

1/21/2025 4:16:05 PM Autodesk Docs://CO_05934_Powers & Palmer Park_2024.12_DT065934_Powers & Palmer Park_ARC.rvt 05-DT-L-05417-G-000-COVER SHEET

GOVERNMENTAL AGENCIES

BUILDING DEPARTMENT
City of Parker
Department of Community Development
20120 E Mainstreet
Parker, CO 80138
Phone: 303.841.0353
Fax: 303.840.9792
Contact Email: town@parkerco.gov

FIRE DEPARTMENT
Parker District
107 Cedar Lane
Greenville, SC 29601
Phone: 864.467.4000

HEALTH DEPARTMENT
Douglas County Colorado
410 S. Wilcox Street
Castle Rock, CO 80104
Phone: 303-660-7400

BUILDING DATA

BUILDING CODE:
2021 International Existing Building Code

PLUMBING CODE:
2021 International Plumbing Code

MECHANICAL CODE:
2021 International Mechanical Code

ELECTRICAL CODE:
2020 National Electrical Code

FIRE CODE:
2021 International Fire Code

ACCESSIBILITY CODE:
2017 ANSI Standard A117.1

ENERGY CODE:
2021 International Energy Conservation Code

ALTERNATE BID ITEMS

1



05417

P14 DT-L

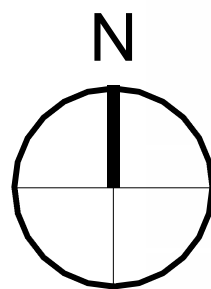
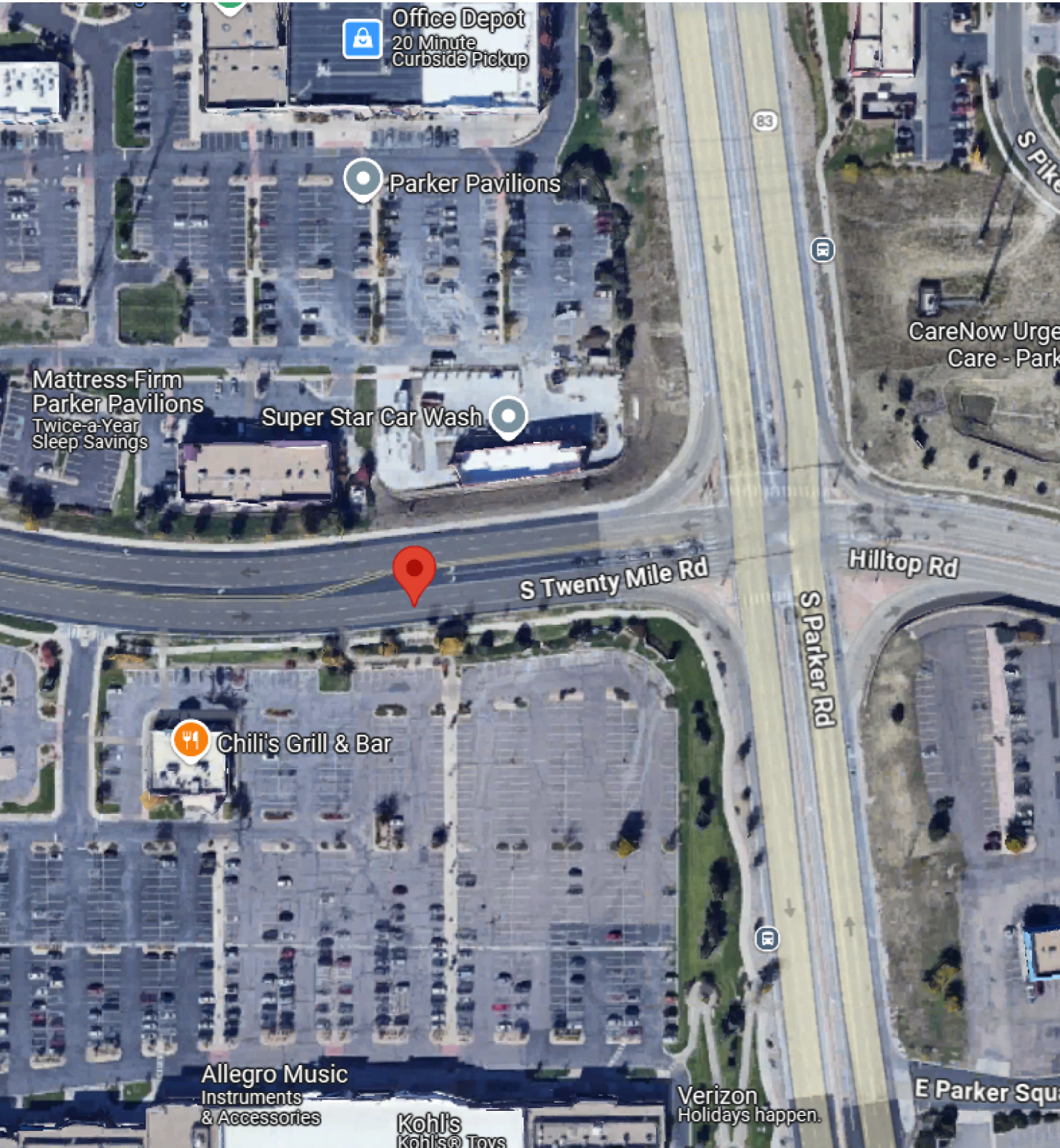
Powers & Palmer Park

SEC OF POWERS BLVD AND PALMER PARK BLVD
COLORADO SPRINGS, CO 80951



VICINITY MAP

REGION: WEST



DESIGNOTES APPLIED IN CURRENT PROJECT

DESIGNNOTE #	REV #	DESCRIPTION
2024-016	0	DUAL SIDED COLD RAIL
2024-017	0	ROOFTOP UNIT SCHEDULES
2024-018	0	TANK-TYPE WATER HEATER INSTALLATION CLEARANCES
2024-019	0	RECIRCULATION PUMP AND FILTER CIRCUIT

ITEMS OF IMPORTANCE

INCLUDED IN PROJECT	ITEM NUMBER	ITEM DESCRIPTION
---------------------	-------------	------------------

*NOTE: REVISION SCHEDULE ABOVE MAY NOT LIST REVISIONS TO ALL DISCIPLINES. REFER TO REVISED DRAWINGS FOR CHANGES TO SHEETS NOT LISTED HERE.

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Contact Email:
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Contact Email:
johna@au-eng.com

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Contact Email: jeff@whs-eng.com

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Phone: 425-251-6222
Contact Name: Jason Carey
Contact Email:
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Irvine, CA, 92602
Phone: 407-225-5017
Contact Name: Alex Wolfe
Contact Email:
alex.wolfe@trimarkusa.com

LANDSCAPE
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Richland, WA, 99352
Phone: 425-251-6222
Contact Name: Jason Carey
Contact Email:
jcarey@barghausen.com

SHEET INDEX

SHEET NUMBER	SHEET NAME
G-000	COVER SHEET
A-201	FLOOR PLAN
A-301	EXTERIOR ELEVATIONS
A-103	REFUSE ENCLOSURE
A-104	ORDER POINT CANOPY
A-105	OUTSIDE MEAL DELIVERY CANOPY



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PROTOTYPICAL SET

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CONSTRUCTION

CHICK-FIL-A
Powers & Palmer Park
SEC OF POWERS BLVD AND PALMER PARK BLVD
COLORADO SPRINGS, CO 80951

FSR#05417

BUILDING TYPE / SIZE: P14 DT-L
RELEASE: 24.11
PRINTED FOR

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #
DATE
DRAWN BY
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SHEET
COVER SHEET

SHEET NUMBER

G-000



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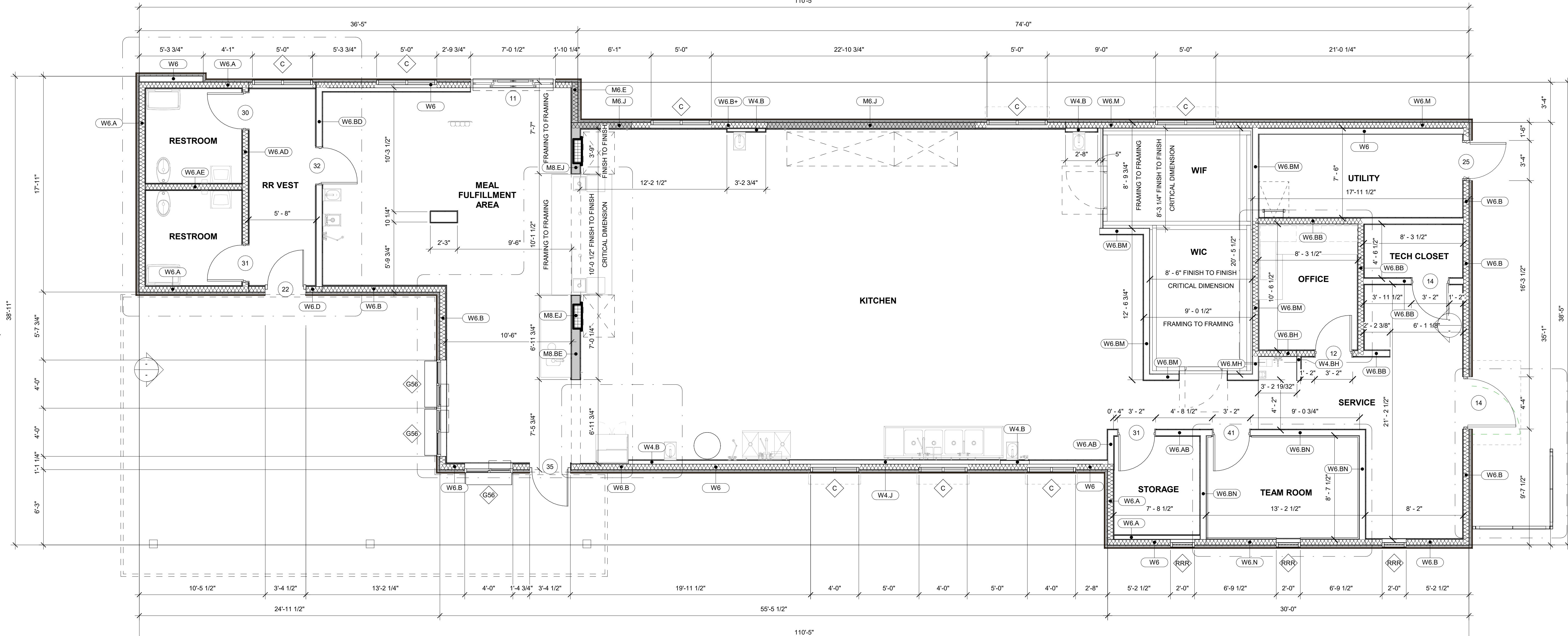
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NO. DATE DESCRIPTION

CONSULTANT PROJECT #
DATE

DRAWN BY: Author
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SHEET
FLOOR PLAN

SHEET NUMBER

A-201



C1 FLOOR PLAN
1/4" = 1'-0"

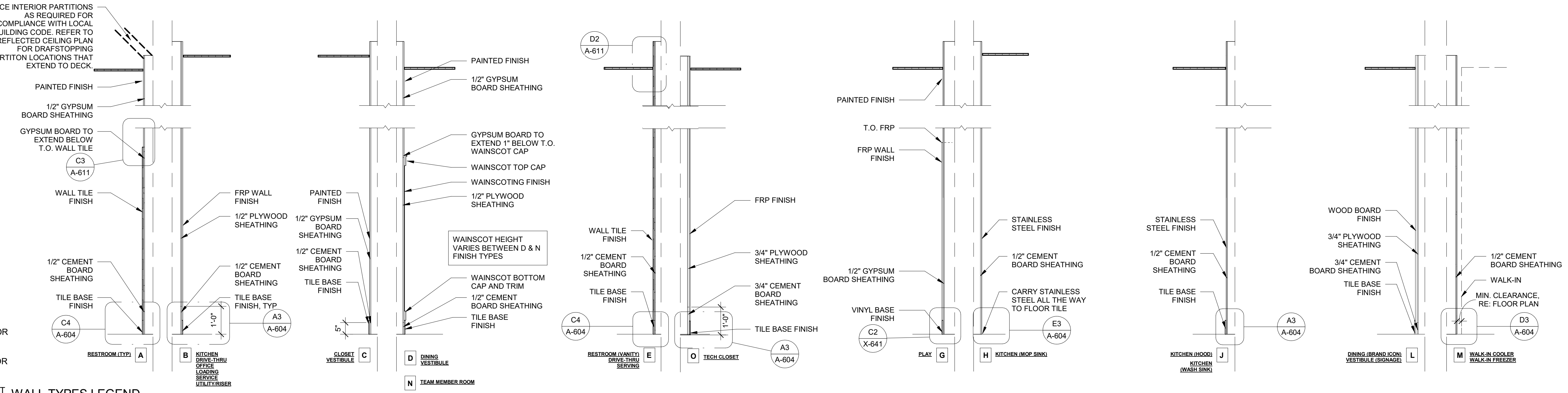
REFER TO LEGEND BELOW FOR WALL CAVITY FRAMING AND INSULATION	REFER TO WALL TYPES ON THE RIGHT FOR SHEATHING AND MATERIALS ON EXPOSED SIDE(S) OF WALL (REFER TO ROOM LABELS FOR ORIENTATION)	PLUS SIGN INDICATES ADDITIONAL LAYER OF SHEATHING
WOOD STUD WALL	2x4 WOOD STUDS 2x6 WOOD STUDS 2x8 WOOD STUDS	
METAL STUD WALL	3 5/8" METAL STUDS 6" METAL STUDS 8" METAL STUDS	
BATT INSULATION		

NOTE 1: WALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO: AREAS INDICATED ON INTERIOR ELEVATIONS FOR GRAB BARS, SHELVING BRACKETS, MONITORS, FIXTURES, ETC. AS WELL AS BLOCKING FOR WINDOWS, CANOPIES ROOF FRAMING, ROOF TOP UNITS, ETC.

NOTE 2: REFER TO STRUCTURAL DRAWINGS AND WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

NOTE 3: REFER TO FINISH PLAN FOR WALL FINISH INFO AND SPECIFICATIONS FOR WALL SHEATHING INFO. DIMENSIONS SHOWN ARE FROM FLOOR FINISH, TYP.

NOTE 4: GENERAL CONTRACTOR TO PROVIDE AND/OR VERIFY FIRE BLOCKING AT 10" MAX VERTICAL SPACING AND AT CEILING HEIGHT IN ALL COMBUSTIBLE STUD WALLS, ACCORDING TO LOCAL CODE REQUIREMENTS.



WALL TYPES LEGEND
N.T.S.

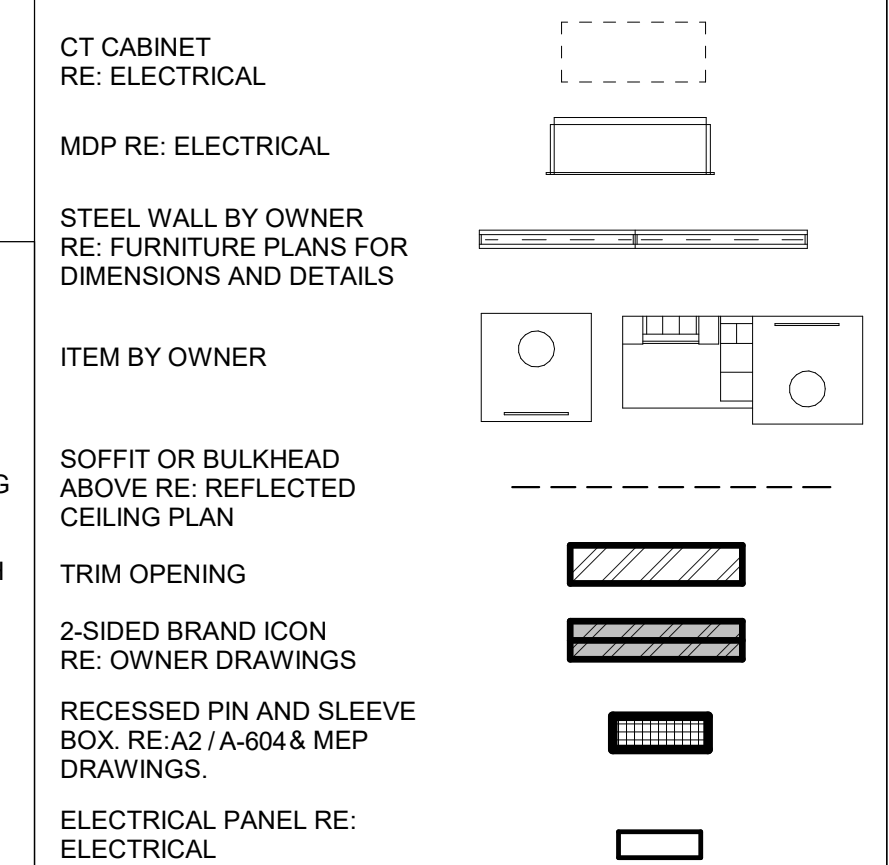
INSULATION SCHEDULE		
LOCATION	R-VALUE	THICKNESS
ROOF	R-29	5" RIGID
WALL (CONTINUOUS)	R-5	1" RIGID
WALL (CAVITY)	R-19	6" BATT
SLAB	R-10	2" RIGID

NOTES:
1. REFER TO FLOOR PLAN AND WALL SECTION SHEETS FOR INSULATION EXTENTS AND LOCATIONS.
2. REFER TO SPECIFICATIONS FOR INSULATION PRODUCT INFORMATION.

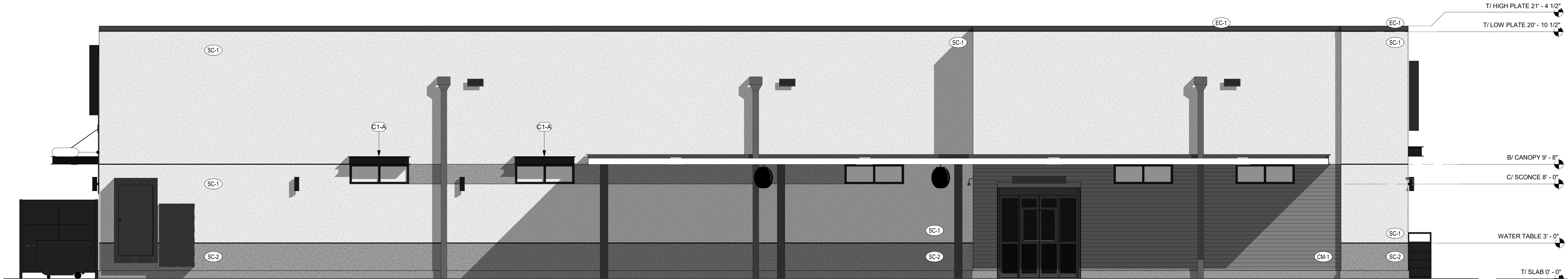
FLOOR PLAN GENERAL NOTES

A.1 ALL DIMENSIONS SHOWN ARE FRAMING DIMENSIONS (FACE OF STUD/JAMB) UNLESS OTHERWISE NOTED.
A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.
A.3 REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.
A.4 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
A.5 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE: ELECTRICAL.
A.6 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT: OWNER.
A.7 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR CONDIMENT COUNTERS AND TRASH RECEPTACLES.
A.8 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION. IF APPLICABLE.
A.9 REFER TO MILLWORK PLAN FOR RAISED CONCRETE CURB LOCATIONS.
A.10 FREEZER AND COOLER DOORS AND HARDWARE SUPPLIED BY FREEZER/COOLER MANUFACTURER.

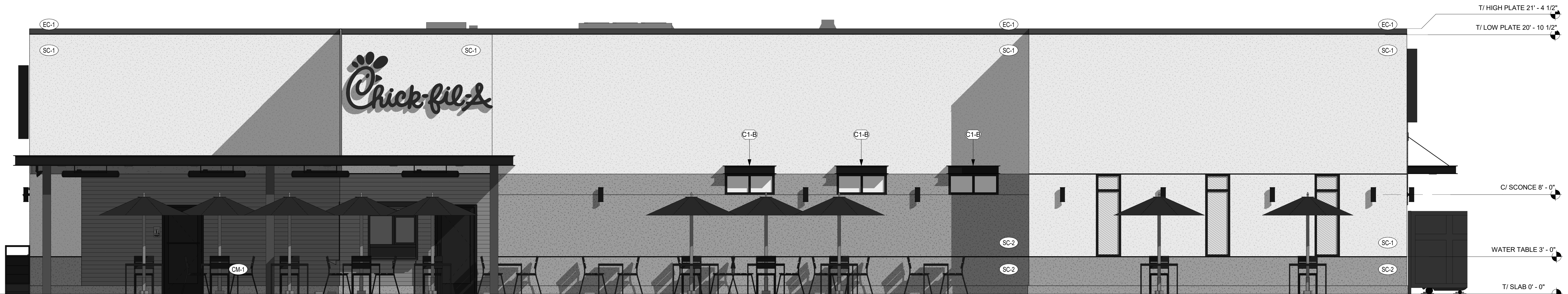
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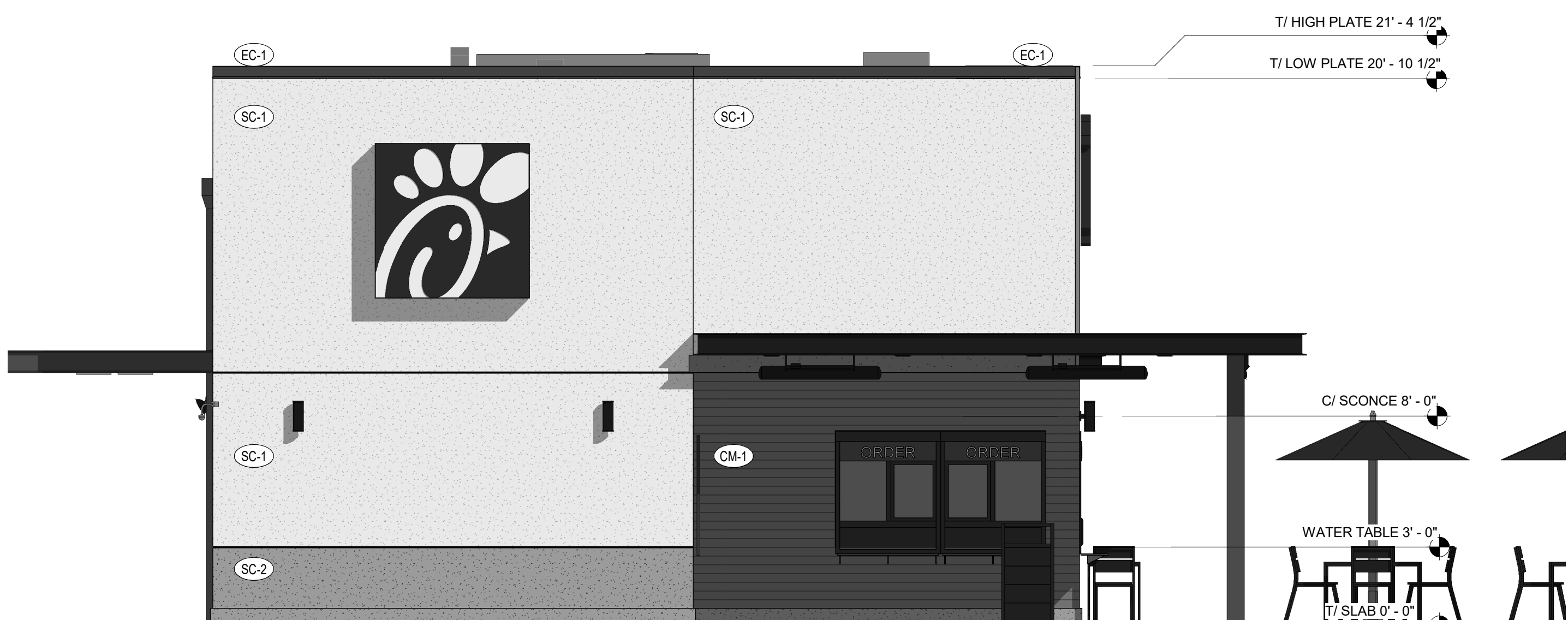
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10-DT-L-05417-A-302-EXTERIOR ELEVATIONS - COLOR



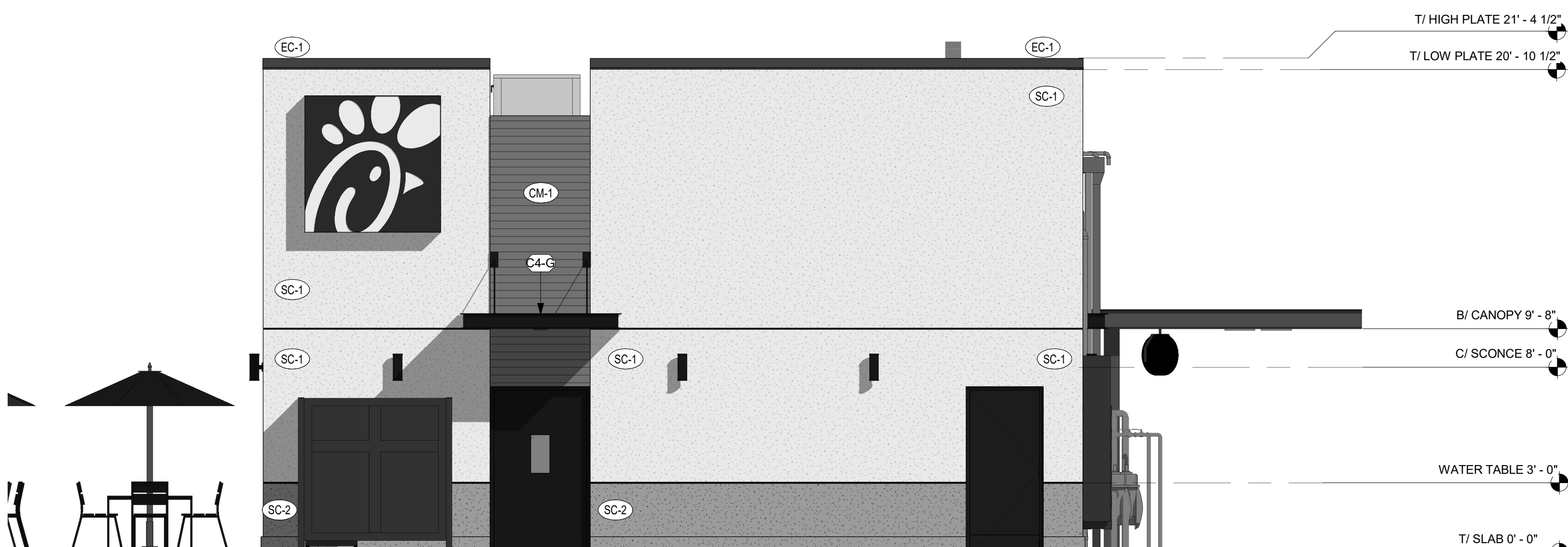
EXTERIOR ELEVATION
1/4" = 1'-0"



EXTERIOR ELEVATION
1/4" = 1'-0"



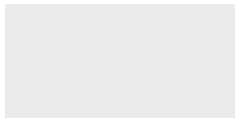





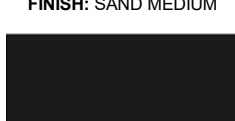



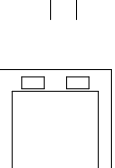
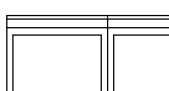

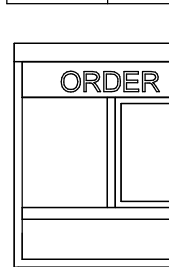
EXTERIOR ELEVATION
1/4" = 1'-0"



EXTERIOR ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
CM-1	WOOD COMPOSITE MATERIAL	RESYSTA INTERNATIONAL	FACADE CLADDING 7CH	RESP340812	C02, PALE GOLDEN	
CP-1	CANOPY METAL FASCIA		DURA COAT	DC19ST-2703	DARK BRONZE	OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROCKWOOD	REFUSE ENCLOSURE, FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS EXTERIOR METALS
SC-1	STUCCO	SHERWIN WILLIAMS	WESTHIGHLAND WHITE	SW-7566	WESTHIGHLAND WHITE	FINISH: SAND MEDIUM
SC-2	STUCCO	SHERWIN WILLIAMS	HARDWARE	SW-6172	HARDWARE	FINISH: SAND MEDIUM
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	

ATTACHED CANOPY SCHEDULE						
Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	5	<varies>	1' - 0"	0' - 0"	No
C4-G	Exterior Canopy	1	7' - 0"	4' - 0"	2' - 4"	Yes
Grand total		6				
CANOPY NOTES:						
BUILDING MOUNTED CANOPIES			- 8" THICK CANOPY - KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)			
COLUMN MOUNTED CANOPIES			- 10" THICK CANOPY - FINISH OF STRUCTURE TO BE (CP-1) - FINISH OF DECKING TO BE (CP-2)			
GENERAL NOTES						
1. ALL SIGNAGE PROVIDED BY OTHERS						
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION						

LEGEND		EXPANSION JOINT, SEALANT COLOR TO MATCH MORTAR COLOR, RE: SPECIFICATIONS		CO2 FILL BOX - RE: KITCHEN	
	SC-1		CARD READER BY SECURITY VENDOR - RE: ELEC		LIGHT FIXTURE - RE: ELECTRICAL
	SC-2		SCUPPER - <u>PT-113</u> SEE		LIGHT FIXTURE - RE: ELECTRICAL
	EC-1		DOWNSPOUT - <u>PT-113</u> SEE		CT CABINET - <u>PT-113</u> RE: ELECTRICAL
	CM-1		MDP - <u>PT-113</u> RE: ELECTRICAL		MENU BOARDS
			OIL EXTRACTION PORT ACCESS BOX		WALK-UP WINDOW WITH TRANSOM - RE: NATIONAL ACCOUNTS



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Powers & Palmer Park
SEC OF POWERS BLVD AND PALMER
PARK BLVD
COLORADO SPRINGS, CO 80951

FSR#05417

BUILDING TYPE / SIZE: P14 DT-L
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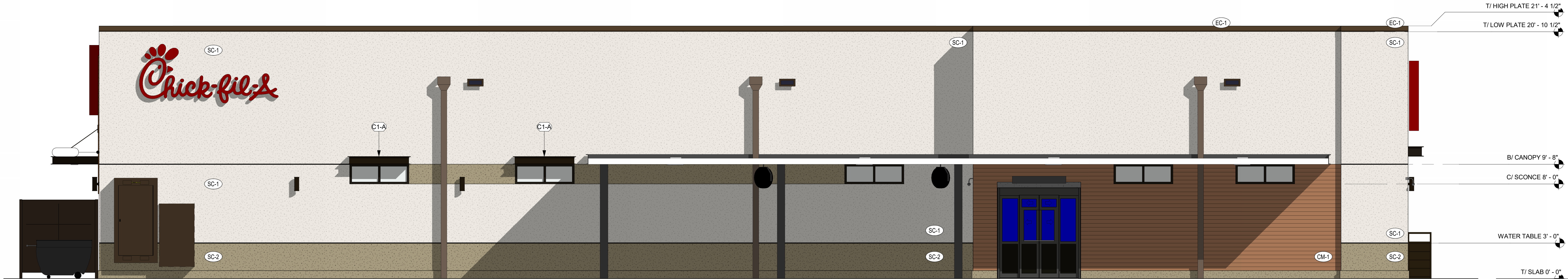
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SHEET
EXTERIOR ELEVATIONS

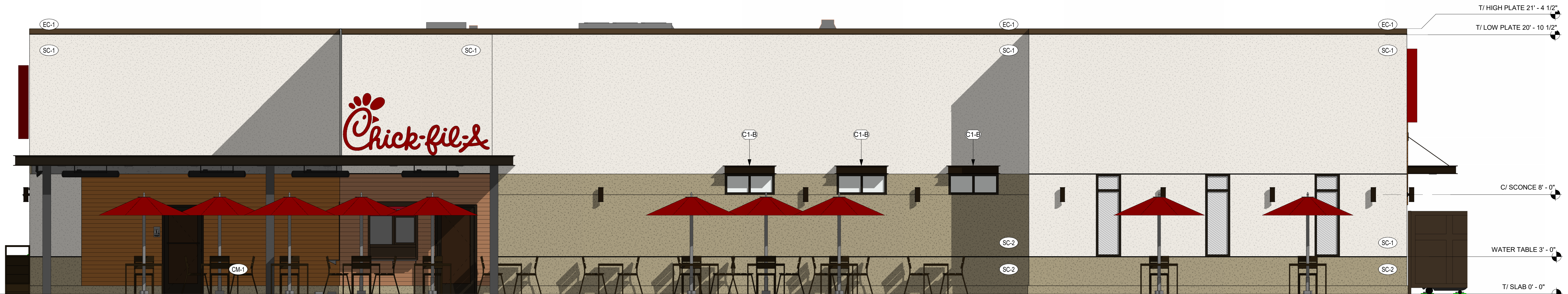
SHEET NUMBER

A-301

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10-DT-L-05417-A-302-EXTERIOR ELEVATIONS - COLOR



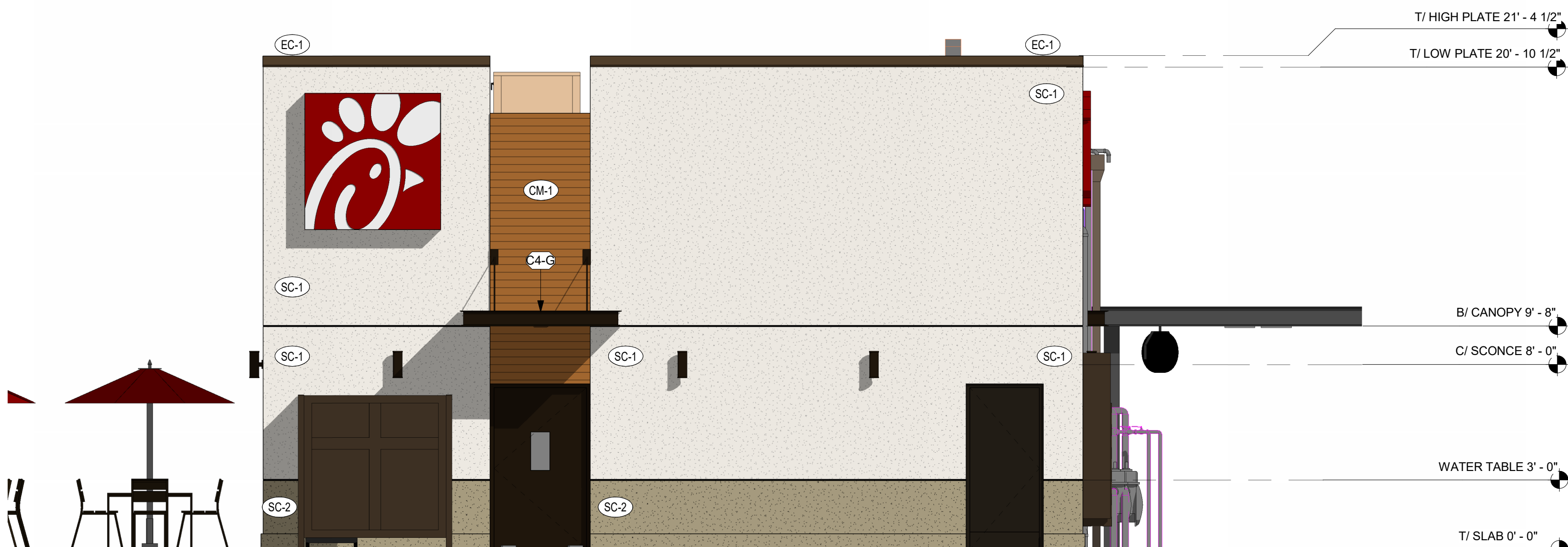
EXTERIOR ELEVATION
1/4" = 1'-0"



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CP-2	CANOPY METAL DECK				WHITE	SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350		DARK BRONZE	FINISH: SEMI-GLOSS EXTERIOR METALS
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BUILDING MOUNTED CANOPIES			- 8" THICK CANOPY - KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)			
COLUMN MOUNTED CANOPIES			- 10" THICK CANOPY - FINISH OF STRUCTURE TO BE (CP-1) - FINISH OF DECKING TO BE (CP-2)			
GENERAL NOTES						
1. ALL SIGNAGE PROVIDED BY OTHERS						
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION						

LEGEND		EXPANSION JOINT, SEALANT COLOR TO MATCH MORTAR COLOR, RE: SPECIFICATIONS		CO2 FILL BOX - RE: KITCHEN	
STUCCO SYSTEM COLOR: WESTHIGHLAND WHITE FINISH: SAND MEDIUM	SC-1				
STUCCO SYSTEM COLOR: HARDWARE FINISH: SAND MEDIUM	SC-2				
PRE-FINISHED METAL COPING COLOR: MIDNIGHT BRONZE	EC-1				
WOOD PANELING COLOR: PALE GOLDEN	CM-1				
DOWNSPOUT - FT-113 SEE		CARD READER BY SECURITY VENDOR - RE: ELEC		LIGHT FIXTURE - RE: ELECTRICAL	
MDP - FT-113 RE: ELECTRICAL		SCUPPER - FT-113 SEE		CT CABINET - FT-113 RE: ELECTRICAL	
OIL EXTRACTION PORT ACCESS BOX		MENU BOARDS		WALK-UP WINDOW WITH TRANSOM - RE: NATIONAL ACCOUNTS	



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SHEET
EXTERIOR ELEVATIONS - COLOR
SHEET NUMBER

A-302

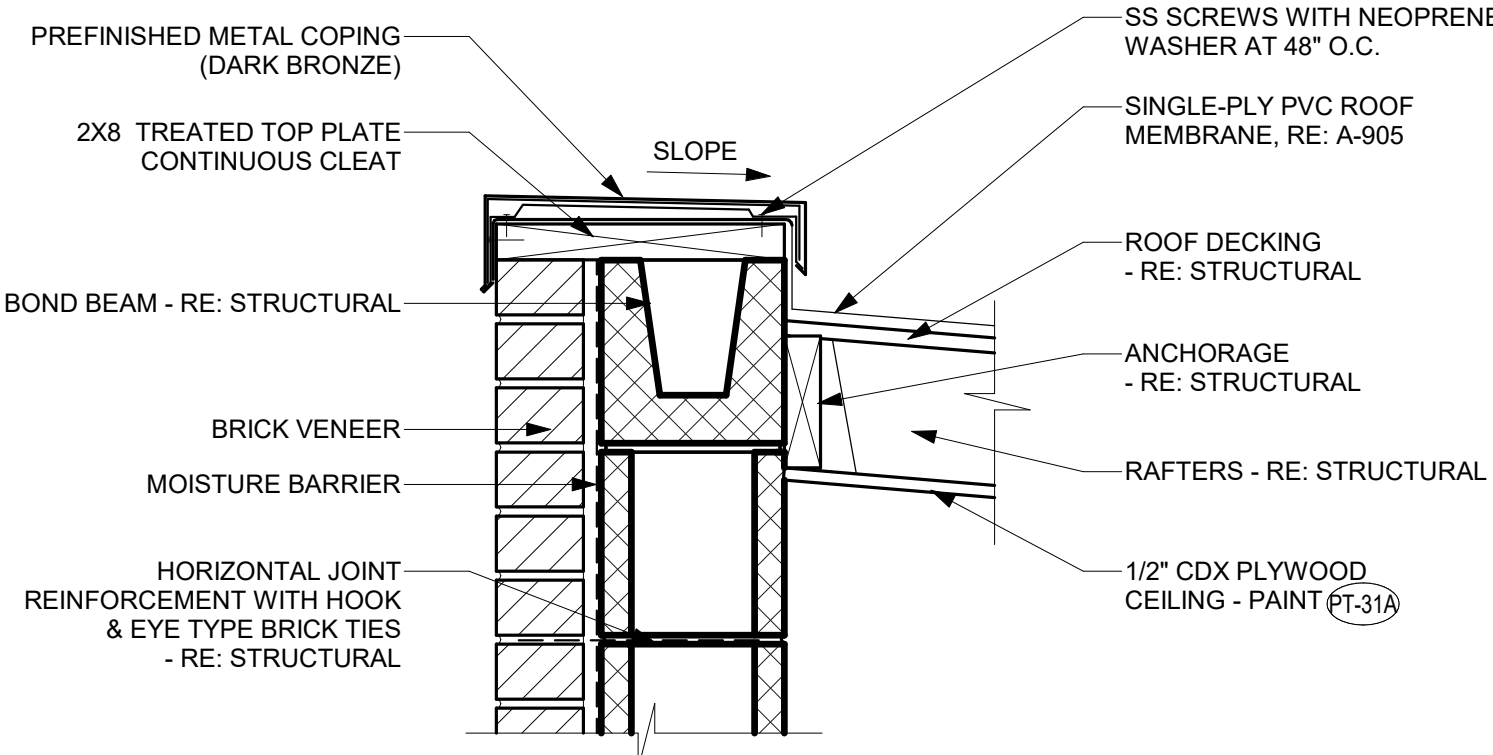
REF. ENCLOSURE FINISHES

EC-1
PREFINISHED METAL COPING
COLOR: MIDNIGHT BRONZE

SC-2
STUCCO SYSTEM
COLOR: HARDWARE, SW 6172
FINISH: SAND MEDIUM

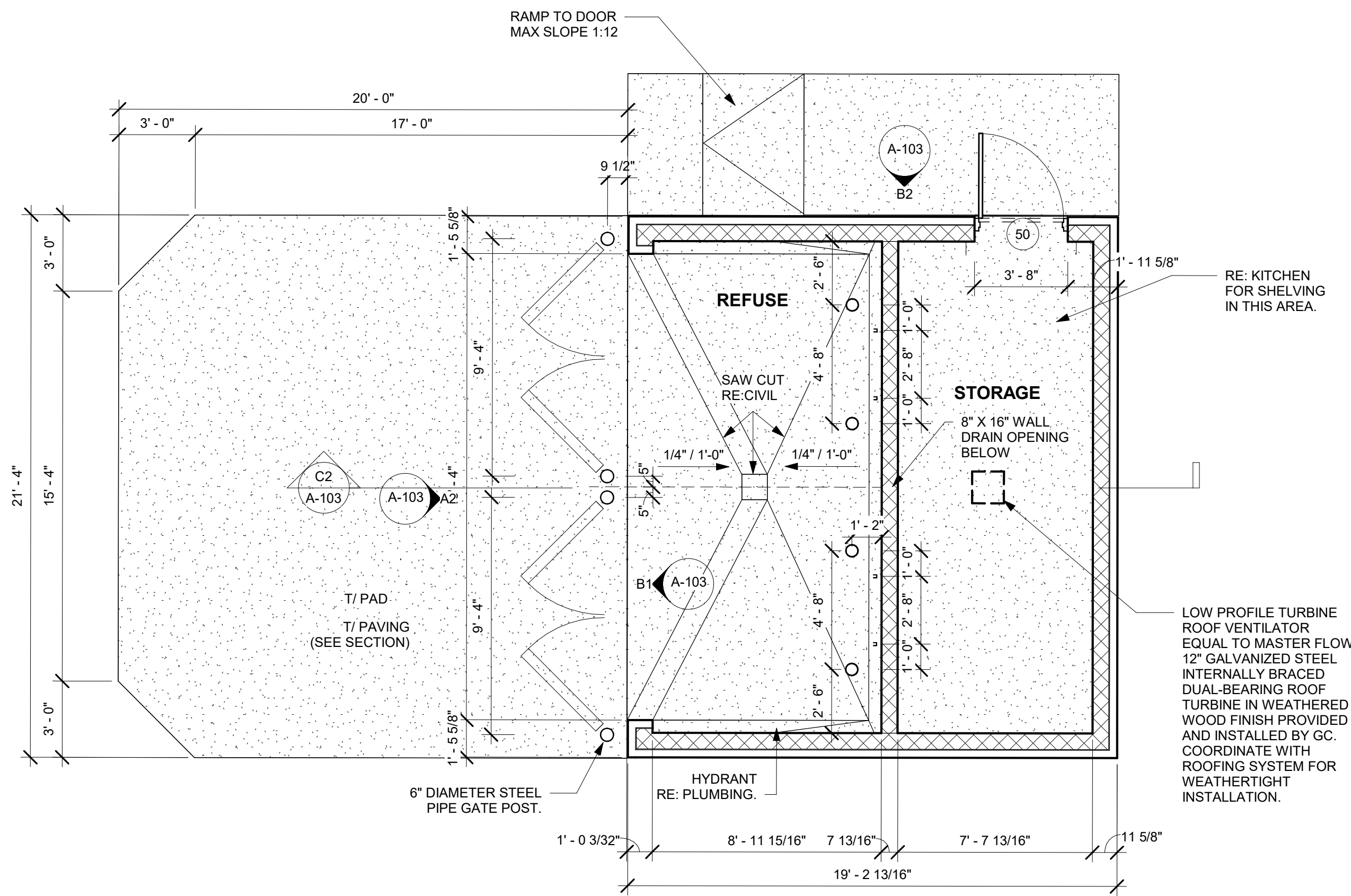
REFUSE ENCLOSURE NOTES

1. **IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.



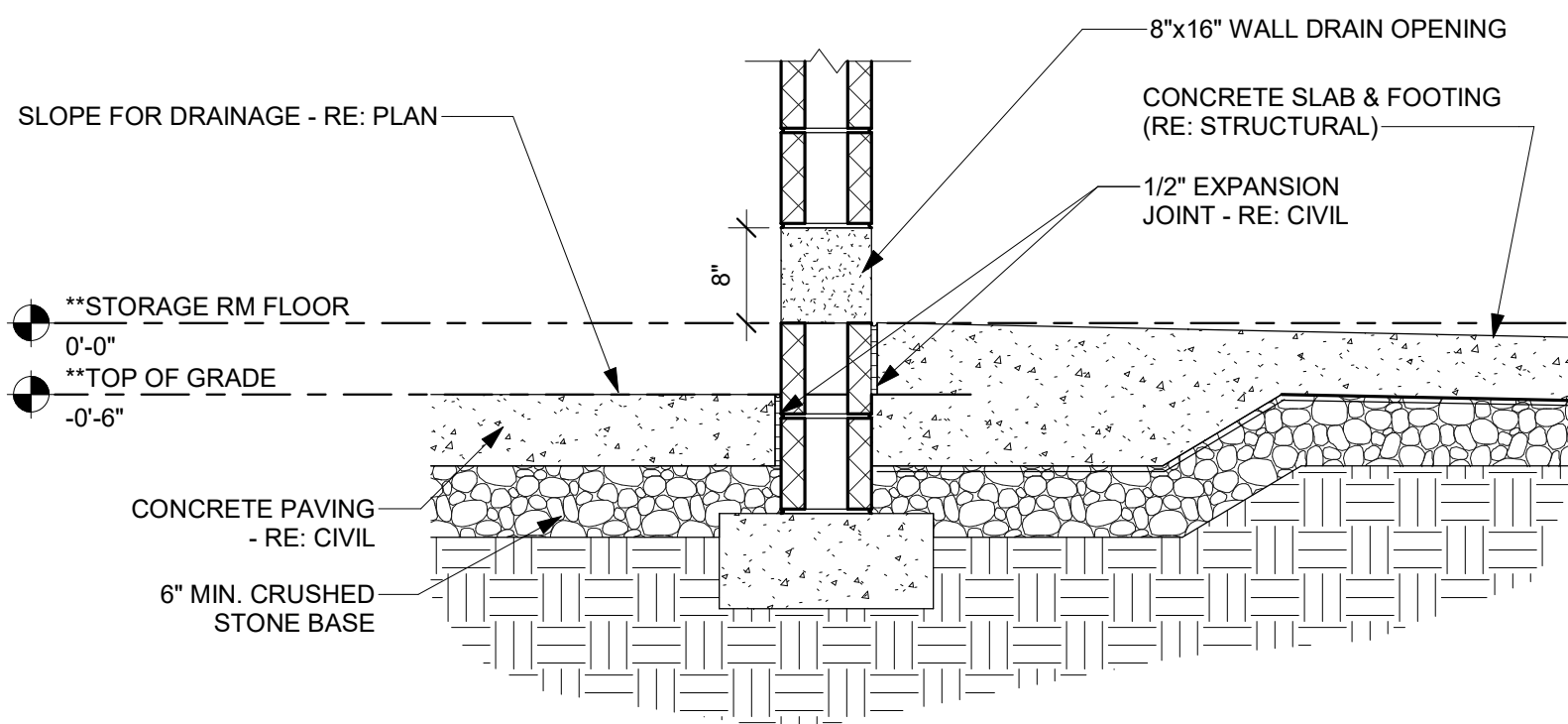
E3 REFUSE ENCLOSURE ROOF EDGE DETAIL

1 1/2" = 1'-0"



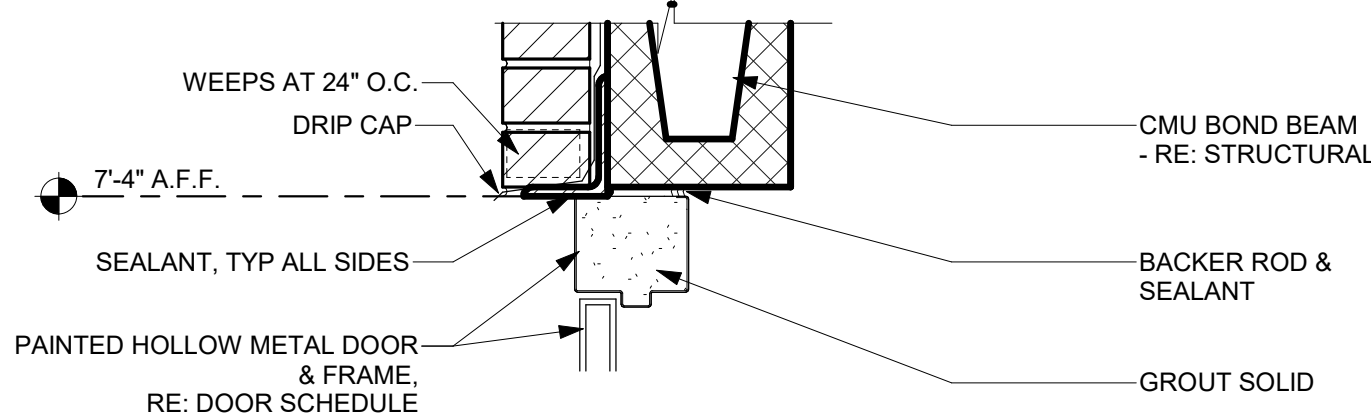
D1 REFUSE ENCLOSURE PLAN

1/4" = 1'-0"



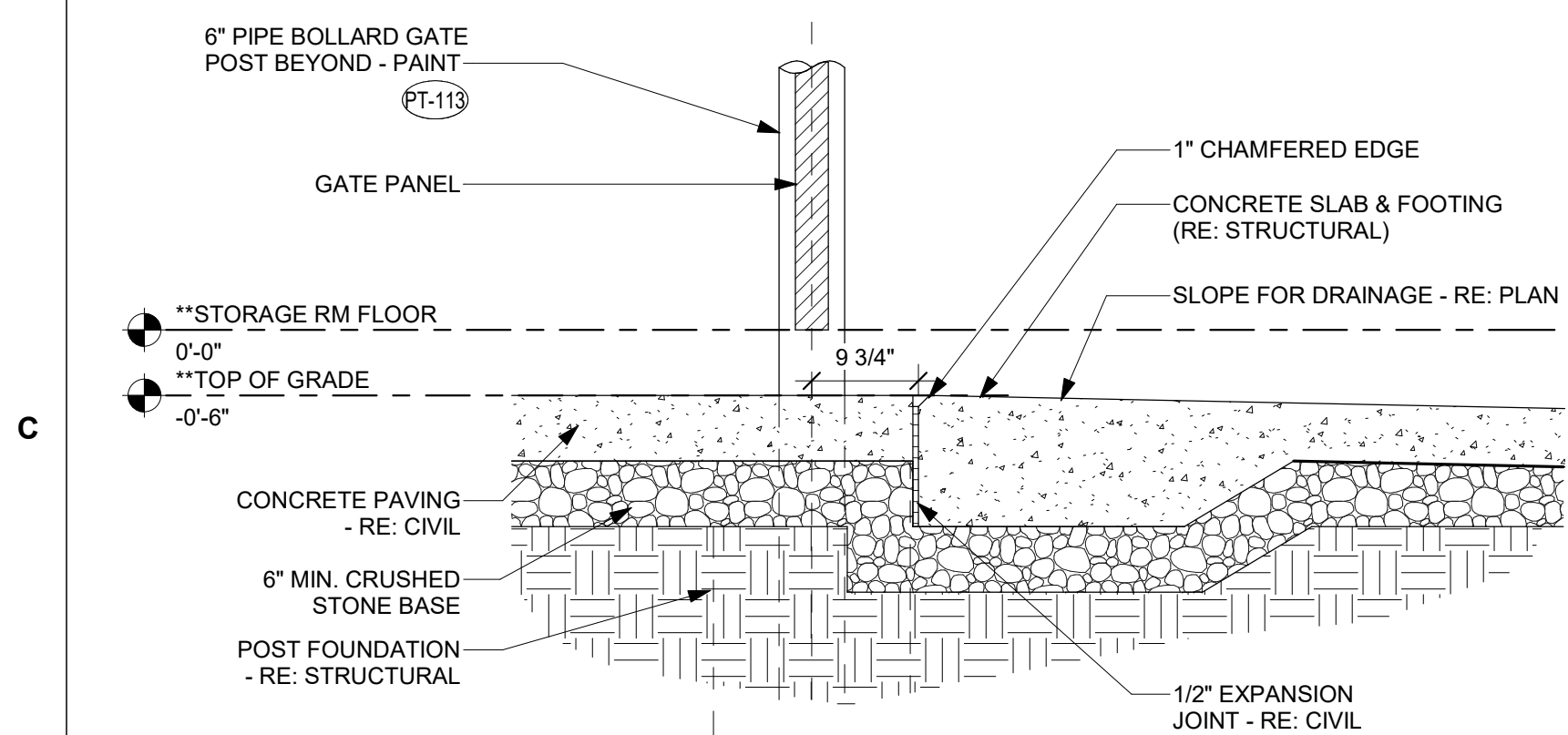
D4 REFUSE PAD AT CONCRETE PAVING DETAIL

3/4" = 1'-0"



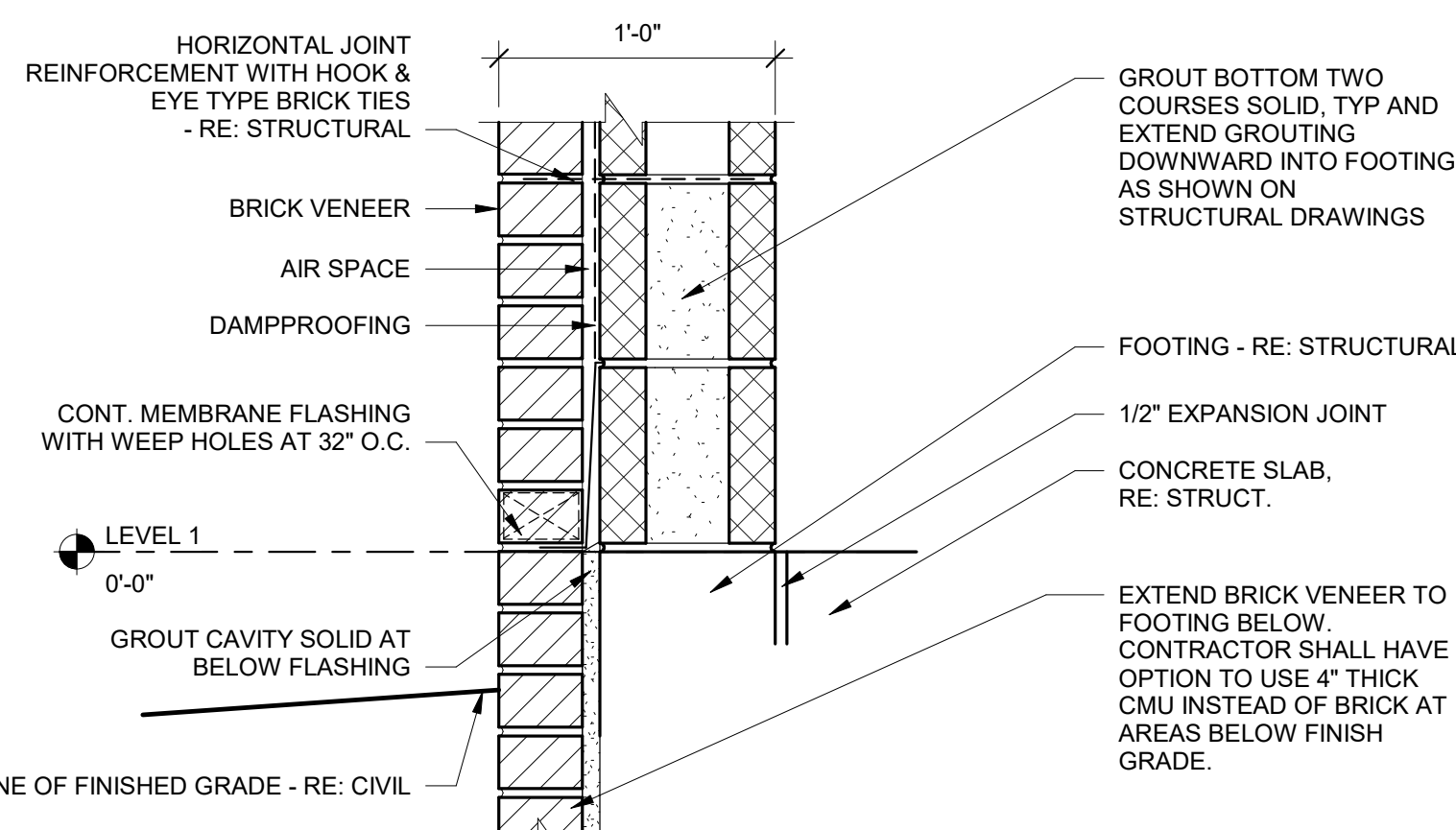
D3 REFUSE ENCLOSURE DOOR HEAD DETAIL

1 1/2" = 1'-0"



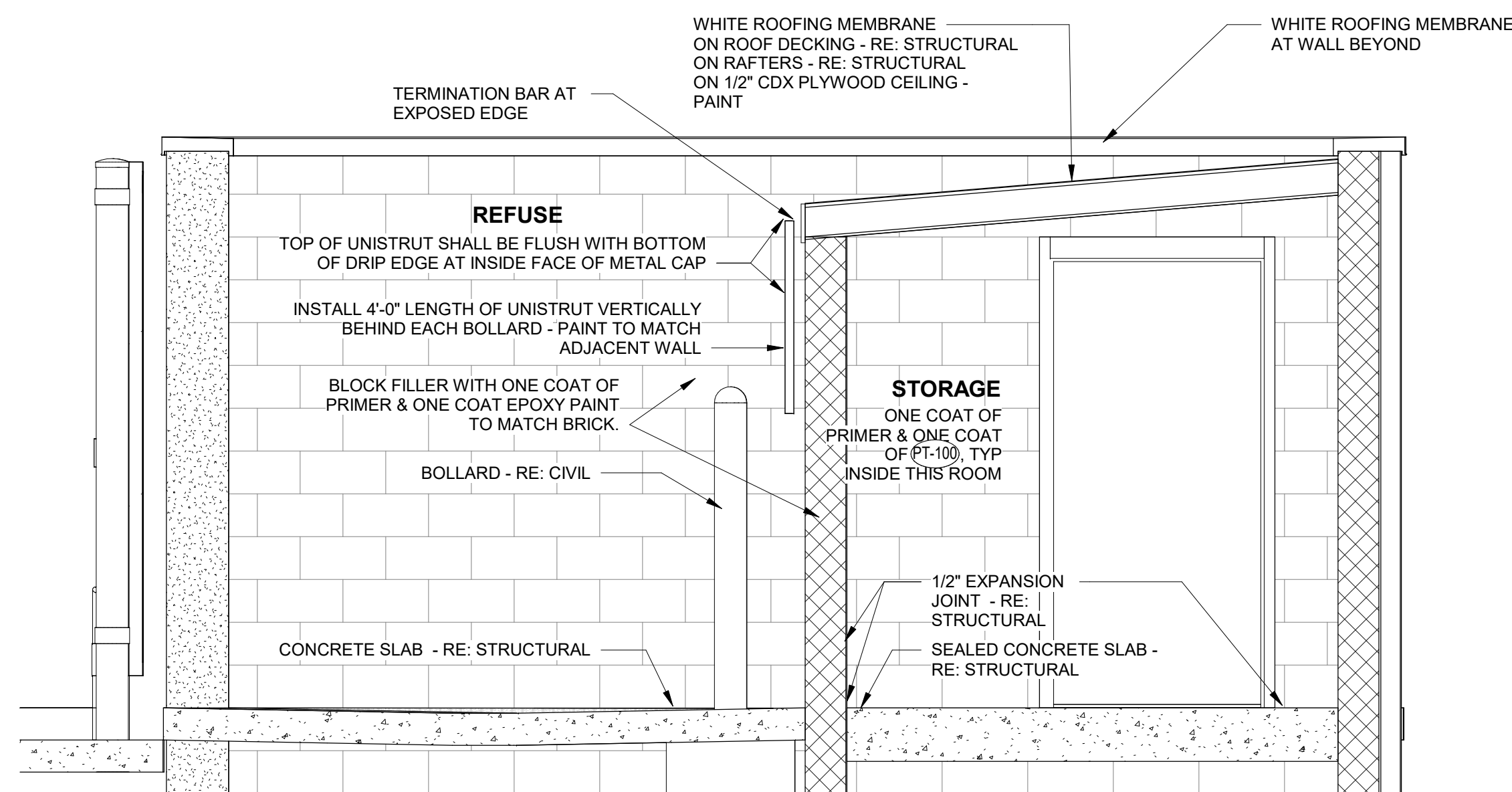
C4 REFUSE PAD AT CONCRETE PAVING DETAIL

3/4" = 1'-0"



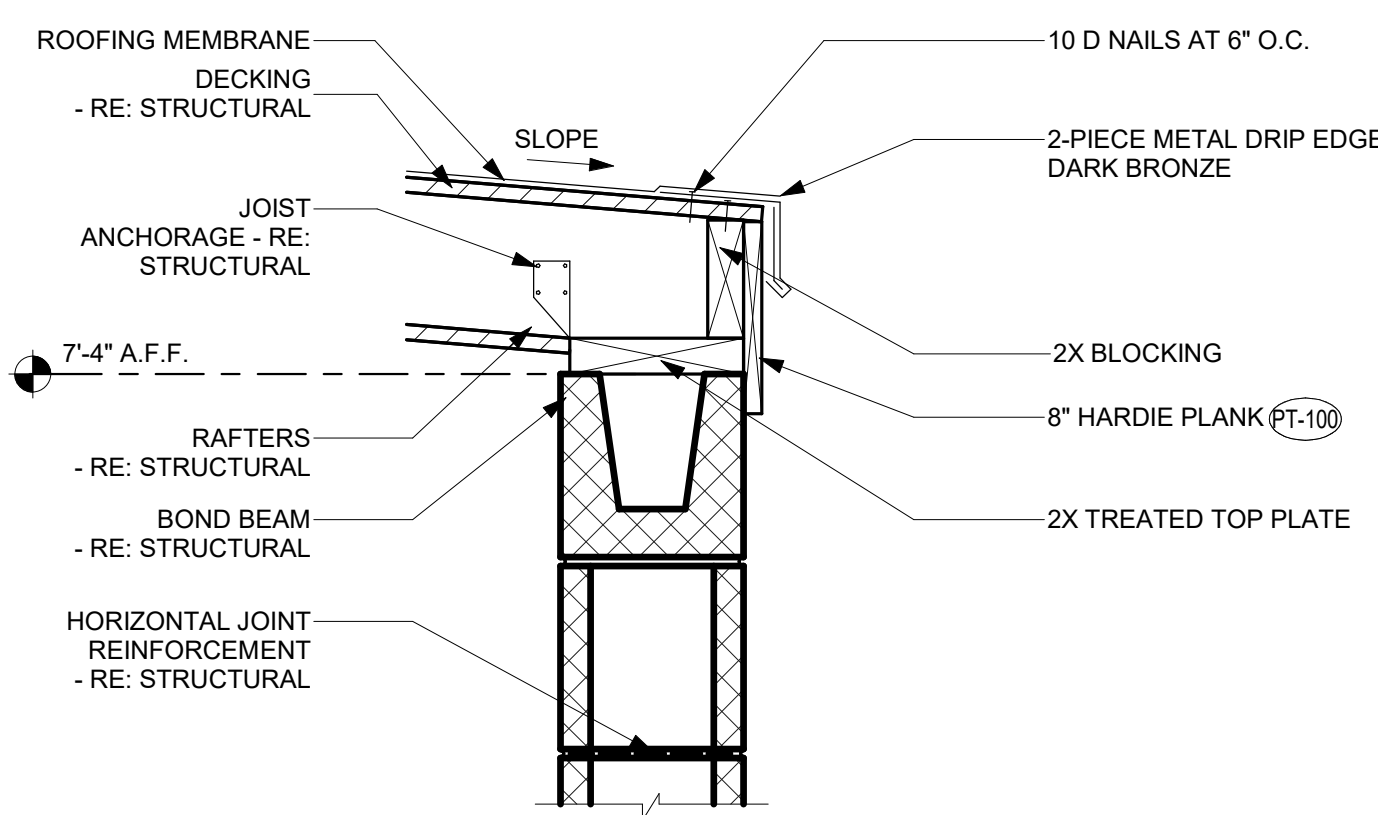
C3 REFUSE ENCLOSURE BASE DETAIL

1 1/2" = 1'-0"



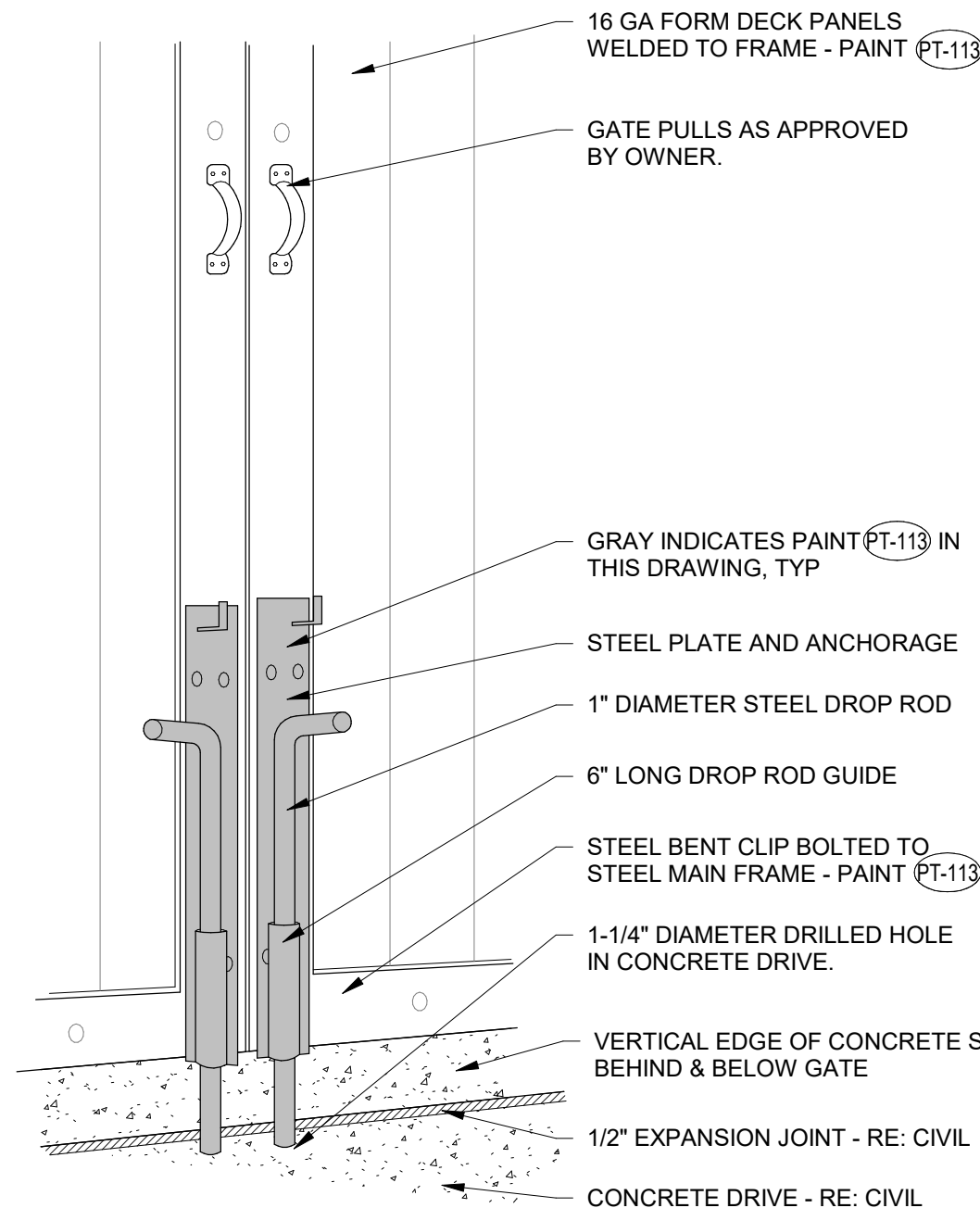
C2 REF SCTN STORAGE

1/2" = 1'-0"



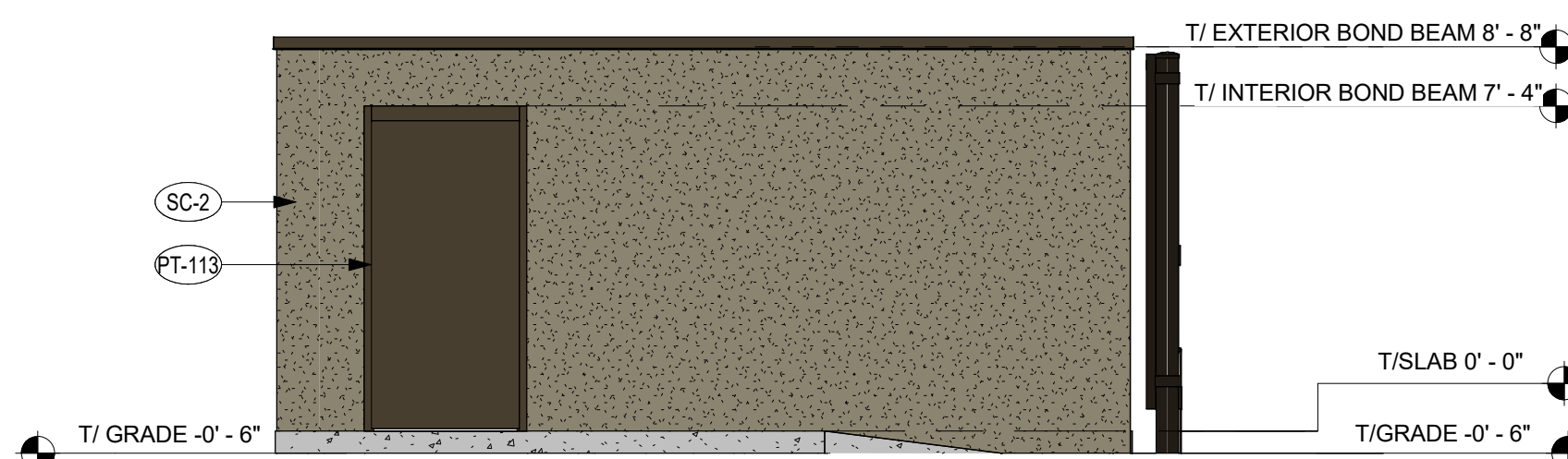
B4 REFUSE ENCLOSURE DRIP EDGE

1 1/2" = 1'-0"



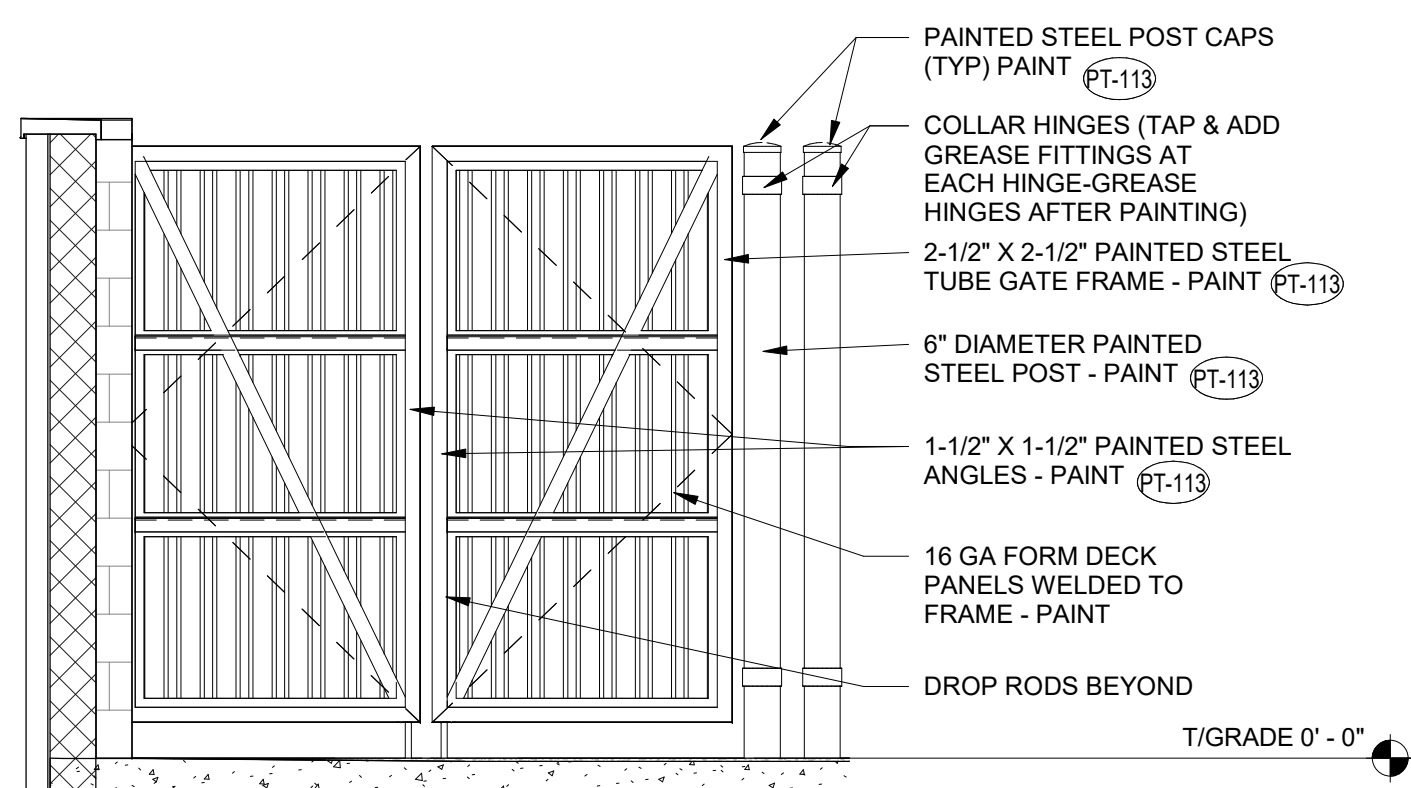
A3 REFUSE ENCLOSURE DROP ROD 3-D DECK PANEL DETAIL

N.T.S.



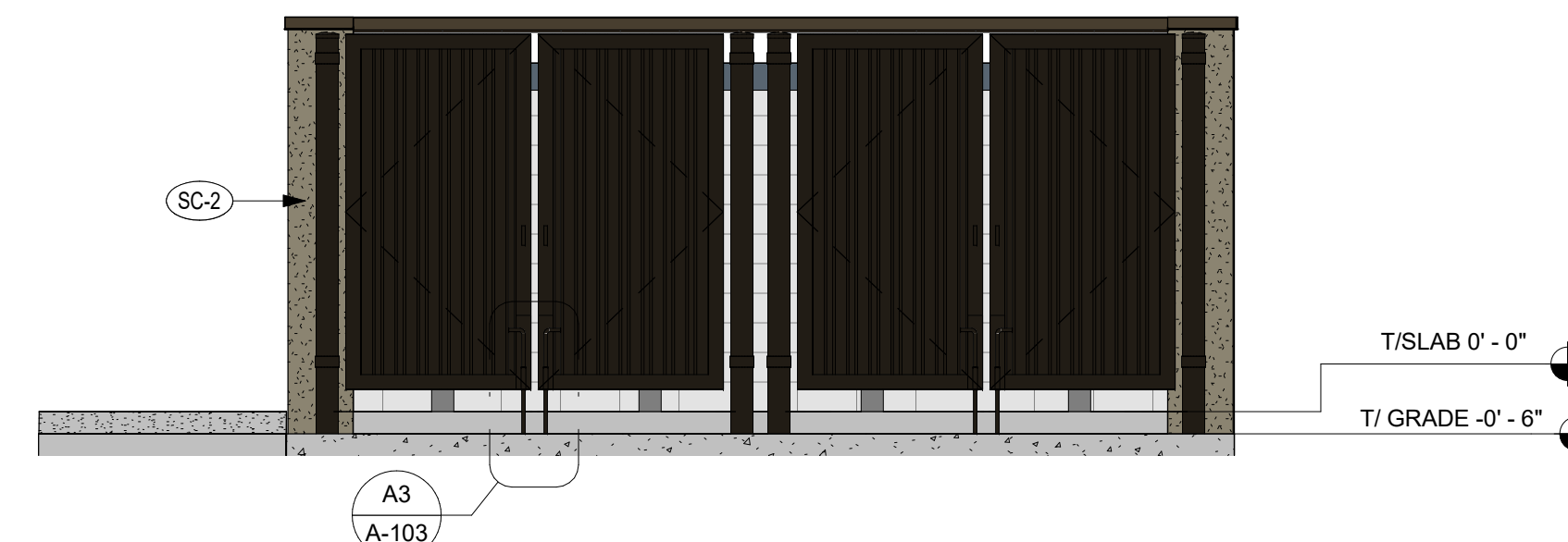
B2 REFUSE ENCLOSURE ELEVATION

1/4" = 1'-0"



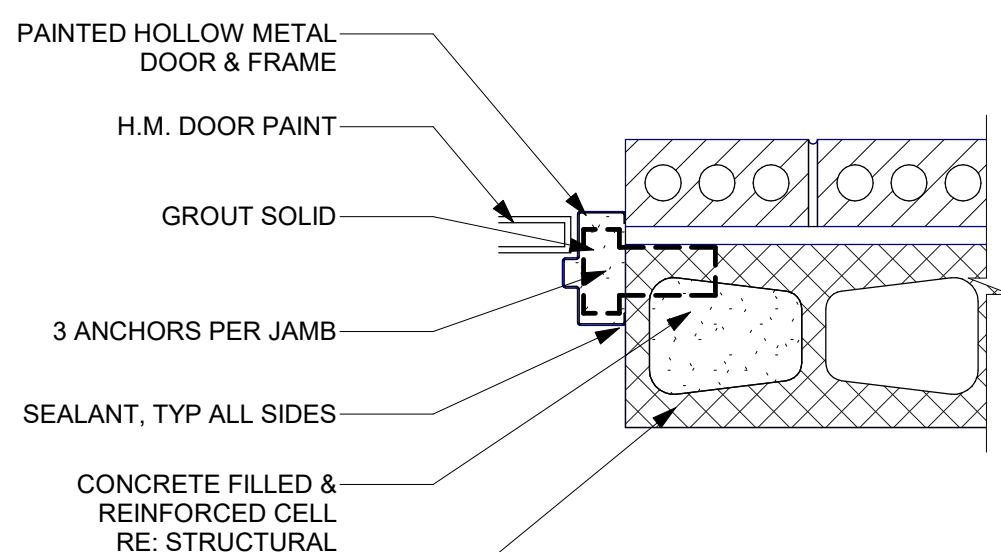
B1 REFUSE ENCLOSURE GATE REAR ELEVATION

3/8" = 1'-0"



A2 REFUSE ENCLOSURE ELEVATION

1/4" = 1'-0"



A4 REFUSE ENCLOSURE DOOR JAMB DETAIL

1 1/2" = 1'-0"



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Donald J. Rasmussen
Architect In Charge

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Powers & Palmer Park
SEC OF POWERS BLVD AND PALMER
PARK BLVD
COLORADO SPRINGS, CO 80951

FSR#05417

BUILDING TYPE / SIZE: P14 DT-L
RELEASE: 24-11
PRINTED FOR

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT #
DATE
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SHEET
REFUSE ENCLOSURE

SHEET NUMBER

A-103

1/10/2025 10:41:05 AM Autodesk Docs/CO_05934_Powers & Palmer Park_2024.12_DT005934_Powers & Palmer Park_ARC.rvt
10-DT-L-05417-A-104-ORDER POINT CANOPY

E

D

C

B

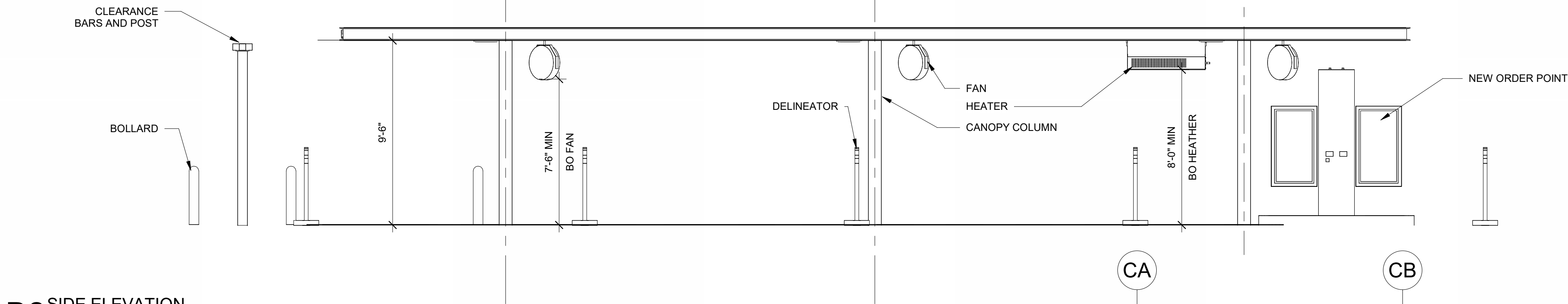
A

OP CANOPY FINISHES

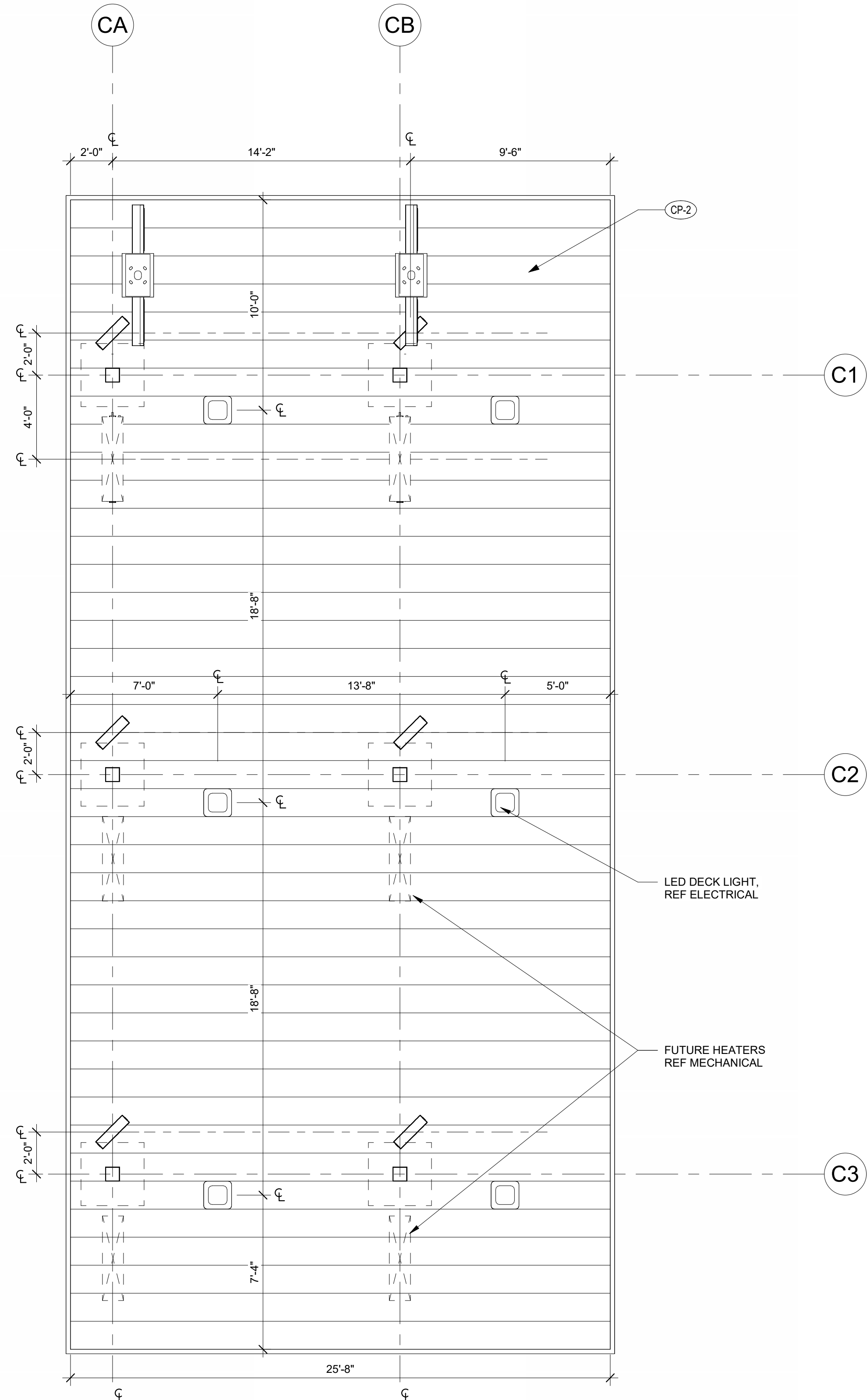
CP-1
PREFINISHED METAL
COLOR: DARK BRONZE

CP-2
METAL DECKING
COLOR: WHITE

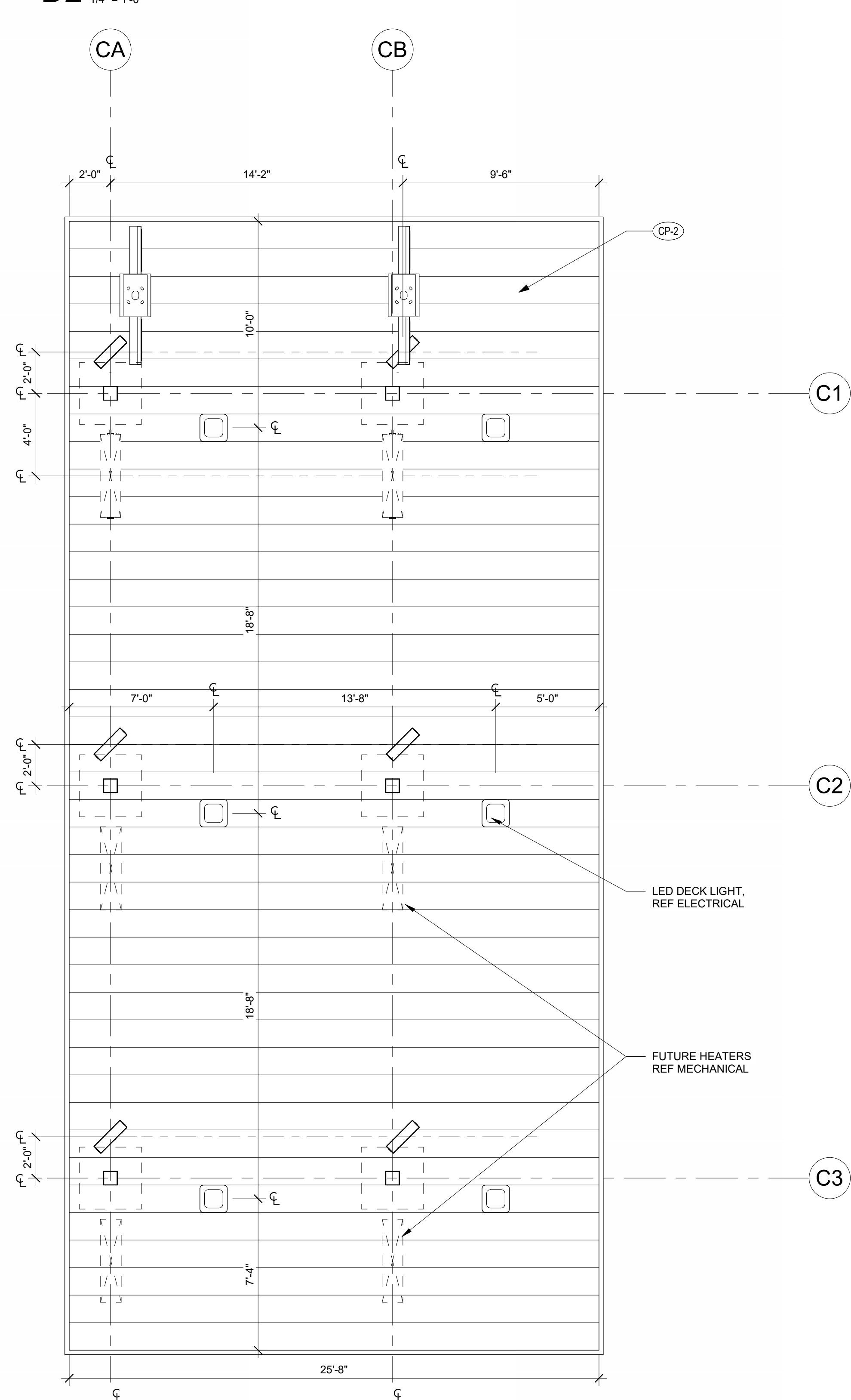
E2 ENTRY ELEVATION
1/4" = 1'-0"



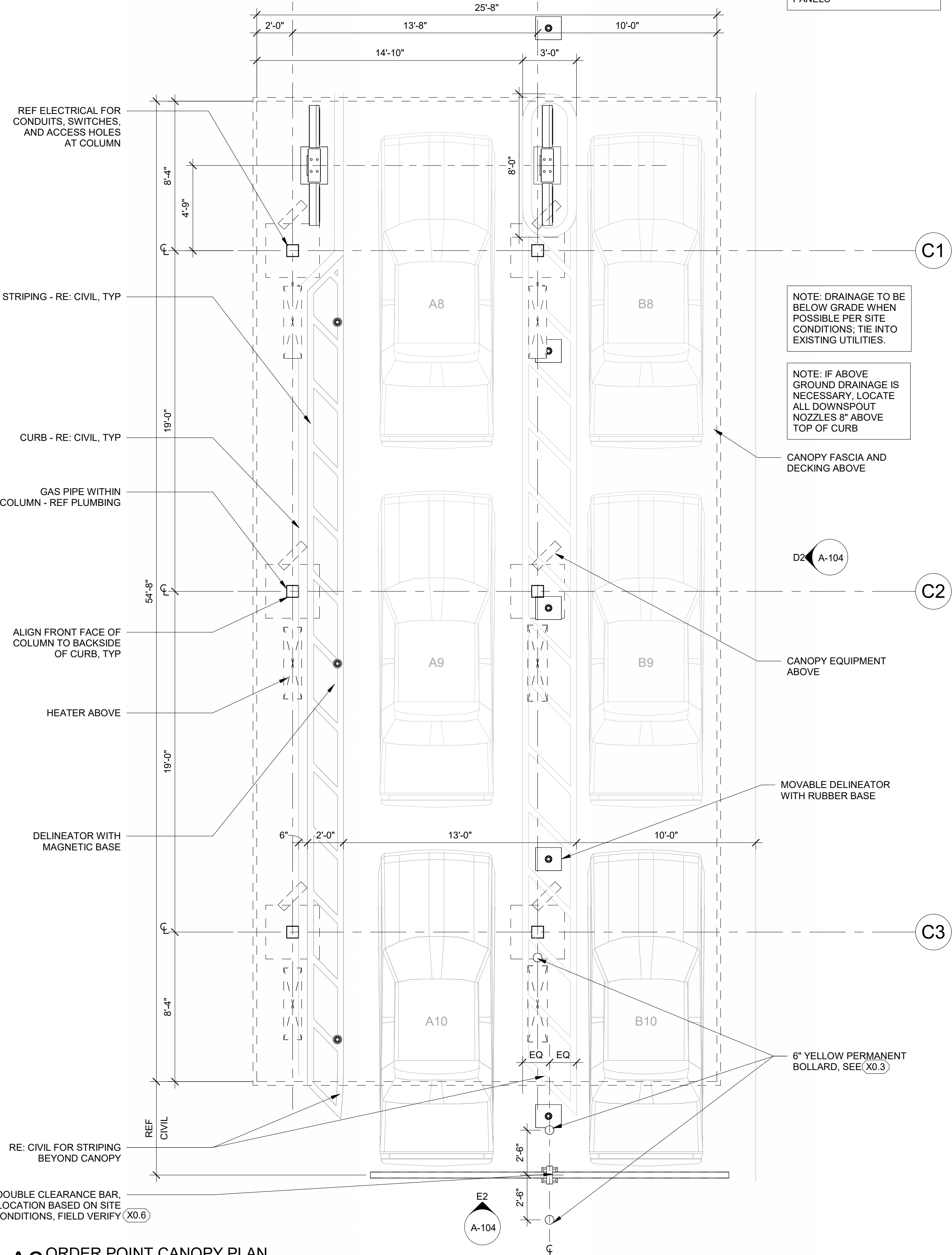
D2 SIDE ELEVATION
1/4" = 1'-0"



A3 ORDER POINT CANOPY REFLECTED CEILING PLAN
1/4" = 1'-0"



A2 ORDER POINT CANOPY PLAN
1/4" = 1'-0"



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SHEET
ORDER POINT CANOPY

SHEET NUMBER

A-104

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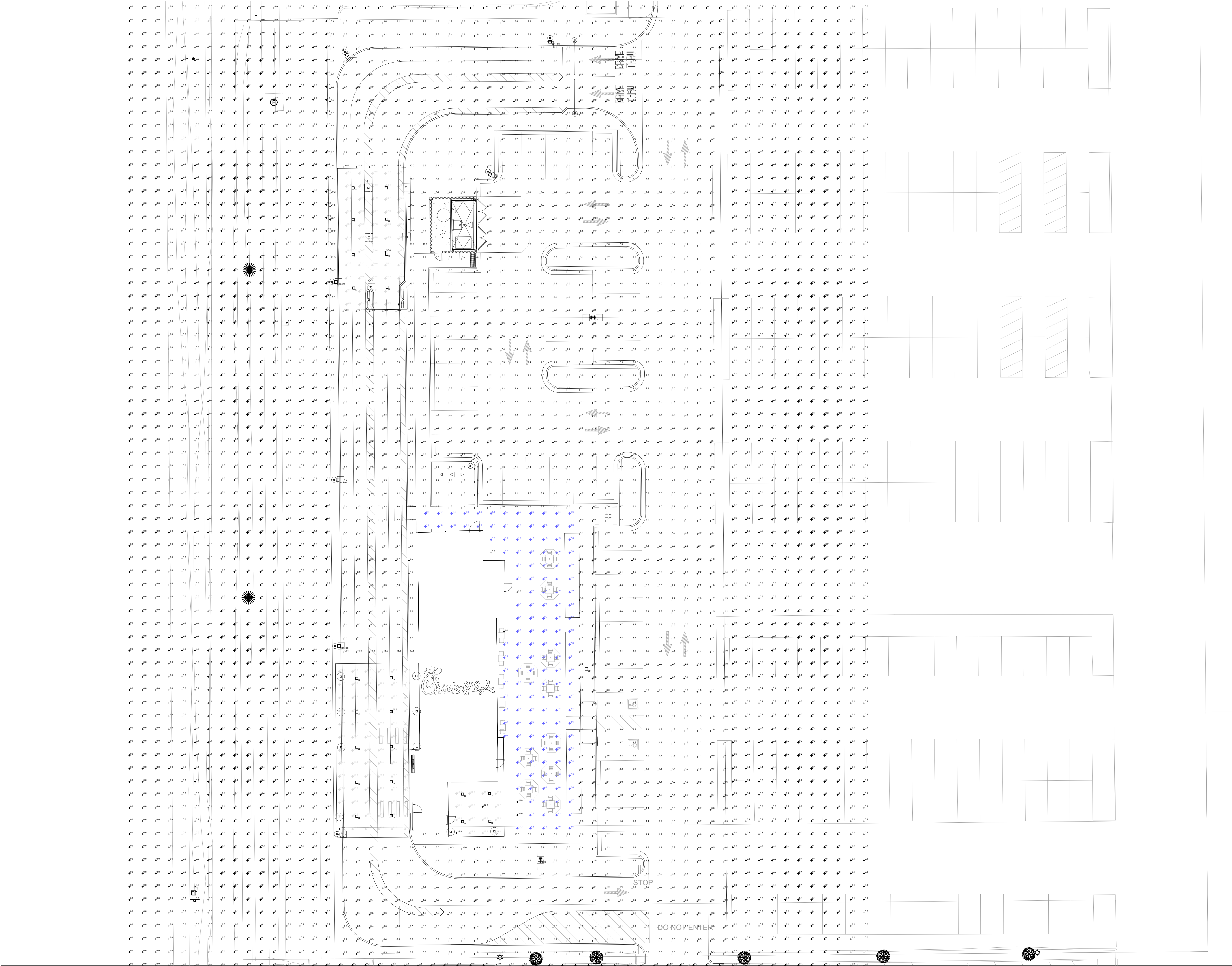
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OUTSIDE MEAL DELIVERY CANOPY

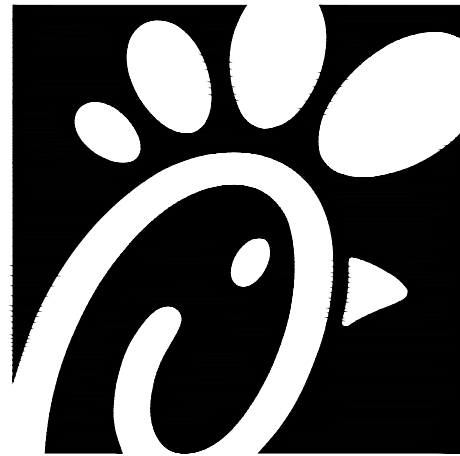
A-105





SITE PHOTOMETRIC PLAN
1/16" = 1'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CANOPY 2	+	40.8 fc	55.3 fc	16.6 fc	3.3:1	2.5:1
EXTERIOR PROPERTY	+	0.4 fc	17.8 fc	0.0 fc	N/A	N/A
FRONT CANOPY	+	52.3 fc	64.2 fc	34.8 fc	1.8:1	1.5:1
PARKING/ DRIVEWAY	+	3.1 fc	23.1 fc	0.2 fc	115.5:1	15.5:1
PATIO	+	2.2 fc	15.9 fc	0.3 fc	53.0:1	7.3:1
CANOPY 1	+	43.4 fc	57.4 fc	18.6 fc	3.1:1	2.3:1



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SD SET

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # XXXX
DATE 01/10/25
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SHEET
SITE PHOTOMETRIC PLAN

SHEET NUMBER

EP1.0

E

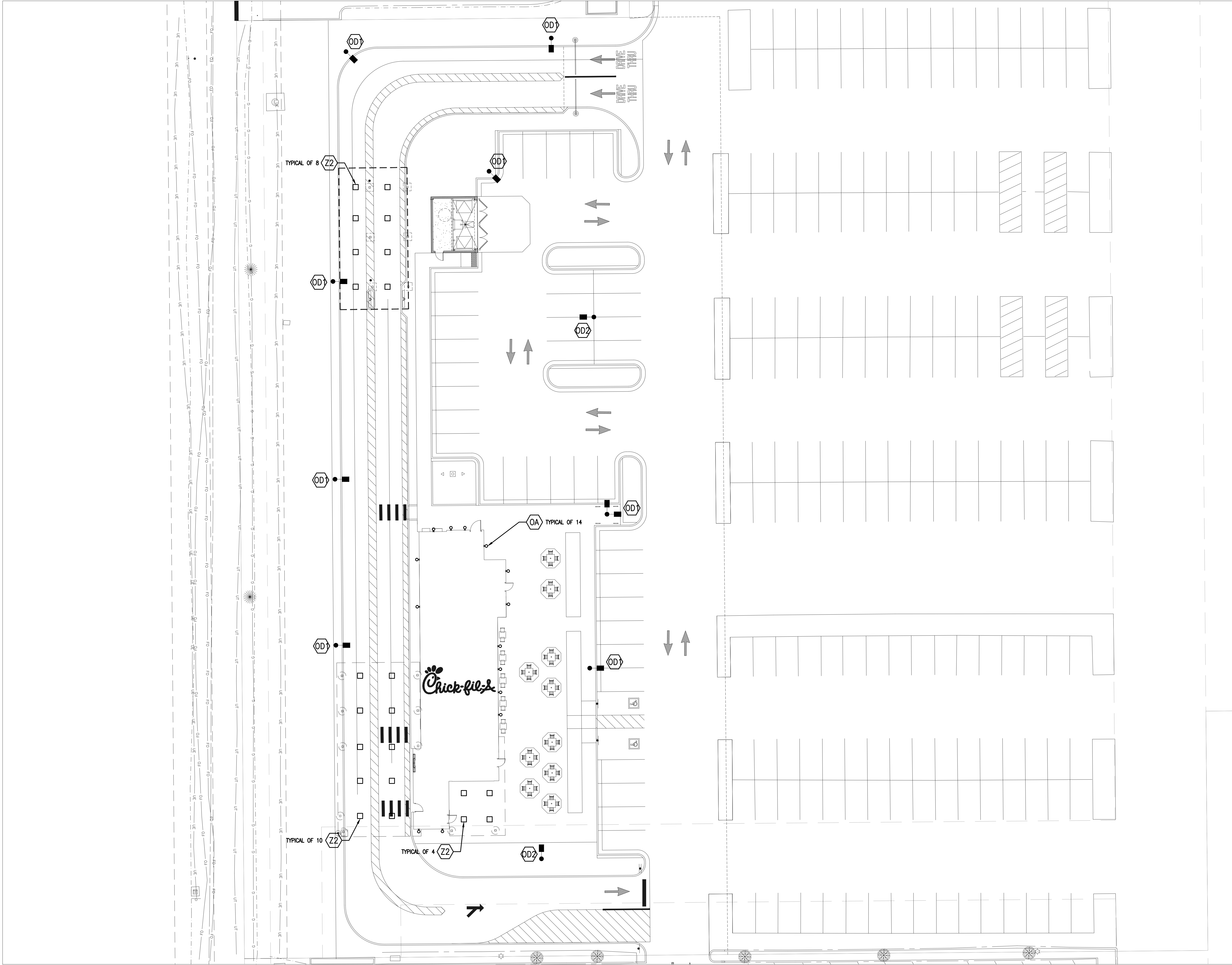
D

C

B

A

EXTERIOR LIGHTING PLAN
1/16" = 1'-0"



LIGHTING FIXTURE (LUMINAIRE) SCHEDULE												
SYMBOL	TAG	QTY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	FILE NAME	(QTY) LAMP	LUMENS	LLF	WATTS	DISTRIBUTION	MOUNTING HEIGHT
	OD1	7	COOPER LIGHTING	PRV-C25-730-D-UNV-T4-SA-BZ	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K LEDS AND TYPE IV OPTICS, BRONZE PAINTED FINISH	PRV-C25-D-UNV-T4-BZ-7030.ies	2	12,902	0.9	96.0	-	20 FT
	OD2	2	COOPER LIGHTING	PRV-C25-730-D-UNV-T5-SA-BZ	PREVAL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K LEDS AND TYPE V OPTICS, BRONZE PAINTED FINISH	PRV-C25-D-UNV-T5-BZ-7030.ies	2	13,788	0.9	96.0	-	20 FT
	Z2	20	LSI INDUSTRIES	CRUS-SC-LED-LW-30-UE	CANOPY LIGHT, 3000K	CRUS_SM-SC-LW-30.ies	1	10,455	0.9	73.0	-	RECESSED
	OA	14	PROGRESS LIGHTING	P5675-31	5" DIRECT/INDIRECT CYLINDER, WET LOCATION LISTED, TWO LAMPS (PAR-30 OR BR-30)	PROG_P5675-3130K_17.02768_testta breports.ies	2	829	0.9	33.9	-	8 FT



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SHEET
EXTERIOR LIGHTING PLAN

SHEET NUMBER

ES1.0