



Know what's below.
Call before you dig.

LEGEND:	
	PROPERTY LINE
	WATER METER
	IRRIGATION METER
	GREASE TRAP
	SINGLE CLEANOUT
	TWO-WAY CLEANOUT
	TRANSFORMER
	STORM INLET
	STORM MANHOLE
	LIGHT POLE
	PROPOSED TRAFFIC SIGN
	PAVEMENT STRIPING
	PARKING STALL COUNT
	FIRE LINE
	WATER LINE
	SANITARY SEWER
	GAS SERVICE
	ELECTRIC SERVICE
	TELEPHONE SERVICE
	STORM SEWER
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EX STORM MANHOLE
	EX SANITARY MANHOLE
	EX STORM INLET
	EX LIGHT POLE
	EX UNDERGROUND ELECTRIC
	EX GAS SERVICE
	EX WATER LINE
	EX STORM SEWER
	EX SANITARY SEWER
	EX TELEPHONE SERVICE
	EX GUARDRAIL
	EX FIRE HYDRANT
	EX TRAFFIC SIGN
	EX MAJOR CONTOUR
	EX MINOR CONTOUR
	EX TREE
	EX IRRIGATION VALVE
	EX WATER VALVE
	EX TELEPHONE BOX
	EX ELECTRIC BOX
	EX RECLAIMED WATER MAIN
	EX STORM SEWER
	PROPOSED SIDEWALK CHASE

BASIS OF BEARINGS:

BEARINGS ARE ASSUMED AND ARE BASED UPON THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 14 SOUTH, RANGE 65 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO AS BEARING S00°28'23"E A DISTANCE OF 2639.11 FEET BETWEEN THE MONUMENTS SHOWN HEREON.

BENCHMARK:

COLORADO SPRINGS MONUMENT PW 13, FOUND 2" FIMS CAP, STAMPED "PW 12" FLUSH WITH CONCRETE SURFACE, SOUTH OF THE INTERSECTION OF VICTOR PLACE AND NORTH POWERS BOULEVARD, ELEV. = 6350.64 NAVD 88

ABBREVIATION LEGEND

TW	GRADE AT TOP OF WALL
BG	GRADE AT BOTTOM OF WALL
PC	POINT OF CURVE
PT	POINT OF TANGENT
Δ	DELTA, HORIZONTAL CURVE DIRECTION CHANGE
C&G	CURB AND GUTTER
CL	CENTERLINE
FL	FLOWLINE
DBL	DOUBLE
C.O.	CLEAN OUT
K	RATE OF CURVATURE
AD	ABSOLUTE GRADE DIFFERENCE IN %
VC	VERTICAL CURVE
PVC	POINT OF VERTICAL CURVE
PVT	POINT OF VERTICAL TANGENT
PVI	POINT OF VERTICAL INTERSECTION
PI	POINT OF TANGENT INTERSECTION
ROW	RIGHT OF WAY
PVMT	PAVEMENT
HP	HIGH POINT
LP	LOW POINT
PCR	POINT OF CURB RETURN
PCC	POINT OF COMPOUND CURVE
PRC	POINT OF REVERSE CURVE
EX. EX.	EXISTING
PR. PR.	PROPOSED
ME	MATCH EXISTING
TC	BACK TOP OF CURB
FG	FINISHED GRADE
STA	STATION
EL. ELEV	ELEVATION
FF	FINISHED FLOOR
TC	TOP OF CONCRETE
B/P	BOTTOM OF PIPE
T/P	TOP OF PIPE
Ø	DIAMETER
UE	UTILITY EASEMENT
ESMT	EASEMENT
HCL	HORIZONTAL CONTROL LINE
N	NORTH/NORTHING
E	EAST/EASTING
W	WEST
S	SOUTH
R	RADIUS
LC	LENGTH OF CORD
LF	LENGTH FOOT
L	LENGTH
CB	CHORD BEARING

CONSTRUCTION DOCUMENTS CHICK-FIL-A POWERS & PALMER

PORTION OF LOT 1, BLOCK 1, WALDORF SUBDIVISION
LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6
TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6th P.M.
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
(1"= 500')

OWNER
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
(404) 765-8000
CONTACT: MR. STEVE SCHWARTZ

CIVIL ENGINEER
MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
(303) 353-3359
CONTACT: MR. JONATHAN T. KILLINGSWORTH, PE

SITE ARCHITECT
CHANGEUP
150 PAULARINO AVE, BUILDING D, SUITE 270
COSTA MESA, CA 92626
(844) 804-7700
CONTACT: MR. SERGIO RAMOS

SURVEYOR
MERRICK & COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO 80111
(303) 353-3612
CONTACT: MRS. ERIKA ZIMMERMAN

FIRE DEPARTMENT
CIMARRON HILLS FIRE DEPARTMENT
1835 TUSKEGEE PL
COLORADO SPRINGS, CO 80915
(719) 591-0960

WATER & SANITARY SEWER
CHEROKEE METRO DISTRICT
6250 PALMER PARK BOULEVARD
COLORADO SPRINGS, CO 80915
(719) 668-7467

STORM DRAINAGE
EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS
3275 AKERS DRIVE
COLORADO SPRINGS, CO 80922
(719) 520-6460

TELEPHONE COMPANY
LUMEN
10235 SOUTH 51ST STREET
PHOENIX, AZ 85044
(719) 955-2230

GAS COMPANY
COLORADO SPRINGS UTILITIES - GAS
2880 INTERNATIONAL CIR. SUITE 210
COLORADO SPRINGS, CO 80947
(719) 668-7865

ELECTRIC COMPANY
COLORADO SPRINGS UTILITIES - ELECTRIC
2880 INTERNATIONAL CIR. SUITE 210
COLORADO SPRINGS, CO 80947
(719) 668-3242

Sheet List Table		
Sheet Number	Sheet Description	Sheet Title
1	C0.0	COVER SHEET
2	C0.1	GENERAL NOTES
3	C1.0	DEMO PLAN
4	C2.0	SITE PLAN
5	C3.0	GRADING PLAN
6	PS1.0	UTILITY PLAN
7	C9.0	CFA STANDARD DETAILS
8	C9.1	CFA STANDARD DETAILS
9	C9.2	CFA STANDARD DETAILS
10	C9.3	CFA STANDARD DETAILS

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

[NAME, P.E. # _____] DATE _____

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

[NAME, TITLE]
[BUSINESS NAME]
[ADDRESS]

DATE _____

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



FOR AND ON BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
POWERS & PALMER PARK

5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: VX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # _____

PRINTED FOR _____

DATE 01/31/2024

DRAWN BY _____ CSS

SHEET _____

COVER SHEET

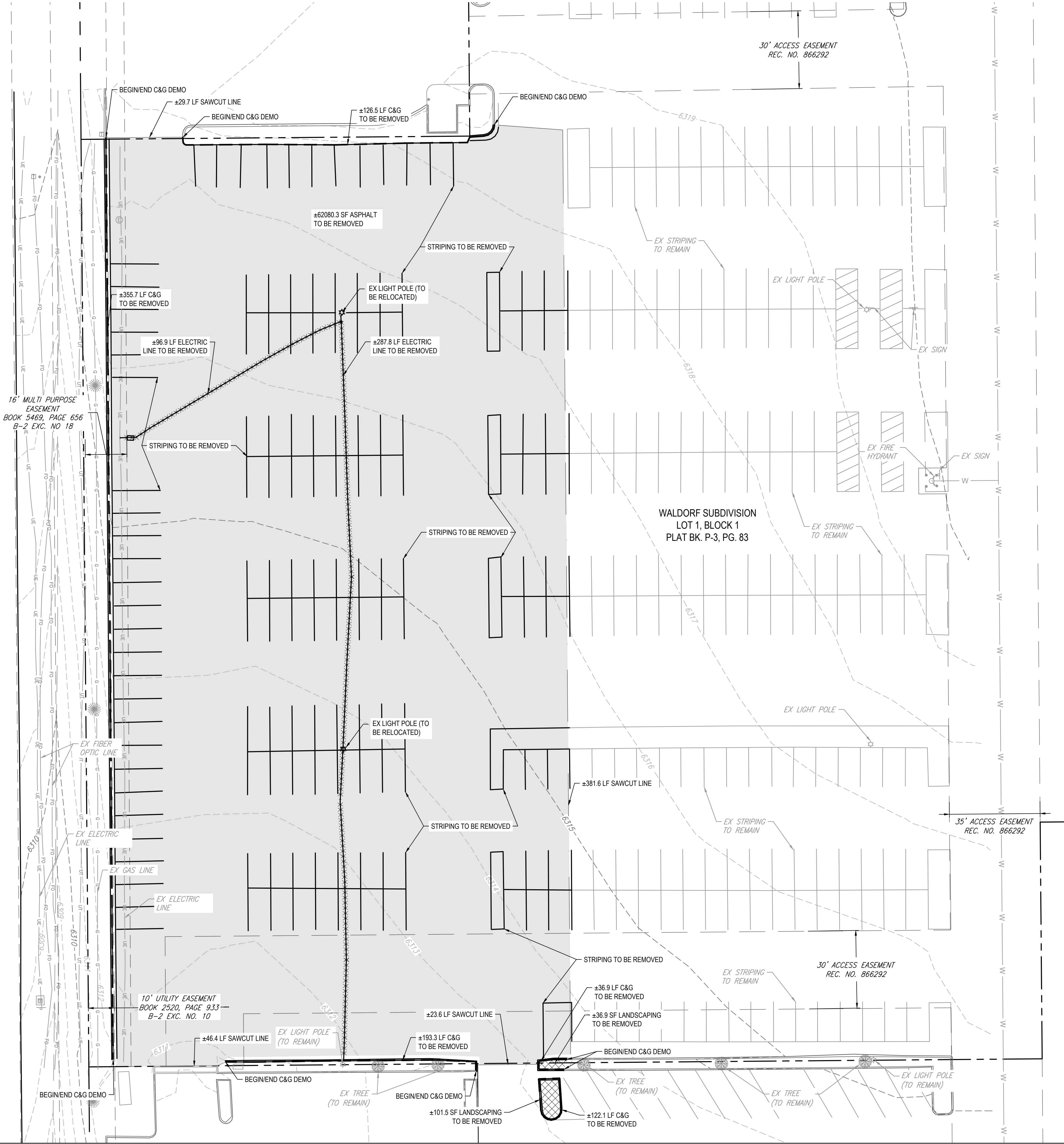
SHEET NUMBER _____

C0.0

File Path: Q:\DEN\Projects\100810.00 CFA Powers & Palmer\CADDs\100810 - C1.0 - CD - DEMO PLAN.dwg Last Saved
By: KAT ADAMS
10/22/2025 10:45 AM
00-LS-0000-A101-SHEET NAME



POWERS BOULEVARD
(174' R.O.W.)
REC. NO. 202065502



- NOTES:**
- CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
 - CONTRACTOR TO PROTECT IN PLACE ALL FEATURES TO REMAIN.
 - CONTRACTOR TO INSTALL ALL STORM CONTROL MEASURES PRIOR TO COMMENCING DEMOLITION.
 - CONTRACTOR SHALL RELOCATE AND/OR ADJUST ELEVATIONS OF EXISTING UTILITIES AS NECESSARY TO ENSURE COMPLETION OF PROPOSED IMPROVEMENT AND NOT INTERFERE WITH OTHER UTILITIES, ROADWAY OR PEDESTRIAN FACILITIES. UTILITY ON GRADE MUST BE LOCATED WITHIN LANDSCAPE AREAS. CONTRACTOR TO COORDINATE WITH EACH UTILITY PURVEYOR TO CONFIRM CONTRACTOR/PURVEYOR RESPONSIBILITIES OF RELOCATION OF EXISTING UTILITIES.

LEGEND:

---	PROPERTY LINE
XXXXXXXXXXXX	EX UTILITY TO BE REMOVED
---	EX CURB TO BE REMOVED
---	SAWCUT LINE
[Solid Grey Box]	EX ASPHALT TO BE REMOVED
[Cross-hatched Box]	EX LANDSCAPE AREA TO BE REMOVED

ITEM TO BE REMOVED	QUANTITY	
ASPHALT	62,080	SF
CURB & GUTTER	835	LF
SAWCUT	481	LF
LANDSCAPING	138	SF
ELECTRIC LINE	385	LF
LIGHT POLE	2	EACH

N

20' 0 10' 20' 40'

1" = 20' HOR.

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

FOR AND ON BEHALF OF
MERRICK AND COMPANY

CONSTRUCTION DOCUMENTS

CHICK-FIL-A
POWERS & PALMER PARK
5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # _____
PRINTED FOR _____
DATE _____ 01/31/2024
DRAWN BY _____ CSS
SHEET _____
DEMO PLAN
SHEET NUMBER _____
C1.0

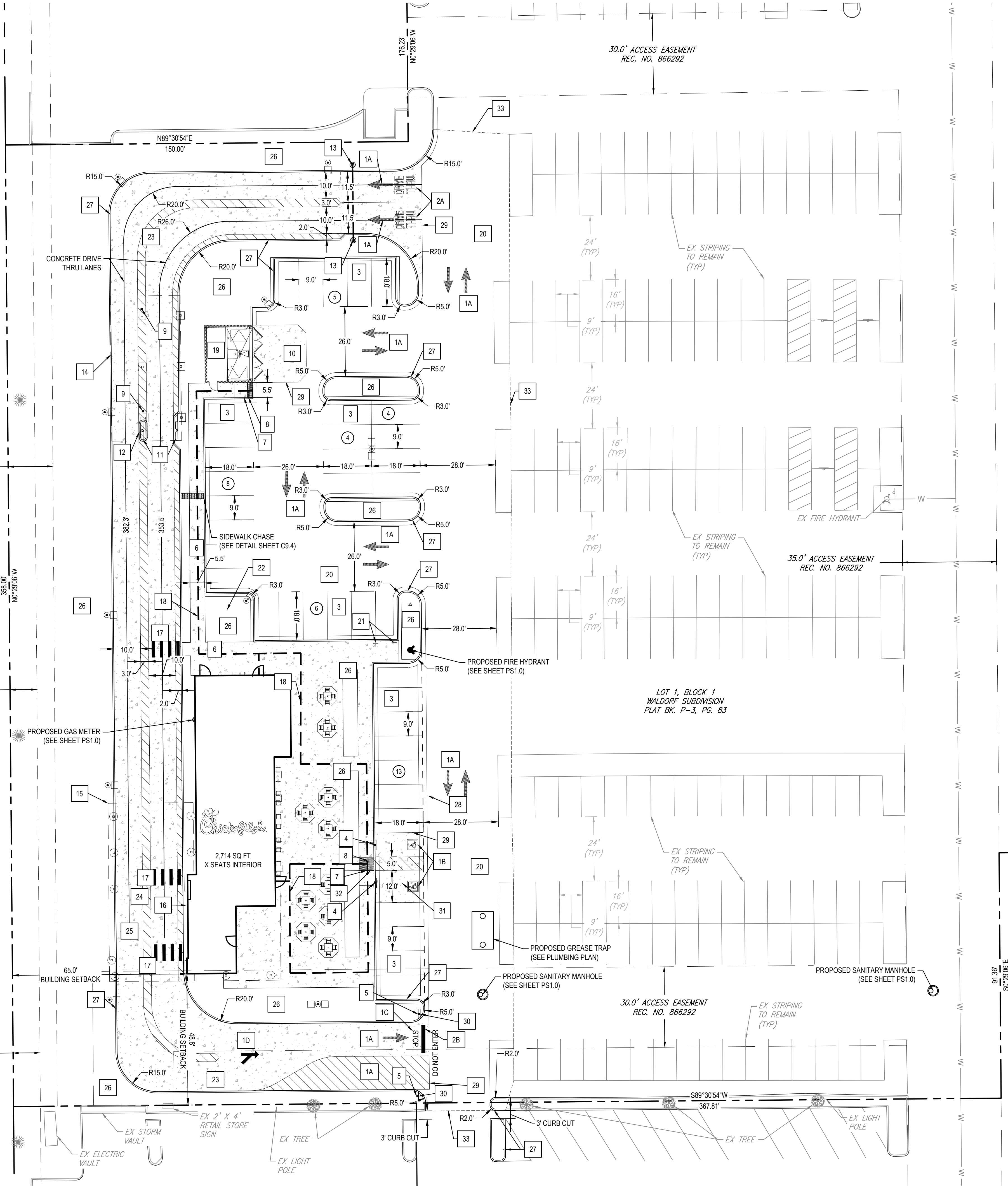


10.0" UTILITY EASEMENT
BOOK 2520, PAGE 9.33
B-2 EXC. NO. 10

10.0" UTILITY EASEMENT
BOOK 2520, PAGE 9.33
B-2 EXC. NO. 10

POWERS BOULEVARD
(174' R.O.W.)
REC. NO. 202065502

16.7' MULTI PURPOSE EASEMENT
BOOK 5469, PAGE 656
B-2 EXC. NO. 18



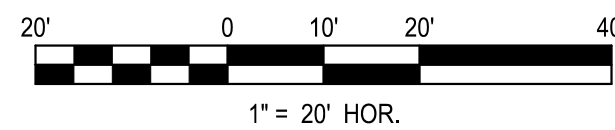
NOTES:

- ALL DIMENSIONS ARE FROM FLOWLINE UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURE PLANS FOR CANOPY INFORMATION.
- REFER TO SIGNAGE PACKAGE FOR ALL SITE AND CHICK-FIL-A SIGN DETAILS.
- ALL CURB ALONG CONCRETE DRIVE THRU TO BE MONOLITHICALLY POURED WITH DRIVE THROUGH.
- STRIPING ON ASPHALT TO BE WHITE PAINT AND STRIPING ON CONCRETE TO BE YELLOW PAINT.

SITE PLAN DESIGN NOTES & KEY PLAN

- PAVEMENT MARKINGS - 1
 - DIRECTIONAL ARROW
 - ACCESSIBILITY SYMBOL
 - STOP
 - MULTILANE DIRECTIONAL ARROW
- PAVEMENT MARKINGS - 2
 - DRIVE-THRU
 - STOP BAR
- 90 DEGREE PARKING STRIPING
- ACCESSIBLE PARKING SIGN
- STOP SIGN
- CONCRETE SIDEWALK
- SIDEWALK ACCESSIBLE RAMP
- DETECTABLE WARNING DEVICE
- CONCRETE BOLLARD
- CONCRETE APRON @ TRASH ENCLOSURE
- MENU BOARD LOOP DETECTION SYSTEM
- DRIVE-THRU ORDER POINT ISLAND
- DRIVE-THRU CLEARANCE BAR
- ORDER POINT CANOPY
- MEAL DELIVERY CANOPY
- TORMAX DOOR
- CROSSWALK MARKINGS
- ACCESSIBLE ACCESS PATH
- SCREENED REFUSE ENCLOSURE (SEE ARCH PLANS)
- TYPICAL HMAC PAVEMENT SECTION
- BIKE RACKS
- FLAG POLE
- CONCRETE PAVEMENT DRIVE-THRU LANE
- DRIVE-THRU PLAN - FLUSH WITH FFE
- DRIVE-THRU ISOMETRIC
- LANDSCAPED AREA
- CONCRETE CURB & GUTTER
- CONCRETE CROSS PAN
- PAVEMENT EDGE DETAIL
- DO NOT ENTER SIGN
- CONCRETE PAVEMENT
- CURB RAMP w/ FLARED SIDES
- SAWCUT LINE
- X PARKING STALL COUNT

PROJECT DATA TABLE		
ITEM	REQUIRED	PROPOSED
ZONING		
PROPERTY AREA	CC	CC
GROSS SF		91,912
GROSS AC		2.11
BUILDING SQ FT		5,663
PATIO SQ FT		558
BUILDING + PATIO SQ FT		6,221
PARKING		
CALCULATION	6,221 S.F. / 150 S.F. PER STALL	
STANDARD STALLS	40	72
ACCESSIBLE STALLS	2	4
TOTAL	42	76
BICYCLE	3	4
BUILDING SET BACK (FT)		
NORTH	0	0
SOUTH	0	0
EAST	0	0
WEST	25	25
LANDSCAPE SET BACK (FT)		
NORTH	0	0
SOUTH	0	0
EAST	0	0
WEST	25	25



CONSTRUCTION DOCUMENTS



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



FOR AND ON BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
POWERS & PALMER PARK

5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: VX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #

PRINTED FOR

DATE 01/31/2024

DRAWN BY CSS

SHEET

SITE PLAN

SHEET NUMBER

C2.0

E
D
C
B
A

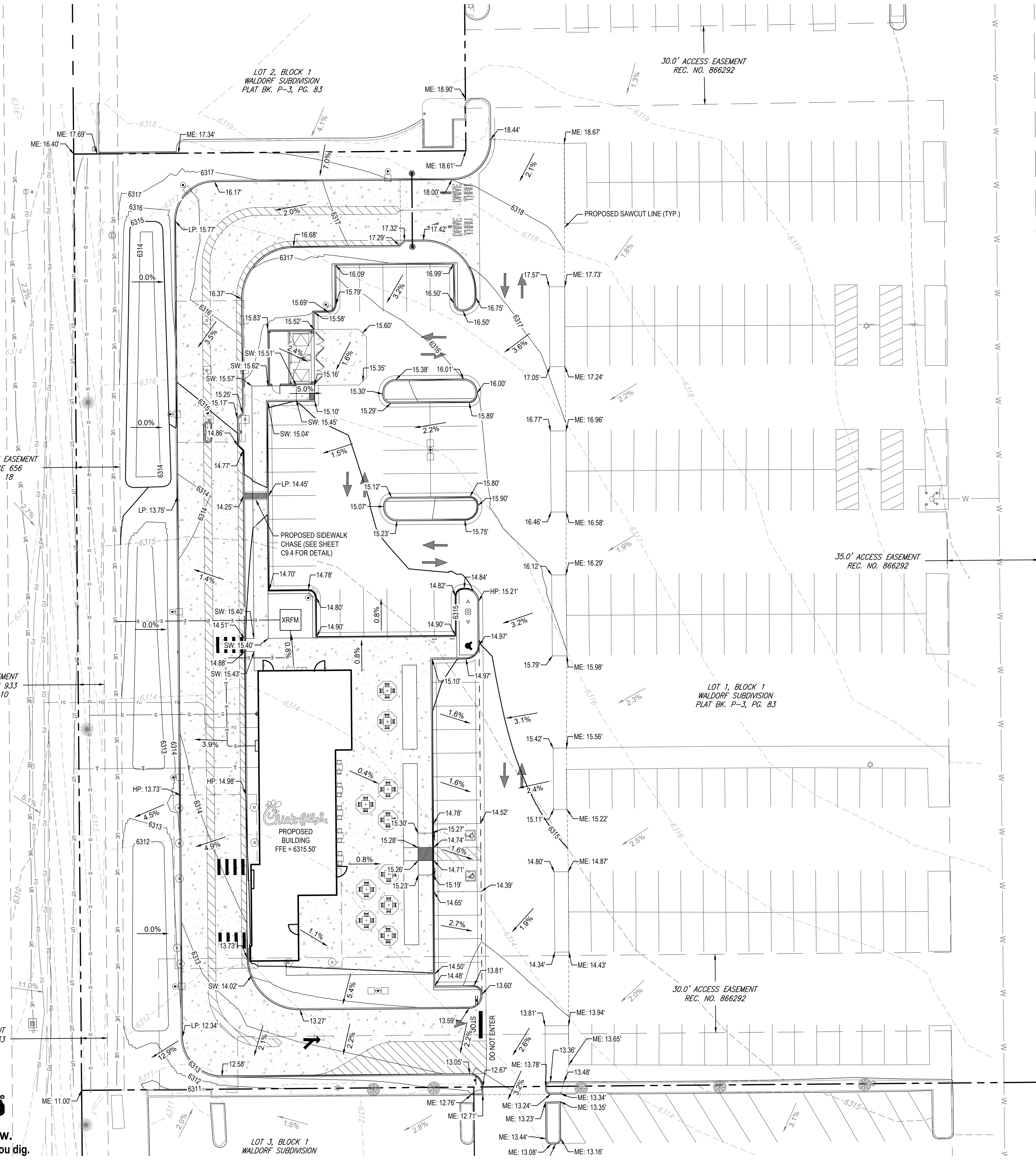
10.0' UTILITY EASEMENT
BOOK 2520, PAGE 933
B-2 EXC. NO. 10



16.7' MULTI PURPOSE EASEMENT
BOOK 5469, PAGE 656
B-2 EXC. NO. 18

POWERS BOULEVARD
(174' R.O.W.)
REC. NO. 202065502

10.0" UTILITY EASEMENT
BOOK 2520, PAGE 933
B-2 EXC. NO. 10



NOTES

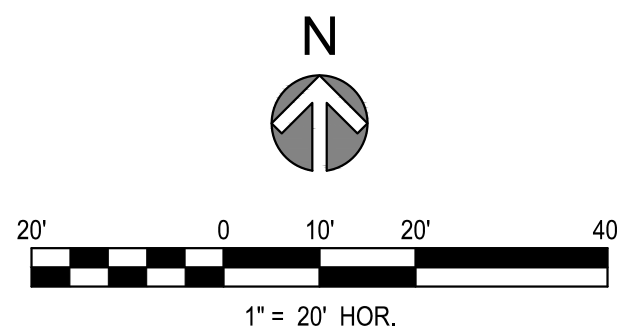
- 1) ALL ELEVATIONS TO FLOW LINE UNLESS OTHERWISE NOTED.
- 2) ALL ELEVATIONS 63XX.XX"
- 3) THE CONTRACTOR SHALL OBTAIN THE PROPER ROW CONSTRUCTION PERMITS FROM THE CITY OF COLORADO SPRINGS DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES WITH THE PUBLIC RIGHT-OF-WAY.
- 4) NOTICE TO CONTRACTOR: IF MORE THAN THREE (3) STREET CUTS OCCUR WITH 250 LINEAR FEET ADDITIONAL MILLING/OVERLAY REQUIREMENTS WILL APPLY. REFER TO THE TERMS OF THE CITY OF COLORADO SPRINGS ROW CONSTRUCTION PERMIT (THAT MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCEMENT OF WORK).
- 5) THE MAXIMUM ALLOWABLE SLOPE IS 4:1. ANY SLOPES THAT MAY EXCEED THIS LIMIT SHALL BE TERRACED TO BELOW THE MAXIMUM.
- 6) THE MAXIMUM CROSS-SLOPE ON THE PUBLIC SIDEWALK SHALL BE 2.0% ANY PORTION EXCEEDING THE MAX. 2% SHALL BE REMOVED AND REPLACED AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 7) PROVIDE TIE BAR REINFORCING BETWEEN INDEPENDENTLY POURED CONCRETE AND BETWEEN EXISTING AND NEW CONCRETE PER CDOT STANDARD M-608-1.

LEGEND:

- PROPERTY LINE
- - - - - EXTENTS OF GRADING
- 5555 PROPOSED MAJOR CONTOUR
- 5555 PROPOSED MINOR CONTOUR
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- 45.61' x SPOT ELEVATION
- 2.7% PROPOSED SLOPE ARROW

ABBREVIATIONS:

- FG FINISHED GRADE
- FFE FINISHED FLOOR ELEVATION
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING GRADE
- TBC TOP OF CURB
- SW SIDEWALK
- GB GRADE BREAK



CONSTRUCTION DOCUMENTS

CHICK-FIL-A

POWERS & PALMER PARK

5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

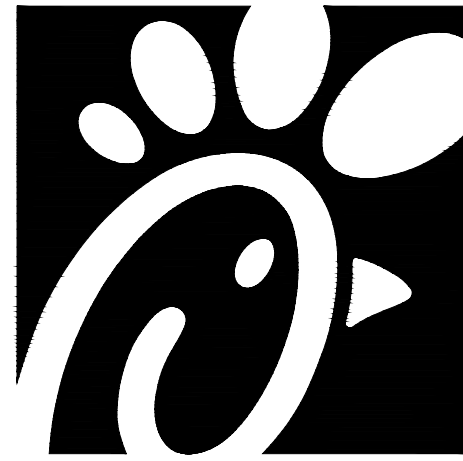
FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: VX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #
PRINTED FOR
DATE 01/31/2024
DRAWN BY CSS
SHEET
GRADING PLAN

SHEET NUMBER
C3.0

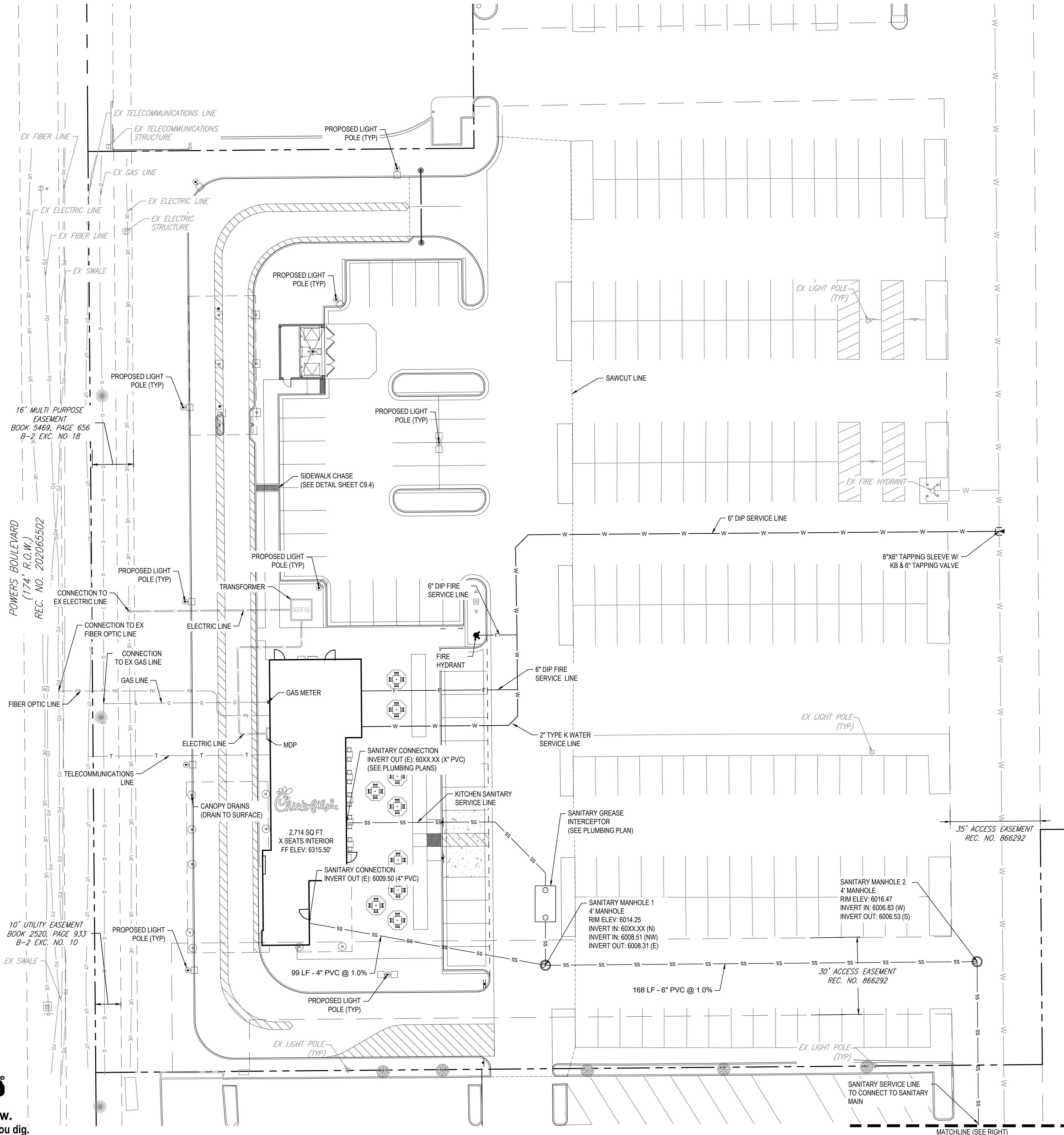


Chick-fil-A

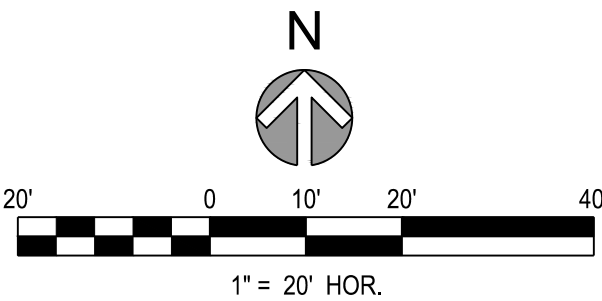
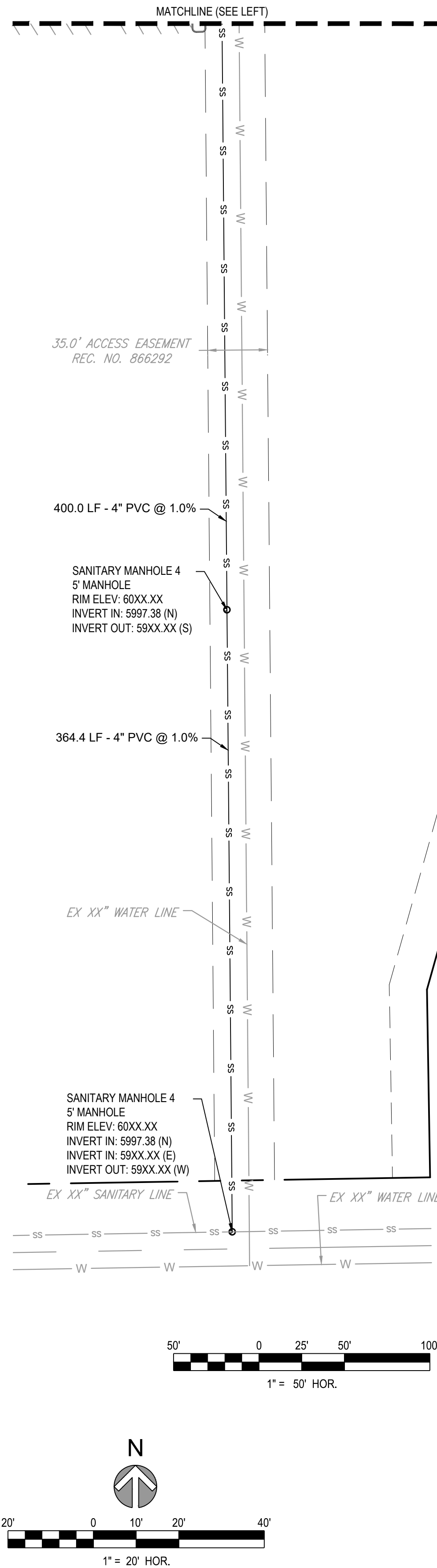
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



FOR AND ON BEHALF OF
MERRICK AND COMPANY



- NOTES:
1. REFER TO THE COVER SHEET FOR STANDARDS NOTES, LEGEND, AND ABBREVIATIONS.
 2. CONTRACTOR TO FIELD VERIFY VERTICAL AND HORIZONTAL LOCATION PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IF DEPTH OF EXISTING SERVICE LINE VARIES BY MORE THAN 3\"/>
 3. SANITARY LINE TO BE SURVEYED AND DATA COLLECTED IN FUTURE SUBMITTAL.



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



FOR AND ON-BEHALF OF
MERRICK AND COMPANY

CONSTRUCTION DOCUMENTS
CHICK-FIL-A
POWERS & PALMER PARK
5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

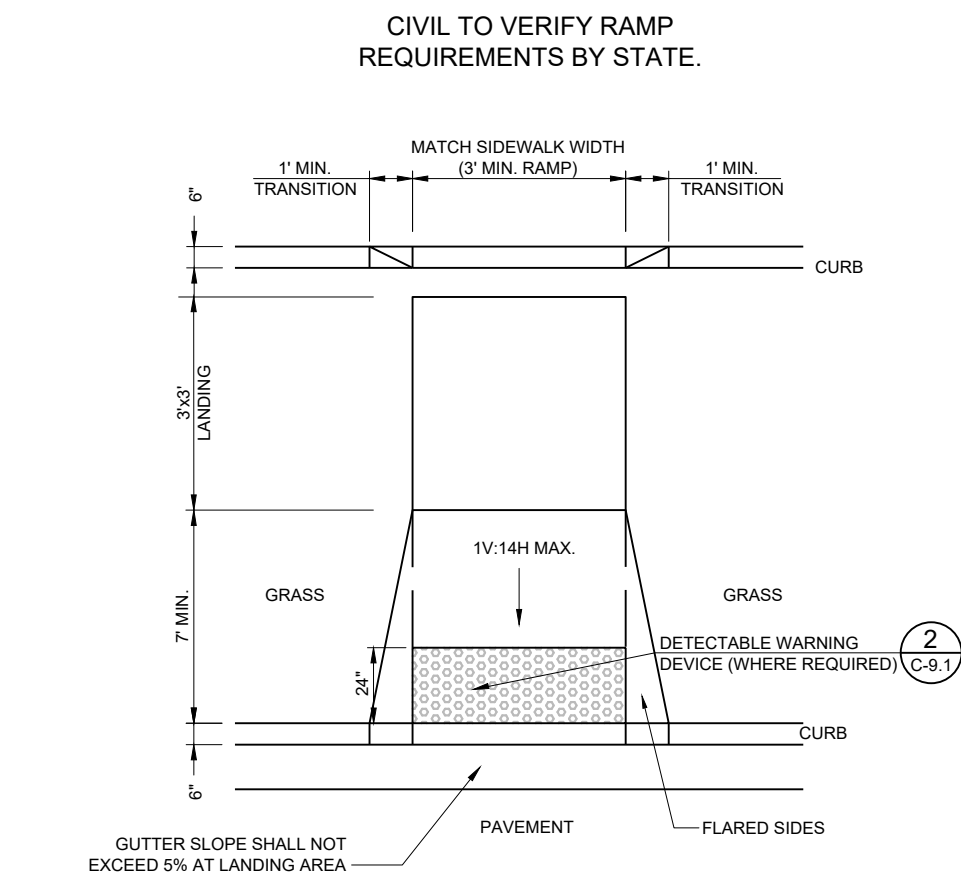
FSR#05934		
BUILDING TYPE / SIZE: P12 LS LRG		
RELEASE: vX.YY.MM		
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
CONSULTANT PROJECT #		
PRINTED FOR		
DATE 01/31/2024		
DRAWN BY CSS		
SHEET UTILITY PLAN		
SHEET NUMBER		
PS1.0		



Know what's below.
Call before you dig.

8 CURB RAMP w/ SHORT FLARED SIDES

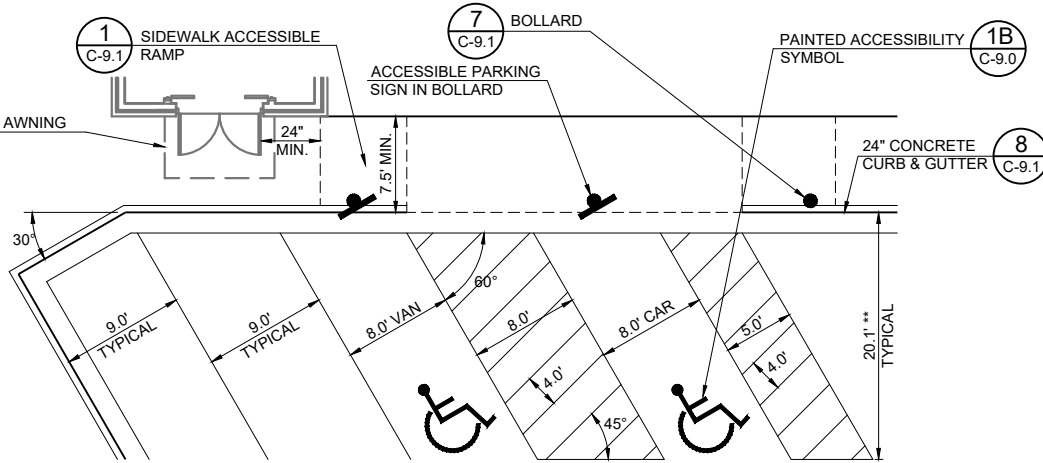
C-9.0 NOT TO SCALE



- NOTES:
- ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1.5% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS AISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
 - PARKING STALL DIMENSIONS SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
 - GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS, THIS DETAIL.
 - CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
 - CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
 - ACCESSIBLE PARKING AND ACCESSIBLE AISLE STRIPING COLOR SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
 - NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
 - ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
 - ALL DIMENSIONS ARE TO CENTER OF STRIPE UNLESS OTHERWISE NOTED.
 - STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

5 PARKING STALL LAYOUT AND STRIPING

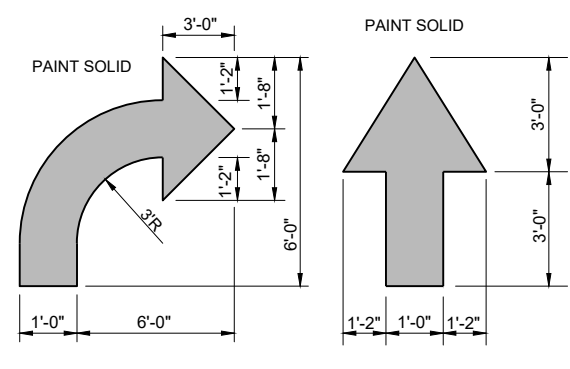
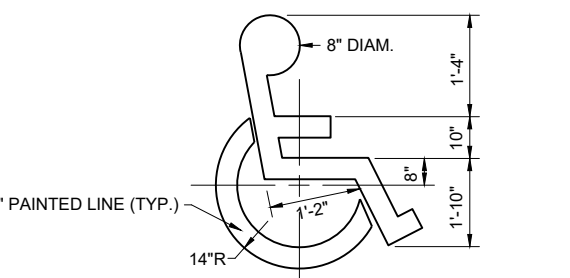
C-9.0 NOT TO SCALE



- NOTES:
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5/C-9.0).
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

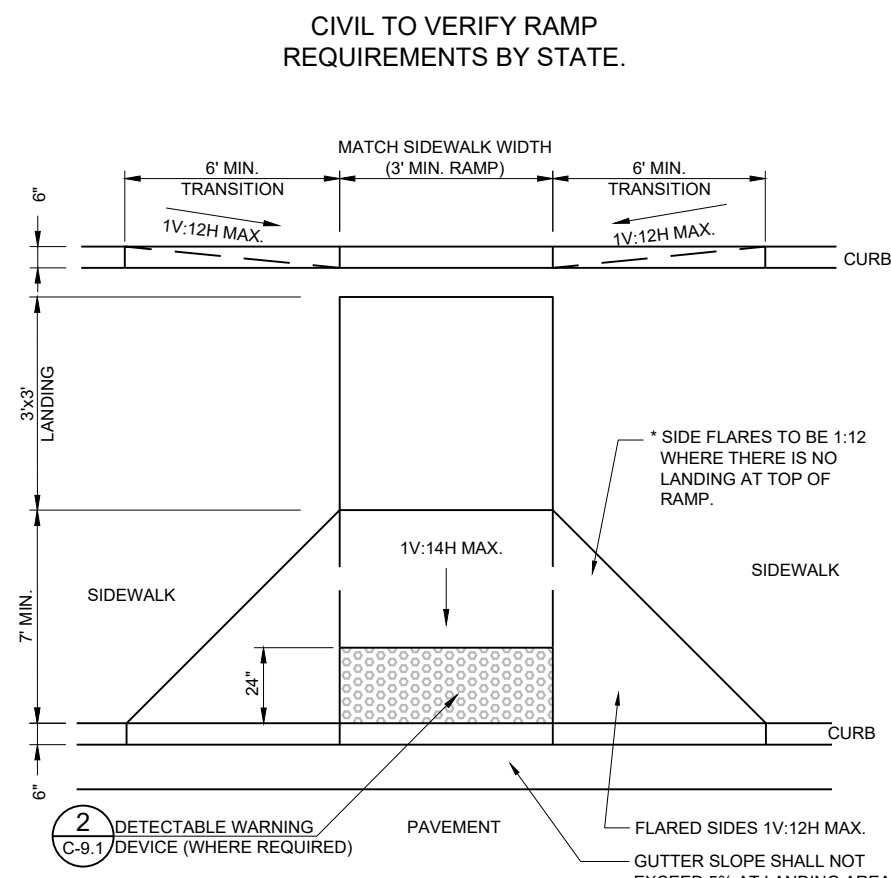
1 PAVEMENT MARKINGS - 1

C-9.0 NOT TO SCALE



9 CURB RAMP w/ FLARED SIDES

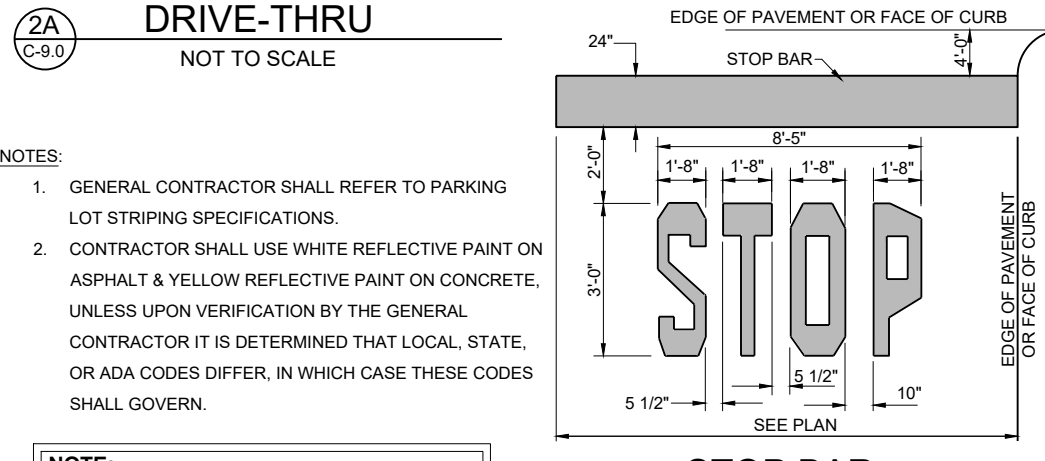
C-9.0 NOT TO SCALE



- PARKING LOT STRIPING SPECIFICATIONS:
- STANDARDS:
- ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
 - SURFACES SHOULD BE CLEAN, DRY AND FREE FROM LOOSE OR PEELING PAINT. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.
 - APPLY SHERWIN-WILLIAMS SETFAST PREMIUM ALKYL ZONE MARKING PAINT ALSO WHITE OR A330 YELLOW USING EITHER AIRLESS OR CONVENTIONAL LINE STRIPING EQUIPMENT. USE THE FOLLOWING SETTINGS AS A GUIDE: ACTUAL SETTINGS DEPEND ON ATMOSPHERIC CONDITIONS AT THE TIME OF APPLICATION.
- AIRLESS:
- GUN: 1800-2700 PSI
 - PRESSURE: 1/2" D
 - HOSE: 0.015"-0.017"
 - TIP: 60 MESH
 - FILTER: ONLY IF NECESSARY, UP TO 1PT/GAL
 - REDUCTION: VMSP NAPTHA R1K3
- CONVENTIONAL:
- GUN: BLINKS 21 (BLEEDER) OR EQUIVALENT
 - FLUID NOZZLE: INTERNAL MIX, #709
 - AIR NOZZLE: 45-60 PSI
 - ATOMIZATION PRESSURE: 40-70 PSI
 - FLUID PRESSURE: ONLY IF NECESSARY, UP TO 1PT/GAL
 - REDUCTION: VMSP NAPTHA R1K3
- SHERWIN WILLIAMS, H4C SHARK GRP SLIP RESISTANT ADDITIVE TO BE MEASURED AND ADDED TO ALL PAINT PER MANUFACTURER'S WRITTEN SPECIFICATIONS. MIX THOROUGHLY PER MANUFACTURER'S RECOMMENDATIONS SO THAT NO CLUMPING IS APPARENT AND UNTIL EVEN DISTRIBUTION IS ACHIEVED. MIX AT LEAST 10 MINUTES. ADDITIVE IN PAINT THROUGHOUT THE APPLICATION PROCESS.
- MIX PAINT THOROUGHLY BY BOXING, STRIPPING, OR POWER AGITATION BEFORE USE. APPLY AT 15 MILS. WET TO ACHIEVE A SPREAD RATE OF 400-500 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON. APPLIED AT THIS RATE AT 70 DEGREES F AND 50% RELATIVE HUMIDITY, PAINT WILL DRY WITH NO TRAFFIC PICKUP AFTER 20 MINUTES.
- GENERAL CONTRACTOR TO RE-STRIP THE LOT 45 DAYS AFTER OPENING.

2 PAVEMENT MARKINGS - 2

C-9.0 NOT TO SCALE

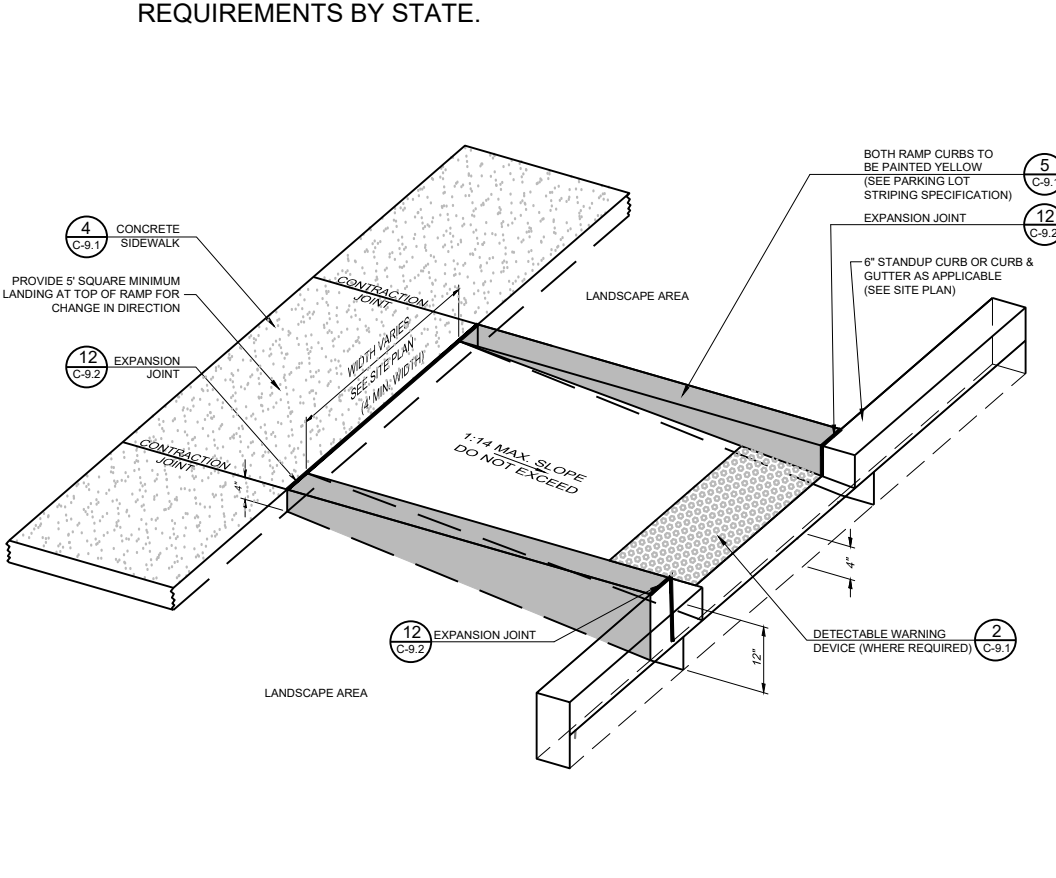


- NOTES:
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

NOTE: IF STOP SIGN IS PROPOSED, "STOP" LETTERING GRAPHIC IS NOT REQUIRED.

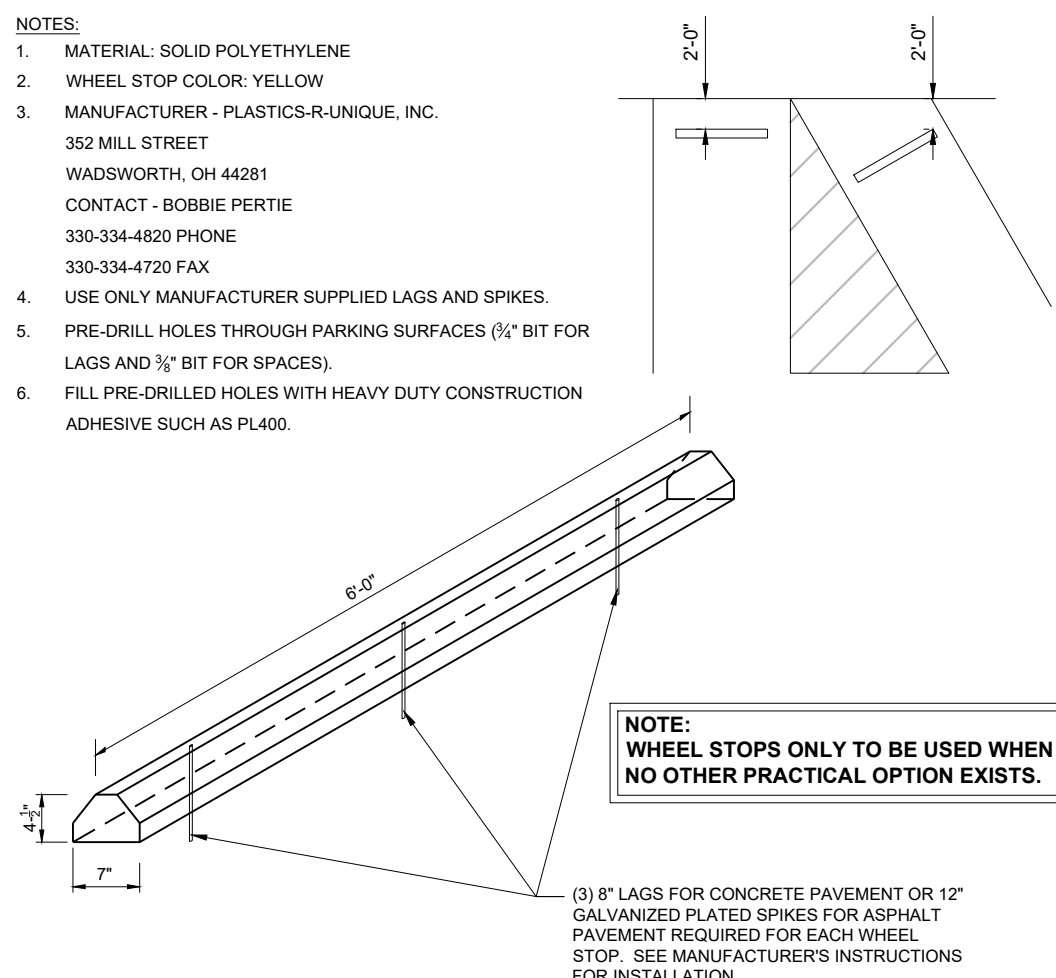
10 RETURNED CURB RAMP

C-9.0 NOT TO SCALE



6 SOLID PLASTIC WHEEL STOP

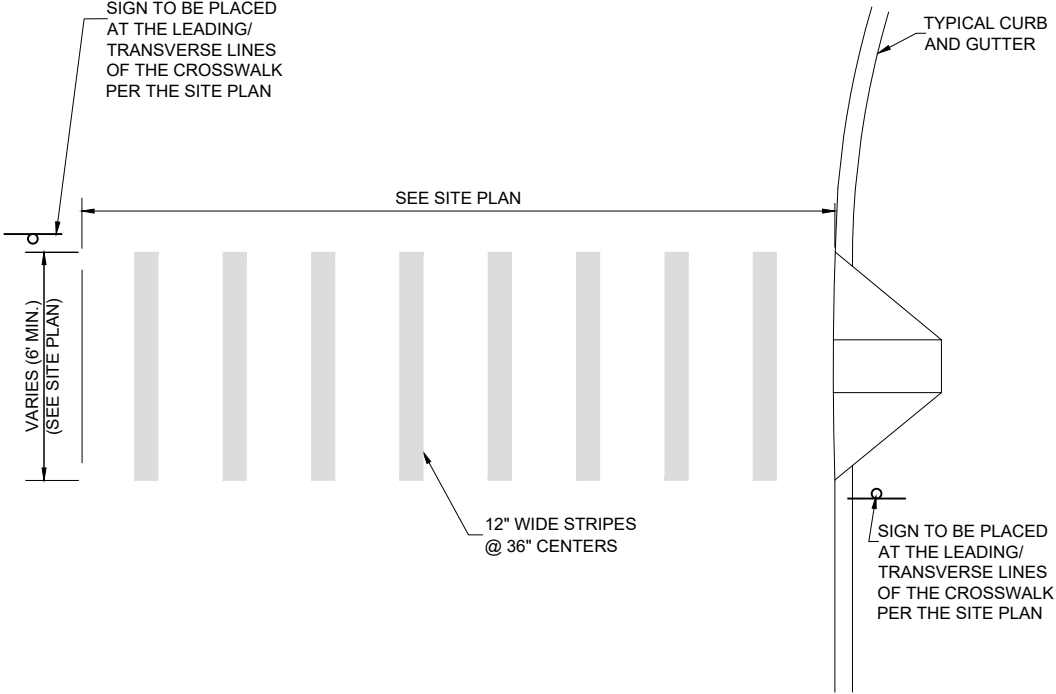
C-9.0 NOT TO SCALE



- NOTES:
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5/C-9.0).
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

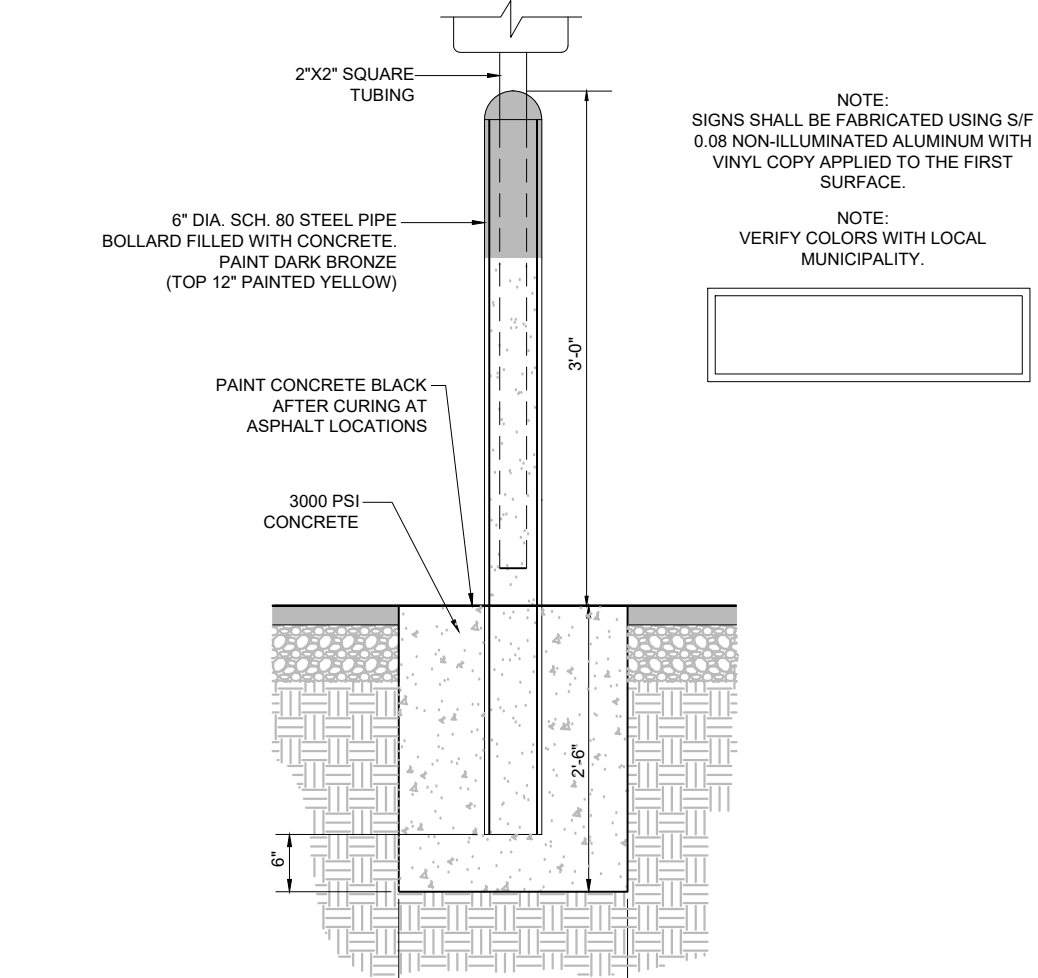
3 CROSSWALK MARKINGS

C-9.0 NOT TO SCALE



7 BOLLARD MOUNTED SIGN

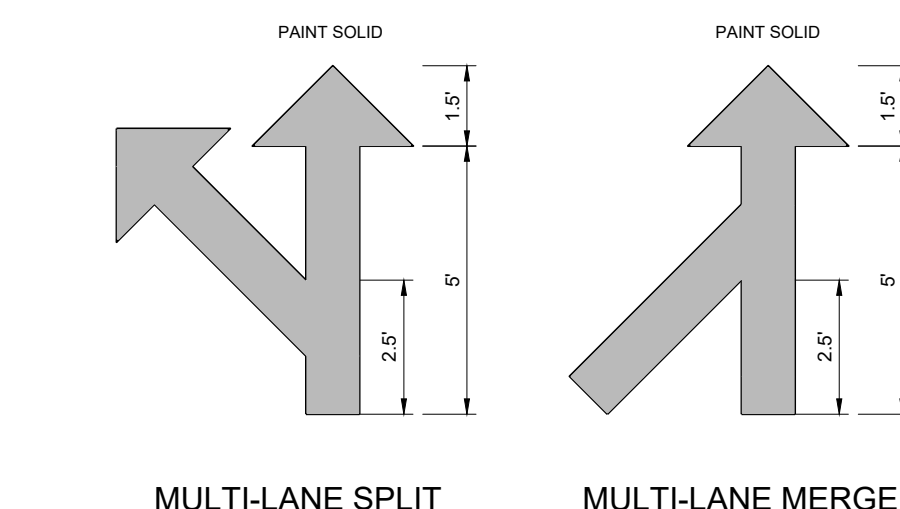
C-9.0 NOT TO SCALE



- NOTES:
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS (SEE DETAIL 5/C-9.0).
 - CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

4 MULTI-LANE DIRECTIONAL GRAPHICS

C-9.0 NOT TO SCALE



CONSTRUCTION DOCUMENTS

CHICK-FIL-A

POWERS & PALMER PARK

5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #
PRINTED FOR
DATE: 01/31/2024
DRAWN BY: CSS
SHEET: CFA STANDARD DETAILS
SHEET NUMBER

C9.0

FOR AND AND ON-BEHALF OF
MERRICK AND COMPANY

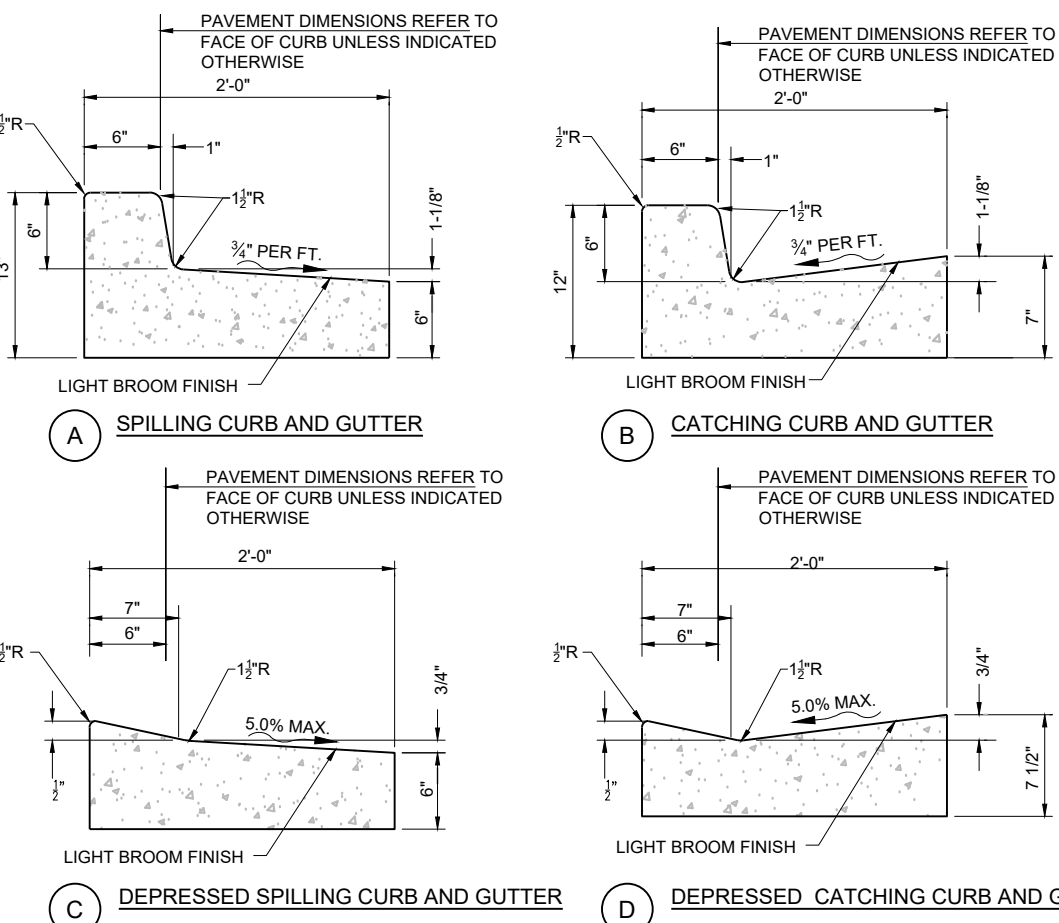


Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

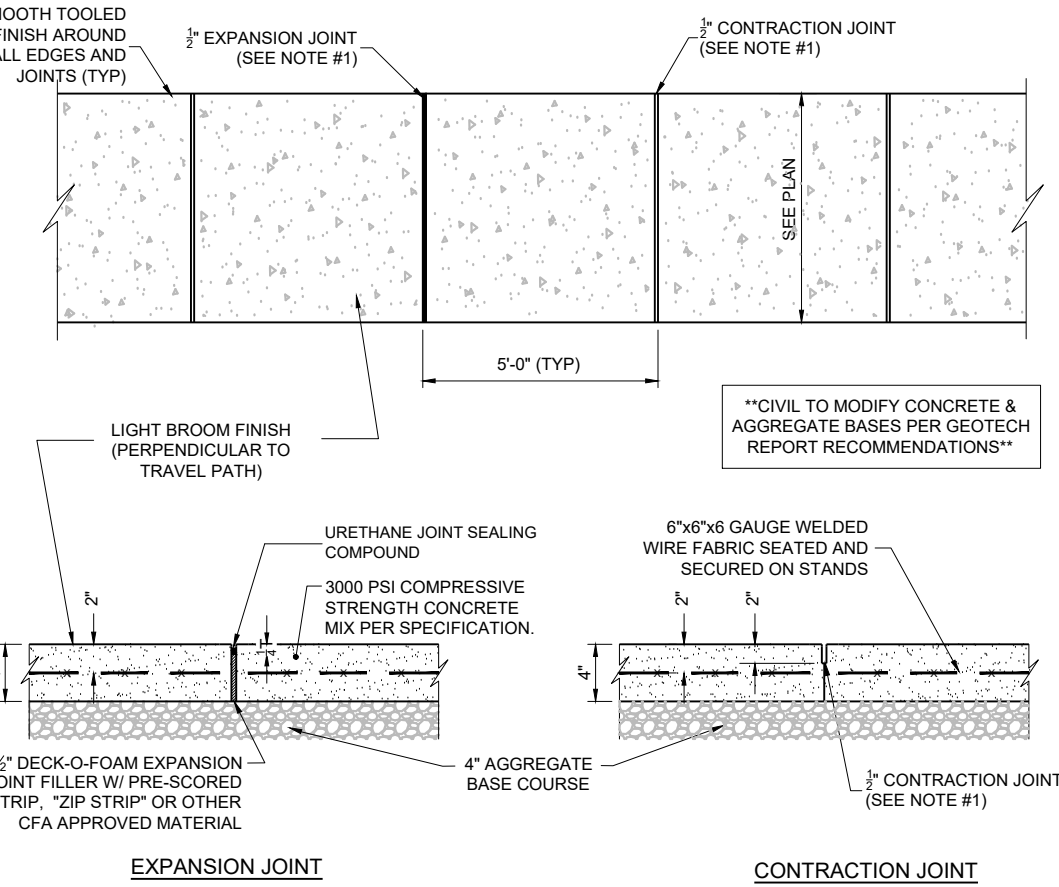




Know what's below.
Call before you dig.

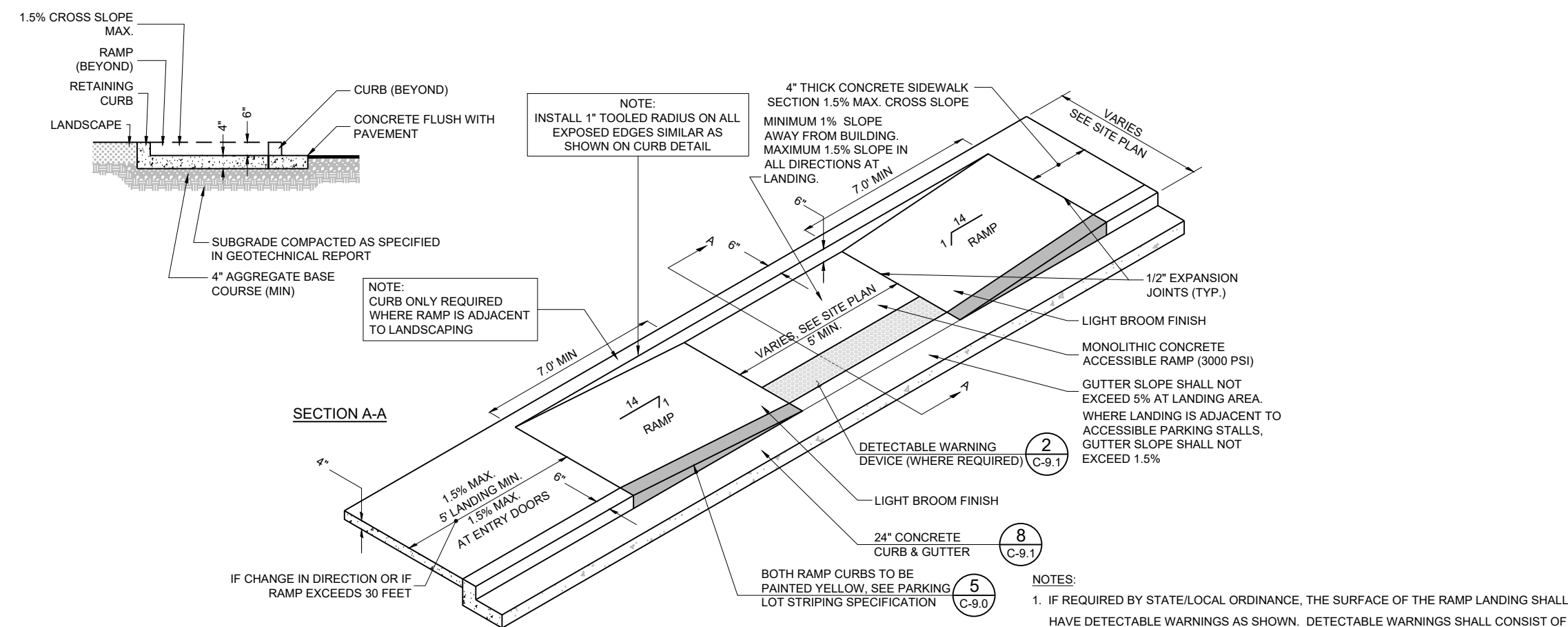


8 CONCRETE CURB & GUTTER
C-9.1 NOT TO SCALE

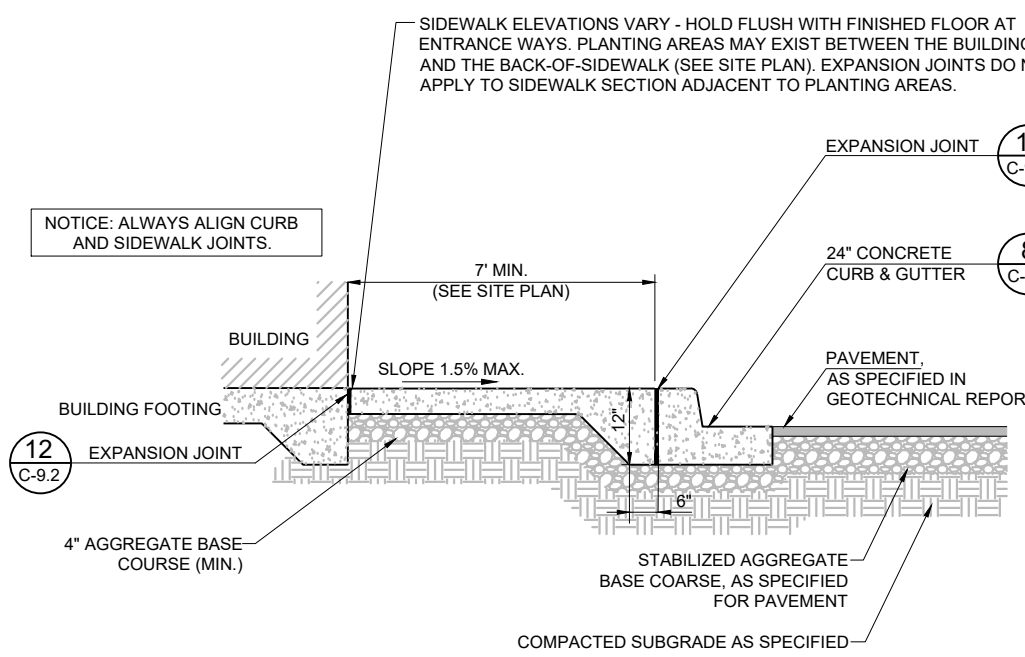


4 CONCRETE SIDEWALK
C-9.1 NOT TO SCALE

1 SIDEWALK ACCESSIBLE RAMP
C-9.1 NOT TO SCALE

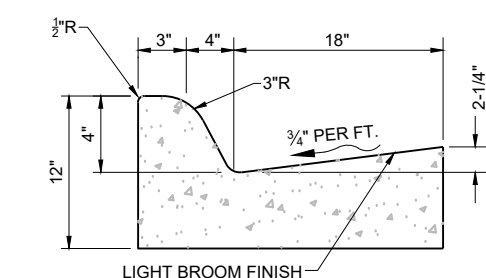


5 CONCRETE SIDEWALK w/ CURB & GUTTER
C-9.1 NOT TO SCALE

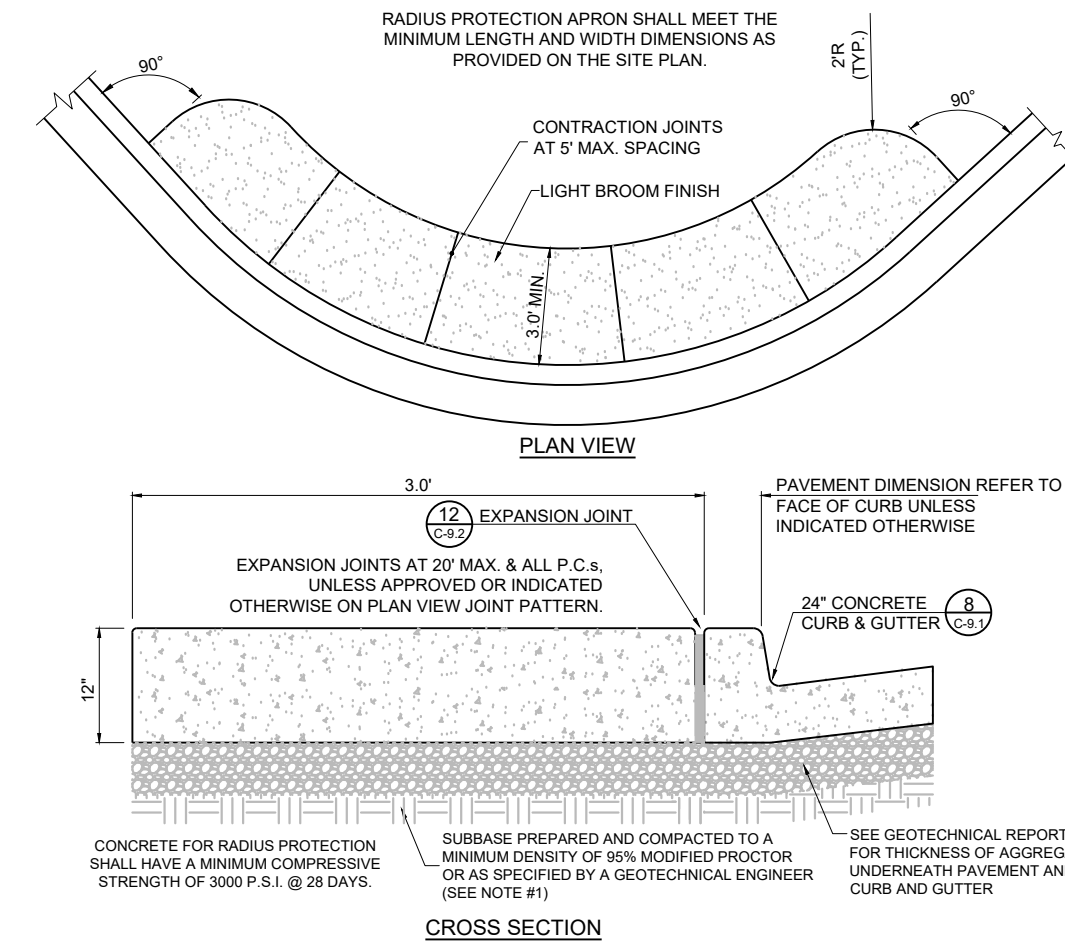


E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP

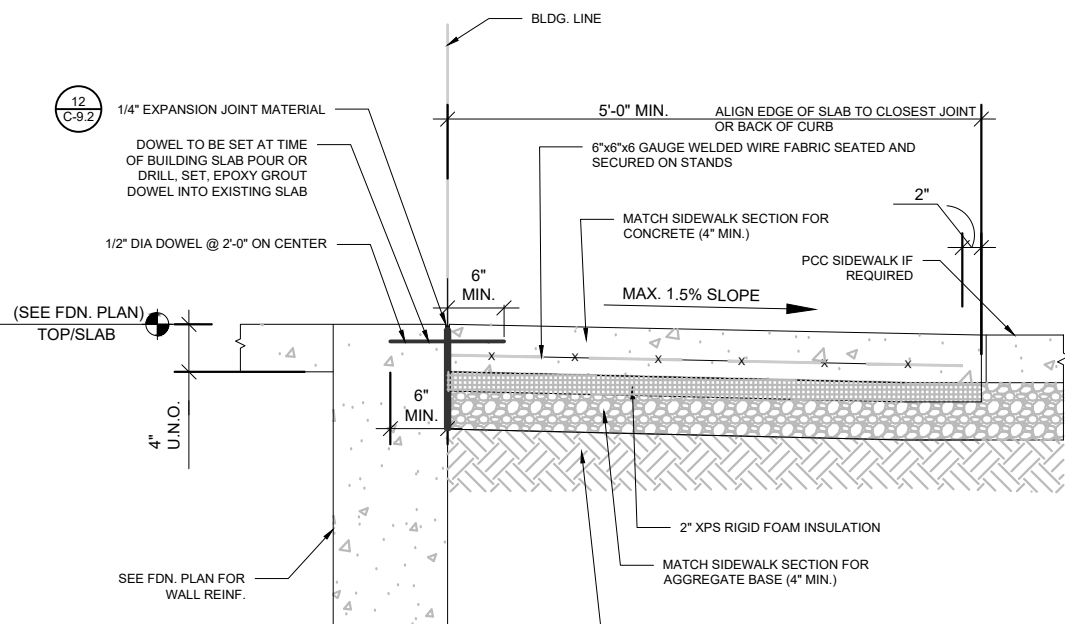
F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP



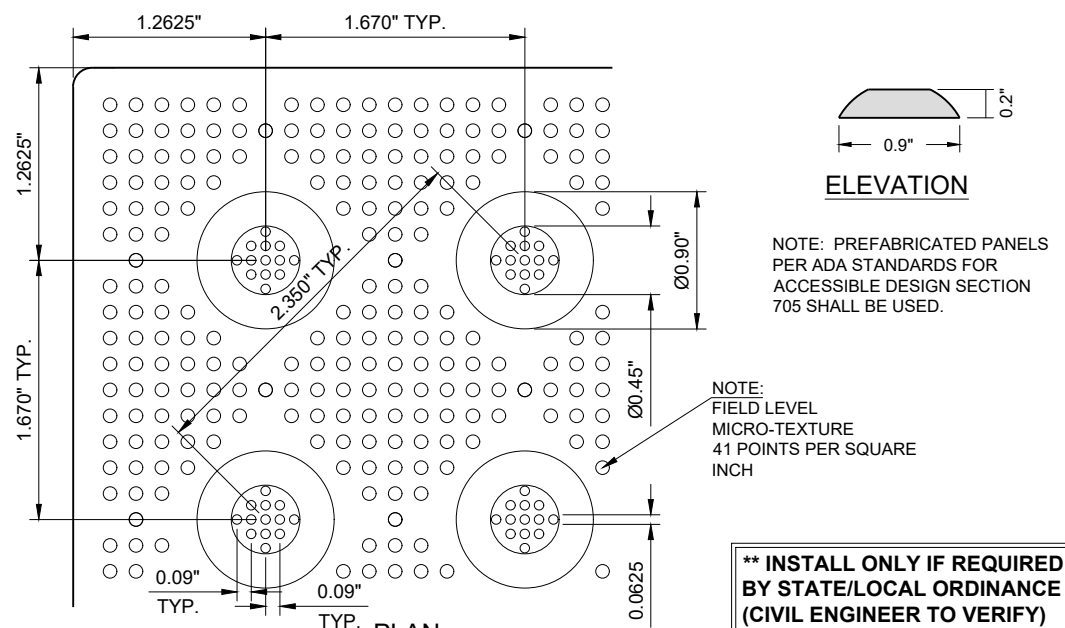
G M-4.18 MOUNTABLE CURB & GUTTER



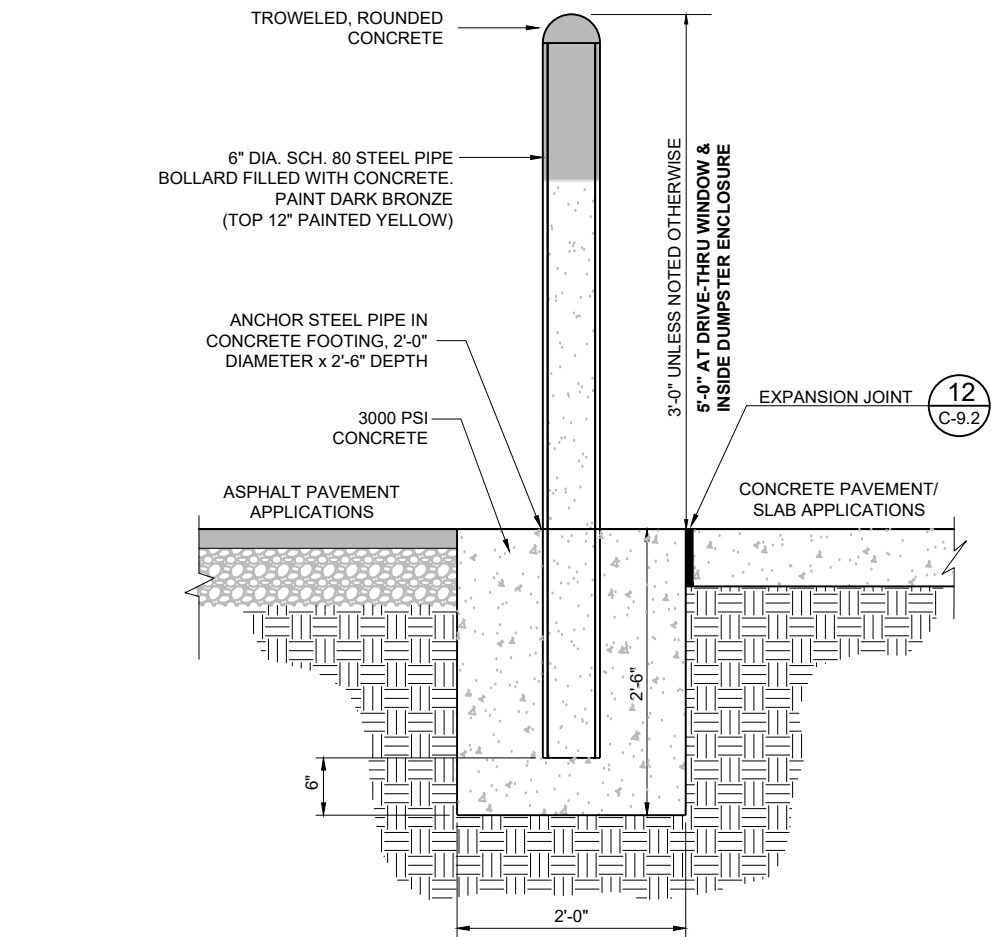
9 LANDSCAPE & IRRIGATION PROTECTOR
C-9.1 NOT TO SCALE



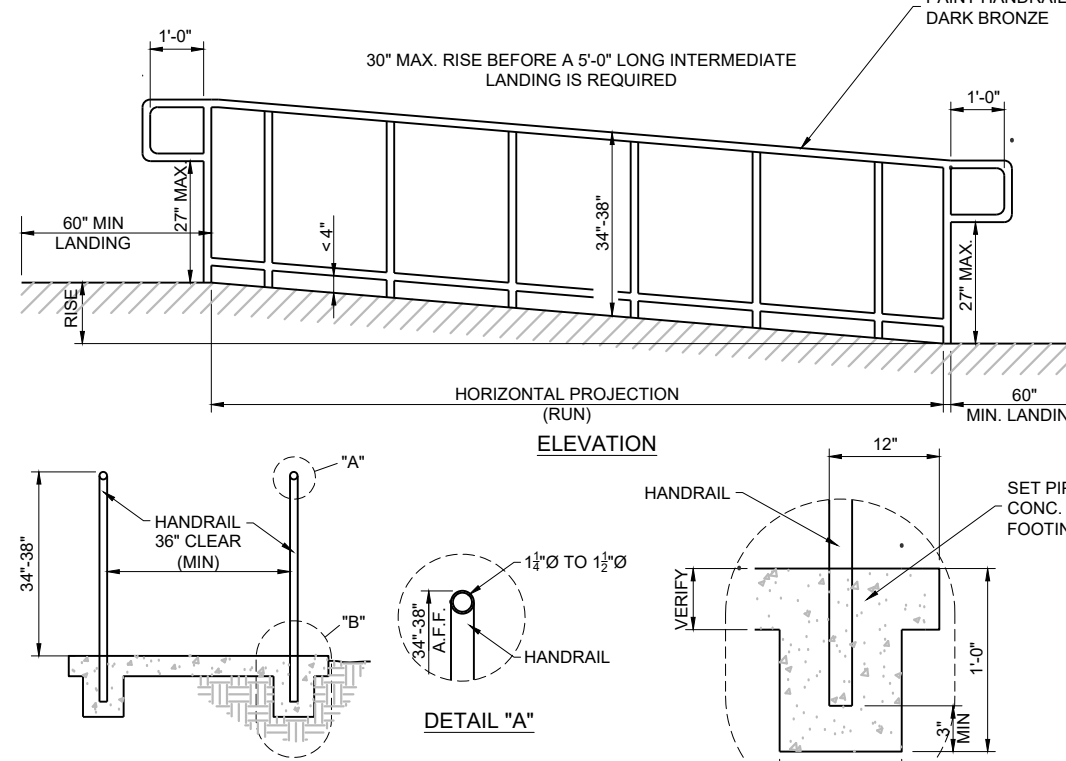
6 ENTRY DOOR FROST SLAB DETAIL
C-9.1 NOT TO SCALE



2 DETECTABLE WARNING DEVICE
C-9.1 NOT TO SCALE



7 CONCRETE BOLLARD
C-9.1 NOT TO SCALE



3 TYPICAL ADA RAMP & HANDRAIL
C-9.1 NOT TO SCALE

CONSTRUCTION DOCUMENTS

CHICK-FIL-A
POWERS & PALMER PARK
5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #
PRINTED FOR
DATE 01/31/2024
DRAWN BY CSS
SHEET
CFA STANDARD
DETAILS
SHEET NUMBER

C9.1

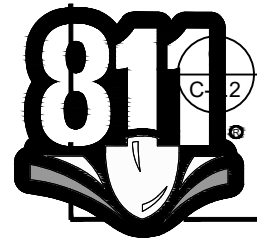
FOR AND AND ON-BEHALF OF
MERRICK AND COMPANY

MERRICK
5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



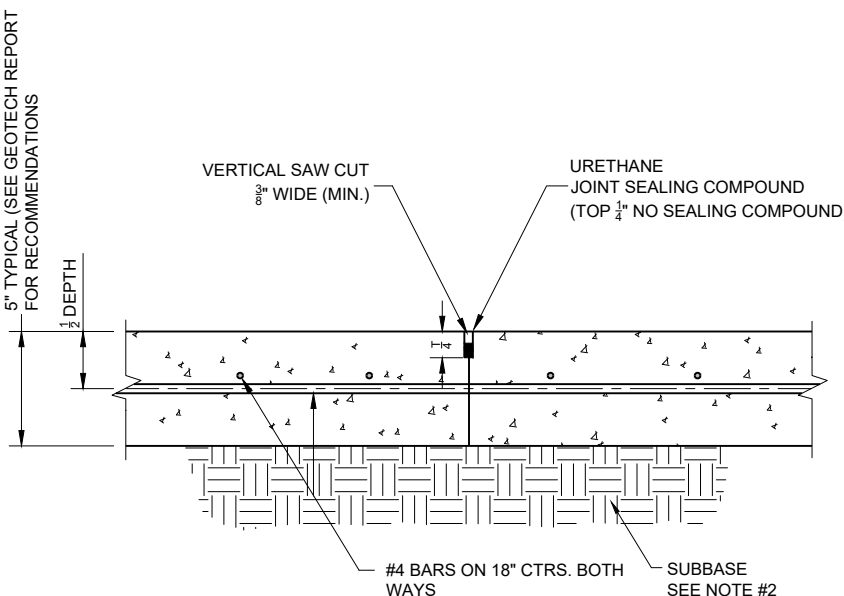
File Path: Q:\IDEN\Projects\100810.00 CFA Powers & Palmer\CAD\CDA\100810 - C4.0 - CD - STANDARD DETAILS.dwg Last
Saved By: CHRISTIAN SCHILDER
10/22/2025 10:46 AM
00-LS-0000-A 101-SHEET NAME



Know what's below.
Call before you dig.

CONTRACTION JOINT

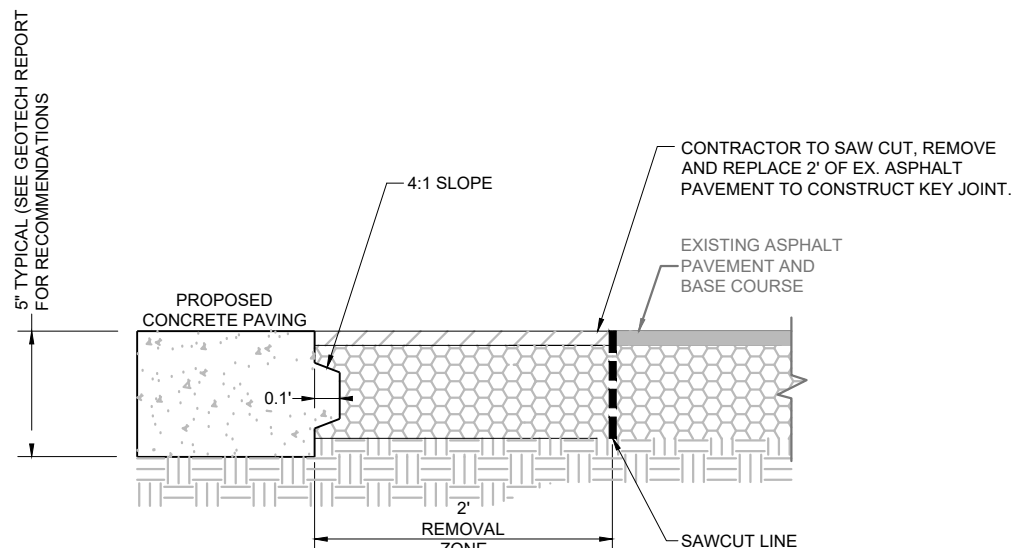
C-9.2
NOT TO SCALE



- NOTES:
- JOINT SPACING TO BE 12' x 12' WITH EVERY OTHER JOINT BEING AN EXPANSION JOINT.
 - GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

KEYED CONSTRUCTION JOINT

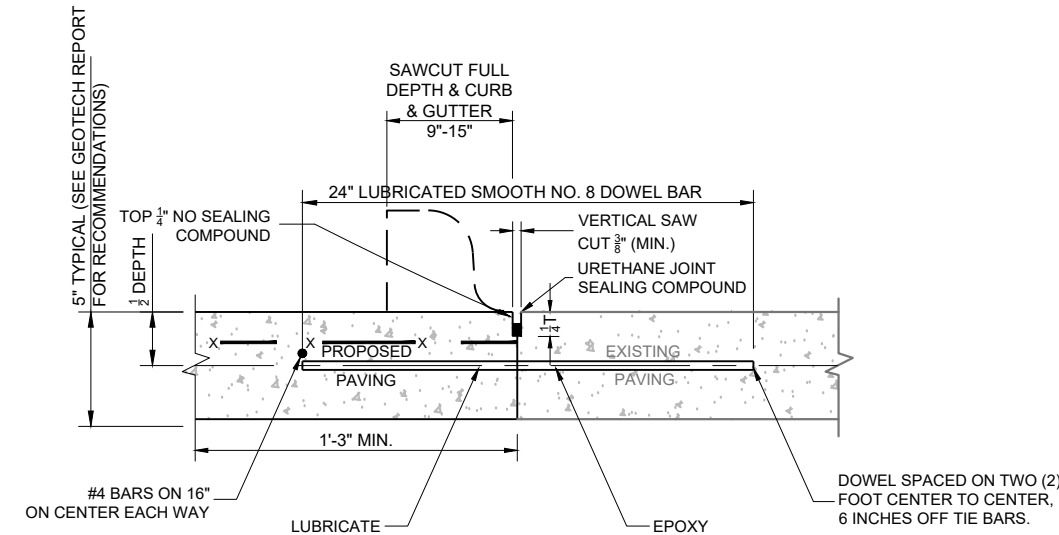
C-9.2
NOT TO SCALE



- NOTES:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

LONGITUDINAL BUTT JOINT

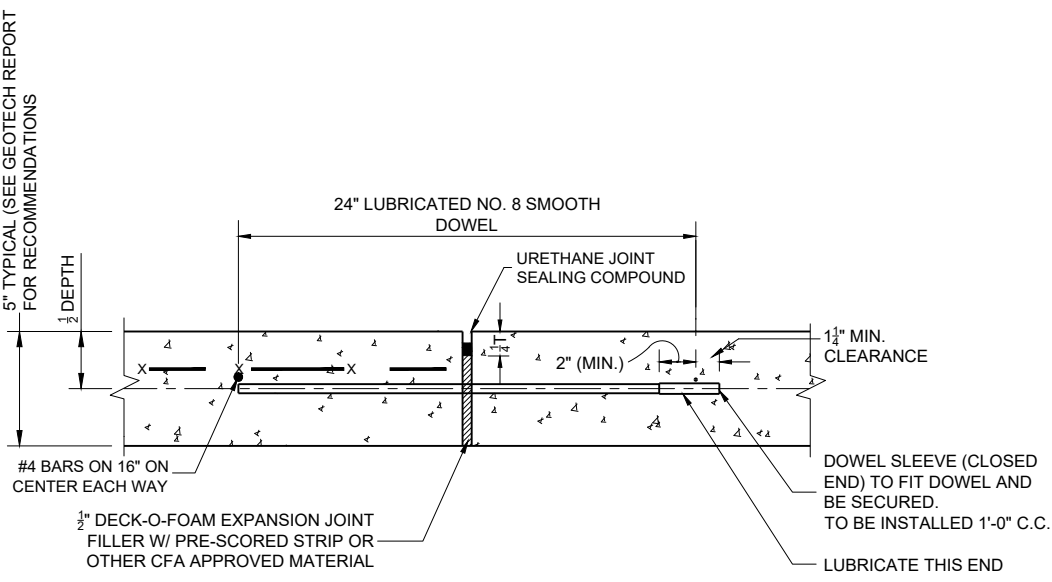
C-9.2
NOT TO SCALE



- NOTES:
- NO. 8 SMOOTH DOWEL BAR MAY BE USED IN 8 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED & EPOXIED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL EQUIP.
 - PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.

EXPANSION JOINT

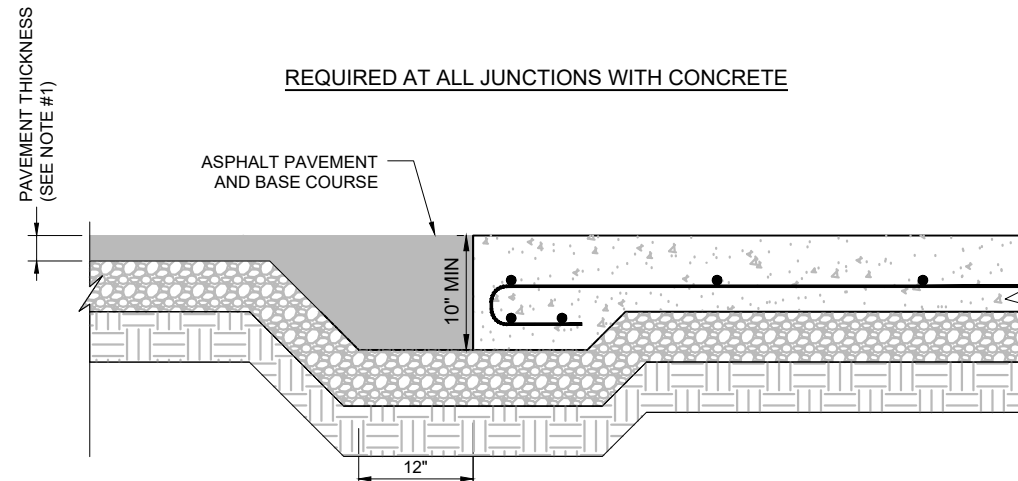
C-9.2
NOT TO SCALE



- NOTES:
- NO. 8 SMOOTH DOWEL BAR MAY BE USED IN 8 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
 - DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL EQUIPMENT.
 - DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.
 - JOINT SPACING TO BE 24'X24' (EVERY OTHER JOINT)

PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES)

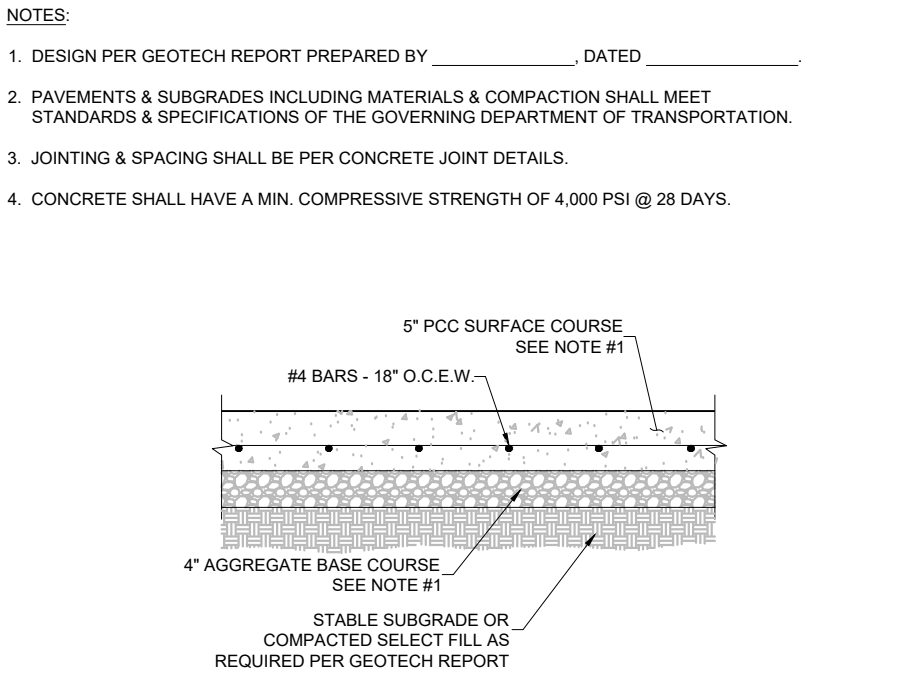
C-9.2
NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

CONCRETE PAVEMENT

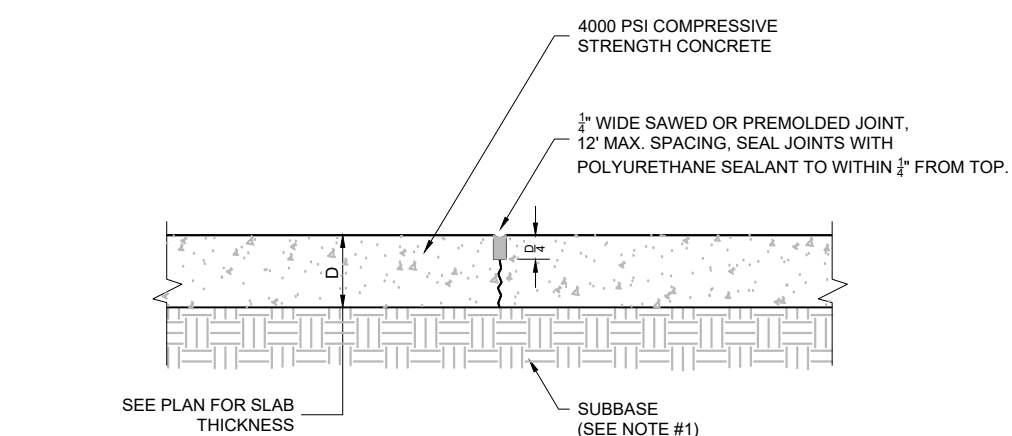
C-9.2
NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
 - MINIMUM PAVEMENT THICKNESS SHALL BE 5" CONCRETE, 4" AGGREGATE BASE.

TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT

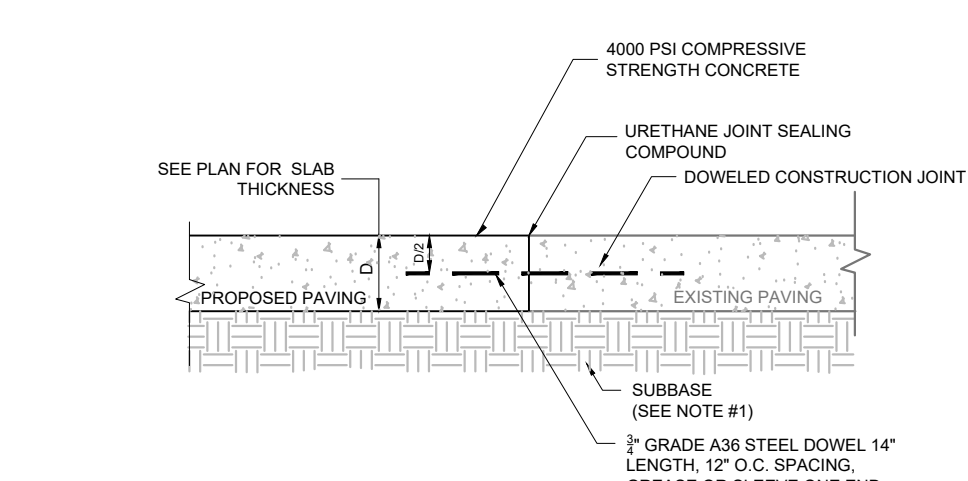
C-9.2
NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT

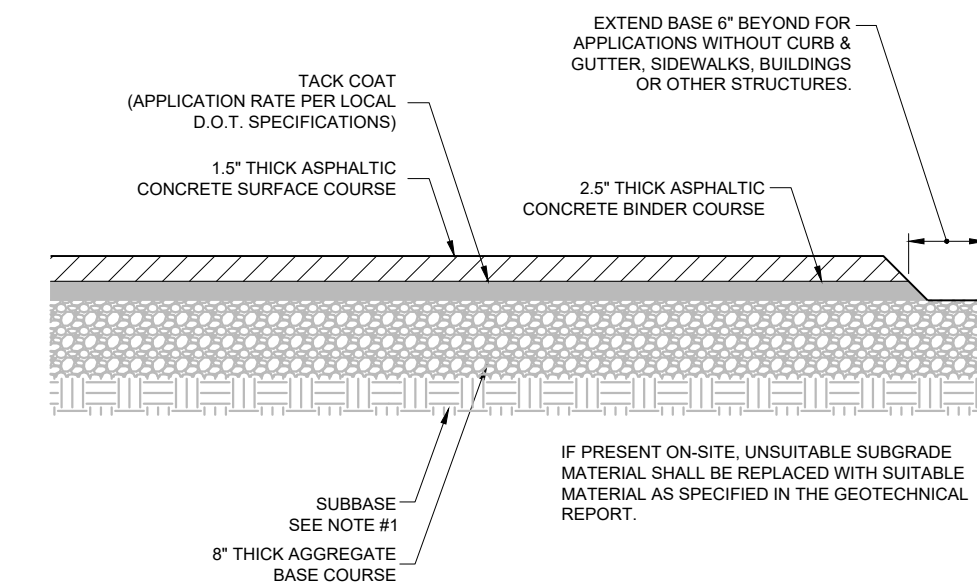
C-9.2
NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

TYPICAL HMAC PAVEMENT SECTION

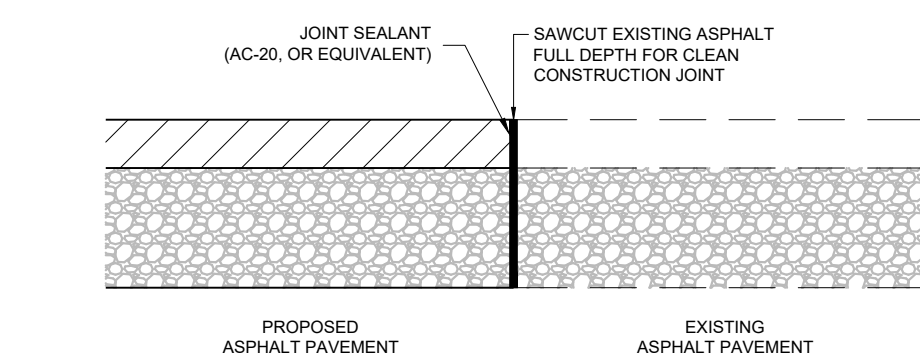
C-9.2
NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
 - MINIMUM PAVEMENT THICKNESS SHOULD BE 8" GRADED AGGREGATE BASE, 2.5" ASPHALT PAVEMENT BINDER, 1.5" ASPHALT PAVEMENT SURFACE COURSE, AND TACK COAT.

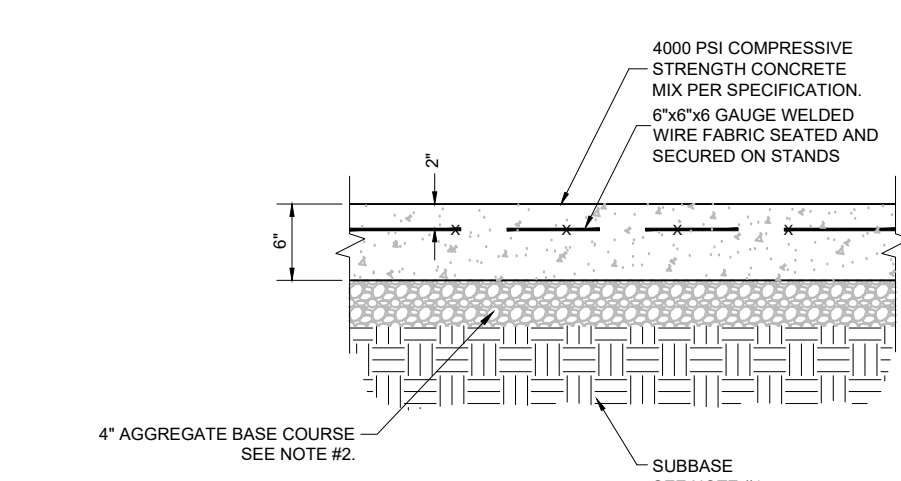
BUTT JOINT

C-9.2
NOT TO SCALE



CONCRETE PAVEMENT DRIVE-THRU LANE

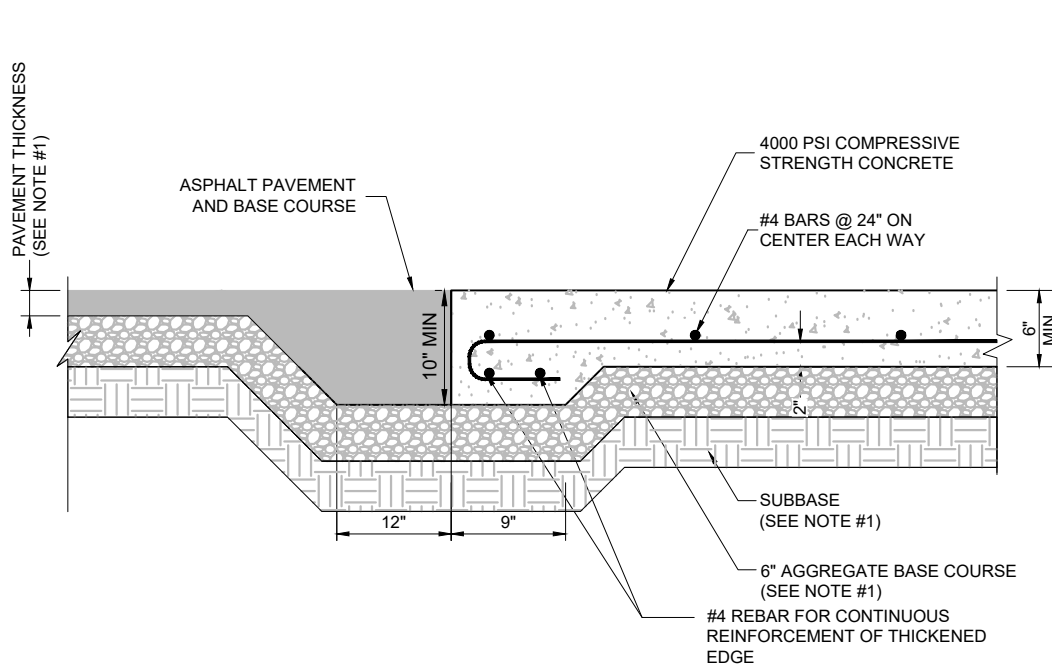
C-9.2
NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
 - MINIMUM PAVEMENT THICKNESS SHALL BE 6" CONCRETE, 4" AGGREGATE BASE.
 - CONTRACTOR TO ENSURE REBAR IS SET ON DOBIES PRIOR TO POUR

CONCRETE APRON AT TRASH ENCLOSURE

C-9.2
NOT TO SCALE



- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

CONSTRUCTION DOCUMENTS

CHICK-FIL-A POWERS & PALMER PARK

5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #
PRINTED FOR
DATE 01/31/2024
DRAWN BY CSS
SHEET
CFA STANDARD
DETAILS
SHEET NUMBER

C9.2

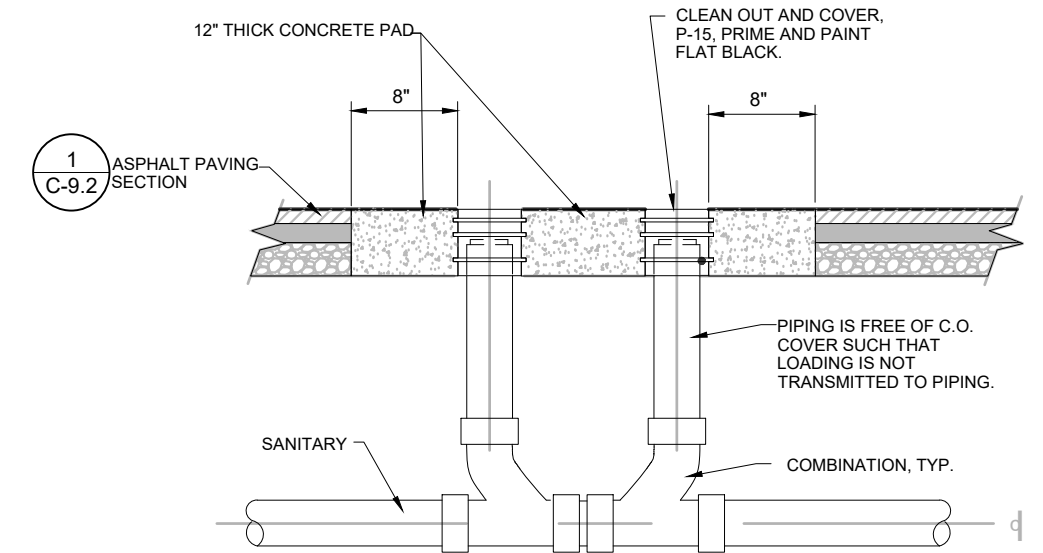


Know what's below.
Call before you dig.

8 CLEAN-OUT (OUTSIDE OF BUILDING)

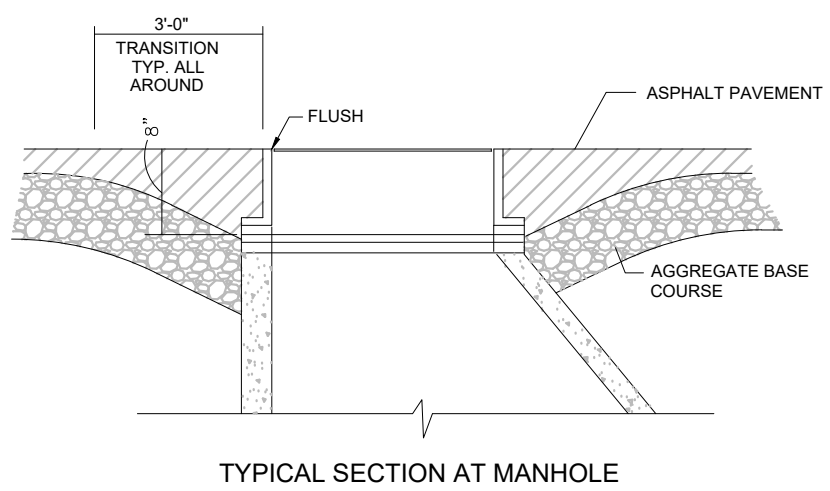
C-9.3 NOT TO SCALE

- NOTES:
- SEE PLUMBING PLANS FOR GREASE TRAP DETAIL.
 - CLEAN-OUT COVERS SHALL BE PROVIDED ON ALL CLEAN-OUTS REGARDLESS OF LOCATION.
 - CONCRETE COLLAR ALSO REQUIRED FOR SINGLE CLEAN-OUTS IN PAVEMENT.

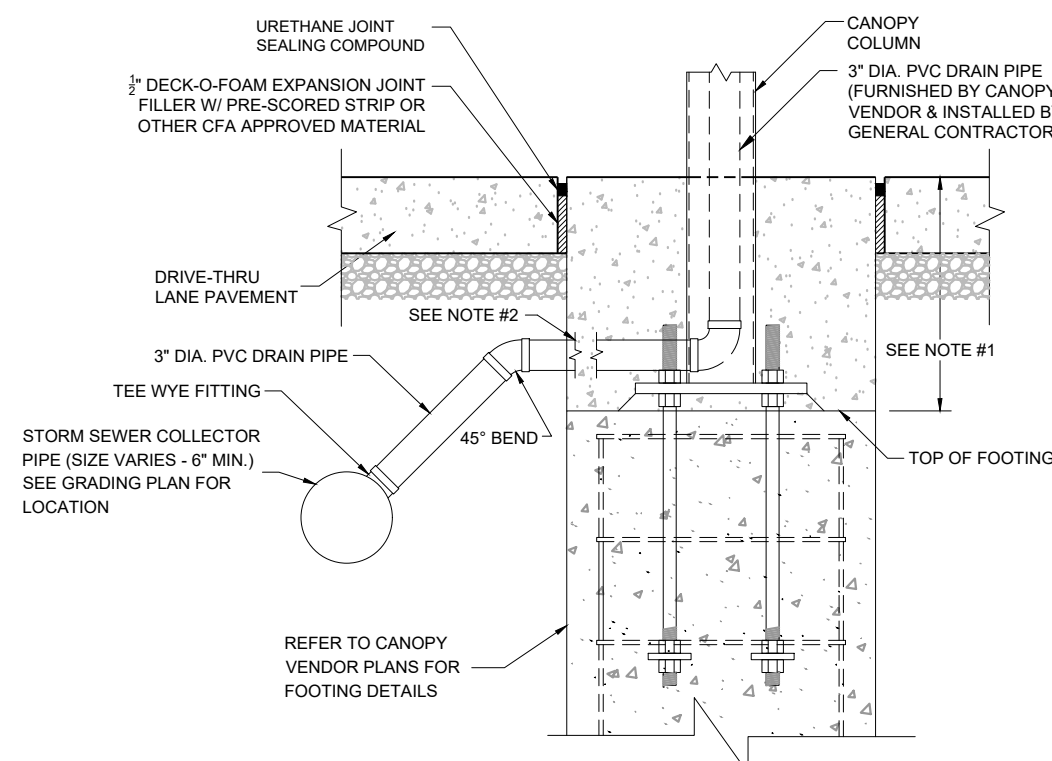


9 THICKENED PAVEMENT @ STRUCTURES

C-9.3 NOT TO SCALE



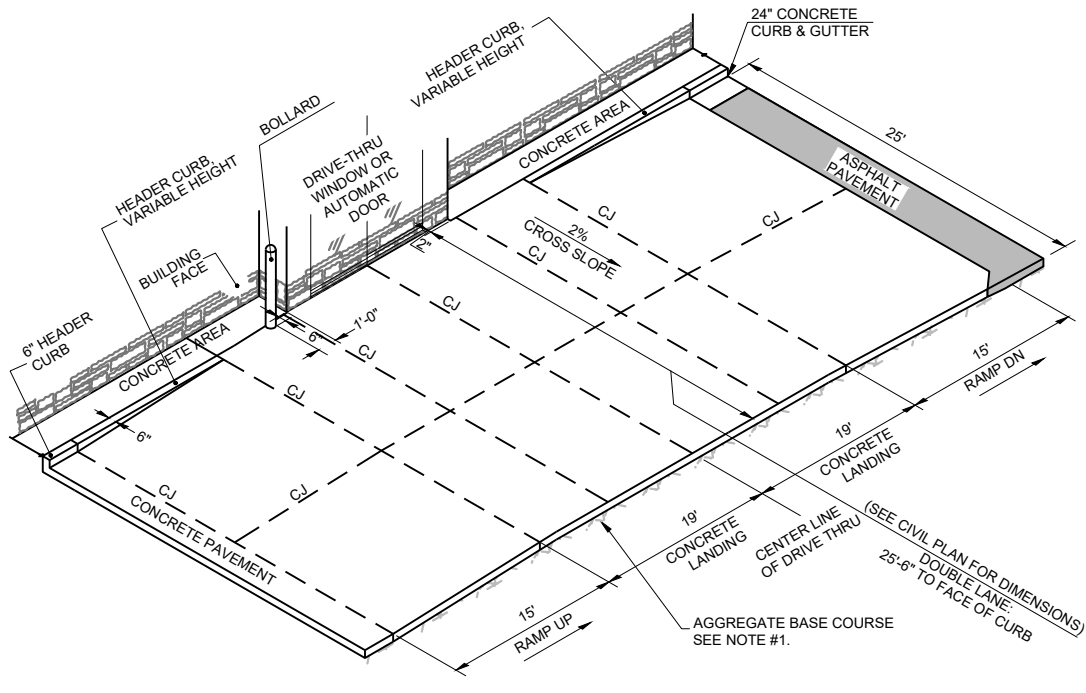
- NOTES:
- CANOPY FOOTING SHALL BE A MINIMUM 2'-0" BELOW DRIVE-THRU LANE PAVEMENT SURFACE. REFER TO CIVIL PLANS FOR EXACT CANOPY FOOTING ELEVATIONS.
 - FLEXIBLE FITTING (NON-SHEAR FERNOCO) TO BE UTILIZED BETWEEN PIPE TRANSITIONS AS NECESSARY.
 - CONTRACTOR TO COORDINATE COLUMN DOWNSPOUT ORIENTATION WITH CANOPY VENDOR. ADJUST DOWNSPOUT PIPING AS NECESSARY TO MAKE CONNECTION TO COLLECTOR PIPE.



2 DRIVE-THRU ISOMETRIC

C-9.3 NOT TO SCALE

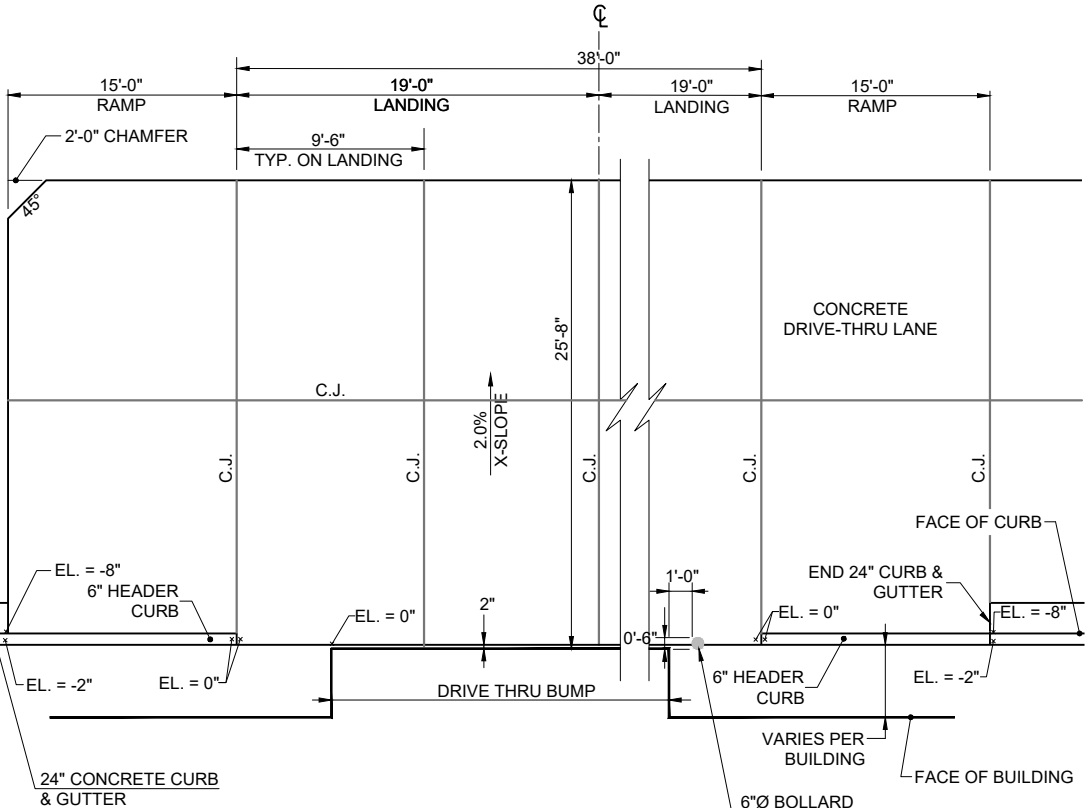
- NOTE:
- GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
 - FOR LC FOOTPRINT DECREASE LANDING FROM 38' TO 30'. LANDING SHOULD REMAIN CENTERED ON DRIVE-THRU WINDOW.



1 DRIVE-THRU PLAN - FLUSH WITH FFE

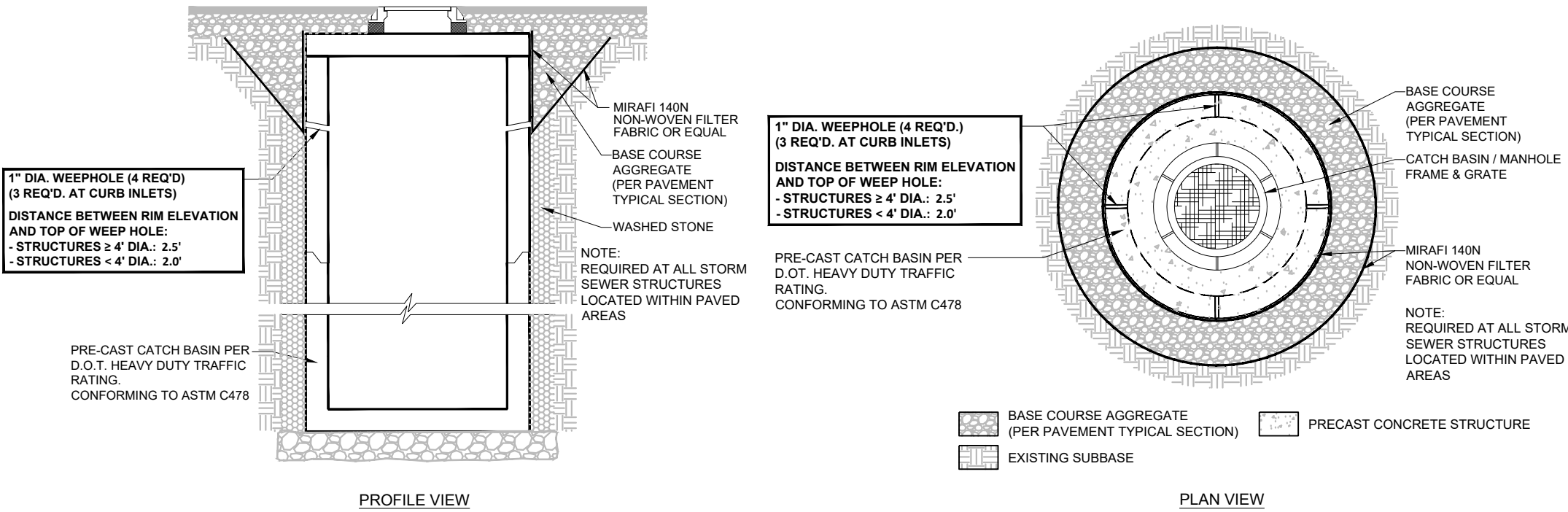
C-9.3 NOT TO SCALE

- NOTE:
- ALL ELEVATIONS ON THIS DETAIL ARE RELATIVE TO FFE = 0'.
 - FOR LC FOOTPRINT DECREASE LANDING FROM 38' TO 30'. LANDING SHOULD REMAIN CENTERED ON DRIVE-THRU WINDOW.

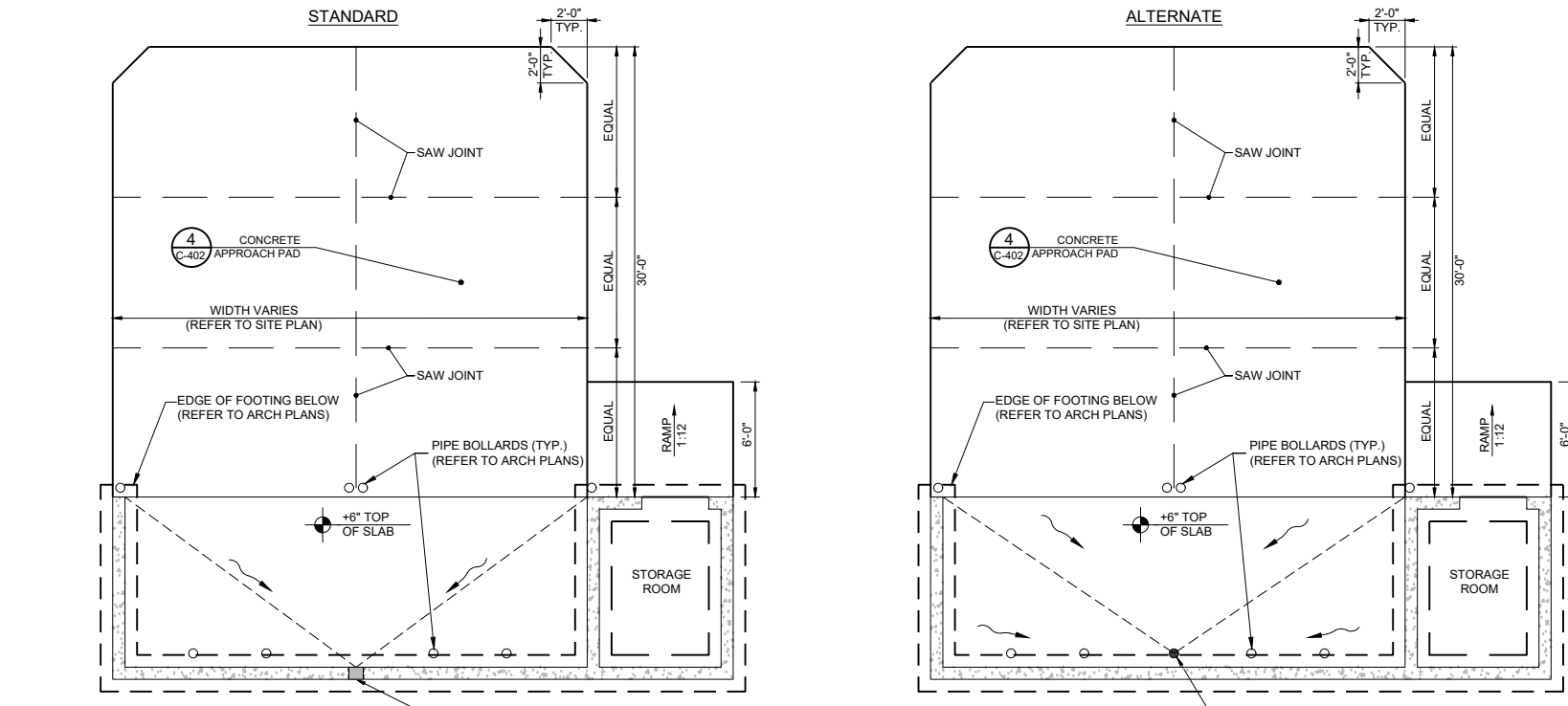


10 STORM STRUCTURE WEEP HOLE DETAILS

C-9.3 NOT TO SCALE

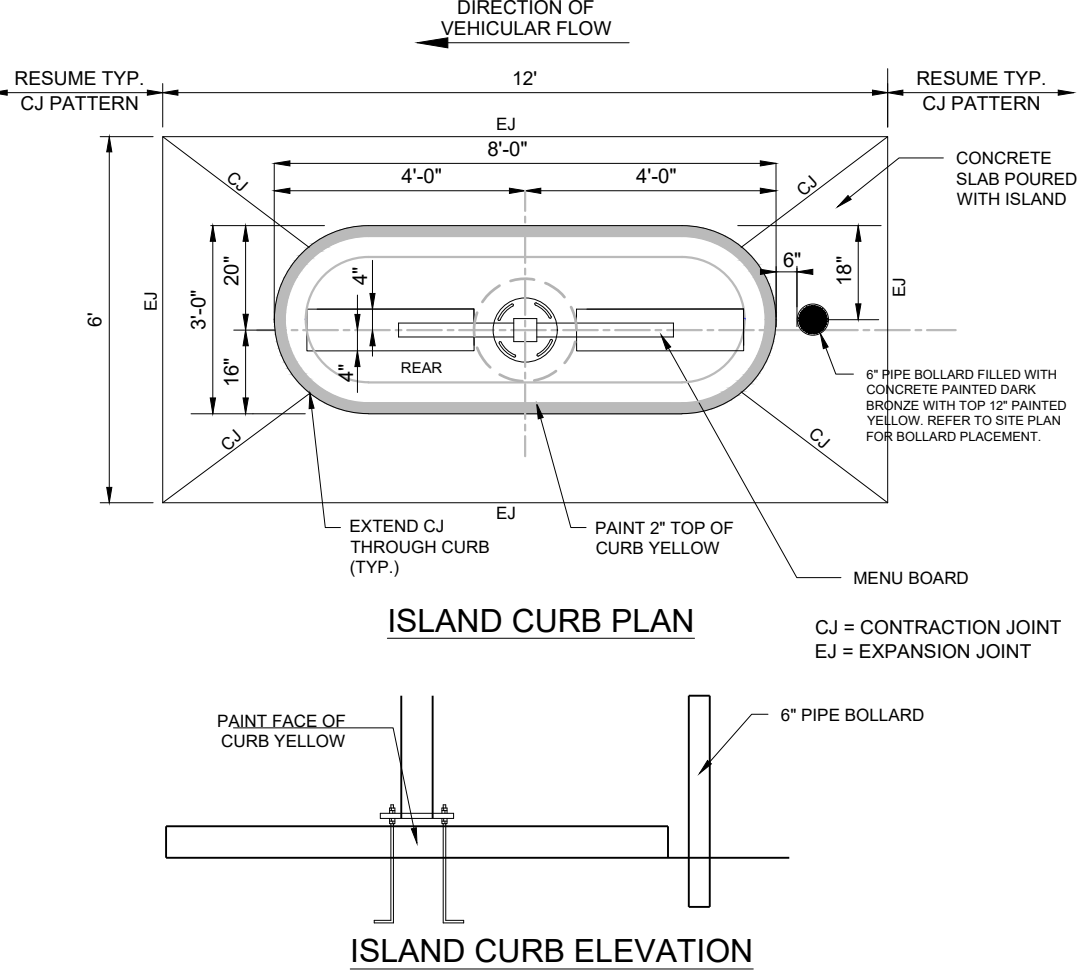


- REFUSE ENCLOSURE PLAN NOTES:
- SEE SITE PLAN FOR LAYOUT OF CONCRETE APPROACH PAD.
 - SEE GRADING PLAN FOR ELEVATIONS ON DUMPSTER PAD & DRAINAGE OF INTERIOR TRASH ENCLOSURE.
 - PROVIDE POSITIVE DRAINAGE ON APPROACH PAD AWAY FROM DUMPSTER. (SEE GRADING PLAN)
 - SEE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONS & DETAILS ON ENCLOSURE. COORDINATE & VERIFY SIZE WITH ARCHITECT & STRUCTURAL ENGINEER.
 - GENERAL CONTRACTOR SHALL DRILL HOLES FOR GATE PINS IN BOTH THE OPEN & CLOSED POSITION.



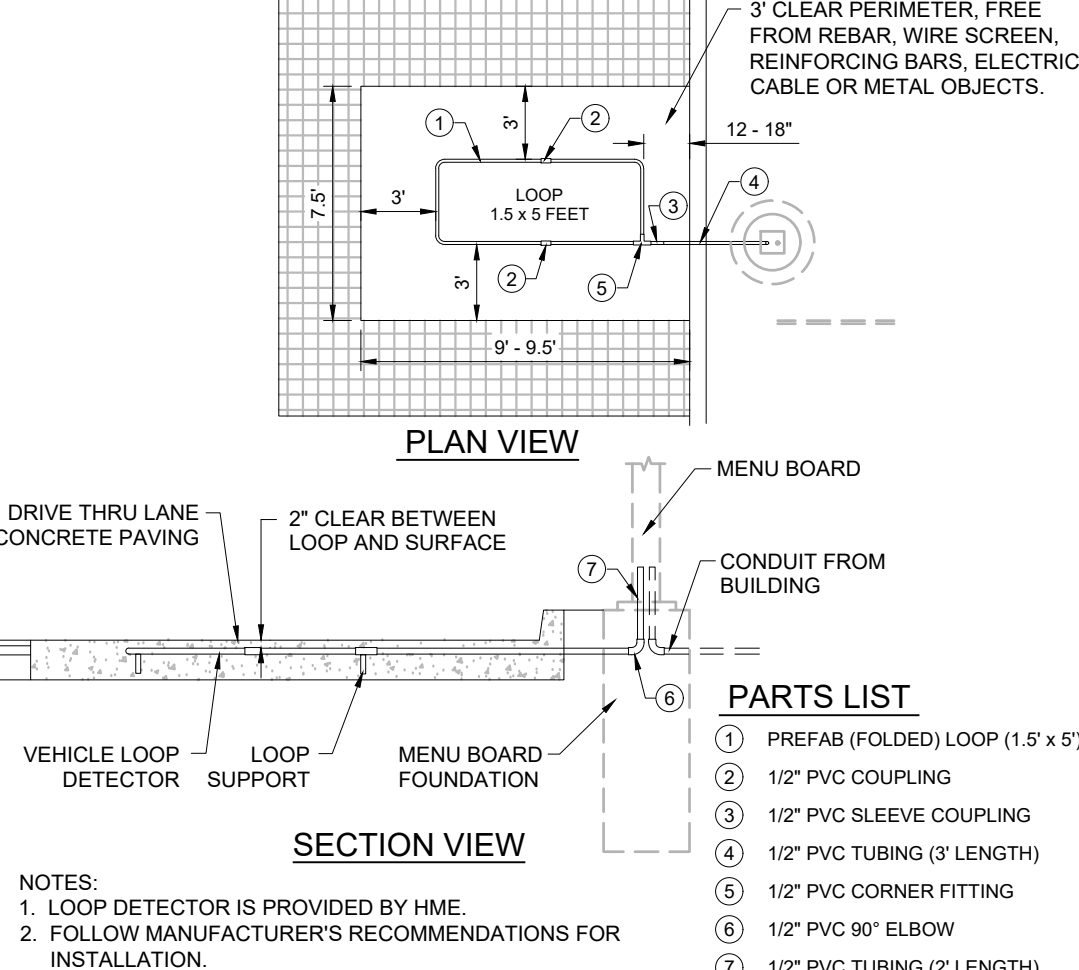
3 DRIVE-THRU ORDER POINT ISLAND

C-9.3 NOT TO SCALE



4 MENU BOARD LOOP DETECTION SYSTEM

C-9.3 NOT TO SCALE



- PARTS LIST
- PREFAB (FOLDED) LOOP (1.5' x 5')
 - 1/2" PVC COUPLING
 - 1/2" PVC SLEEVE COUPLING
 - 1/2" PVC TUBING (3' LENGTH)
 - 1/2" PVC CORNER FITTING
 - 1/2" PVC 90° ELBOW
 - 1/2" PVC TUBING (2' LENGTH)
- NOTES:
- LOOP DETECTOR IS PROVIDED BY HME.
 - FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

CONSTRUCTION DOCUMENTS

CHICK-FIL-A

POWERS & PALMER PARK

5813 PALMER PARK BLVD
COLORADO SPRINGS, CO 80915

FSR#05934

BUILDING TYPE / SIZE: P12 LRS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
-----	------	-------------

CONSULTANT PROJECT #
PRINTED FOR
DATE: 01/31/2024
DRAWN BY: CSS
SHEET
CFA STANDARD
DETAILS
SHEET NUMBER

C9.3

FOR AND AND ON-BEHALF OF
MERRICK AND COMPANY



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

