

July 19, 2024

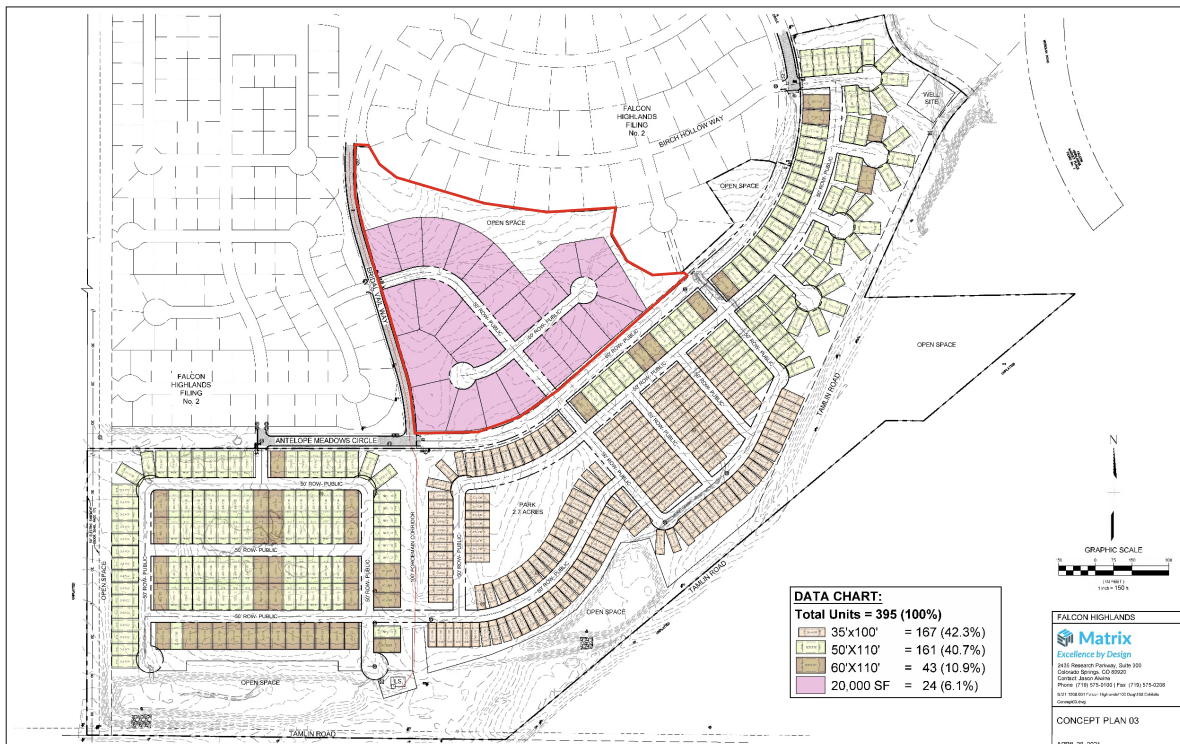
Mr. Jim Byers
 Vice President
 Challenger Homes
 8605 Explorer Drive, Suite 250
 Colorado Springs, Colorado 80920

Subject: Falcon Highlands South – Filing 1 Traffic Conformance Letter

Dear Mr. Byers,

This letter is provided to confirm that the project is in conformance with the previous traffic analyses. Matrix Design Group (Matrix) provided a traffic impact study dated January 25, 2022, analyzing the impacts for Filing 3 of the Falcon Highlands development, now referred to as Falcon Highlands South. The traffic study submitted on January 25, 2022 assumed 395 single-family detached dwelling units. The Sketch Plan Amendment Trip generation letter submitted on August 24, 2022 assumed 378 single-family detached dwelling units. The first filing of the development, Falcon Highlands South – Filing 1 (shaded in purple in Figure 1 below), contains 24 single-family detached dwelling units, as shown in Figure 1. This land use is in conformance with the previous studies for the overall development of Falcon Highlands South and therefore the results of the previous traffic analyses are still accurate and no additional analysis is necessary.

Figure 1 – Falcon Highlands South – Filing 1



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If you have any questions, please feel free to contact me at (719) 575-0100 or at scott.barnhart@matrixdesigngroup.com.

Sincerely,



Scott D. Barnhart
Scott D. Barnhart, P.E., P.T.O.E.
Executive Associate of Transportation Services

07/19/2024