

## CODE DATA - EXISTG BUILDING

OCCUPANCY PER 1004.12	AREA	SQ.FT. PER OCC.	CALCULATED OCC. LOAD
MERCHANTILE	270 SF.	60 SF. GROSS	45
STORAGE / STOCK AREAS	1550 SF.	300 SF. GROSS	51
PROJECT AREA & OCCUPANCY	1820 SF.		10

## CODE DATA - NEW BUILDING

OCCUPANCY PER 1004.12	AREA	SQ.FT. PER OCC.	CALCULATED OCC. LOAD
STORAGE / STOCK	1200 SF.	300 SF. GROSS	4
PROJECT AREA & OCCUPANCY	1200 SF.		4

## PLUMBING FIXTURES

14 TOTAL OCCUPANTS FOR BOTH BUILDINGS  
PER IBC 2902.2 EXCEPTION 2 ONLY ONE FACILITY REQUIRED.  
SEE ALTERNATE MATERIALS AND METHODS FORM.

NOTE: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS

## EXISTING SITE DATA

PROJECT ADDRESS: 1849 MAIN STREET  
COLORADO SPRINGS, CO 80911  
6502000059

TAX SCHEDULE NO:

LEGAL DESCRIPTION: TRACT IN SW4SW4 SEC 1 + IN SE4SE4 SEC 2-15-66 AS FOLS, COM AT SE COR OF SEC 2, TH W 1000 FT ON S LN, THEREOF, NLY ALG NLY EXT OF ELY LN OF MAIN ST 599.47 FT FOR POB, TH ELY PARA WITH S LN OF SD SECS 1720 FT, NLY 700 FT PARA TO AFSD ELY LN, WLY PARA WITH FIRST COURSE 1720 FT, TH SLY 700 FT TO POB

COUNTY ZONING: CC CAD-O

JURISDICTION: PUEBLO REGIONAL BUILDING DEPARTMENT

## BUILDING DATA

PROJECT DESCRIPTION: NEW PRE ENGINEERED METAL STORAGE BUILDING

PROJECT AREA: 1200 STORAGE BUILDING

PROPOSED OCCUPANCY: S-2

CONSTRUCTION TYPE: II-B

SPRINKLER SYSTEM: NON-SPRINKLED (NO CHANGE)

## PROJECT TEAM

### OWNER

ANDREA JOHNSON  
R&R LIQUOR STORE  
1845 MAIN STREET  
COLORADO SPRINGS, CO 80911  
flycolorado@mac.com

### MEP ENGINEER

MICHAEL CHIARTANO  
CHIARTANO ENGINEERING GROUP  
10186 MT. LINCOLN DR.  
PEYTON, CO 80831  
chiartanoengineeringgroup@gmail.com

### ARCHITECT

BUCHER DESIGN STUDIO, INC.  
BRIAN K. BUCHER, AIA, NCARB  
12325 ORACLE BLVD. SUITE 111  
COLORADO SPRINGS, CO 80921  
(719) 484-0480

### CONTRACTOR

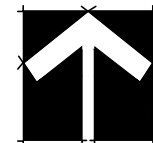
CASCO CONSTRUCTION  
MIKE CASMIRO  
1775 JET STREAM DR, STE. 102  
COLORADO SPRINGS, CO 80921  
(719) 380-1140

## DRAWING INDEX

SHT. #	DESCRIPTION
A0	COVER SHEET / SITE PLAN
A11	PROPOSED FLOOR & ROOF PLANS
A2.1	PROPOSED EXTERIOR ELEVATIONS
M001	MECHANICAL INFORMATION AND SCEDULES
M111	MECHANICAL PLAN
E001	ELECTRICAL GENERAL INFORMATION, SCHEDULES, ONE-LINE DIAGRAM
E111	ELECTRICAL PLAN POWER AND LIGHTING

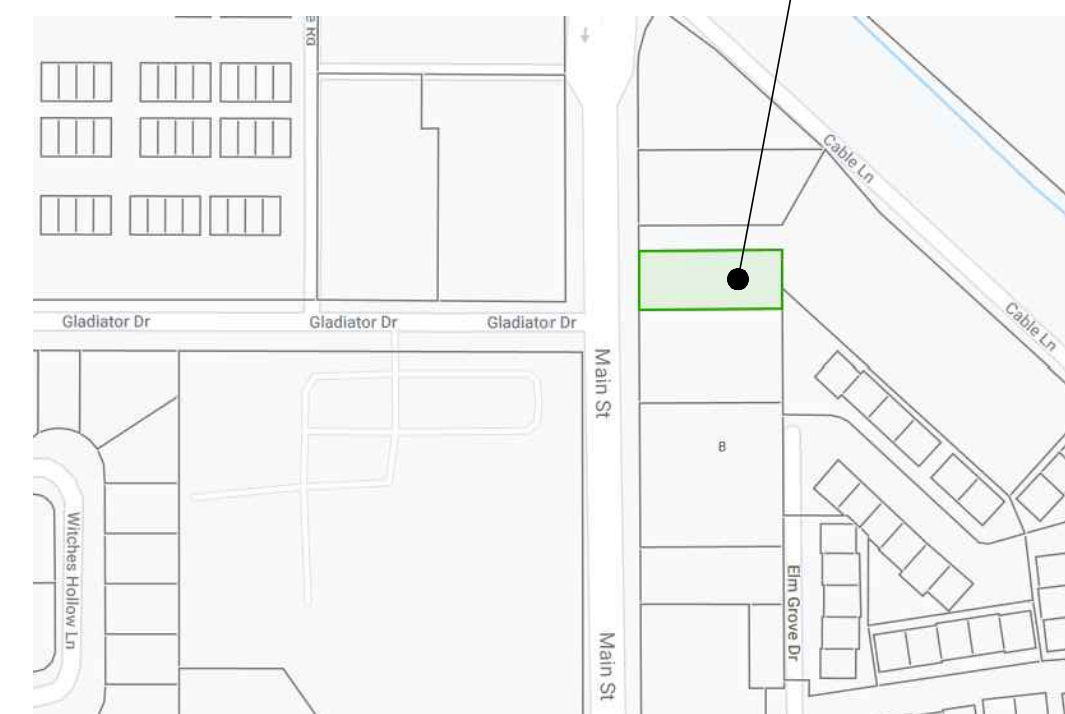
## GENERAL NOTES

- Applicable Codes: 2015 International Building Code (IBC)  
2017 National Electrical Code (NEC)  
2015 International Plumbing Code (IPC)  
2015 International Mechanical Code (IMC)  
2015 International Energy Conservation Code (IECC)  
2009 ICC / ANSI 117.1 Accessibility Standard  
2015 International Fire Code (IFC)  
2015 International Fuel Gas Code (IFGC)
- Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.
- All work and materials shall be in full accordance with the rules and regulations of the Applicable Codes noted above, and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.
- Dimensions:
  - Do not scale these drawings.
  - Contractor to verify overall building layout dimensions prior to construction.
  - Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.
- Upon completion of each sub-contractor's work, remove all waste, debris, excess materials, tools and equipment from the premises. Leave entire structure and involved portions of the site in a neat, clean and acceptable condition.
- Insulate to conform with current energy standards where possible with the existing structure.
- Lathing, plastering and drywall construction, shall be in full accordance with the HANDBOOK OF RECOMMENDED SPECIFICATIONS FOR LATHING, FURRING AND PLASTERING of the National Foundation for LATHING, AND PLASTERING INC.



## VICINITY MAP

NO SCALE



The approval includes the approval of an alternative landscape plan pursuant to Section 6.2.2.A.4 of the Land Development Code.

Approved

By: Craig Dossey, Executive Director

Date: 04/06/2021

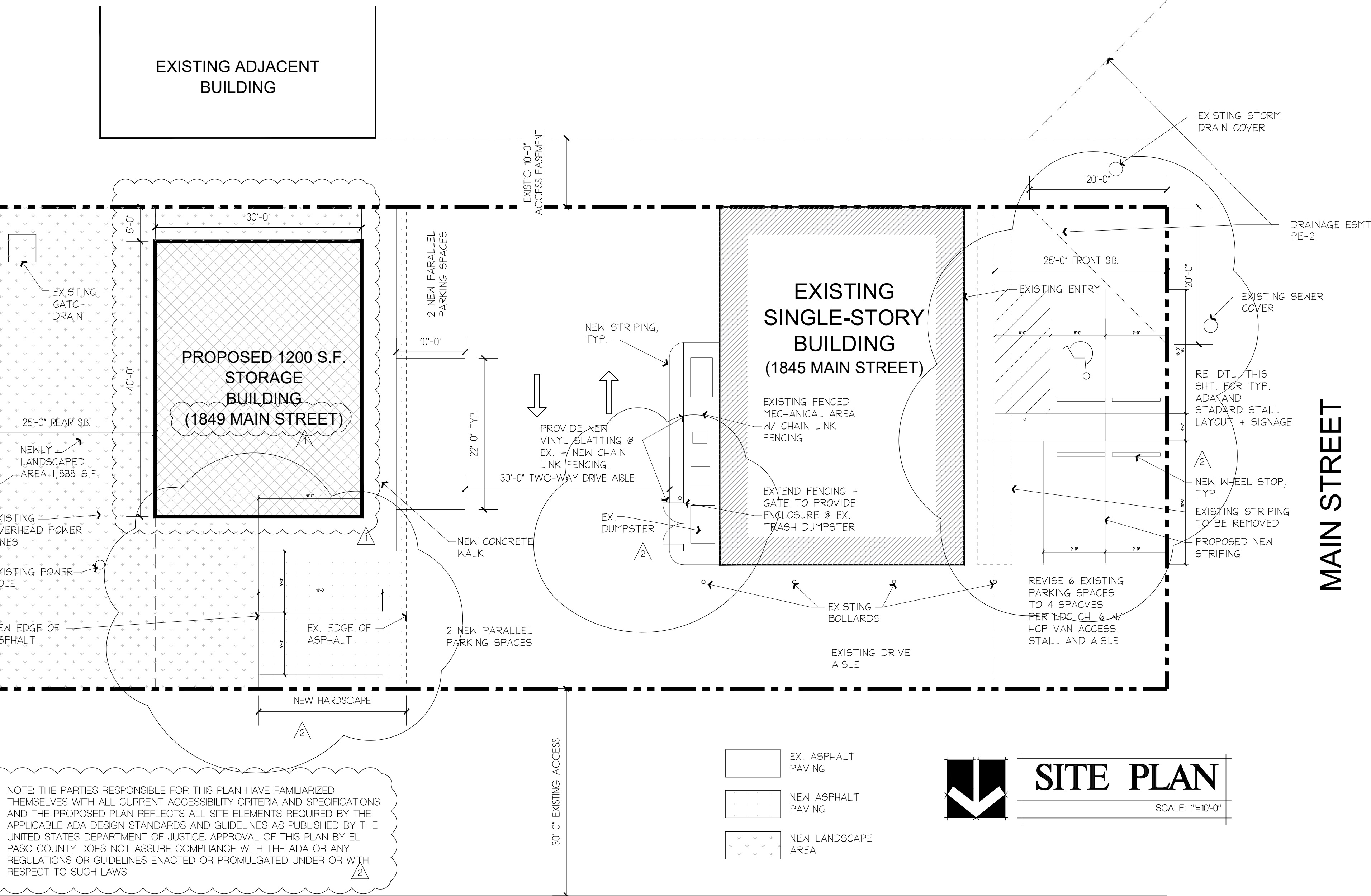
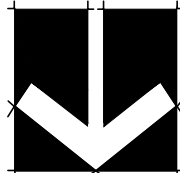
El Paso County Planning & Community Development



PCD FILE #  
PPR2113

## SITE PLAN

SCALE: 1"=10'-0"



NOTE: THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS

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Architect  
CO license no. C-4889  
CA license no. C-23506



A PROPOSED  
STORAGE  
BUILDING FOR

R & R  
LIQUOR

1849 MAIN STREET  
COLORADO SPRINGS, CO

Sheet Title:  
COVER SHEET/  
SITE PLAN

Drawing Status:

CD SET

Revisions:

No.	Description	By	Date
1	RBD REVIEW COMMENTS		2/10/21
2	EPC COMMENTS		3/18/21

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Date:

1/14/21

Drawn by:

Checked by:

Scale:

AS NOTED

Job No.:

Sheet No.:

A0  
Of