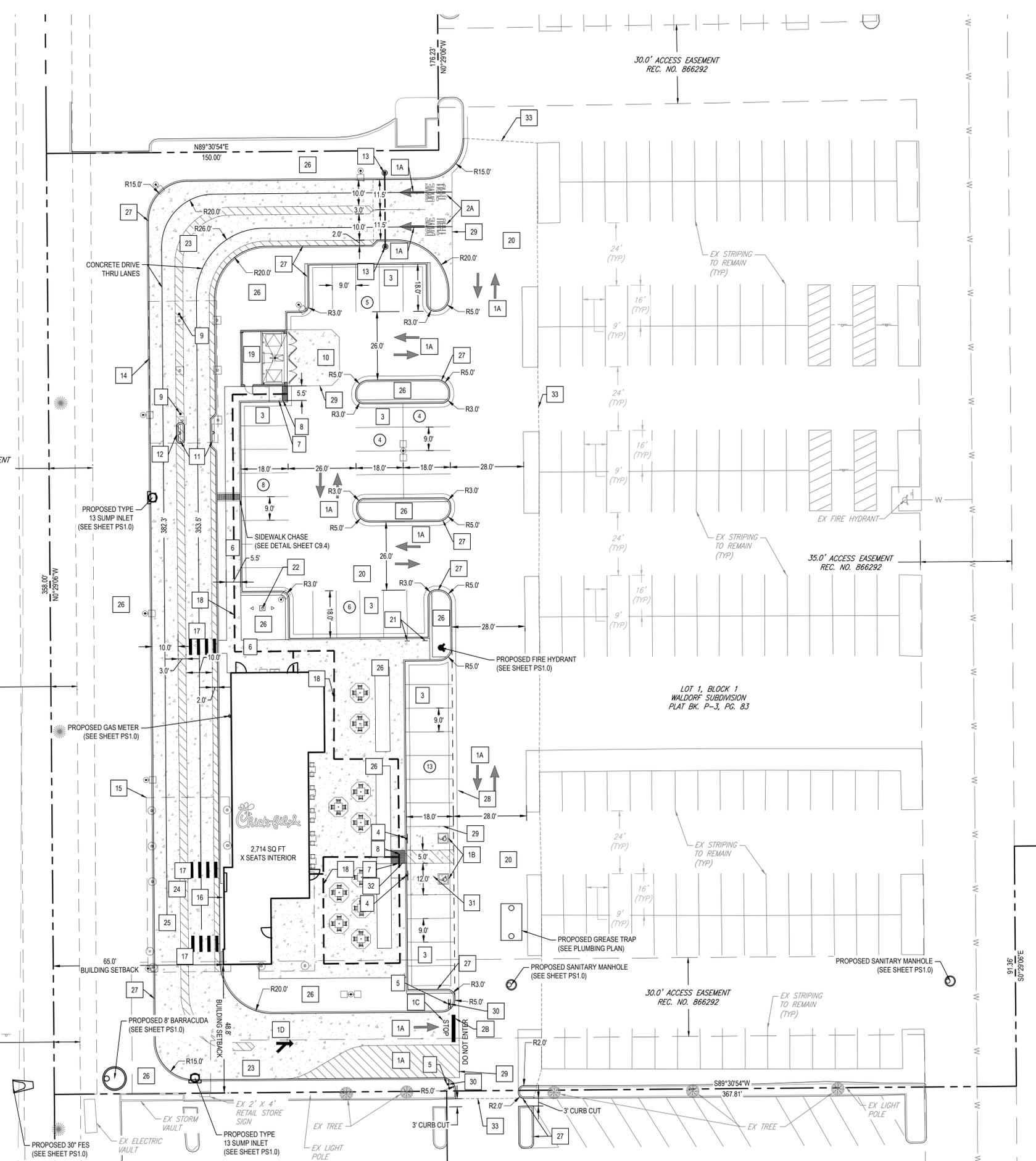
10.0" UTILITY EASEMENT
BOOK 2520, PAGE 9.33
B-2 EXC. NO. 10

10.0" UTILITY EASEMENT
BOOK 2520, PAGE 9.33
B-2 EXC. NO. 10

10.0" UTILITY EASEMENT
BOOK 2520, PAGE 9.33
B-2 EXC. NO. 10

16.7' MULTI PURPOSE EASEMENT
BOOK 5469, PAGE 656
B-2 EXC. NO. 18

POWERS BOULEVARD
(174' R.O.W.)
REC. NO. 202065502

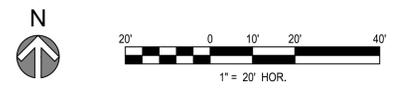


- NOTES:**
- ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURE PLANS FOR CANOPY INFORMATION.
 - REFER TO SIGNAGE PACKAGE FOR ALL SITE AND CHICK-FIL-A SIGN DETAILS.
 - ALL CURB ALONG CONCRETE DRIVE THROUGH TO BE MONOLITHICALLY POURED WITH DRIVE THROUGH.
 - STRIPING ON ASPHALT TO BE WHITE PAINT AND STRIPING ON CONCRETE TO BE YELLOW PAINT.

SITE PLAN DESIGN NOTES & KEY PLAN

- PAVEMENT MARKINGS - 1
 - 1A DIRECTIONAL ARROW
 - 1B ACCESSIBILITY SYMBOL
 - 1C STOP
 - 1D MULTILANE DIRECTIONAL ARROW
- PAVEMENT MARKINGS - 2
 - 2A DRIVE-THRU
 - 2B STOP BAR
- 90 DEGREE PARKING STRIPING
- ACCESSIBLE PARKING SIGN
- STOP SIGN
- CONCRETE SIDEWALK
- SIDEWALK ACCESSIBLE RAMP
- DETECTABLE WARNING DEVICE
- CONCRETE BOLLARD
- CONCRETE APRON @ TRASH ENCLOSURE
- MENU BOARD LOOP DETECTION SYSTEM
- DRIVE-THRU ORDER POINT ISLAND
- DRIVE-THRU CLEARANCE BAR
- ORDER POINT CANOPY
- MEAL DELIVERY CANOPY
- TORMAX DOOR
- CROSSWALK MARKINGS
- ACCESSIBLE ACCESS PATH
- SCREENED REFUSE ENCLOSURE (SEE ARCH PLANS)
- TYPICAL HMAC PAVEMENT SECTION
- BIKE RACKS
- FLAG POLE
- CONCRETE PAVEMENT DRIVE-THRU LANE
- DRIVE-THRU PLAN - FLUSH WITH FFE
- DRIVE-THRU ISOMETRIC
- LANDSCAPED AREA
- CONCRETE CURB & GUTTER
- CONCRETE CROSS PAN
- PAVEMENT EDGE DETAIL
- DO NOT ENTER SIGN
- CONCRETE PAVEMENT
- CURB RAMP w/ FLARED SIDES
- SAWCUT LINE
- PARKING STALL COUNT

PROJECT DATA TABLE		
ITEM	REQUIRED	PROPOSED
ZONING	CC	CC
PROPERTY AREA		
GROSS SF		91,912
GROSS AC		2.11
BUILDING SQ FT		5,663
PATIO SQ FT		558
BUILDING + PATIO SQ FT		6,221
PARKING		
CALCULATION	6,221 S.F. / 150 S.F. PER STALL	
STANDARD STALLS	40	72
ACCESSIBLE STALLS	2	4
TOTAL	42	76
BICYCLE	3	4
BUILDING SET BACK (FT)		
NORTH	0	0
SOUTH	0	0
EAST	0	0
WEST	25	25
LANDSCAPE SET BACK (FT)		
NORTH	0	0
SOUTH	0	0
EAST	0	0
WEST	25	25



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

FOR AND ON BEHALF OF
MERRICK AND COMPANY

CONSTRUCTION DOCUMENTS

CHICK-FIL-A

POWERS & PALMER PARK

SEC OF POWERS BLVD AND PALMER
PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934

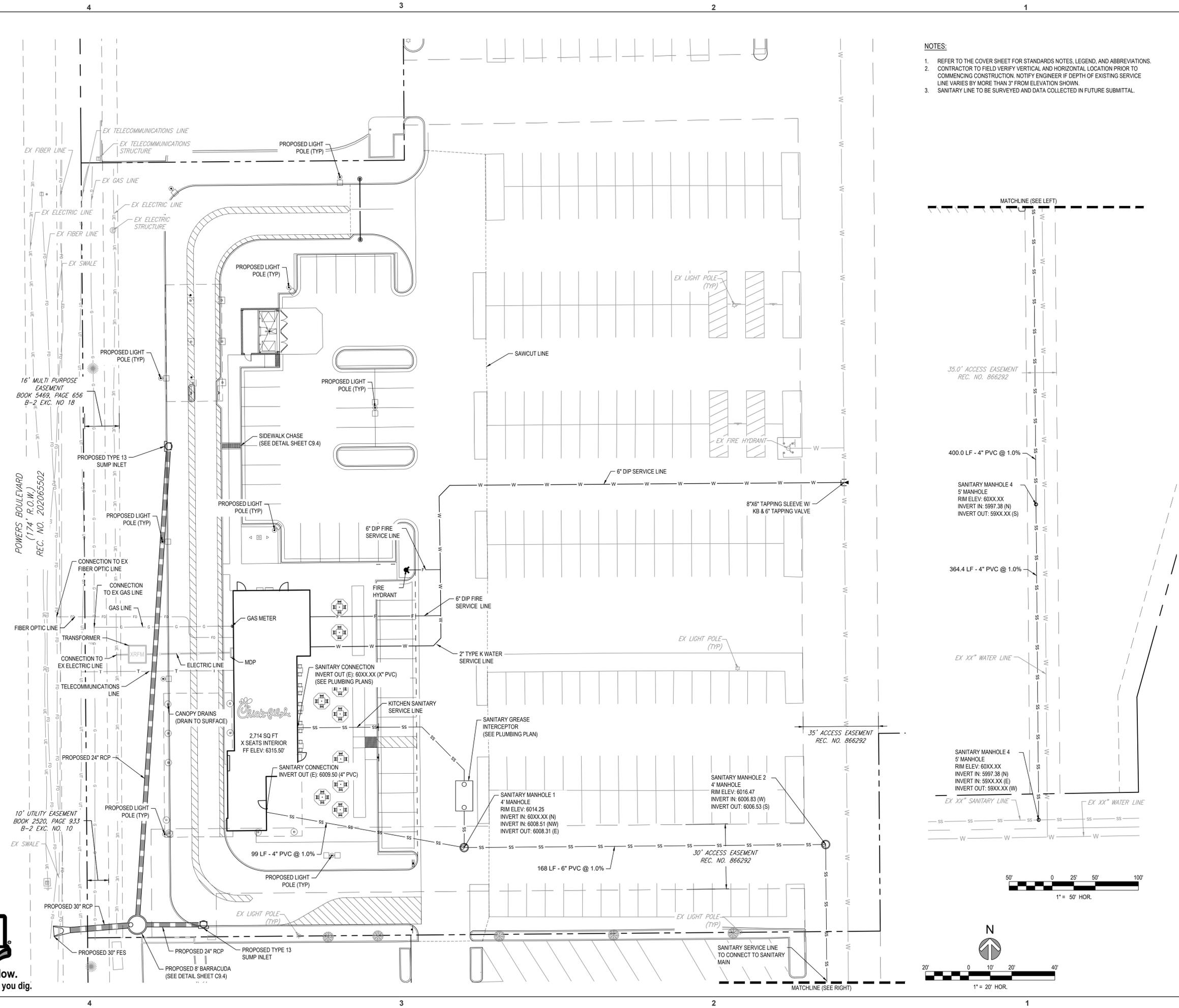
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RELEASE: vX.YY.MM

REVISION SCHEDULE

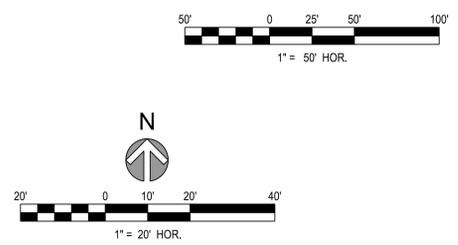
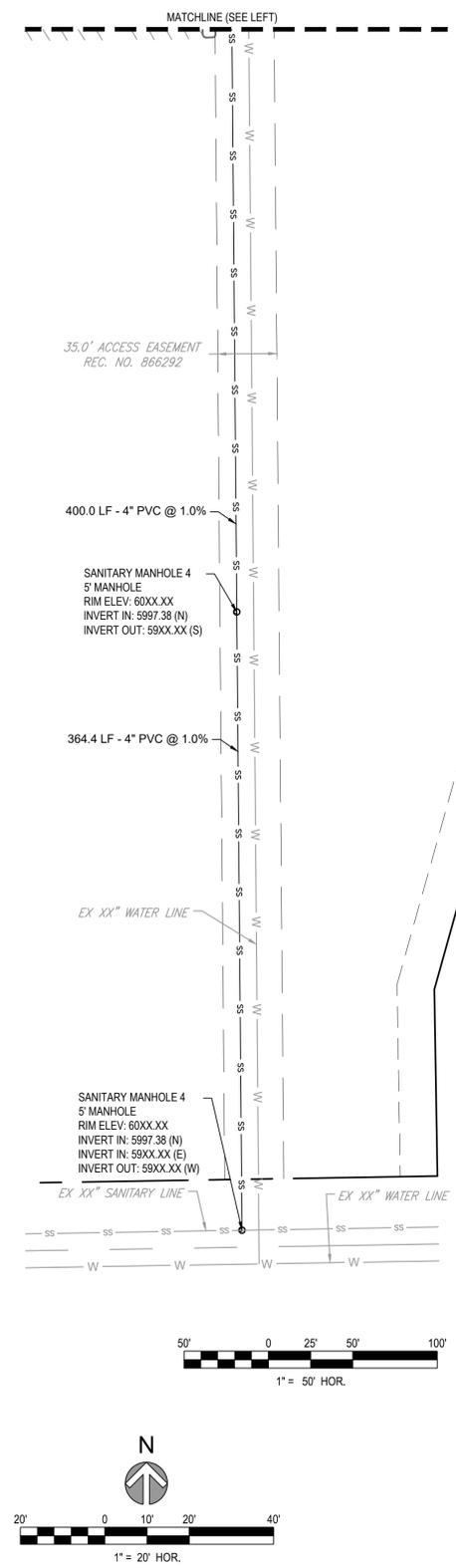
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #
PRINTED FOR
DATE: 01/31/2024
DRAWN BY: CSS
SHEET: SITE PLAN
SHEET NUMBER: C2.0

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- NOTES:
- REFER TO THE COVER SHEET FOR STANDARDS NOTES, LEGEND, AND ABBREVIATIONS.
 - CONTRACTOR TO FIELD VERIFY VERTICAL AND HORIZONTAL LOCATION PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IF DEPTH OF EXISTING SERVICE LINE VARIES BY MORE THAN 3' FROM ELEVATION SHOWN.
 - SANITARY LINE TO BE SURVEYED AND DATA COLLECTED IN FUTURE SUBMITTAL.



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 5200 Buffington Road
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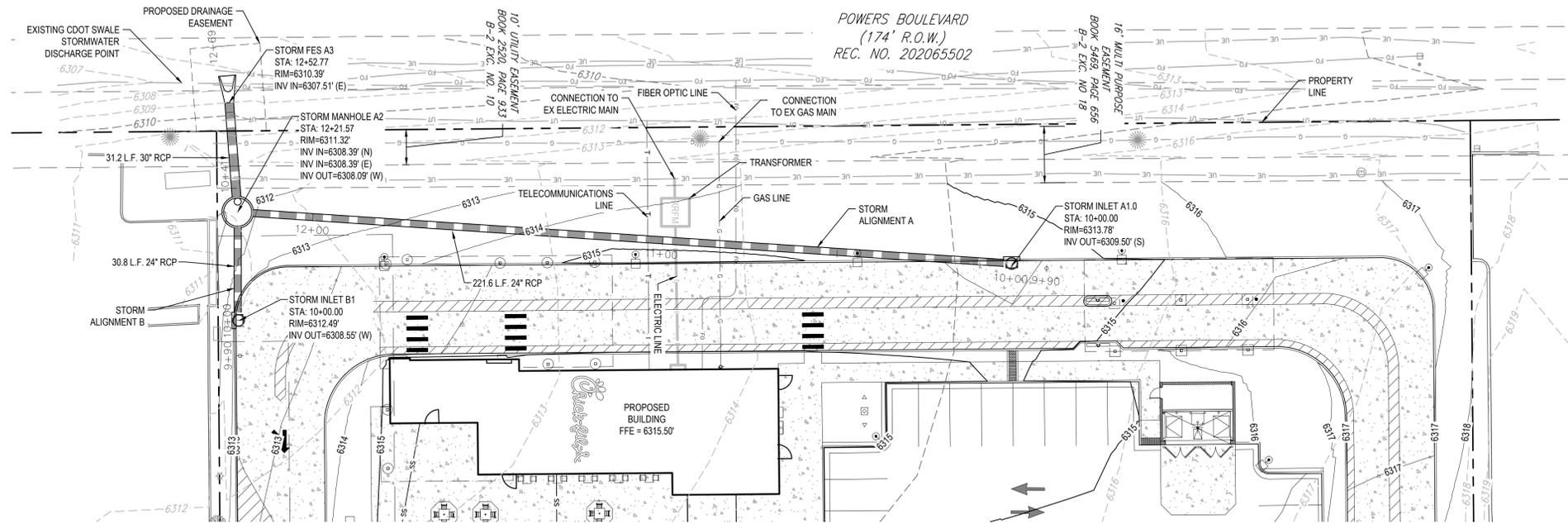
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POWERS & PALMER PARK
 SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
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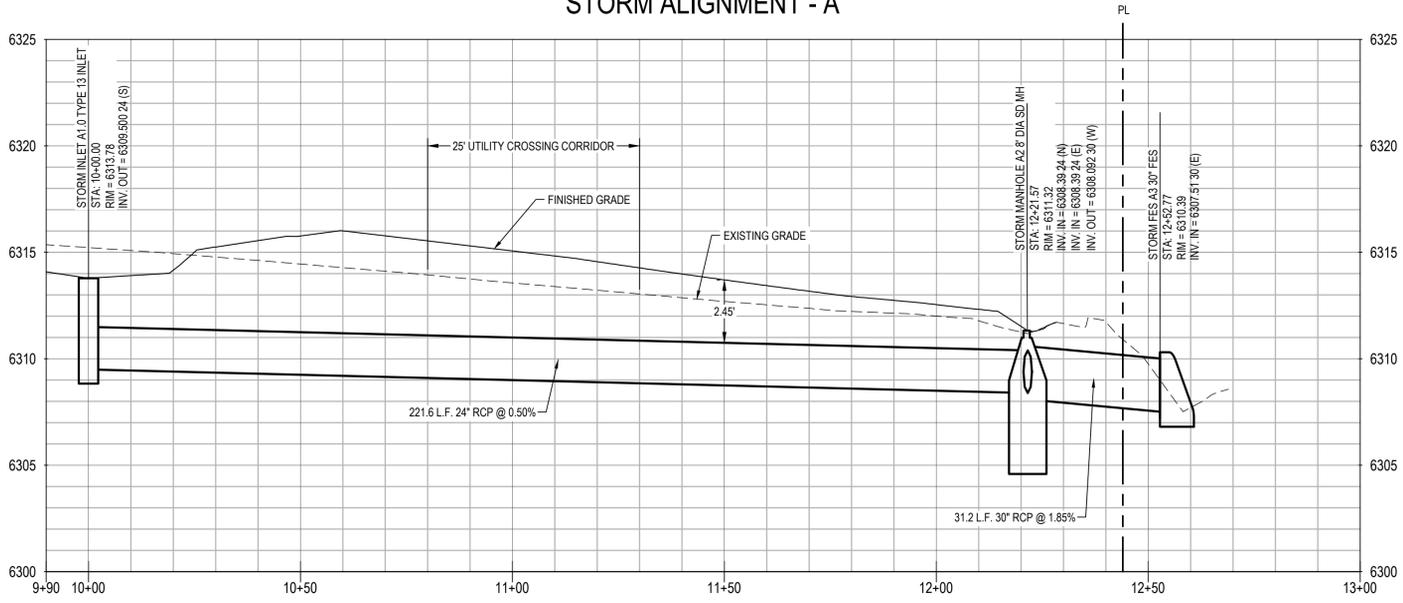
REVISION SCHEDULE		
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 SHEET NUMBER
 PS1.0

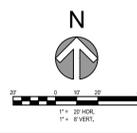
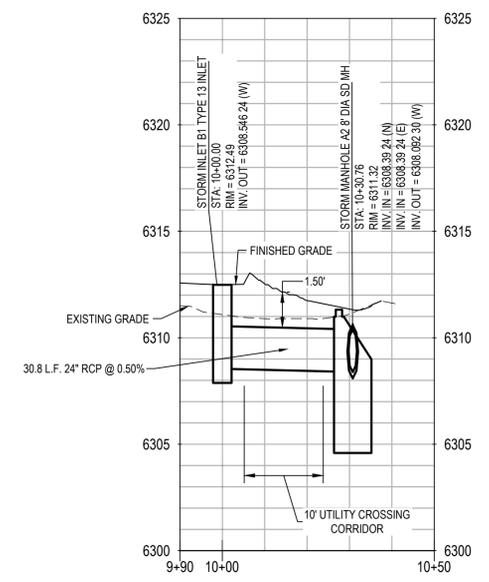


- NOTES:
1. VERIFY UTILITY CROSSING ELEVATIONS IN THE FIELD.
 - 1.1. ELECTRIC CROSSINGS TO BE VERIFIED
 - 1.2. FIBER CROSSINGS TO BE VERIFIED
 - 1.3. TELECOMMUNICATIONS CROSSINGS TO BE VERIFIED
 - 1.4. GAS CROSSINGS TO BE VERIFIED
 2. ADS STANDARD DETAILS ON PAGE SHEET C9.4
 3. SIDEWALK CHASE DETAILS ON SHEET C9.4
 4. TYPE 13 INLET DETAILS ON SHEET C9.4

STORM ALIGNMENT - A



STORM ALIGNMENT - B



PROFILE LEGEND

---	EXISTING GROUND AT PIPE CENTERLINE
---	PROPOSED GRADE AT PIPE CENTERLINE



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POWERS & PALMER PARK

SEC OF POWERS BLVD AND PALMER
PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934

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RELEASE: V.X.YY.MM

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SHEET
STORM P&P

SHEET NUMBER

PS1.1

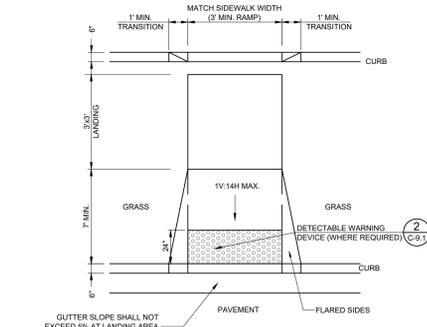
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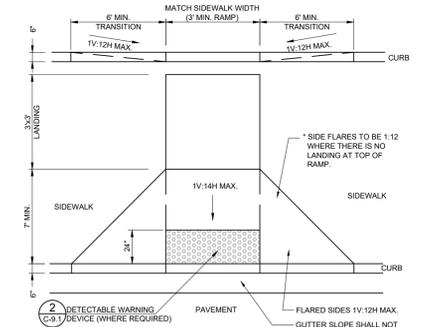


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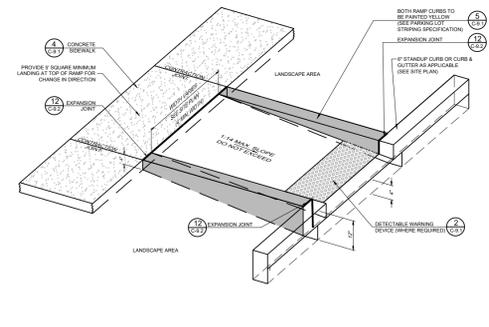
8 CURB RAMP w/ SHORT FLARED SIDES
 C-9.0 NOT TO SCALE



9 CURB RAMP w/ FLARED SIDES
 C-9.0 NOT TO SCALE



10 RETURNED CURB RAMP
 C-9.0 NOT TO SCALE

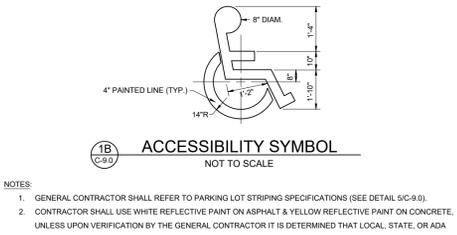


5 PARKING STALL LAYOUT AND STRIPING
 C-9.0 NOT TO SCALE



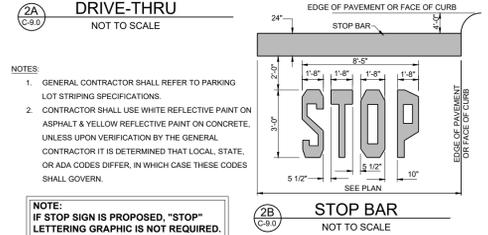
- NOTES:**
- ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1.5% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESSIBLE AISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
 - PARKING STALL DIMENSIONS SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
 - GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, THIS DETAIL.
 - CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
 - CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
 - ACCESSIBLE PARKING AND ACCESSIBLE AISLE STRIPING COLOR SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
 - NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
 - ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
 - ALL DIMENSIONS ARE TO CENTER OF STRIPE UNLESS OTHERWISE NOTED.
 - STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

1 PAVEMENT MARKINGS - 1
 C-9.0 NOT TO SCALE



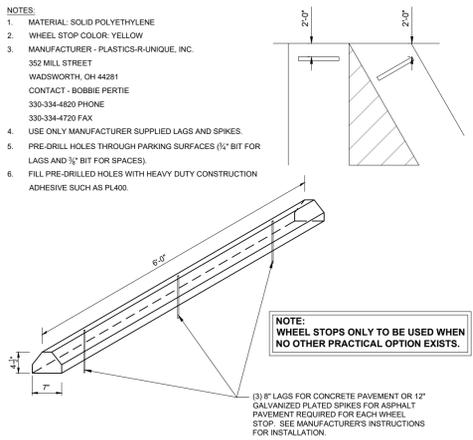
- NOTES:**
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5C-9.0).
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

2 PAVEMENT MARKINGS - 2
 C-9.0 NOT TO SCALE



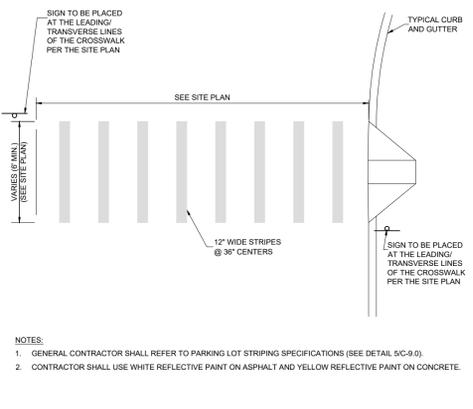
- NOTES:**
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

6 SOLID PLASTIC WHEEL STOP
 C-9.0 NOT TO SCALE



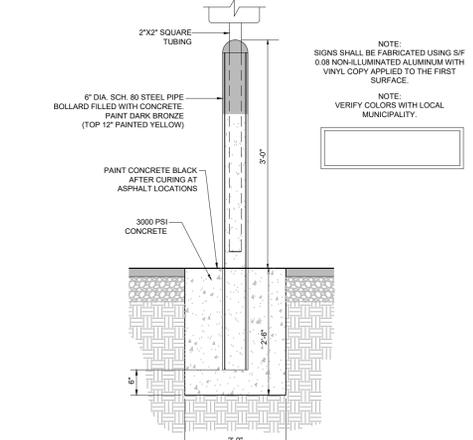
- NOTES:**
- MATERIAL: SOLID POLYETHYLENE
 - WHEEL STOP COLOR: YELLOW
 - MANUFACTURER - PLASTICS-R-UNIQUE, INC.
 352 MILL STREET
 WADSWORTH, OH 44281
 CONTACT - BOBBIE PERTIE
 330-334-4820 PHONE
 330-334-4720 FAX
 - USE ONLY MANUFACTURER SUPPLIED LAGS AND SPIKES.
 - PRE-DRILL HOLES THROUGH PARKING SURFACES (1/2" BIT FOR LAGS AND 3/8" BIT FOR SPACES).
 - FILL PRE-DRILLED HOLES WITH HEAVY DUTY CONSTRUCTION ADHESIVE SUCH AS PL400.

3 CROSSWALK MARKINGS
 C-9.0 NOT TO SCALE



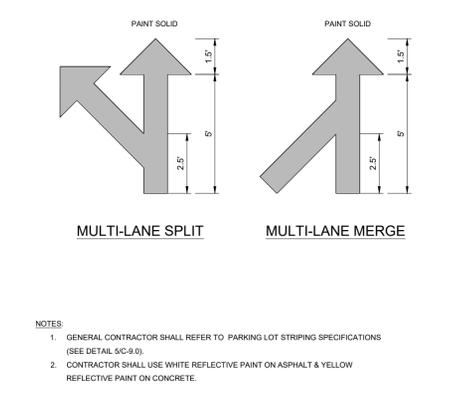
- NOTES:**
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5C-9.0).
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

7 BOLLARD MOUNTED SIGN
 C-9.0 NOT TO SCALE



- NOTES:**
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5C-9.0).
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

4 MULTI-LANE DIRECTIONAL GRAPHICS
 C-9.0 NOT TO SCALE



- NOTES:**
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5C-9.0).
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

CONSTRUCTION DOCUMENTS

CHICK-FIL-A
POWERS & PALMER PARK
 SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934

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 CFA STANDARD
 DETAILS
 SHEET NUMBER

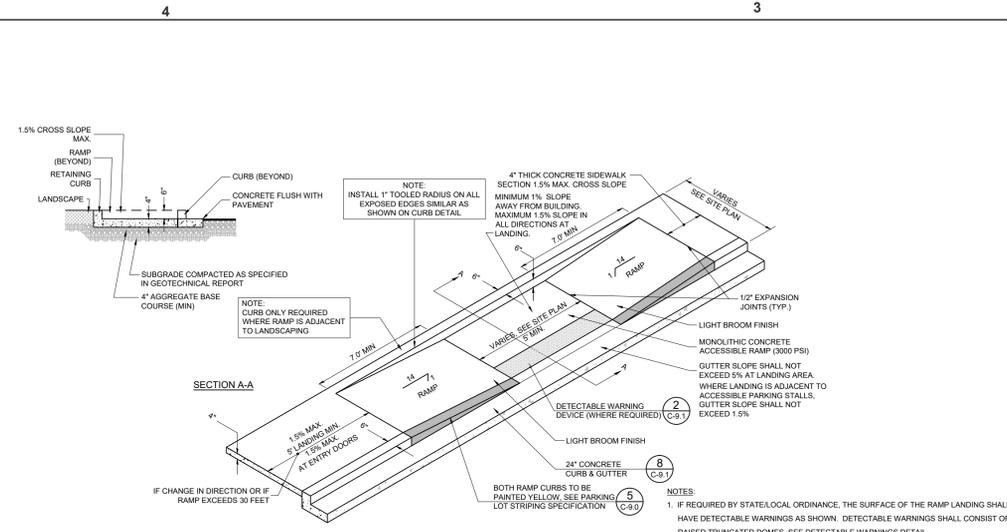
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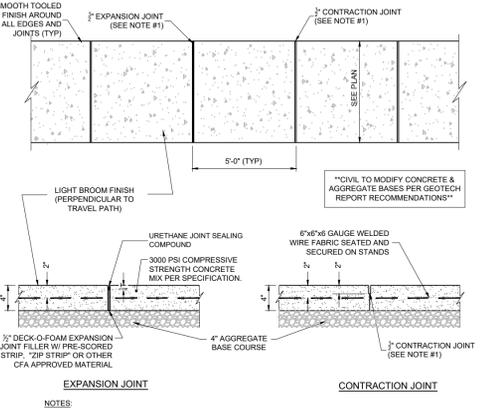
FOR AND ON-BEHALF OF
 MERRICK AND COMPANY



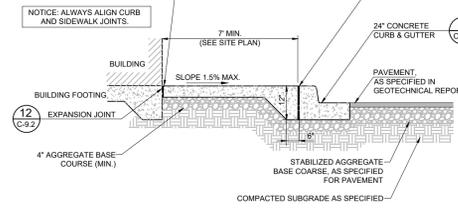
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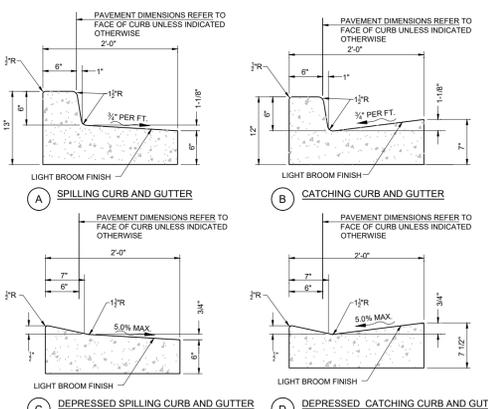
1 SIDEWALK ACCESSIBLE RAMP
 C-9.1 NOT TO SCALE



4 CONCRETE SIDEWALK
 C-9.1 NOT TO SCALE



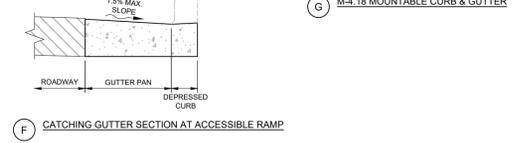
5 CONCRETE SIDEWALK w/ CURB & GUTTER
 NOT TO SCALE



8 CONCRETE CURB & GUTTER
 C-9.1 NOT TO SCALE

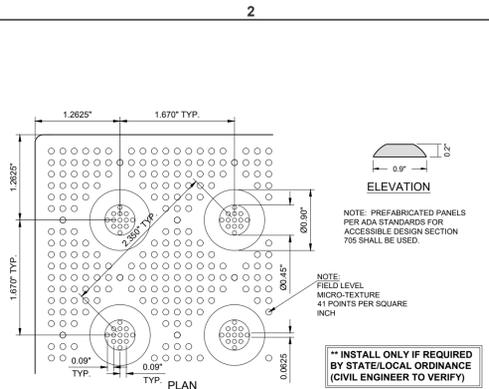


E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP



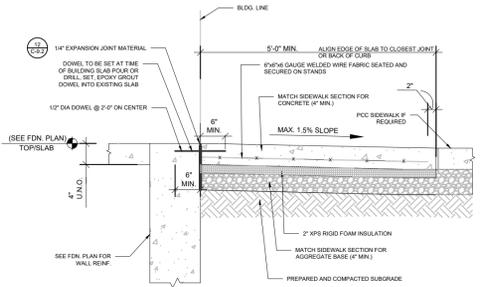
F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP

- NOTES:**
- CONCRETE FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
 - CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
 - AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.
 - CONTRACTION JOINTS @ 10'-0" O.C. TOOKED 1/2" (+/-) WIDE, 1" OR MAX. DIA DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS @ 40'-0" MAX. AT ENDS OF RADIUS, AND A MINIMUM OF 5 FEET FROM INLET STRUCTURES, UNLESS APPROVED OR INDICATED OTHERWISE ON PLANS.
 - GUTTER SLOPE AT ACCESSIBLE SPACES TO MATCH ADJACENT PAVEMENT, TRAVERSE & LONGITUDINAL.
 - CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
 - LIGHT BROOM FINISH, PERPENDICULAR TO CURB.

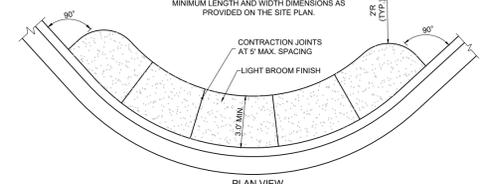


- NOTES:**
- AT ADA CURB RAMPS, THE DETECTABLE WARNING DEVICE SHALL BE LOCATED ON THE SURFACE AT THE BOTTOM OF THE GRADE BREAK OR AT THE LOWER LANDING. FOR LANDINGS AND BLEND TRANSITIONS, DETECTABLE WARNING DEVICES SHALL BE LOCATED ON THE LANDING OR BLEND TRANSITION AT THE BACK OF CURB.
 - DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING PRODUCTS CONFORMING TO PROMAG R305. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS. CONTRACTOR SHALL CONFIRM LOCAL CODES ARE MET.
 - WHERE A CURB RAMP IS CONSTRUCTED WITH AN EXISTING CURB, CURB & GUTTER AND/OR SIDEWALK, THE EXISTING CURB & GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB & GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
 - THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT, OR LIGHT-ON-DARK. STANDARD DOME COLOR IS BRICK RED.
 - TRUNCATED DOMES TO BE INSTALLED USING ARMOR TILE CAST IN PLACE DOME TACTILE TILE. PART NUMBER ADA-2424 OR OTHER EQUIVALENT APPROVED MATERIAL. (PREFERRED MANUFACTURER ARMOR TILE TACTILE SYSTEMS LANCE MITCHELL 019022-4615 UNLESS PAVERS ARE REQUIRED, CONTRACTOR TO VERIFY THAT CURB RAMPS MEET LOCAL CODES AND ADA REQUIREMENTS).

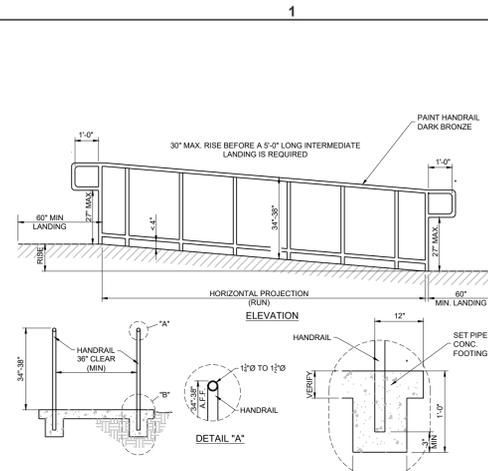
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 C-9.1 NOT TO SCALE



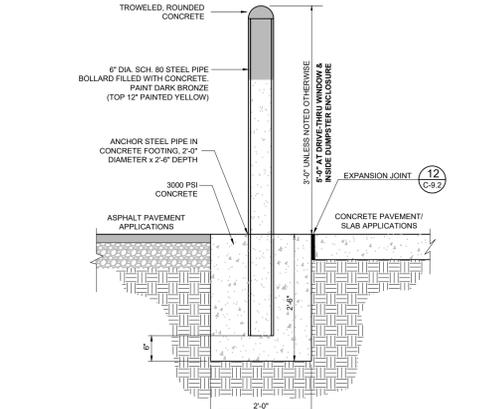
6 ENTRY DOOR FROST SLAB DETAIL
 C-9.1 NOT TO SCALE



9 LANDSCAPE & IRRIGATION PROTECTOR
 C-9.1 NOT TO SCALE



3 TYPICAL ADA RAMP & HANDRAIL
 C-9.1 NOT TO SCALE



7 CONCRETE BOLLARD
 C-9.1 NOT TO SCALE



Chick-fil-A

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SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
 RELEASE: vX.YY.MM

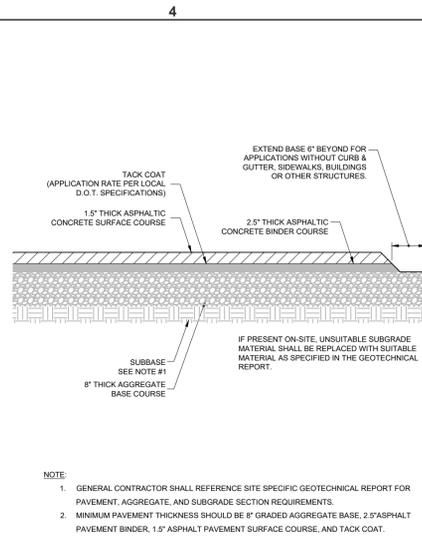
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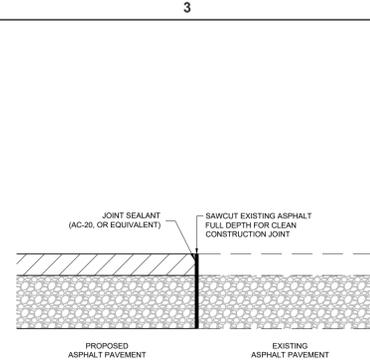
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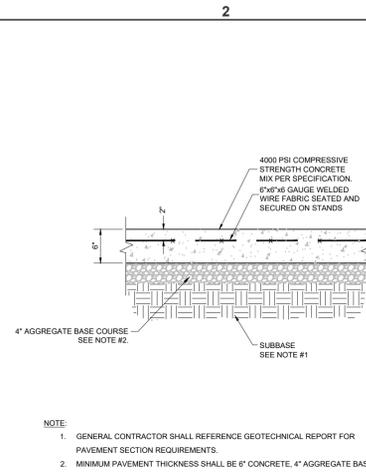
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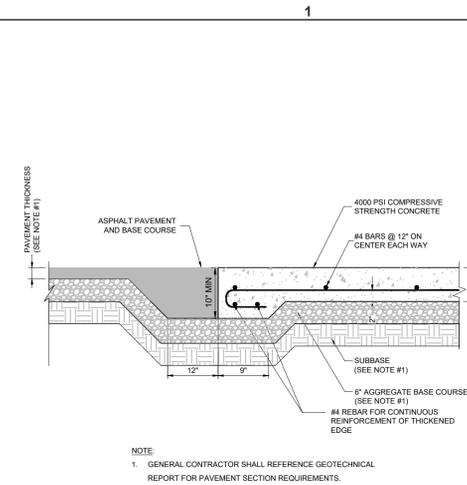
1 TYPICAL HMAC PAVEMENT SECTION
 C-9.2 NOT TO SCALE



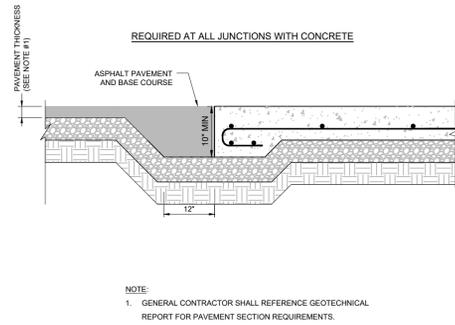
2 BUTT JOINT
 C-9.2 NOT TO SCALE



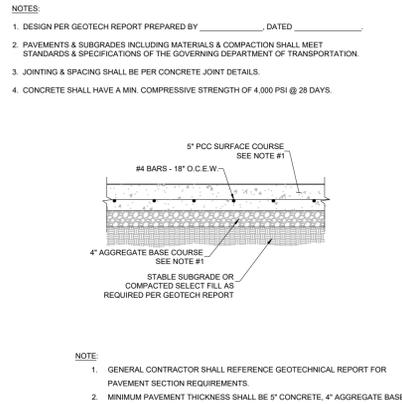
3 CONCRETE PAVEMENT DRIVE-THRU LANE
 C-9.2 NOT TO SCALE



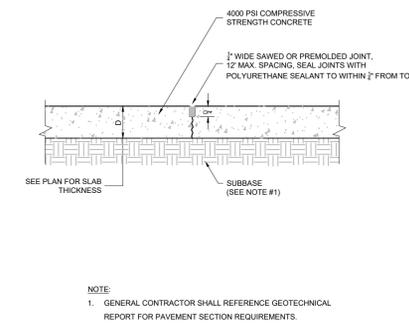
4 CONCRETE APRON AT TRASH ENCLOSURE
 C-9.2 NOT TO SCALE



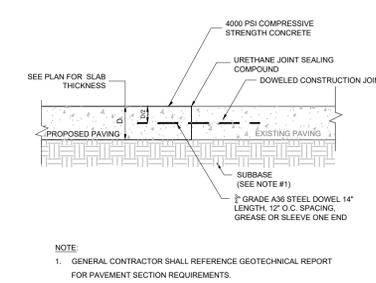
5 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES)
 C-9.2 NOT TO SCALE



6 CONCRETE PAVEMENT
 C-9.2 NOT TO SCALE

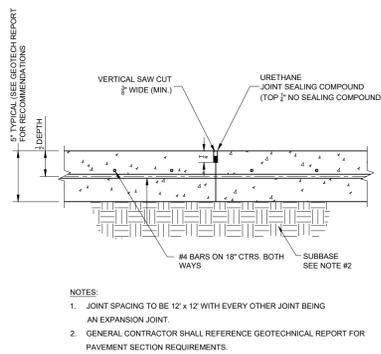


7 TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
 C-9.2 NOT TO SCALE

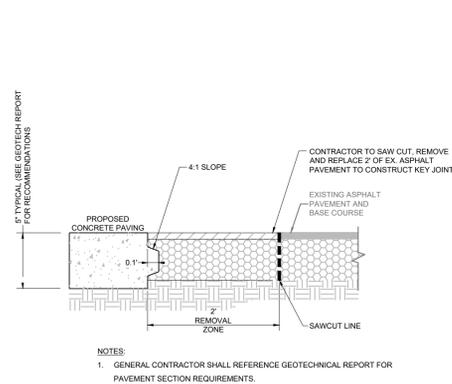


8 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
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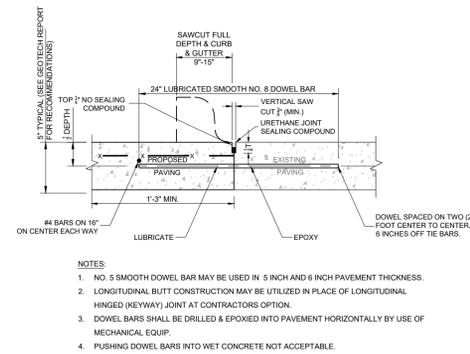
THESE DETAILS APPLY TO CONCRETE PAVED LOTS



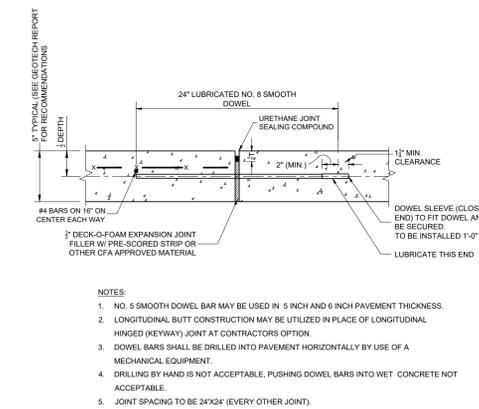
9 CONTRACTION JOINT
 C-9.2 NOT TO SCALE



10 KEYED CONSTRUCTION JOINT
 C-9.2 NOT TO SCALE



11 LONGITUDINAL BUTT JOINT
 C-9.2 NOT TO SCALE



12 EXPANSION JOINT
 C-9.2 NOT TO SCALE



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 5200 Buffington Road
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FOR AND ON-BEHALF OF
 MERRICK AND COMPANY

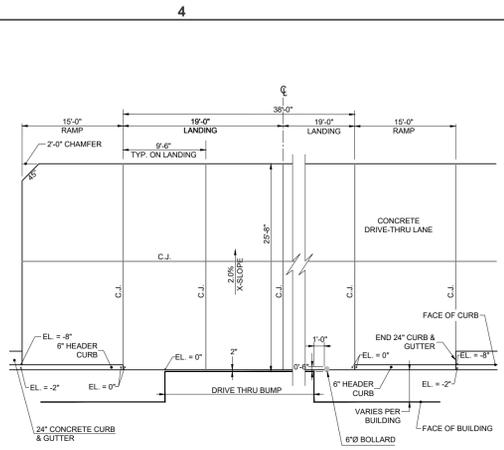
CONSTRUCTION DOCUMENTS
CHICK-FIL-A
POWERS & PALMER PARK
 SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934
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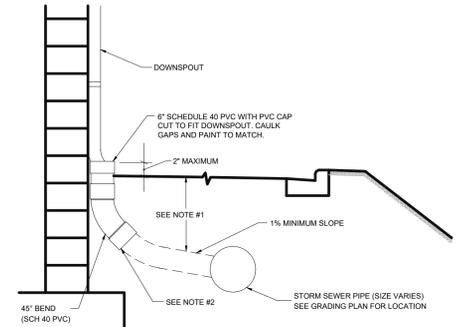
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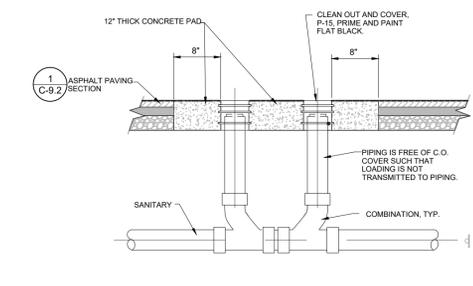
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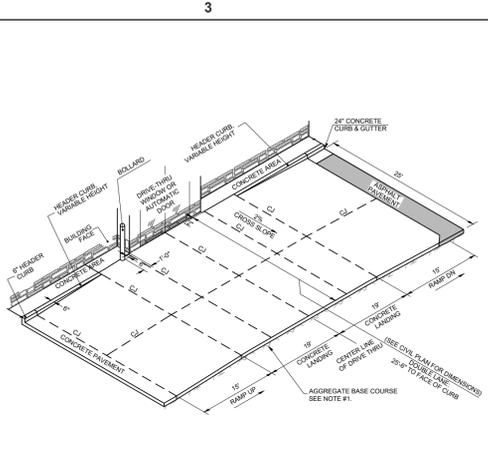
1 DRIVE-THRU PLAN - FLUSH WITH FFE
 C-9.3 NOT TO SCALE



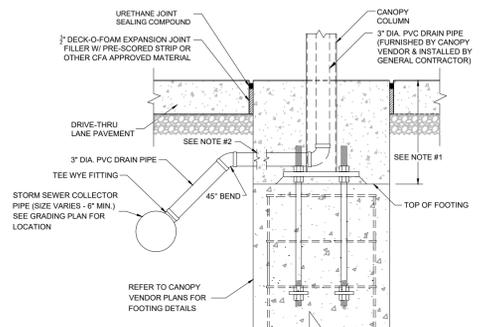
5 BUILDING DOWNSPOUT CONNECTION
 C-9.3 NOT TO SCALE



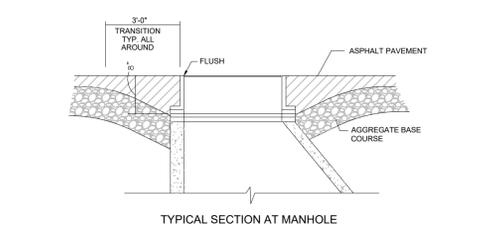
8 CLEAN-OUT (OUTSIDE OF BUILDING)
 C-9.3 NOT TO SCALE



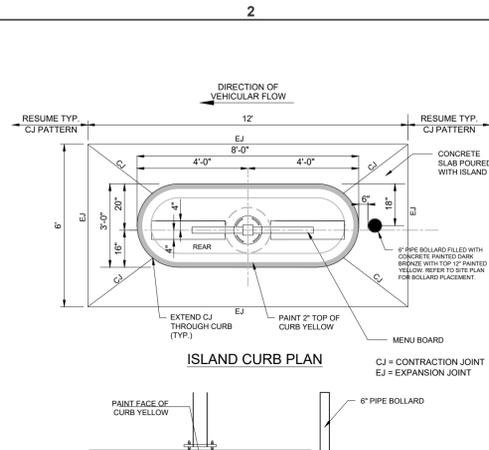
2 DRIVE-THRU ISOMETRIC
 C-9.3 NOT TO SCALE



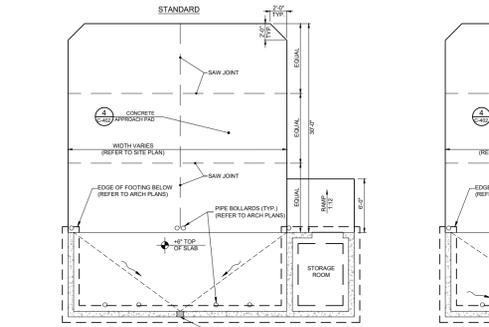
6 CANOPY DOWNSPOUT CONNECTION
 C-9.3 NOT TO SCALE



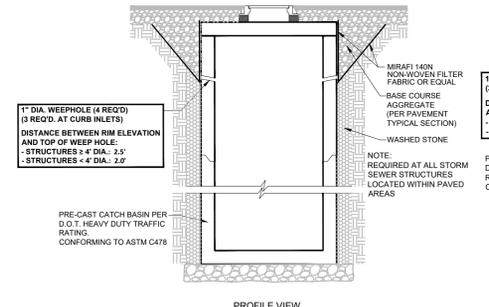
9 THICKENED PAVEMENT @ STRUCTURES
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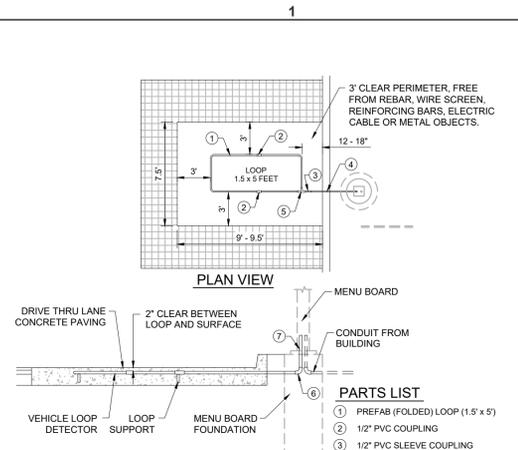
3 DRIVE-THRU ORDER POINT ISLAND
 C-9.3 NOT TO SCALE



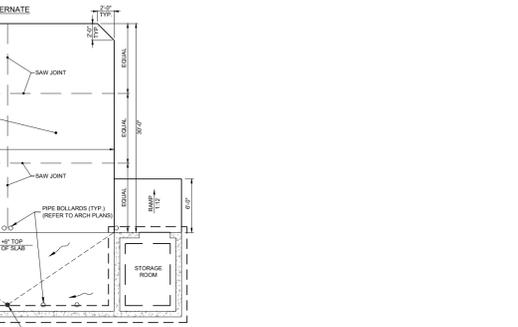
7 SCREENED REFUSE ENCLOSURE
 C-9.3 NOT TO SCALE



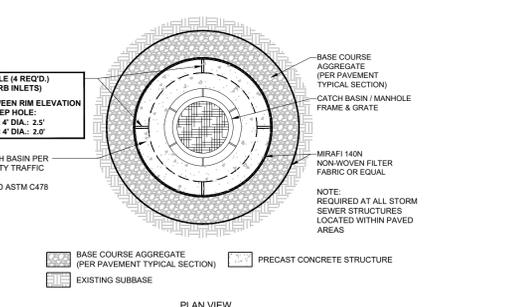
10 STORM STRUCTURE WEEP HOLE DETAILS
 C-9.3 NOT TO SCALE



4 MENU BOARD LOOP DETECTION SYSTEM
 C-9.3 NOT TO SCALE



3 DRIVE-THRU ORDER POINT ISLAND
 C-9.3 NOT TO SCALE



10 STORM STRUCTURE WEEP HOLE DETAILS
 C-9.3 NOT TO SCALE



FOR AND ON-BEHALF OF
 MERRICK AND COMPANY

CHICK-FIL-A
POWERS & PALMER PARK
 SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

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4 3 2 1

GENERAL NOTES:

- 1. CONSTRUCTION DETAILS TO BE ADDED IN FUTURE SUBMITTAL.



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 5200 Buffington Road
 Atlanta, Georgia 30349-2998



5970 GREENWOOD PLAZA BLVD
 GREENWOOD VILLAGE, CO 80111
 303-751-0741

FOR AND ON-BEHALF OF
 MERRICK AND COMPANY

CHICK-FIL-A
POWERS & PALMER PARK
 SEC OF POWERS BLVD AND PALMER
 PARK BLVD COLORADO SPRINGS, CO 80915

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CONSTRUCTION DOCUMENTS

A

C

B

E

E

D

C

B

A



Know what's below.
 Call before you dig.

4 3 2 1

GENERAL NOTES

1. THE CONTRACTOR SHALL FOLLOW ALL PLANS AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
2. ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATORS PRIOR TO START OF ANY REMOVALS OR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK.
5. DO NOT DISTURB EXISTING PAVING, LIGHTING, LANDSCAPE, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLANS.
6. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING SITE CONDITIONS.
7. THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUESTED AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR, HIS SUCCESSORS AND ASSIGNEES SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN.
9. SIGHT TRIANGLES SHALL REMAIN UNOBSTRUCTED BY PLANT MATERIAL, OR ANY OTHER VISUAL OBSTACLE, OVER 30" IN HEIGHT.
10. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR THE MAINTENANCE EQUIPMENT ENTRY.
11. ANY MAJOR CHANGES MADE TO THE SITE PLAN AS A RESULT OF FIELD CONDITIONS SHALL BE ON THE AS-BUILTS OF THE CONSTRUCTION DRAWING SET, AS BUILT CONSTRUCTION DRAWINGS FOR THE LANDSCAPE, HARDSCAPE, LIGHTING WILL BE SUBMITTED, BY CONTRACTOR, TO THE OWNER, AS REQUESTED.
12. THE CLEANING OF CONCRETE TRUCK DELIVERY CHUTES SHALL BE PERFORMED AT DESIGNATED LOCATION BY THE GENERAL CONTRACTOR OR OWNER. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE TO THE STORM SEWER SYSTEM IS PROHIBITED.
13. GENERAL CONTRACTOR OR OWNER WILL DESIGNATE STAGING AND STORAGE FOR CONTRACTOR.

GRADING AND EROSION CONTROL NOTES

GRADING NOTES:

1. GENERAL CONTRACTOR WILL CONTOUR SUBGRADE TO ±3" PRIOR TO START OF LANDSCAPE CONTRACTOR'S WORK.
2. CALL UTILITY LOCATORS PRIOR TO START OF ANY REMOVALS OR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR ANY UTILITIES OR EXISTING SITE FEATURES DAMAGED DUE TO CONSTRUCTION ACTIVITIES.
3. FINAL GRADES SHALL BE ESTABLISHED BY THE GENERAL CONTRACTOR. IF EXISTING CONDITIONS DIFFER, PLEASE NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK. CONTACT OWNER'S REPRESENTATIVE FOR APPROVAL AFTER ROUGH GRADES HAVE BEEN ESTABLISHED.
4. THE LANDSCAPE CONTRACTOR RESPONSIBLE FOR FINAL FINE GRADE FREE OF ROCK AND DEBRIS.
5. ALL AREAS SHALL BE FINISH GRADE TO ACHIEVE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS, WALLS AND WALKS.

EROSION CONTROL NOTES:

1. REFERENCE EROSION CONTROL PLANS FOR PROJECT STANDARDS AND GUIDELINES. THESE NOTES ARE FOR THE LANDSCAPE CONTRACTOR TO MEET THOSE STANDARDS DURING THEIR PHASE OF CONSTRUCTION.
2. THE CONTRACTOR IN COORDINATION WITH THE GENERAL CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE FLOW LINE AND THE PUBLIC RIGHTS-OF-WAY AS A RESULT OF THIS SITE DEVELOPMENT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
3. THE CONTRACTOR IN COORDINATION WITH THE GENERAL CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT.
4. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
5. WOOD STAKES MAY BE USED. CONTRACTOR MAY NOT USE REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE.

LANDSCAPE NOTES

LANDSCAPE

1. THE CONTRACTOR SHALL FOLLOW ALL PLANS AS CLOSELY AS POSSIBLE. ANY DISCREPANCY IN THE PLAN VS. THE FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
2. REFER TO QUANTITIES SHOWN GRAPHICALLY IF DISCREPANCIES EXIST BETWEEN WRITTEN AND GRAPHIC QUANTITIES.
3. ALL PLANT MATERIALS WILL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK, CURRENT EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
4. ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OF SPADED PLANTS WILL NOT BE ACCEPTED.
5. ALL PLANTS, PRODUCTS AND MATERIALS WILL BE INSPECTED AND APPROVED BY THE OWNERS REPRESENTATIVE IF REQUESTED BY OWNER. THIS WILL BE DETERMINED DURING THE BID PROCESS.
6. THE CONTRACTOR SHALL WARRANTY THE PLANT MATERIAL, WORKMANSHIP, AND THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR.

TURF AND NATIVE SEED AREAS

7. TURF GRASS TO BE RTF® WATER SAVER® SOD TALL FESCUE FROM GREEN VALLEY TURF COMPANY. ANY SUBSTITUTES OR CHANGES WILL REQUIRE WRITTEN REQUEST FOR APPROVAL FROM THE OWNERS REPRESENTATIVE.
8. BIOCOMP FROM A-1 ORGANICS (OR APPROVED EQUAL) TO ALL SOD AND PLANTING AREAS AT A RATE OF 4 CUBIC YARDS PER 1,000 S.F.
9. IF PROPOSED NATIVE SEED MIX AS SHOWN ON PLANS. ANY SUBSTITUTES OR CHANGES WILL REQUIRE WRITTEN REQUEST FOR APPROVAL FROM THE OWNERS REPRESENTATIVE.
10. BIOSOIL APPLIED TO ALL SEEDED AREAS AT A RATE OF 3 LBS PER 1,000 S.F.
11. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES ON SEEDED SLOPES EXCEEDING 3:1.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT OF NATIVE SEEDED AREAS (NATURALIZED AREAS). AFTER A PERIOD OF ONE YEAR, THERE SHOULD BE SIGNIFICANT COVERAGE OF THE SEEDED AREA WITH BARE SPOTS NOT EXCEEDING NINE SQUARE FEET IN SIZE. BARE SPOTS SHALL BE RE-SEEDED AND MULCHED TO IMPROVE THE GRASS STAND. THE AREA SHALL BE MAINTAINED AS WEED FREE THE ENTIRE TIME. MOWING, PULLING, AND CHEMICAL METHODS MAY BE USED TO CONTROL WEEDS AND PREVENT REDEVELOPMENT OF SEED HEADS ON THE WEED PLANT.

TREES

13. REFER TO THE PLANTING DETAILS AND PLANT SCHEDULE AS SHOWN ON THE PLAN FOR FURTHER INFORMATION.
14. REFER TO QUANTITIES SHOWN GRAPHICALLY IF DISCREPANCIES EXIST BETWEEN WRITTEN AND GRAPHIC QUANTITIES.
15. ALL TREES LOCATED IN THE UTILITY EASEMENT WILL BE REQUIRED TO BE HAND DUG PER THE TREE PLANTING DETAIL. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING EXISTING GAS LINE PRIOR TO INSTALLATION OF TREES AND FLAGGING THE GAS LINE LOCATION.
16. TREES IN COBBLE/ROCK MULCH AREAS TO RECEIVE 4' DIAMETER OF WOOD MULCH AS SHOWN IN PLANTING DETAILS.

PLANTING BED AREAS

17. REFER TO THE PLANTING DETAILS AND PLANT SCHEDULE AS SHOWN ON THE PLAN FOR FURTHER INFORMATION.
18. REFER TO QUANTITIES SHOWN GRAPHICALLY IF DISCREPANCIES EXIST BETWEEN WRITTEN AND GRAPHIC QUANTITIES.
19. BIOCOMP FROM A-1 ORGANICS (OR APPROVED EQUAL) TO ALL SOD AND PLANTING AREAS AT A RATE OF 4 CUBIC YARDS PER 1,000 S.F., A MINIMUM 8" TILLED.
20. WOVEN LANDSCAPE FABRIC INSTALLED UNDER ALL ROCK AREAS FOR WEED CONTROL. ROCK MULCH 4"-8" GLACIER WHITE COBBLE FROM PIONEER SAND OR APPROVED EQUAL. ANY SUBSTITUTES OR CHANGES WILL REQUIRE WRITTEN REQUEST FOR APPROVAL FROM THE OWNERS REPRESENTATIVE.
21. ALL ANNUAL AND PERENNIAL BEDS ARE TO BE MULCHED WITH 3" DEPTH CEDAR WOOD MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER BEDS. MULCH SAMPLE TO BE APPROVED BY OWNERS REPRESENTATIVE.
22. 4" SURE-LOC ALUMINUM LANDSCAPE EDGER (OR APPROVED EQUAL) TO BE USED BETWEEN ALL LANDSCAPE TRANSITION AREAS WITH A ROLLED TOP AND GREEN FINISH.
23. EDGER IS REQUIRED BETWEEN MULCHED AREAS AND ROCK AREAS WITHIN PLANTING BEDS.
24. ALL PLANTS WILL BE BALLED AND BURLAPPED OR CONTAINER GROWN. BARE ROOT OF SPADED PLANTS WILL NOT BE ACCEPTED.

IRRIGATION NOTES

1. ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POPUP SPRINKLER SYSTEM. ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL.
2. IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST 1 YEAR.
3. ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS.
4. DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.
5. IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN SENSOR. EFFICIENT IRRIGATION SYSTEMS INCLUDING RAIN AND WIND SENSORS, CONTROLLERS ACCESSING WEATHER STATIONS, OR OTHER ALTERNATIVE METHODS THAT ADJUST IRRIGATION BASED OFF OF WEATHER EVENTS WILL BE INSTALLED

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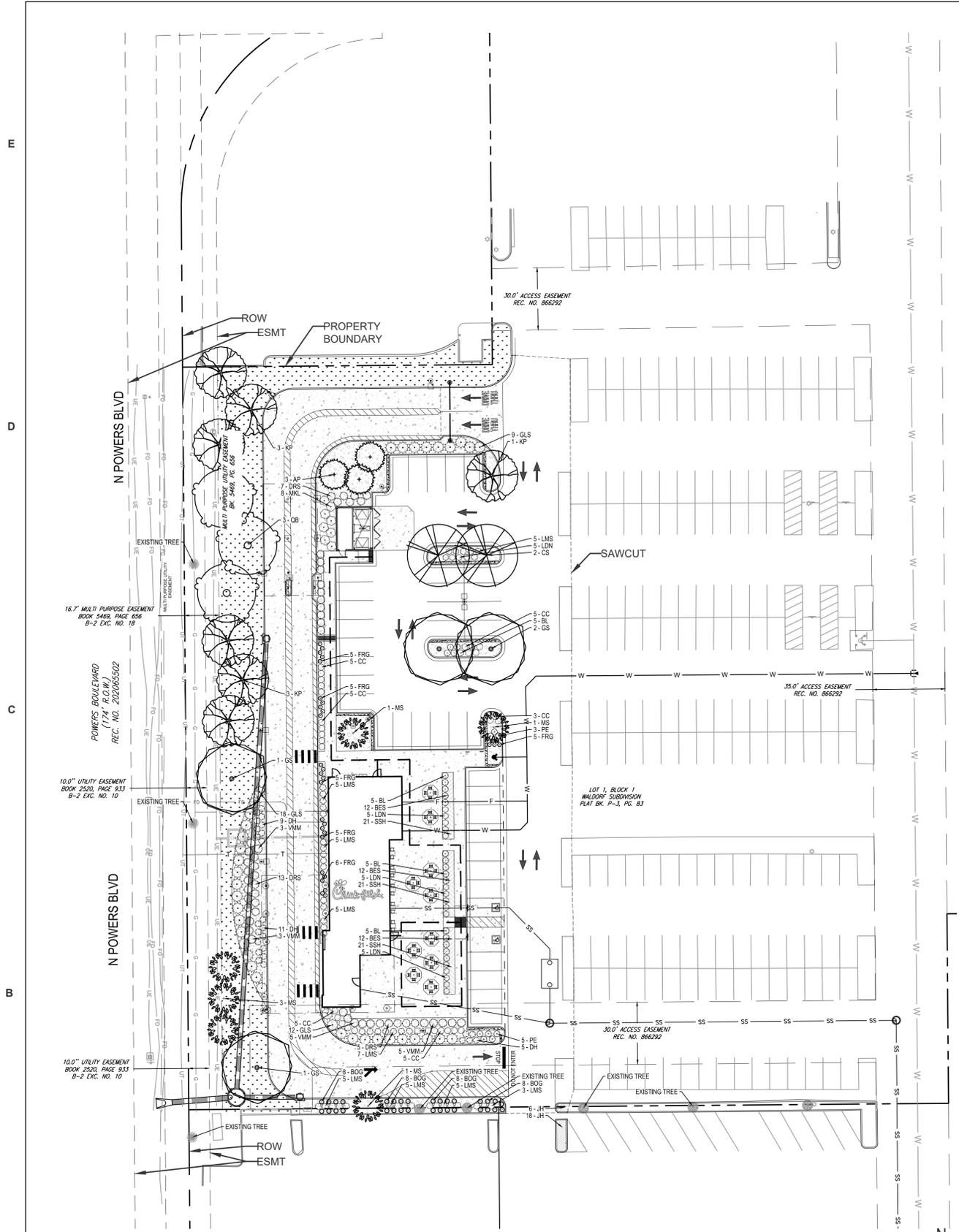
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LANDSCAPE COVER

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1 LANDSCAPE PLAN
SCALE: 1"= 30'



PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	SPACING
DECIDUOUS TREES						
	KP	7	GOLDEN RAIN TREE	KOELREUTERIA PANICULATA	1.5" CAL.	
	CS	2	NORTHERN CATALPA	CATALPA SPECIOSA	1.5" CAL.	
	GS	4	SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS 'INERMIS' SHADEMASTER'	1.5" CAL.	
	QB	3	SWAMP WHITE OAK	QUERCUS BICOLOR	1.5" CAL.	
EVERGREEN TREES						
	AP	3	AUSTRIAN PINE	PINUS NIGRA	6' HT.	
ORNAMENTAL TREES						
	MS	6	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	1.5" CAL.	
EVERGREEN SHRUBS						
	PE	8	PALOUSE MUGO PINE	PINUS MUGO 'PALOUSE'	5 GAL.	
ORNAMENTAL GRASSES						
	BOG	32	BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS	5 GAL.	
	FRG	31	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	5 GAL.	
DECIDUOUS SHRUBS						
	CC	28	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	
	DH	25	GOLD STAR BUSH CINQUEFOIL	DASIPHORA FRUTICOSA 'GOLD STAR'	5 GAL.	
	GLS	39	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL.	
	LMS	45	LIMEMOUND® SPIREA	SPIRAEA X BUMALDA 'LIMEMOUND'	5 GAL.	
	BL	20	LIMONCELLO™ BARBERRY	BERBERIS THUNBERGII 'BAILERIN'	5 GAL.	
	LDN	20	LITTLE DEVIL™ DWARF NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY'	5 GAL.	
	VMM	16	MINI MAN™ DWARF MANCHURIAN VIBURNUM	VIBURNUM BUREJAETICUM 'P017S'	5 GAL.	
	MKL	8	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	5 GAL.	
	DRS	35	RUSSIAN SAGE	PEROVSKIA ABROTANOIDES	5 GAL.	
GROUND COVERS						
	WM	176 SF		WOOD MULCH - WASHINGTON RED CEDAR	—	
	SM	8,662 SF		ARKANSAS VALLEY FOOTHILLS SEED MIX	—	
	BES	36	BLACK-EYED SUSAN	R. FULGIDA 'GOLDSTRUM'	1 GAL HT 30-36" SPD 18-24"	24" o.c.
	CR	180 SF	CRUSHER FINES		—	
	SSH	63	DWARF SHASTA DAISY	LEUCANTHEMUM COMPACT 'SNOW LADY'	1 GAL HT 18-30" SPD 12-20"	18" o.c.
	JH	24	HUGHES CREEPING JUNIPER	JUNIPERUS HORIZONTALIS 'HUGHES'	1 GAL.	24" o.c.
	RM	6,212 SF	ROCK MULCH - SEE LANDSCAPE NOTES SHEET		—	



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MERRICK AND COMPANY

CHICK-FIL-A
POWERS & PALMER PARK
SEC OF POWERS BLVD AND PALMER
PARK BLVD COLORADO SPRINGS, CO 80915

FSR#05934
BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #
PRINTED FOR
DATE 01/31/2024
DRAWN BY CSS
SHEET

LANDSCAPE PLAN
SHEET NUMBER

File Path: C:\DEN\Projects\100810.00 CFA Powers & Palmer\LANDSCAPE\1-LA-CAD\1-LA-SHEETS\CADLP 03 LANDSCAPE
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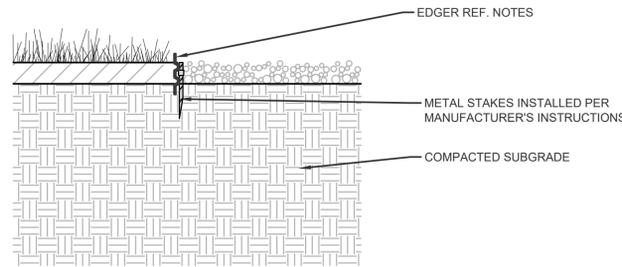


Know what's below.
 Call before you dig.

4 STEEL EDGER

1" = 1'-0"

MSD-P-06

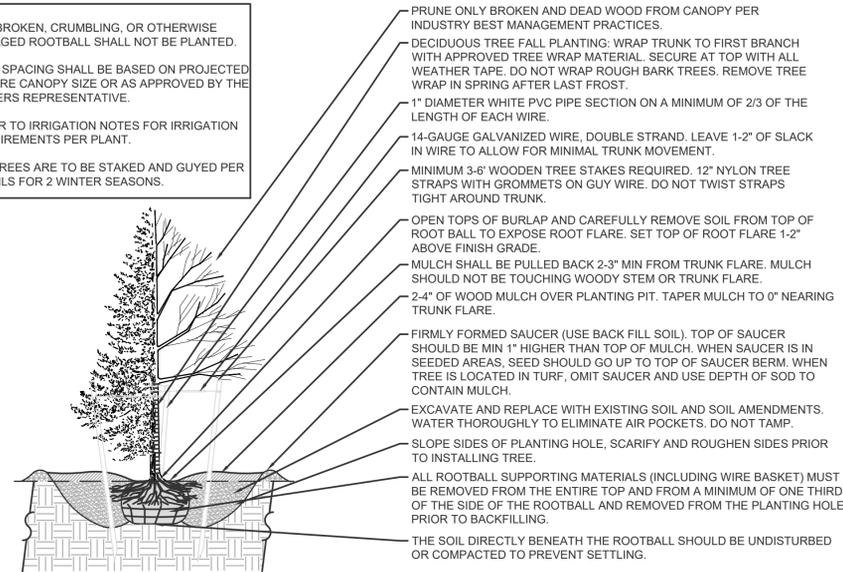


- NOTES:
1. SET ALL EDGING ABOVE FINISHED GRADE AS SHOWN.
 2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, & FLUSH WITH GRADES OF CONCRETE.
 3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. THERE SHALL BE NO EXPOSED SHARP/ JAGGED EDGES.
 5. FOR PRODUCT ORDERING, DIVIDE NUMBER OF FEET NEEDED BY 9.33 TO OBTAIN THE NUMBER OF 10' PIECES NEEDED.
 6. REF. PLANS FOR LOCATING EDGING
 7. 4" SURE-LOC ALUMINUM LANDSCAPE EDGER (OR APPROVED EQUAL) TO BE USED BETWEEN ALL LANDSCAPE TRANSITION AREAS WITH A ROLLED TOP AND GREEN FINISH.
 8. EDGER IS REQUIRED BETWEEN MULCHED AREAS AND ROCK AREAS WITHIN PLANTING BEDS.

1 TREE PLANTING DETAIL

SCALE: NTS

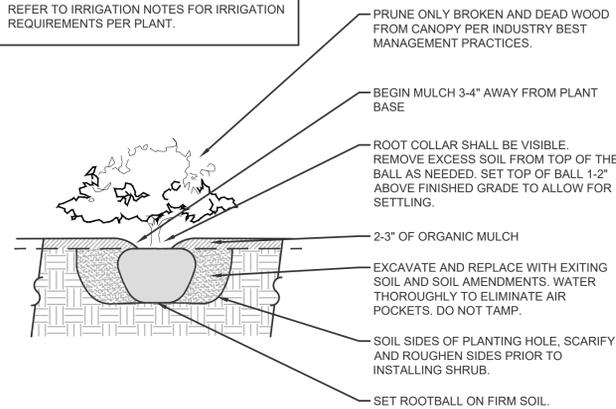
MSD-P-01



2 SHRUB PLANTING DETAIL

SCALE: NTS

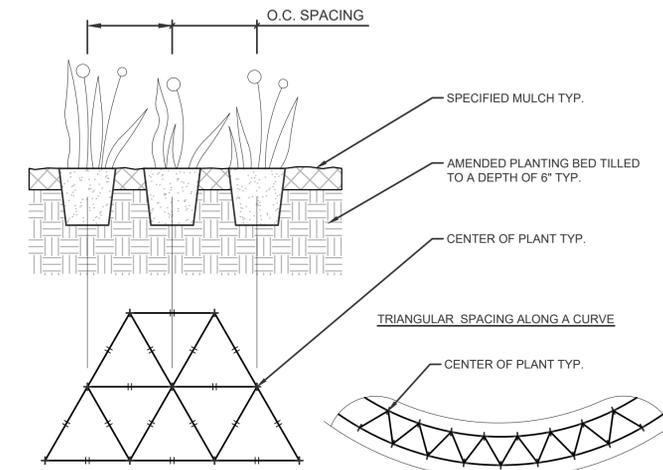
MSD-P-02



3 PERENNIAL & ORNAMENTAL GRASS TRIANGULATION

1" = 1'-0"

MSD-P-03



FOR AND ON BEHALF OF
 MERRICK AND COMPANY

CONSTRUCTION DOCUMENTS

CHICK-FIL-A
POWERS & PALMER PARK
 SEC OF POWERS BLVD AND PALMER
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LANDSCAPE DETAILS

SHEET NUMBER

15



Chick-fil-A

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