FINAL SITE DEVELOPMENT PLANS

FOR

ARBY'S

4446 VENETUCCI BOULEVARD COLORADO SPRINGS, COLORADO 80906

LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF LOT 8 AND TRACT J AS PLATTED IN SOUTH ACADEMY HIGHLANDS FILING NO. 1 RECORDED UNDER

BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN. BEING MONUMENTS AT THE EASTERLY END BY A 2-1/2 INCH ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS "PLS 28651" AND AT THE WESTERLY END BY CONCRETE POST WITH

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF SOUTH ACADEMY BOLLLEVARD

RECORDED UNDER RECEPTION NO. 214713425 SAID POINT BEING THE POINT OF BEGINNING:

THENCE N76°39'22"W, A DISTANCE OF 260.26 FEET:

FHENCE S75°59'26"W, A DISTANCE OF 169.48 FEET TO A POINT ON THE EASTERLY BOUNDARY OF STRATMOOR SOUTH SUBDIVISION FILING

NO. 3 RECORDED IN PLAT BOOK H-3 AT PAGE 29; THENCE ON THE EASTERLY BOUNDARY OF SAID STRATMOOR SOUTH SUBDIVISION FILING NO. 3 THE FOLLOWING THREE (3) COURSES:

. N38°41'15"W, A DISTANCE OF 85.00 FEET TO A POINT OF CURVE;

2. ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 02°33'18", A RADIUS OF 430.00 FEET AND A DISTANCE OF 19.17 FEET TO A

3. N54°25'15"E, A DISTANCE OF 233.19 FEET;

THENCE S84°02'33"E, A DISTANCE OF 62.98 FEET;

THENCE S35°30'45"E, A DISTANCE OF 58.13 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DEL TA OF 44°25'09", A RADIUS OF 42.00 FEET AND A DISTANCE OF 32.56 FEET TO

A POINT OF TANGENT; THENCE S79°55'54"E, A DISTANCE OF 179.45 FEET TO A POINT OF CURVE;

THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 05°10'39", A RADIUS OF

100.00 FEET AND A DISTANCE OF 9.04 FEET TO A POINT OF TANGENT; THENCE S74°45'15"E, A DISTANCE OF 15.49 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID VENETUCCI BOULEVARD;

THENCE S13°20'38"W, ON THE WESTERLY RIGHT OF WAY LINE OF SAID VENETUCCI BOULEVARD, A DISTANCE OF 131.06 FEET TO THE POINT OF BEGINNING.

STANDARD GUIDELINES / CONSTRUCTION SPECIFICATION NOTES

1. ALL WORK WITHIN PUBLIC R.O.W SHALL BE PER CITY OF FOUNTAIN CONSTRUCTION STANDARDS AND SPECIFICATIONS.

2. ALL WORK FOR WATER SERVICE, FIRE SERVICE, AND FIRE HYDRANT ASSEMBLIES SHALL BE PER STRATMOOR WATER AND SANITATION DISTRICT STANDARD

3. ALL WASTEWATER WORK SHALL BE PER CITY OF FOUNTAIN CONSTRUCTIONS STANDARDS AND SPECIFICATIONS.

4. SEE SOIL PREPARATION NOTE FOR SOIL RECOMMENDATIONS

5. REFERENCE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, FOR

BASIS OF BEARING

FHE SOUTHERLY LINE OF LOT 8, SOUTH ACADEMY HIGHLANDS FILING NO. 1, AS RECORDED UNDER RECEPTION NUMBER 214713425, RECORDS OF EL PASO COUNTY, COLORADO. BEING MONUMENTED ON THE WESTERLY END BY ORANGE PLASTIC SURVEYORS CAP STAMPED "PLS 38069" AND AT THE EASTERLY END BY A 2" ALUMINUM DISK STAMPED "PLS 38318", BEING PLATTED AS N89°56'03"E, A DISTANCE OF 256.36 FEET.

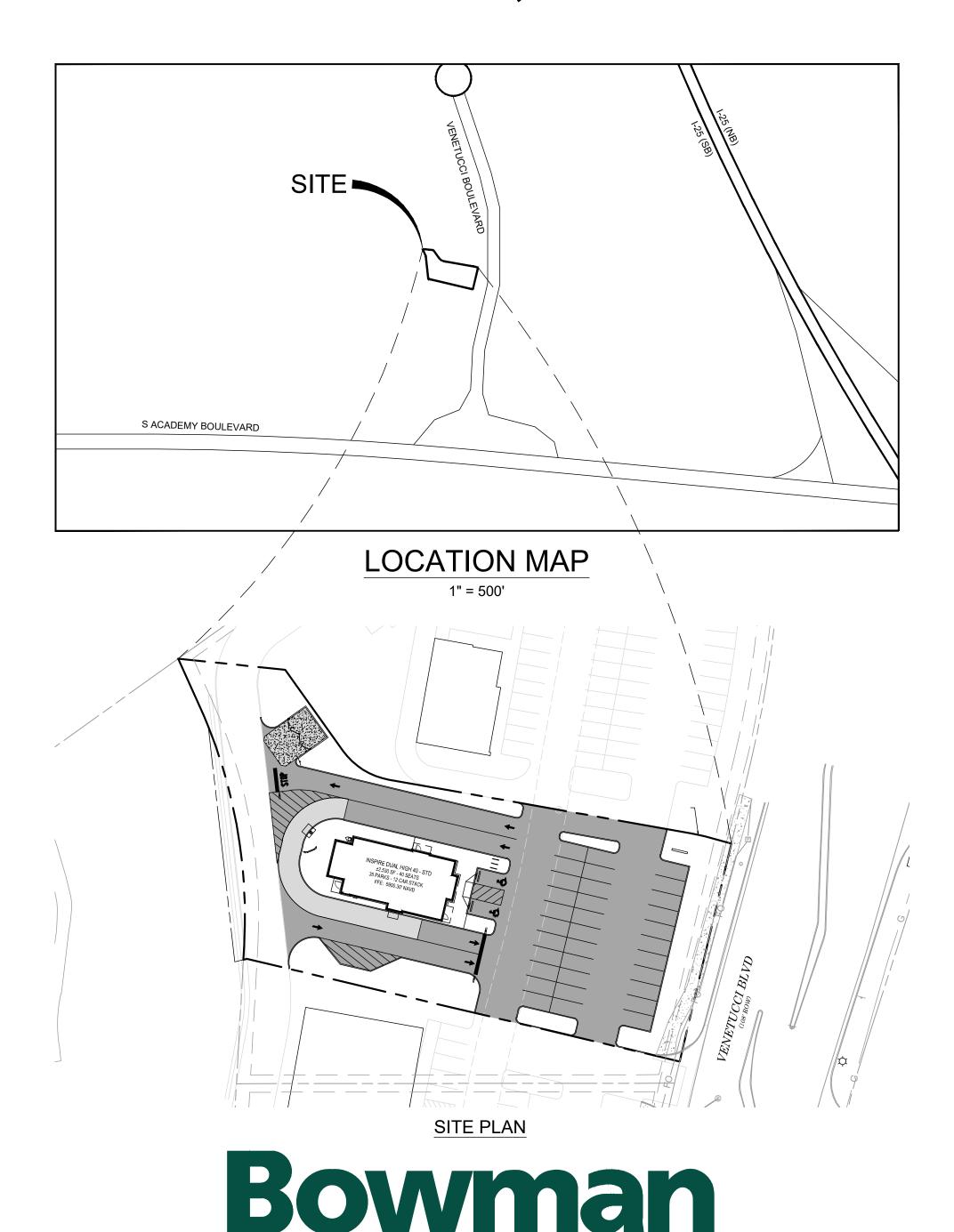
FLOODPLAIN STATEMENT

THIS PROPERTY IS NOT WITHIN A DESIGNATED FEMA FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANNEL 08041CO743G, EFFECTIVE DATE

CITY OF FOUNTAIN ACCEPTANCE

THE PLANS OR REPORT SUBMITTED APPEAR TO BE IN CONFORMANCE WITH THE CITY OF FOUNTAIN SUBMITTAL REQUIREMENTS AND STANDARD ENGINEERING PRINCIPALS AND PRACTICES APPEAR TO HAVE BEEN FOLLOWED. THE PROFESSIONAL ENGINEER SUBMITTING AND SEALING THE PLANS OR REPORT IS SOLELY RESPONSIBLE FOR THEIR ACCURACY AND VALIDITY. THIS REVIEW IS ONLY VALID FOR ONE (1) YEAR

BRANDY WILLIAMS PW DIRECTOR / CITY ENGINEER



Certificate of Authorization License No. 30462

13450 W. Sunrise Boulevard

Suite 320

Sunrise, FL 33323

Phone: (954) 314-8480

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PROJECT CONTACTS

OWNER INFORMATION

UTW ACADEMY DEVELOPMENT LLC 1 METROPOLITAN SQ., SUITE 3000 ST LOUIS, MO 63102

<u>APPLICANT</u>

RB COLORADO LLC 1900 W LITTLETON BLVD. LITTLETON, CO 80120

DEVELOPER

FLYNN RESTAURANT GROUP 6200 OAK TREE BLVD. SUITE 250 INDEPENDENCE, OH 44131 CONTACT: STEVEN KREKUS

CIVIL ENGINEER **BOWMAN CONSULTING** 13450 W. SUNRISE BLVD., SUITE 320

(954) 314 - 8480 CONTACT: SANDRA ZUMPANO

WHITE DESIGN GROUP P.C. 5801 E. 41ST STREET, SUITE 712 TULSA, OKLAHOMA 74135 CONTACT: CHRIS WHITE, AIA

SURVEYOR

EDWARD JAMES SURVEYING, INC 926 ELKTON DRIVE COLORADO SPRINGS, CO 80907 (719) 576 - 1216 CONTACT: JONATHAN TESSIN

PHOTOMETRIC CONSULTANT PREMIERE LIGHTING & CONTROLS

401 SE FLEETWAY DRIVE LEE'S SUMMIT, MO 64081 (913) 541 - 8239 LANDSCAPE ARCHITECT

EVERGREEN DESIGN GROUP 15305 DALLAS PKWY., SUITE 300 ADDISON, TX 75001 (800) 680 - 6630

GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS INC. 10625 W. I-70 FRONTAGE RD N, SUITE 3 WHEAT RIDGE, CO 80033 (303) 423 - 3300

CITY OF FOUNTAIN - ENGINEERING SERVICES 116 SOUTH MAIN STREET FOUNTAIN, CO 80817

ENGINEERING / STORM SEWER

PLANNING / SIGNAGE

CONTACT: CARL SPENGLER

CITY OF FOUNTAIN - PLANNING & ZONING DEPARTMENT 116 SOUTH MAIN STREET FOUNTAIN, CO 80817 (719) 322 - 2017 CONTACT: JORDAN OTT

BUILDING DEPARTMENT

PIKES PEAK REGIONAL BUILDING DEPARTMENT 2880 INTERNATIONAL CIRCLE COLORADO SPRINGS, CO 80910 (719) 327 - 2927 CONTACT: JANE CASSIDY

NATURAL GAS PROVIDER

111 S. CASCADE AVE COLORADO SPRINGS CO 80903 (719) 448 - 4808

WATER DEPARTMENT

STRATMOOR HILLS WATER 1811 B ST COLORADO SPRINGS, CO 80906 (719) 576 - 0311

ELECTRIC PROVIDER

COLORADO SPRINGS UTILITIES 111 S. CASCADE AVE COLORADO SPRINGS, CO 80903 (719) 448 - 4808

SANITARY SEWER

STRATMOOR HILLS WATER COLORADO SPRINGS, CO 80906 (719)576 - 0311

FIRE DEPARTMENT

CITY OF FOUNTAIN - FIRE DEPARTMENT 811 NORTH SANTA FE AVENUE FOUNTAIN, CO 80817 (719) 382 - 7800

SITE INFORMATION

PROJECT AREA: ± 1.55 ACRES PARCEL FOLIO NO.: 650-431-1002 PROJECT ADDRESS 4446 VENETUCCI BOULEVARD **CURRENT ZONING:** PUD (PLANNED UNIT DEVELOPMENT) PROPOSED USE: ARBY'S

SHEET INDEX

COVER SHEET SURVEY SHEET 1 OF 2 SURVEY SHEET 2 OF 2 CS-101 SITE PLAN GRADING AND DRAINAGE PLAN CG-102 DRAINAGE PROFILES CU-101 UTILITY PLAN SITE DETAILS

ARCHITECTURAL FLOOR PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS

LANDSCAPE PLANTING LANDSCAPE DETAILS AND SPECIFICATIONS PHOTOMETRICS

DC DESIGN DRAWN CHKD SCALE: N.T.S. JOB No.: 011098-01-001

COVER

SHEET

06/3/2022

CAD file name: V: \011098 — Arby's 4446 Venetucci Blvd Fountain CO\011098—01—001 (ENG) — Arby's 4446 Venetucci Blvd Fountain CO\Engineering\Engineering\Engineering Plans\Sheet Sets\011098—D—CP—COV.dwg 06/3/2022

ALTA/NSPS LAND TITLE SURVEY

A PORTION SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF LOT 8 AND TRACT J AS PLATTED IN SOUTH ACADEMY HIGHLANDS FILING NO. 1 RECORDED UNDER RECEPTION NO. 214713425 RECORDS OF EL PASO COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTS AT THE EASTERLY END BY A 2-1/2 INCH ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS "PLS 28651" AND AT THE WESTERLY END BY CONCRETE POST WITH WASHER STAMPED "LS 3854", IS ASSUMED TO BEAR S89°53'21"W, A DISTANCE OF 262.07 FEET.

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF SOUTH ACADEMY BOULEVARD:

THENCE N06°42'12"W, A DISTANCE OF 397.84 TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF VENETUCCI BOULEVARD AS PLATTED IN SOUTH ACADEMY HIGHLANDS FILING NO. 1 RECORDED UNDER RECEPTION NO. 214713425 SAID POINT BEING THE POINT OF BEGINNING;

THENCE N76°39'22"W, A DISTANCE OF 260.26 FEET;

THENCE S75°59'26"W, A DISTANCE OF 169.48 FEET TO A POINT ON THE EASTERLY BOUNDARY OF STRATMOOR SOUTH SUBDIVISION FILING NO. 3 RECORDED IN PLAT BOOK H-3 AT PAGE 29;
THENCE ON THE EASTERLY BOUNDARY OF SAID STRATMOOR SOUTH SUBDIVISION FILING NO. 3 THE FOLLOWING

1. N38°41'15"W, A DISTANCE OF 85.00 FEET TO A POINT OF CURVE;

- 2. ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 02°33'18", A RADIUS OF 430.00 FEET AND A DISTANCE OF 19.17 FEET TO A POINT ON CURVE;
- 3. N54°25'15"E, A DISTANCE OF 233.19 FEET;

THENCE S84°02'33"E, A DISTANCE OF 62.98 FEET:

THENCE S35°30'45"E, A DISTANCE OF 58.13 FEET TO A POINT OF CURVE;

THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DEL TA OF 44°25'09", A RADIUS OF 42.00 FEET AND A DISTANCE OF 32.56 FEET TO A POINT OF TANGENT;

THENCE S79°55'54"E, A DISTANCE OF 179.45 FEET TO A POINT OF CURVE;
THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 05°10'39", A RADIUS OF

100.00 FEET AND A DISTANCE OF 9.04 FEET TO A POINT OF TANGENT;

THENCE S74°45'15"E, A DISTANCE OF 15.49 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID VENETUCCI BOULEVARD;

THENCE S13°20'38"W, ON THE WESTERLY RIGHT OF WAY LINE OF SAID VENETUCCI BOULEVARD, A DISTANCE OF 131.06 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES

- PURSUANT TO OUR CLIENT'S REQUEST, THE FOLLOWING ITEMS FROM "TABLE A OPTIONAL SURVEY AND SPECIFICATIONS" FOR ALTA/ACSM LAND TITLE SURVEYS, WERE ADDRESSED AND, IF APPLICABLE, SHOWN ON OUR SURVEY (THE NUMBERING SEQUENCE USED IS THE SAME AS "TABLE A"):
- 1., 2., 3., 4., 5., 8., 9., 11b., AND 16.
- 2. ALL REFERENCES HEREON TO BOOKS, PAGES, MAPS AND RECEPTION NUMBERS ARE PUBLIC DOCUMENTS FILED IN THE RECORDS OF EL PASO COUNTY, STATE OF COLORADO.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- 4. EASEMENTS AND PUBLIC DOCUMENTS SHOWN OR NOTED HEREON WERE EXAMINED AS TO LOCATION AND PURPOSE AND WERE NOT EXAMINED AS TO RESERVATIONS, RESTRICTIONS, CONDITIONS, OBLIGATIONS, TERMS, OR AS TO THE RIGHT TO GRANT THE SAME.
- 5. BASIS OF BEARINGS: THE SOUTHERLY LINE OF LOT 8, SOUTH ACADEMY HIGHLANDS FILING NO. 1, AS RECORDED UNDER RECEPTION NUMBER 214713425, RECORDS OF EL PASO COUNTY, COLORADO. BEING MONUMENTED ON THE WESTERLY END BY A ORANGE PLASTIC SURVEYORS CAP STAMPED "PLS 38069 AND AT THE EASTERLY END BY A 2" ALUMINUM DISK STAMPED "PLS 38318", BEING PLATTED AS N89°56'03"E, A DISTANCE OF 256.36 FEET.
- 6. BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN PER VISIBLE AND APPARENT SURFACE EVIDENCE, IF MORE ACCURATE LOCATIONS OF UNDERGROUND UTILITIES ARE REQUIRED, THE UTILITY WILL HAVE TO BE VERIFIED BY FIELD POT-HOLING. EDWARD-JAMES SURVEYING, INC., AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
- 7. THERE WAS NO EVIDENCE OF EARTH MOVING AT THE TIME OF THE SURVEY.
- 8. THIS SITE IS VACANT WITH NO PARKING SPACES AS THE DATE OF THE SURVEY.
- FLOODPLAIN STATEMENT: THIS PROPERTY IS NOT WITHIN A DESIGNATED FEMA FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 08041CO743G, EFFECTIVE DATE DECEMBER 12, 2018.
- 10. LAST FIELD INSPECTION OF THIS SITE WAS ON DECEMBER 1, 2021.
- 11. THE LINEAL UNIT OF MEASURE IS THE U.S. SURVEY FOOT.

TITLE NOTES:

THIS ALTA SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY EDWARD-JAMES SURVEYING, INC. TO: DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT-OF-WAY, OR TITLE OF RECORD, EDWARD-JAMES SURVEYING, INC. RELIED UPON COMMITMENT NO. NCS-1092423-OMHA, BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF OCTOBER 22, 2021, 5:00 P.M. THE NUMBERS IN OUR COMMENTS CORRESPOND TO THE NUMBERING SYSTEM USED IN SAID TITLE COMMITMENT.

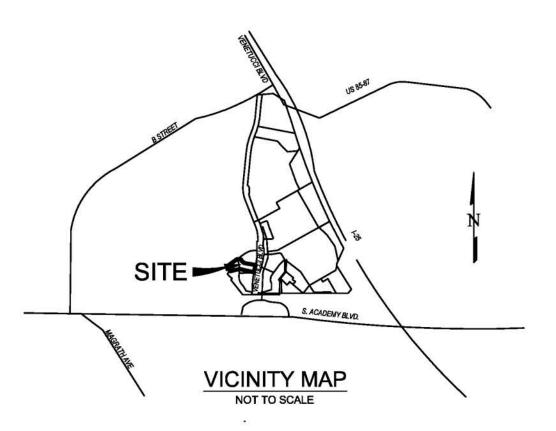
SCHEDULE A

ITEM COMMENT

- NOTED ABOVE.
- 2.,3., 4 EDWARD-JAMES SURVEYING, INC. DID NOT EXAMINE OR ADDRESS THESE ITEMS.
- THE LEGAL DESCRIPTION IS SHOWN HEREON TO THE BEST OF OUR KNOWLEDGE AND BELIEF. (SEE SURVEY NOTES #1.)

NOTICE:

ACCORDING TO COLORADO LAW YOU **MUST** COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.



SCHEDULE B, PART 2

ITEM COMMENT

- ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS, BUT WHICH COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF.
- 2. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
- 3. DISCREPANCIES, CONFLICTS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS, AND ANY FACTS WHICH A CORRECT LAND SURVEY AND INSPECTION OF THE LAND WOULD DISCLOSE, AND WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS.
- ANY LIEN OR RIGHT TO A LIEN FOR SERVICES, LABOR, MATERIAL OR EQUIPMENT, UNLESS SUCH LIEN IS SHOWN BY THE PUBLIC RECORDS AT DATE OF POLICY AND NOT OTHERWISE EXCEPTED FROM COVERAGE HEREIN.
- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET.
- NOTE: EXCEPTION NUMBER 5 WILL BE REMOVED FROM THE POLICY PROVIDED THE COMPANY CONDUCTS THE CLOSING AND SETTLEMENT SERVICE FOR THE TRANSACTION IDENTIFIED IN THE COMMITMENT.
- 6. ANY AND ALL UNPAID TAXES, ASSESSMENTS AND UNREDEEMED TAX SALES.
- 7. ANY WATER RIGHTS, CLAIMS OF TITLE TO WATER, IN, ON OR UNDER THE LAND.
- 8. ANY EXISTING LEASES OR TENANCIES.
- 9. RESERVATION OF WATER AND WATER RIGHTS, OR DITCH AND DITCH RIGHTS AS SET FORTH IN WARRANTY DEED RECORDED MARCH 28, 1968 IN BOOK 2228 AT PAGE 194. EDWARD-JAMES SURVEYING INC., DOES NOT ADDRESS WATER RIGHTS.
- 10. ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE STRATMOOR HILLS WATER DISTRICT, AS EVIDENCED BY INSTRUMENT RECORDED JANUARY 28, 1971 IN BOOK 2387 AT PAGE 1, AFFECTS THE SURVEYED SITE.
- 11. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE GRANT OF RIGHT OF WAY RECORDED JANUARY 30, 1976 IN BOOK 2806 AT PAGE 518, IS SHOWN HEREON.
- 12. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE GRANT OF RIGHT OF WAY RECORDED JANUARY 31, 1980 IN BOOK 3278 AT PAGE 203, DOES NOT AFFECT THE SURVEYED SITE.
- NOTE: QUITCLAIM DEED IN CONNECTION THEREWITH RECORDED JULY 8, 2014 AT RECEPTION NO. 214059808.
- 13. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 07-294 RECORDED AUGUST 29, 2007 AT RECEPTION NO. 207113094 AND AS SET FORTH IN RESOLUTION NO. 07-501 RECORDED FEBRUARY 20, 2008 AT RECEPTION NO. 208019341, AFFECTS THE SURVEYED SITE.
- 14. NOTES, EASEMENTS AND OTHER MATTER AS SHOWN ON THE SOUTH ACADEMY STATION CONCEPT PUD, RECORDED JANUARY 28. 2008 AT RECEPTION NO. 208009927, AFFECTS THE SURVEYED SITE.
- 15. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 07-502 RECORDED FEBRUARY 20, 2008 AT RECEPTION NO. 208019342, AFFECTS THE SURVEYED SITE.
- 16. NOTES, EASEMENTS AND OTHER MATTER AS SHOWN ON THE SOUTH ACADEMY STATION PUD DEVELOPMENT PLAN, RECORDED JULY 15, 2008 AT RECEPTION NO. 208079841, AFFECTS THE SURVEYED SITE.
- 17. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION NO. 08-120 RECORDED SEPTEMBER 30, 2008 AT RECEPTION NO. 208107012, AFFECTS A PORTION OF THE SURVEYED SITE, LIMITS ARE SHOWN HEREON.
- 18. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE RESOLUTION TO APPROVE SUBDIVISION IMPROVEMENTS AGREEMENTS FOR SOUTH ACADEMY HIGHLANDS FILING NO. 1 SUBDIVISION RECORDED APRIL 27, 2009 AT RECEPTION NO. 209043236, AFFECTS THE SURVEYED SITE.
- 19. ORDINANCE NO. 1598, FOR ANNEXATION, RECORDED JANUARY 10, 2014 AT RECEPTION NO. 214002669.
- NOTE: ANNEXATION MAP IN CONNECTION THEREWITH RECORDED JANUARY 10, 2014 AT RECEPTION NO. 214713421, AFFECTS THE SURVEYED SITE.
- 20. ORDINANCE NO. 1606, FOR APPROVING ANNEXATION, DEVELOPMENT AND INTERGOVERNMENTAL AGREEMENT, RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214007171, INCLUDES THE SURVEYED SITE.
- 21. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE ANNEXATION, DEVELOPMENT AND INTERGOVERNMENTAL AGREEMENT RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214007172 AND IN FIRST AMENDMENT THERETO RECORDED JULY 25, 2014 AT RECEPTION NO. 214066383.
- NOTE: ORDINANCE NO. 1625 APPROVING THE FIRST AMENDMENT TO THE ANNEXATION, DEVELOPMENT AND INTERGOVERNMENTAL AGREEMENT IN CONNECTION THEREWITH RECORDED JULY 25, 2014 AT RECEPTION NO. 214066382, AFFECTS THE ENTIRE SURVEYED SITE.
- 22. ORDINANCE NO. 1600, FOR ZONING, RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214007173, AFFECTS THE SURVEYED SITE.
- 23. ORDINANCE NO. 1599, FOR APPROVING AN OVERALL DEVELOPMENT PLAN FOR SOUTH ACADEMY HIGHLANDS , RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214007174, AFFECTS THE SURVEYED SITE.
- 24. EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF SOUTH ACADEMY HIGHLANDS OVERALL DEVELOPMENT PLAN, RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214007175, AFFECTS THE SURVEYED SITE

25. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE LANDSCAPE MAINTENANCE AGREEMENT RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214007177, AFFECTS THE SURVEYED SITE.

NOTE: FIRST AMENDMENT TO LANDSCAPE MAINTENANCE AGREEMENT IN CONNECTION THEREWITH RECORDED DECEMBER 10, 2015 AT RECEPTION NO. 215133038.

- 26. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE MASTER SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214007178, AFFECTS THE SURVEYED SITE.
- 27. EASEMENTS, NOTES, COVENANTS, RESTRICTIONS AND RIGHTS-OF-WAY AS SHOWN ON THE PLAT OF SOUTH ACADEMY HIGHLANDS FILING NO. 1, RECORDED JANUARY 28, 2014 AT RECEPTION NO. 214713425, AFFECTS THE SURVEYED SITE.
- 3. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE DECLARATION OF COVENANTS IMPOSING AND IMPLEMENTING THE SOUTH ACADEMY HIGHLANDS PUBLIC IMPROVEMENTS FEE RECORDED FEBRUARY 5, 2014 AT RECEPTION NO. 214009746, AND AMENDED AND RESTATED DECLARATION OF COVENANTS IMPOSING AND IMPLEMENTING THE SOUTH ACADEMY HIGHLANDS PUBLIC IMPROVEMENTS FEE RECORDED JULY 25, 2014 AT RECEPTION NO. 214066381, AFFECTS THE SURVEYED SITE.
- 29. ANY TAX, LIEN, FEE OR ASSESSMENT BY REASON OF INCLUSION OF SUBJECT PROPERTY IN THE FOUNTAIN GENERAL IMPROVEMENT DISTRICT NO. 1, AS EVIDENCED BY INSTRUMENT RECORDED FEBRUARY 6, 2014 AT RECEPTION NO. 214010139 AND AS EVIDENCED BY INSTRUMENT RECORDED APRIL 24, 2014 AT RECEPTION NO. 214033781, AFFECTS THE SURVEYED SITE.
- 30. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE PERMANENT EASEMENT AGREEMENT RECORDED FEBRUARY 26, 2014 AT RECEPTION NO. 214015589 (AFFECTS LOT 8), IS SHOWN HEREON
- TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE GRANT OF EASEMENT RECORDED MARCH 13, 2014 AT RECEPTION NO. 214020857.
- 32. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND ("ECR") RECORDED JULY 30, 2014 AT RECEPTION NO. 214068199, PERTAINS TO THE SURVEYED SITE.
 - A: SUPPLEMENTAL AGREEMENTS IN CONNECTION THEREWITH RECORDED DECEMBER 5, 2017 AT RECEPTION NO. 217146917 AND RECORDED APRIL 2, 2018 AT RECEPTION NO. 218036821.
- 33. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE EASEMENT AGREEMENT FOR INSTALLATION OF PUBLIC IMPROVEMENTS RECORDED FEBRUARY 27, 2015 AT RECEPTION NO. 215018486, IS SHOWN HEREON.
- 34. THE EFFECT OF DECISION OF THE BOARD OF ADJUSTMENT OF THE CITY OF FOUNTAIN RECORDED OCTOBER 7, 2015 AT RECEPTION NO. 215109559 AND RECORDED DECEMBER 10, 2015 AT RECEPTION NO. 215133042, DOES NOT AFFECT THE SURVEYED SITE.
- 35. NOTES, EASEMENTS AND OTHER MATTER AS SHOWN ON THE SOUTH ACADEMY HIGHLANDS OVERALL DEVELOPMENT PLAN AMENDMENT NO. 1 RECORDED DECEMBER 10, 2015 AT RECEPTION NO. 215133043, INCLUDES THE SURVEYED SITE.
- 36. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE TRANSPORTATION DEVELOPMENT AGREEMENT RECORDED JANUARY 29, 2016 AT RECEPTION NO. 216009359, APPEARS TO BE NORTH OF THE SURVEYED PROPERTY. THE DOCUMENT DOES NOT CONTAIN A CLEAR AND SPECIFIC LOCATION.
- 37. TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE WATERLINE EASEMENT RECORDED JANUARY 31, 2018 AT RECEPTION NO. 218011848, DOES NOT AFFECT THE SURVEYED SITE.

SURVEY NOTES:

- THE SEVENTEENTH LINE OF THE LEGAL DESCRIPTION SHOULD READ "THENCE ON THE EASTERLY BOUNDARY OF SAID STRATMOOR SOUTH SUBDIVISION FILING NO. 3 THE FOLLOWING TWO (2) COURSES:"
- SIDEWALK SHOWN AT THE SOUTHEAST CORNER OF THE SURVEYED SITE LIES OUTSIDE OF A
 PUBLIC IMPROVEMENT EASEMENT. EDWARD-JAMES SURVEYING, INC. WAS NOT SUPPLIED WITH
 A DOCUMENT DEFINING OR GRANTING THIS USE.

LIMITATION OF ACTIONS AGAINST LAND SURVEYORS:

ALL ACTIONS AGAINST ANY LAND SURVEYOR BROUGHT TO RECOVER DAMAGES RESULTING FROM ANY ALLEGED NEGLIGENT OR DEFECTIVE LAND SURVEY SHALL BE BROUGHT WITHIN THREE YEARS AFTER THE PERSON BRINGING THE ACTION EITHER DISCOVERED OR IN THE EXERCISE OF REASONABLE DILIGENCE AND CONCERN SHOULD HAVE DISCOVERED THE NEGLIGENCE OR DEFECT WHICH GAVE RISE TO SUCH ACTION, AND NOT THEREAFTER, BUT IN NO CASE SHALL SUCH AN ACTION BE BROUGHT MORE THAN TEN YEARS AFTER THE COMPLETION OF THE SURVEY UPON WHICH SUCH ACTION IS BASED.

SURVEYOR'S STATEMENT

COLORADO P.L.S. NO. 33196

UTW ACADEMY DEVELOPMENT, LLC, A MISSOURI LIMITED LIABILITY COMPANY, RB COLORADO LLC, A DELAWARE LIMITED LIABILITY COMPANY AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, , AND INCLUDES ITEMS 1., 2., 3., 4., 5., 8., 9., 11b., AND 16. OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED DECEMBER 1, 2021.

THIS LAND SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY EDWARD-JAMES SURVEYING, INC. WHICH INCLUDE: DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY WITH THAT OF ADJACENT TRACTS AND VERIFY EASEMENTS OF RECORD.



FOR AND ON BEHALF OF EDWARD-JAMES SURVEYING, INC.

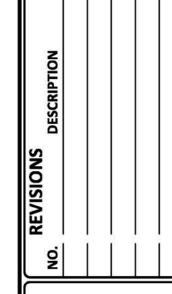
JONATHAN W. TESSIN, PROFESSIONAL LAND SURVEYOR

MONUMENTED SURVEY PLAT DEPOSITING CERTIFICATE:

DEPOSITED THIS	DAY OF	_, 2021 A.D., AT	O'CLOCK _
41	OF LAND SURVEY PLATS AT PAGE		_, DEPOSIT I
	, RECORDS OF EL PASO (COUNTY, COLORADO.	
SIGNED:			
TITLE:			
DV			

A PORTION OF SEC 4, T15S, R66W OF THE 6TH PM
CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

.M., IN BOOK



926 Elkton Drive Colorado Springs, CO 80907 Office: (719) 576-1216 Fax: (719) 576-1206



E SURVEY

A PORTION OF SEC 4, T15S, R66W OF THI

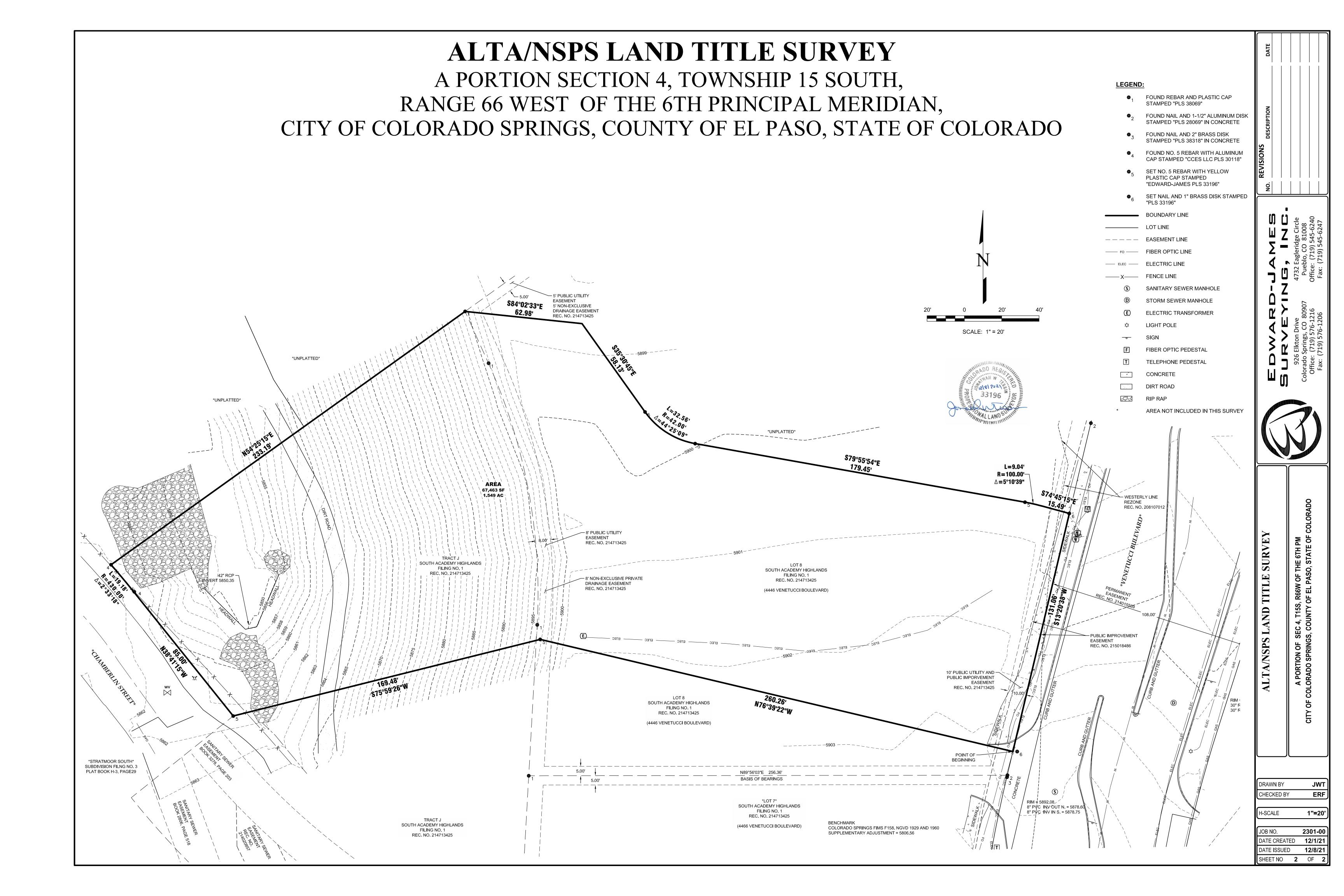
DRAWN BY JWT
CHECKED BY ERF

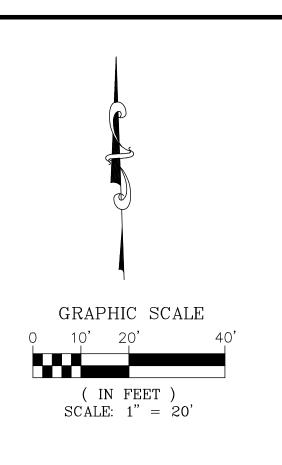
JOB NO. 2301-00

DATE CREATED 12/1/21

DATE ISSUED 12/8/21

SHEET NO 1 OF 2





5 NON-EXCLUSIVE DRAINAGE EASEMENT _10' TYPE R AT-GRADE INLET (BY OTHERS) -18" RCP (CAPPED) 20' PUBLIC UTILITY EASEMENT (STRATMOOR) WALL (BY OTHERS)-12.0' 12.0' 8' PUBLIC UTILITY EASEMENT— REC. NO. 214713425 INSPIRE DUAL HIGH 40 - STD ±2,530 SF - 40 SEATS 35 PARKS - 12 CAR STACK FFE: 5900.30' NAVD TRACT J SOUTH ACADEMY HIGHLANDS FILING NO. 1 REC. NO. 214713425 -PUBLIC IMPROVEMENT EASEMENT 8' NON-EXCLUSIVE PRIVATE DRAINAGE EASEMENT REC. NO. 215018486 REC. NO. 214713425 10' TYPE R AT-GRADE INLET (BY OTHERS) LOT 8 N76°39'22"W SOUTH ACADEMY HIGHLANDS FILING NO. 1 REC. NO. 214713425 (4446 VENETUCCI BOULEVARD) EX. WATER MAIN OUTH ACADEMY HIGHLANDS / FRING NO. 1 EX. SSWR MH RIM = 5892.08REC. NO. 214713425 TRACT J 8" PVC N. I.E. = 5878.60 8" PVC S. I.E. = 5870.75 SOUTH ACADEMY HIGHLANDS (4466 VENETUCCI BOULEVARD) FILING NO. 1 REC. NO. 214713425

CAD file name: V:\011098 — Arby's 4446 Venetucci Blvd Fountain CO\011098—01—001 (ENG) — Arby's 4446 Venetucci Blvd Fountain CO\Engineering\Engineering\Engineering Plans\Sheet Sets\C—3 — Site Plan.dwg 05/18/2022

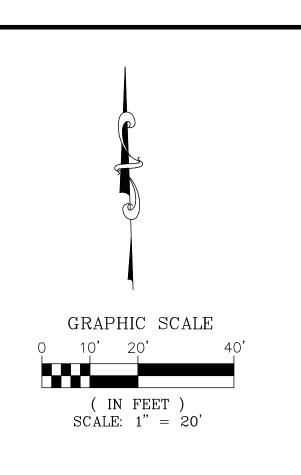
SITE SUMMARY

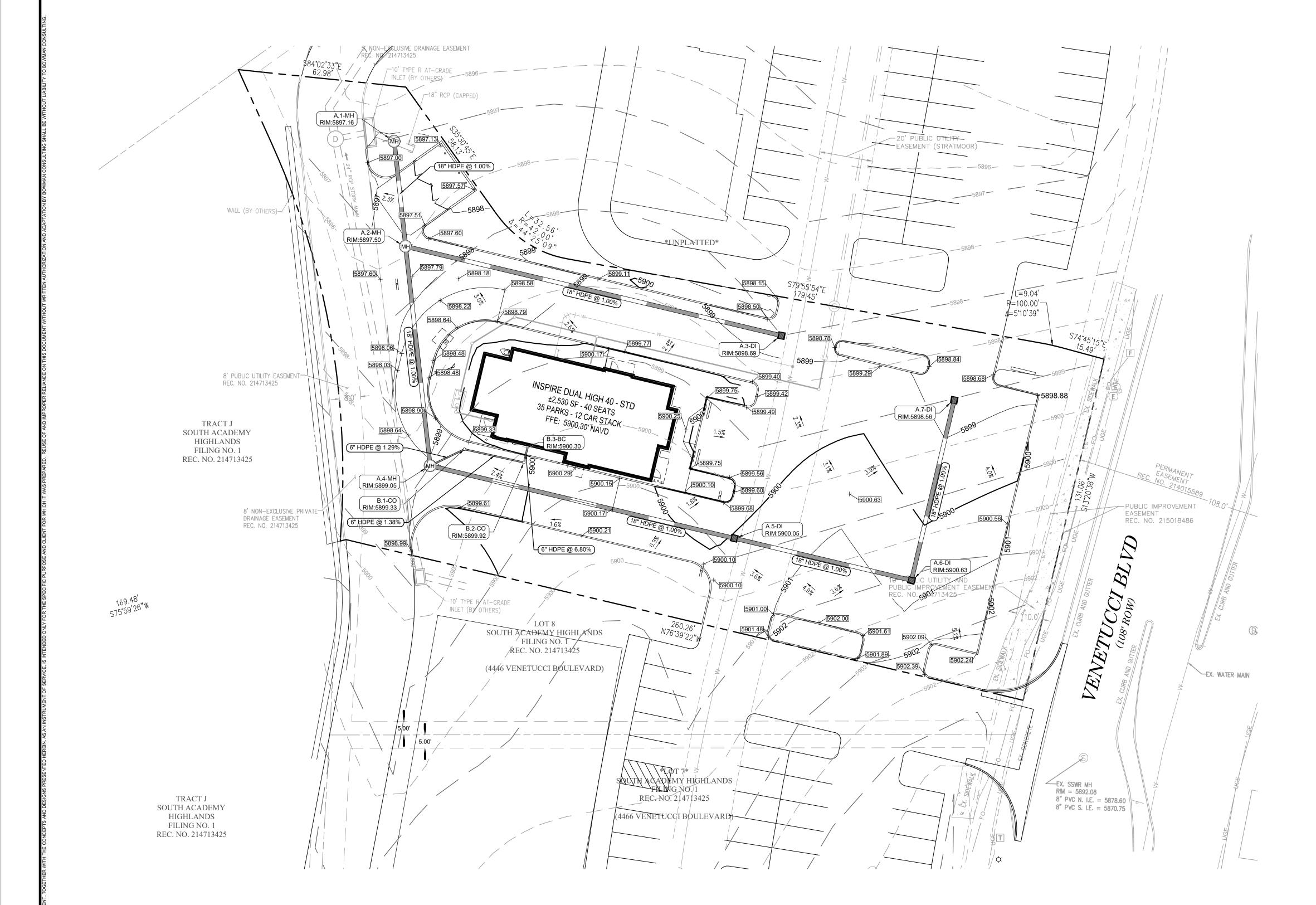
PARCEL ID:	LOT 2, PORTION OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF SIXTH PRINCIPAL MERIDI
MASTER DEVELOPMENT	SOUTH ACADEMY HIGHLANDS
PROJECT AREA	38,745 SF - 0.89 AC (100%)
TOTAL IMPERVIOUS AREA PAVING / SIDEWALK AREA BUILDING AREA	30,867 SF - 0.71 AC (79.7%) 28,337 SF - 0.65 AC (73.2%) 2,530 SF - 0.11 AC (6.5%)
TOTAL PERVIOUS AREA (GREEN SPACE)	7,878 SF - 0.18 AC (20.3%)
BUILDING	INSPIRE HIGH DUAL 40 - STD
SIZE	2,530 SF
HEIGHT	23'-0"
FRONT (EAST) SETBACK REQUIRED:	20'
FRONT (EAST) SETBACK PROVIDED:	150'
PARKING	
MINIMUM REQUIRED	1 PER 100 SF GFA = 26 SPACES
PROPOSED REG SPACES	33 SPACES
ACCESSIBLE SPACES	2 SPACES
STALL SIZE	9' X 18'
TOTAL SPACES	35 SPACES

SITE PLAN DESIGN NOTES

- 1. PAVEMENT MARKINGS (ACCESSIBILITY SYMBOL)
- 2. PAVEMENT MARKINGS (DIRECTIONAL ARROW)
- 3. PAVEMENT MARKINGS (DRIVE-THRU)
- 4. PAVEMENT MARKINGS (STOP BAR) 5. 90° PARKING STRIPING
- 6. ACCESSIBILITY PARKING SIGN
- 7. DIRECTIONAL SIGNAGE (REFER TO SIGN PACKAGE FOR MORE DETAILS) 7A. ONE WAY
- 7B. DO NOT ENTER
- 7C. STOP SIGN (R1-1 30"X30")
- 8. CONCRETE SIDEWALK CONCRETE PAVEMENT
- 10. HEAVY DUTY CONCRETE PAVEMENT 11. ASPHALT PAVEMENT
- 12. CURB RAMP WITH FLARED SIDES
- 13. PAVEMENT EDGE DETAIL 14. CONCRETE APRON AT REFUSE ENCLOSURE
- 15. CONCRETE PAVEMENT DRIVE-THRU LANE
- 16. CONCRETE BOLLARD
- 17. CROSSWALK MARKINGS (NOT USED) 18. BUILDING DOWNSPOUT CONNECTION
- 19. SCREENED REFUSE ENCLOSURE
- 20. DRIVE-THRU ORDER POINT MENU BOARD
- 21. DRIVE-THRU ORDER POINT CANOPY 22. MONUMENT SIGN (REFER TO SIGN PACKAGE)
- 23. LIGHT POLE AND BASE (REFER TO PHOTOMETRICS PLAN)
- 24. TRANSFORMER PAD
- 25. 4" YELLOW STRIPING
- 26. 4" WHITE STRIPING
- BITUMASTIC EXPANSION JOINT, TYP. INSTALL EXPANSION JOINT BETWEEN ALL CONCRETE PAVEMENT INTERFACE WITH BUILDING, CURB & GUTTER, AND OTHER CONSTRAINED OBJECTS, TYP.
- SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING AND THE LOCATION OF DOORWAYS, UTILITIES, ETC.
- GATES TO BE INSTALLED BY BUILDING CONTRACTOR WITH DUMPSTER STRUCTURE COORDINATE WITH PAVEMENT INSTALLATION.
- SAWCUT EXISTING CURB & GUTTER AS NECESSARY TO COMPLETE NEW CURB & GUTTER CONNECTION. PROVIDE EXPANSION JOINT BETWEEN INTERFACE.
- THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL, SAFETY BARRICADES, LIGHTING, AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ENSURE PUBLIC SAFETY.

EL DC BP DESIGN DRAWN CHKD SCALE: 1" = 20' JOB No.: 011098-01-001 DATE: 05/18/2022





GENERAL GRADING NOTES

- 1. ALL ELEVATIONS ARE BASED ON NAVD88. 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
- 5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR
- 6. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS. SLOPES IN GRASS AREAS SHALL BE GRADED AT A 1.0%

ALL SPOT ELEVATIONS REPRESENT **GUTTER GRADE UNLESS** OTHERWISE NOTED

GRADING & DRAINAGE LEGEND

PROPOSED GRADE MAJOR CONTOUR LINE

PROPOSED GRADE MINOR CONTOUR LINE EXISTING GRADE MAJOR CONTOUR LINE

EXISTING GRADE MINOR CONTOUR LINE

PROPOSED STORM PIPE

--- --- RIDGE LINE

→ FLOW LINE

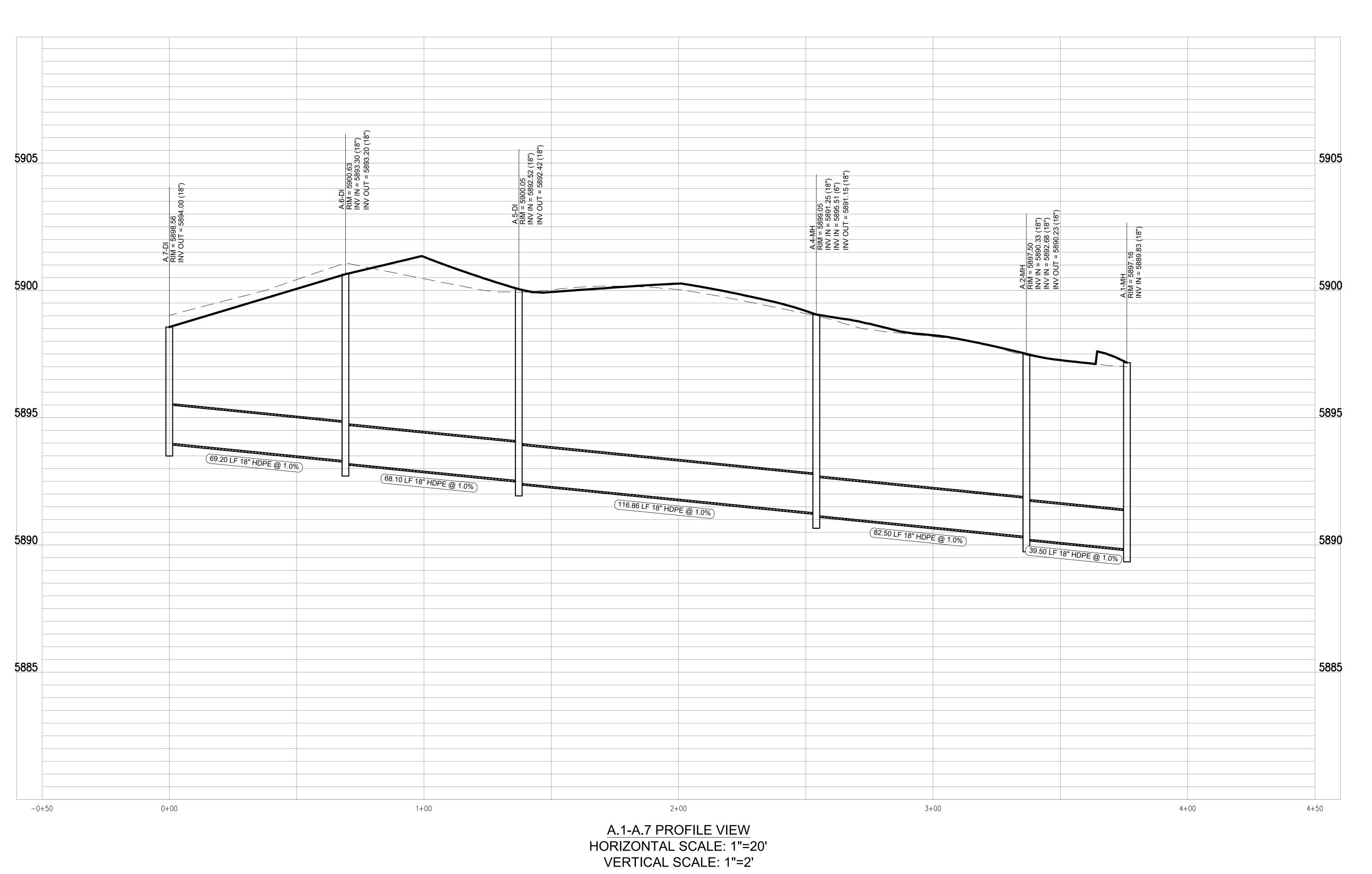
STORMWATER STRUCTURE TABLE								
STRUCTURE ID	STRUCTURE TYPE	RIM ELEV.	PIPE INVERTS	PIPE INFORMATION				
A.1-MH	MANHOLE	RIM = 5897.16	IN (S) = 5889.83	40 LF, 18" HDPE @ 1.00%				
A.2-MH	MANHOLE	RIM = 5897.50	IN (S) = 5890.33 OUT (N) = 5890.23 IN (E) = 5892.68	83 LF, 18" HDPE @ 1.00% 40 LF, 18" HDPE @ 1.00% 144 LF, 18" HDPE @ 1.00%				
A.3-DI	DROP INLET	RIM = 5898.69	OUT (W) = 5894.13	144 LF, 18" HDPE @ 1.00%				
A.4-MH	MANHOLE	RIM = 5899.05	IN (E) = 5891.25 OUT (N) = 5891.15 IN (NE) = 5895.51	117 LF, 18" HDPE @ 1.00% 83 LF, 18" HDPE @ 1.00% 14 LF, 6" HDPE @ 1.29%				
A.5-DI	DROP INLET	RIM = 5900.05	IN (E) = 5892.52 OUT (W) = 5892.42	68 LF, 18" HDPE @ 1.00% 117 LF, 18" HDPE @ 1.00%				
A.6-DI	DROP INLET	RIM = 5900.63	IN (N) = 5893.30 OUT (W) = 5893.20	69 LF, 18" HDPE @ 1.00% 68 LF, 18" HDPE @ 1.00%				
A.7-DI	DROP INLET	RIM = 5898.56	OUT (S) = 5894.00	69 LF, 18" HDPE @ 1.00%				
B.1-CO	CLEAN OUT	RIM = 5899.33	IN (E) = 5895.80 OUT (SW) = 5895.70	23 LF, 6" HDPE @ 1.38% 14 LF, 6" HDPE @ 1.29%				
B.2-CO	CLEAN OUT	RIM = 5899.92	IN (N) = 5896.21 OUT (W) = 5896.11	6 LF, 6" HDPE @ 6.80% 23 LF, 6" HDPE @ 1.38%				
B.3-BC	BUILDING CONNECTION	RIM = 5900.30	OUT (S) = 5896.64	6 LF, 6" HDPE @ 6.80%				

GRADING AND DRAINAGE ARBY'S

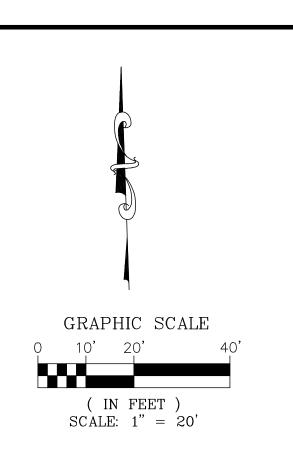
EL DC BP DESIGN DRAWN CHKD SCALE: 1" = 20' JOB No.: 011098-01-001 DATE: 05/18/2022

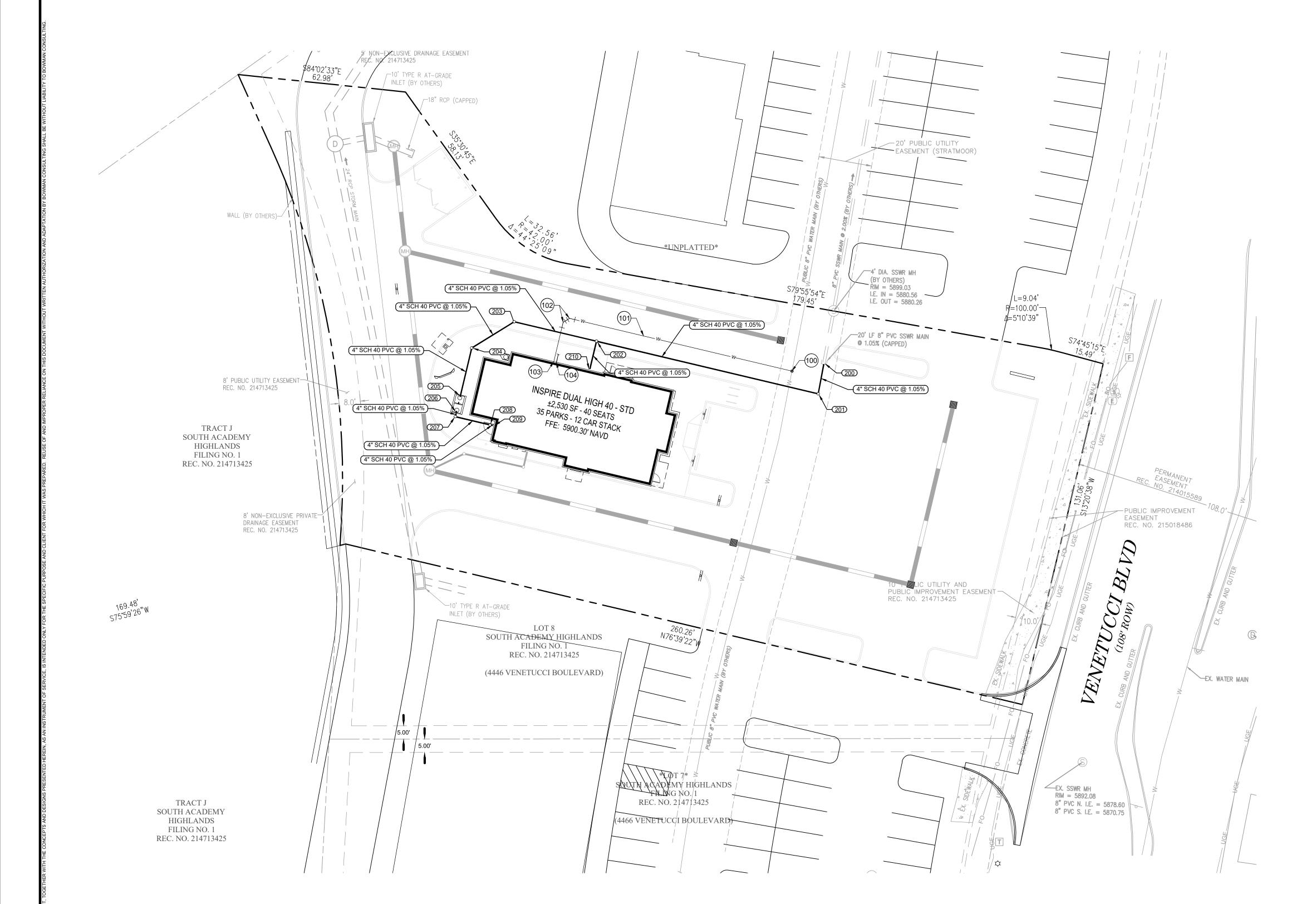
SHEET CG-101

	STORMWAT	TER STRU	ICTURE TABI	-E
STRUCTURE ID	STRUCTURE TYPE	RIM ELEV.	PIPE INVERTS	PIPE INFORMATION
A.1-MH	MANHOLE	RIM = 5897.16	IN (S) = 5889.83	40 LF, 18" HDPE @ 1.00
A.2-MH	MANHOLE	RIM = 5897.50	IN (S) = 5890.33 OUT (N) = 5890.23 IN (E) = 5892.68	83 LF, 18" HDPE @ 1.00 40 LF, 18" HDPE @ 1.00 144 LF, 18" HDPE @ 1.0
A.3-DI	DROP INLET	RIM = 5898.69	OUT (W) = 5894.13	144 LF, 18" HDPE @ 1.0
A.4-MH	MANHOLE	RIM = 5899.05	IN (E) = 5891.25 OUT (N) = 5891.15 IN (NE) = 5895.51	117 LF, 18" HDPE @ 1.0 83 LF, 18" HDPE @ 1.00 14 LF, 6" HDPE @ 1.29%
A.5-DI	DROP INLET	RIM = 5900.05	IN (E) = 5892.52 OUT (W) = 5892.42	68 LF, 18" HDPE @ 1.00 117 LF, 18" HDPE @ 1.0
A.6-DI	DROP INLET	RIM = 5900.63	IN (N) = 5893.30 OUT (W) = 5893.20	69 LF, 18" HDPE @ 1.00 68 LF, 18" HDPE @ 1.00
A.7-DI	DROP INLET	RIM = 5898.56	OUT (S) = 5894.00	69 LF, 18" HDPE @ 1.00
B.1-CO	CLEAN OUT	RIM = 5899.33	IN (E) = 5895.80 OUT (SW) = 5895.70	23 LF, 6" HDPE @ 1.389 14 LF, 6" HDPE @ 1.299
B.2-CO	CLEAN OUT	RIM = 5899.92	IN (N) = 5896.21 OUT (W) = 5896.11	6 LF, 6" HDPE @ 6.80% 23 LF, 6" HDPE @ 1.38%
B.3-BC	BUILDING CONNECTION	RIM = 5900.30	OUT (S) = 5896.64	6 LF, 6" HDPE @ 6.80%



DRAINAGE PROFILES ARBY'S EL DC BP DESIGN DRAWN CHKD JOB No.: 011098-01-001 DATE: 05/18/2022





CAD file name: V: \011098 — Arby's 4446 Venetucci Blvd Fountain C0\011098—01—001 (ENG) — Arby's 4446 Venetucci Blvd Fountain C0\Engineering\Engineering\Engineering Plans\Sheet Sets\C—11 — Utility Plan.dwg 05/18/2022

UTILITY KEY NOTES:

1. PAD MOUNTED TRANSFORMER

2. UNDERGROUND ELECTRIC LINE FROM TRANSFORMER TO BUILDING

WATER:

100. DOMESTIC WATER SERVICE - CONNECT TO EXISTING 8" MAIN WITH 2" CORP. STOP AND VALVE

101. 2" SDR-11 DOMESTIC SERVICE

102. 2" 45° BEND

103. 2" DOMESTIC SERVICE BUILDING CONNECTION

104. IRRIGATION SERVICE - SEE IRRIGATION PLANS

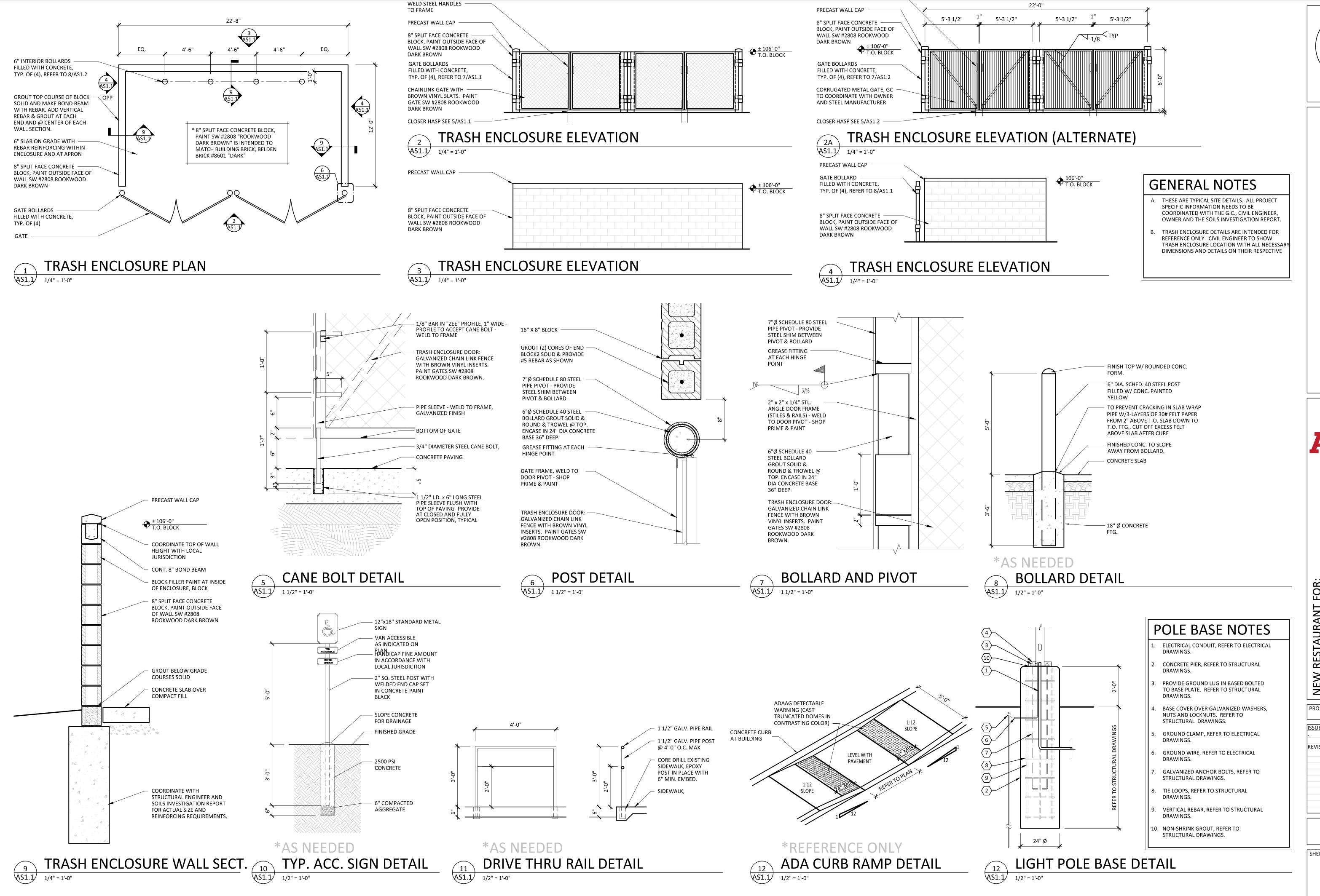
SANIT	SANITARY SEWER STRUCTURE TABLE						
STRUCTURE ID	STRUCTURE TYPE	PIPE INVERTS					
200	REMOVE CAP AND CONNECT TO EXISTING SANITARY MAIN WITH 4" X 8" REDUCER	IN (S) = 5880.80					
201	4" DROP CLEAN OUT	IN (W) = 5893.83 OUT (N) = 5880.92					
202	4" DROP CLEAN OUT	IN (S) = 5896.18 OUT (E) = 5894.73 IN (W) = 5894.83					
203	4" CLEAN OUT	IN (SW) = 5895.26 OUT (E) = 5895.16					
204	4" CLEAN OUT	IN (S) = 5895.56 OUT (NE) = 5895.46					
205	GREASE TRAP OUTLET	OUT (N) = 5895.75 IN (S) = 5895.75					
206	GREASE TRAP INLET	OUT (N) = 5895.92 IN (S) = 5895.92					
207	4" CLEAN OUT	IN (E) = 5896.04 OUT (N) = 5895.94					
208	4" CLEAN OUT	IN (E) = 5896.28 OUT (W) = 5896.18					
209	GREASE LINE BUILDING CONNECTION	OUT (W) = 5896.30					
210	SANITARY LINE BUILDING CONNECTION	OUT (N) = 5896.30					

GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- 2. ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTILLATION.
- 3. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND
- SPECIFICATION REQUIREMENTS.
- 4. ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS AND STANDARDS.
- 5. ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
- 6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
- 7. THE CONTRACTOR IS TO FIELD VERIFY THE EXACT LOCATIONS AND DEPTHS OF UTILITY LINES.
- 8. ANY WATER AND/OR SEWER CONNECTIONS MUST BE COORDINATED AND SUPERVISED BY UTILITY DISTRICT PERSONNEL. PLEASE GIVE 72 HOURS NOTICE FOR CONNECTIONS.

UTILITY PLAN

EL DC BP DESIGN DRAWN CHKD SCALE: 1" = 20' JOB No.: 011098-01-001 DATE: 05/18/2022



WELD STEEL HANDLES TO FRAME

OF COLO. $\int \mathcal{S} / \mathsf{Christopher} \, \mathsf{W}. \, \mathsf{V}$ = wiswth No. 402173 ∕ SED ARCH

05/26/22

AL HIGH 40 - STD :VARD) 80906 (FOUNTAIN)

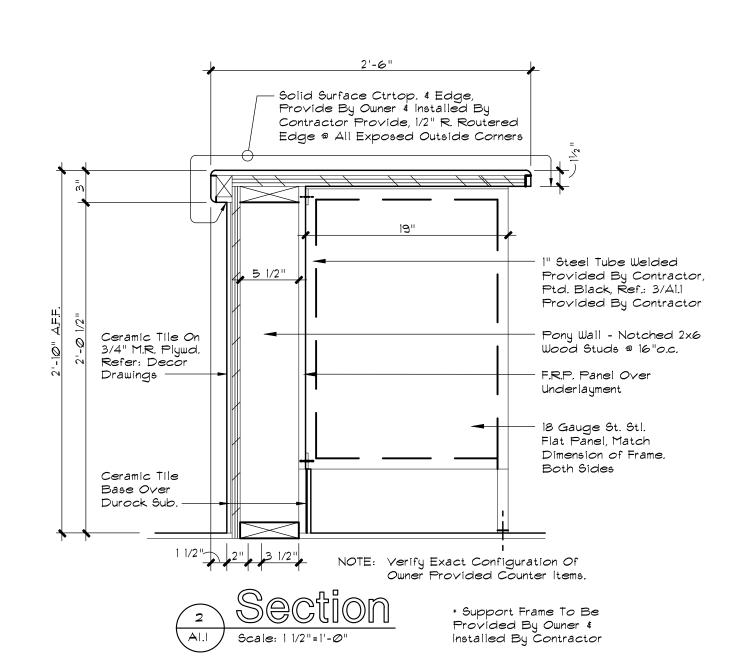
NEW RESTAURANT FOR:
ARBY'S - INSPIRE DUAL
4446 VENETUCCI BOULEV/
COLORADO SPRINGS, CO 8
FOR
RB AMERICAN GROUP
6200 OAN TOTAL

PROJECT NUMBER:

DATE 05-26-2022 REVISION

SITE DETAILS

AS1.1



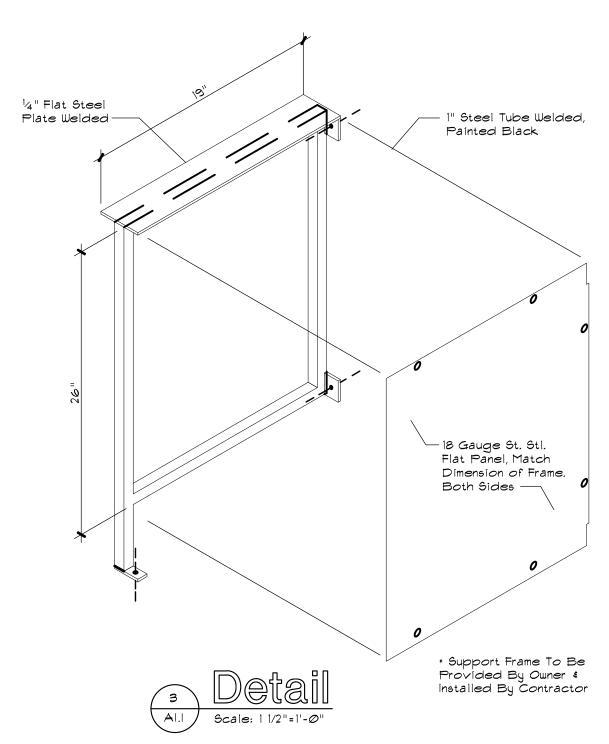


 TABLE 308.4.2
 CLEARANCE REDUCTION METHODS

GALVANIZED SHEET STEEL, HAVING A MINIMUM THICKNESS OF 0.0236

INCH (NO. 24 GAGE), SPACED 1 INCH OFF THE COMBUSTIBLE ASSEMBLY | 18 | 9 | 5

TYPE OF PROTECTIVE ASSEMBLY

REDUCED CLEARANCE WITH PROTECTION (inches)

THE HEAT SOURCE

PROTECTION(INCHES)

REQUIRED CLEARANCE TO

COMBUSTIBLES WITHOUT

HORIZONTAL COMBUSTIBLE HORIZONTAL COMBUSTIBLE ASSEMBLIES

ASSEMBLIES LOCATED ABOVE | LOCATED BENEATH THE HEAT SOURCE AND

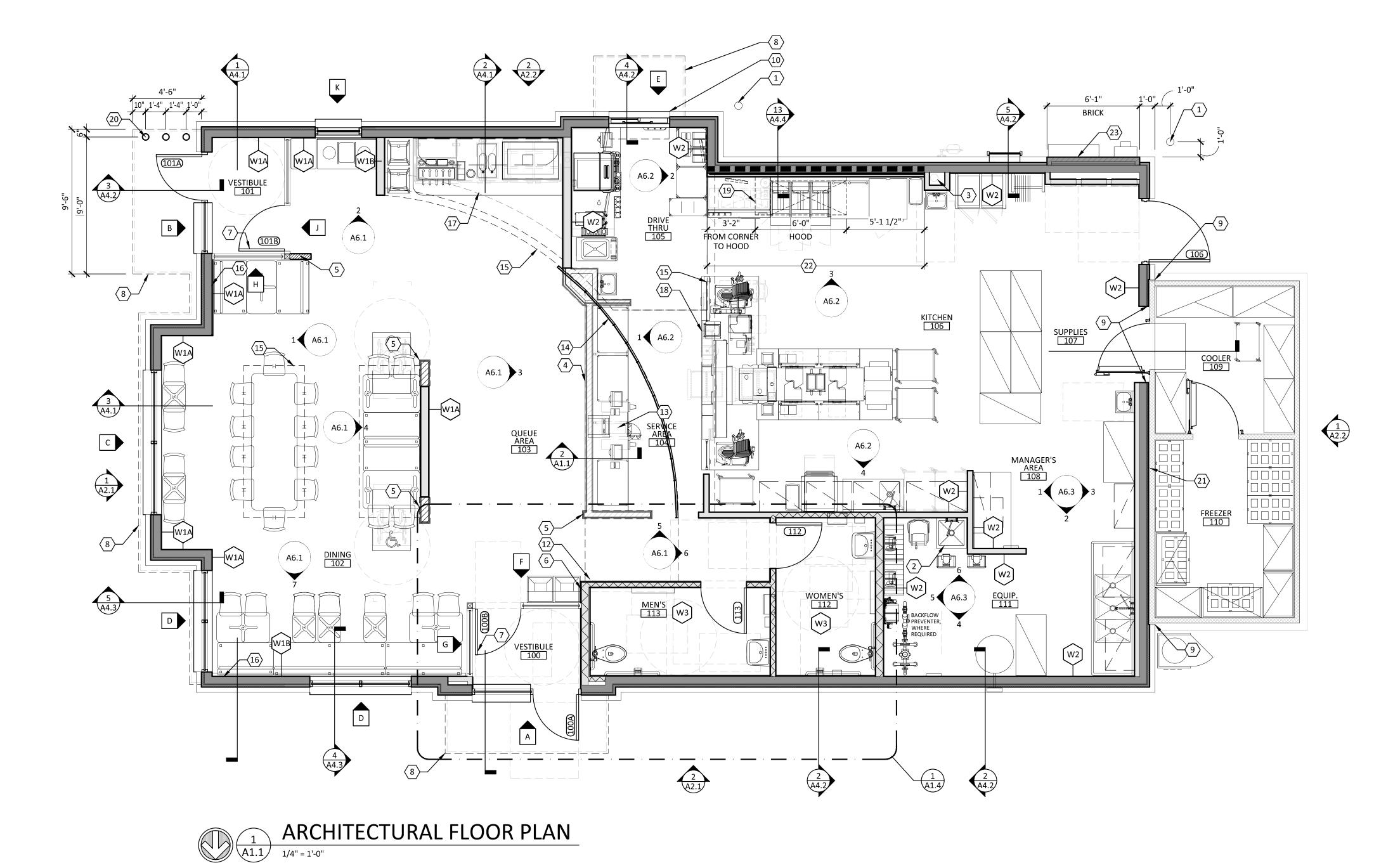
REQUIRED CLEARANCE TO

COMBUSTIBLES WITHOUT

36 | 18 | 9 | 6

PROTECTION(INCHES)

ALL VERTICAL COMBUSTIBLE ASSEMBLIES



OWNER FURNISHED ITEM LIST

THE FOLLOWING ITEMS MAY OR MAY NOT BE SUPPLIED BY THE OWNER/FRANCHISEE. G.C. IS TO CONFIRM WITH OWNER THAT THESE ITEMS ARE BEING SUPPLIED AND/OR INSTALLED BY OWNER. PLEASE CONTACT OWNER IF YOU HAVE ANY QUESTIONS ABOUT THIS LIST. ON SHEET SP.1 IN THE ARCHITECTURAL SPECIFICATIONS THERE IS ALSO A LIST THAT OUTLINES SEVERAL OWNER SUPPLIED ITEMS THAT ARE INCLUDED

- IN THIS LIST, THE SAME INSTRUCTIONS APPLY TO THAT LIST.
- A. DRIVE-THRU WINDOW B. DRIVE-THRU MUSIC SYSTEM
- C. HVAC UNITS
- D. KITCHEN EQUIPMENT
- E. SMALLWARES
- F. NOT USED
- G. REGISTERS H. HOOD SYSTEM

BULK CO2

K. DRINK EQUIPMENT

J. DRINK SYSTEM

- INSTALLATION L. INTERIOR MENU BOARD
- M. EXTERIOR MENU BOARD N. MENU BOARD CANOPY
- a. DECOR LIGHTING b. SEATING c. WALL COVERINGS
- O. CANOPIES/ACCENT BAND P. DECOR PACKAGE
- d. FLOORING

SYMBOL LEGEND

(2)	FLOOR PLAN CODED NOTE
_ \-'/	(SEE SCHEDULE ON THIS SHEET)
(###)	DOOR TAG (SEE SCHEDULE ON SHEET A8.1)
X	WINDOW TAG (SEE ELEVATIONS ON SHEET A8.2)
X-X	WALL TYPE TAG (SEE SCHEDULE ON SHEET A0.1)

WALL LEGEND WALL/PARTITION WALL WITH SOUND BATT PARTIAL HEIGHT WALL

SHEAR WALL

Q. MAX. OCCUPANCY SIGNAGE

R. NOT USED

S. STORE SIGNAGE

T. LOT LIGHTING

U. FIRE EXTINGUISHERS

CODED NOTES \bigcirc

- 6" Ø STEEL BOLLARD, CENTER ON FACE OF BUILDING, REFER TO DETAIL 8/AS1.1
- INTERIOR ROOF DRAIN IN WALL, REFER TO PLUMBING DRAWINGS. 17. PROVIDE ACCESS PANEL.

MOP SINK, REFER TO PLUMBING DRAWINGS. REFER TO 10/A6.3

- 4. SERVICE COUNTER. SET AT 34" A.F.F. MAX. REFER TO DETAIL
- PARTIAL HEIGHT WALL. REFER TO DECOR DRAWINGS.
- SIGNAGE SHALL BE INSTALLED AT 60" A.F.F. THE G.C. IS TO VERIFY THE SIZE, QUANTITY AND LOCATION(S) OF SIGNAGE WITH LOCAL FIRE MARSHAL PRIOR TO INSTALLATION. (G.C. TO CONFIRM WITH OWNER THAT THIS ITEM IS TO BE PROVIDED BY OWNER.)

INSTALL MAXIMUM OCCUPANCY SIGNAGE (WHERE REQUIRED).

- PROVIDE TACTILE EXIT SIGN ON SURFACE OF DOOR RE: SHT G0.3
- STAINLESS STEEL CLOSURE PIECE PROVIDED BY COOLER MANUFACTURER. INSTALLED BY G.C. CAULK TO ADJACENT

8. LINE OF CANOPY/ACCENT BAND ABOVE.

- 10. INSTALL OWNER FURNISHED DRIVE-THRU WINDOW, REFER TO EQUIPMENT PLAN AND SCHEDULE.
- 11. ROOF ACCESS LADDER.
- 12. NOT USED
- 13. COORDINATE THE LOCATION OF THE SECURING BOLTS FOR THE SAFE WITH THE MANUFACTURER'S REQUIREMENTS.
- 14. MENU BOARD ABOVE, REFER TO CEILING PLAN.
- 15. LINE OF SOFFIT ABOVE, REFER TO CEILING PLAN.

- INSTALL TELEVISION AND MOUNTING BRACKET. PROVIDE IN-WALL BLOCKING. REFER TO ELECTRICAL DRAWINGS FOR RECEPTACLE LOCATION. TV TO CONCEAL RECEPTACLES. COORDINATE FINAL
- SELF SERVE DRINK STATION AND CONDIMENT BAR. TOP OF COUNTER TO BE SET AT 34" A.F.F. MAX. REFER TO ELECTRICAL AND PLUMBING DRAWINGS.
- 18. PRODUCTION COUNTER. REFER TO ELECTRICAL DRAWINGS.

LOCATION WITH DECOR.

- 19. HOOD ABOVE, REFER TO MECHANICAL DRAWINGS. ANSUL CABINET TO ALWAYS BE LOCATED TOWARDS THE FRONT OF THE
- 20. CANOPY POST, BY CANOPY MANUFACTURER, TYP. OF (3).
- DO NOT INSTALL BRICK BEHIND COOLER, PROVIDE 1" RIGID INSULATION ON WALL BEHIND COOLER. HOLD COOLER OFF **INSULATION 1"**
- 22. PROVIDE STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD ON METAL STUD FURRING BEHIND HOOD. EXTEND STAINLESS STEEL SHEET FROM CORNER TO CORNER, FROM SLAB TO T.O. WALL. PROVIDE 1/2" CEMENT BOARD ON METAL STUD FRAMING IN EXTERIOR WALL BEHIND HOOD. REFER TO STRUCTURAL DRAWINGS FOR EXTERIOR METAL STUD FRAMING INFORMATION. REFER TO 8/A4.5 FOR FURRING WALL CONSTRUCTION BEHIND HOOD. REFER TO TABLE 308.4.2 ON THIS SHEET.
- 23. EXTEND BRICK ABOVE WATER TABLE TO PROVIDE FLUSH CONDITIONS FOR ELECTRICAL EQUIPMENT INSTALLATION. REFER TO EXTERIOR ELEVATIONS.
- 24. NOT USED.
- 25. NOT USED.

Christopher W. No. 402173

05/26/22

L HIGH 40 - STD VARD 80906 (FOUNTA

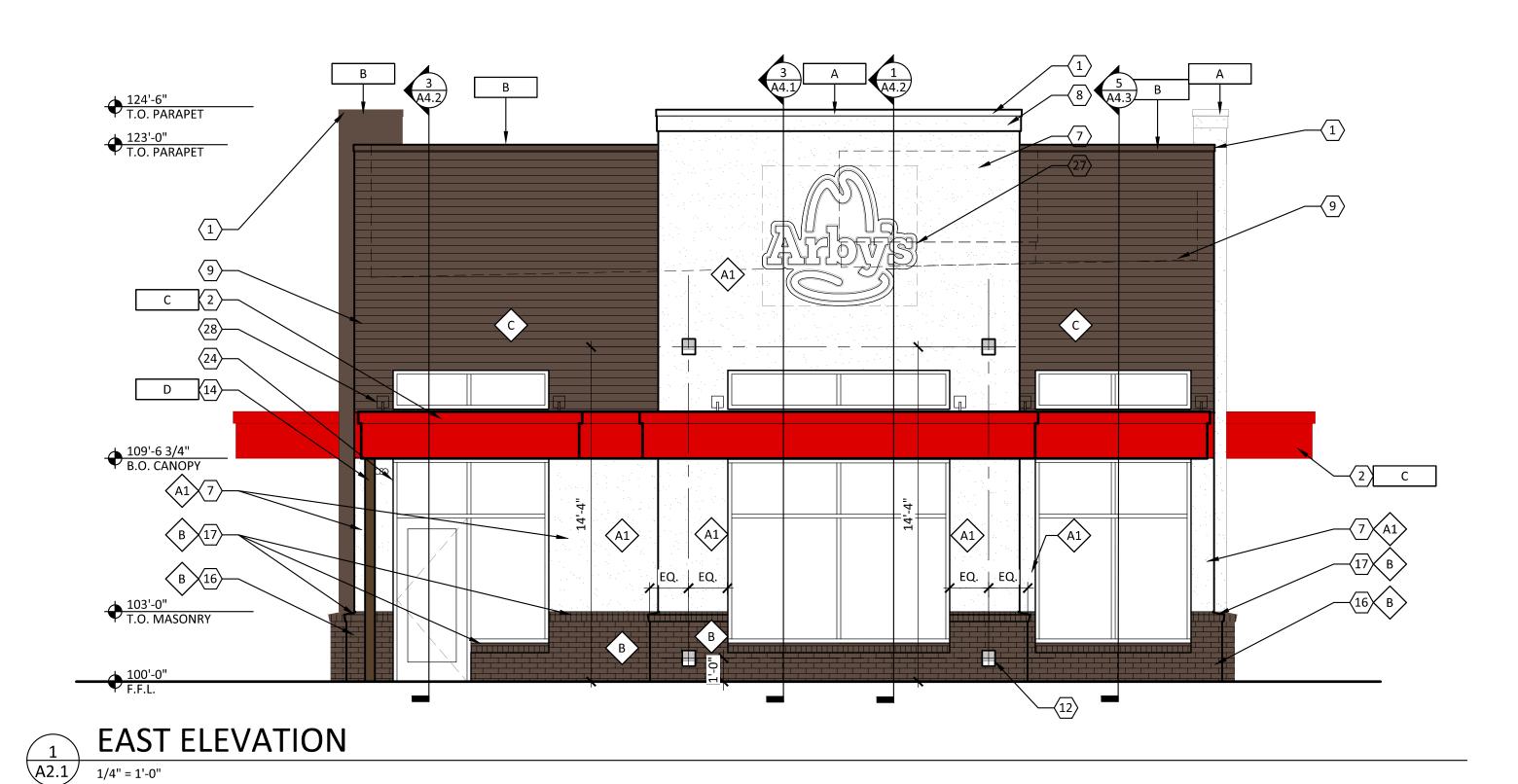
NEW RESTAURANT FOR:
ARBY'S - INSPIRE DUAL F
4446 VENETUCCI BOULEVAL
COLORADO SPRINGS, CO 8C
FOR
RB AMERICAN GROUP
6200 OAK TREE BLVD, INDEPENDENCE. O

PROJECT NUMBER:

DATE 05-26-2022 REVISION

> **ARCHITECTURAL** FLOOR PLAN

A1.1



FINISH SCHEDULE NOTES MANUFACTURER DESCRIPTION **FINISHES** COLOR: ARBY081030 EIFS WALL SYSTEM DRYVIT TEXTURE: STANDARD A2 NOT USED TEXTURE: SMOOTH 8601 DARK BELDEN BRICK GROUT: CEMEX 36-A MOCHA, TYPE N EIFS WALL SYSTEM COLOR: ARBY131030 DRYVIT WITH V-GROOVE REVEALS TEXTURE: STANDARD SHERWIN SW #6869 SATIN FINISH WILLIAMS STOP NOT USED NOT USED SW #2808 SATIN FINISH WILLIAMS ROOKWOOD DARK BROWN NOT USED NOT USED SHERWIN SW #7005 SATIN FINISH WILLIAMS **PURE WHITE** METALS TWO-PIECE SNAP-ON METAL COPING FOR USE WITH DURO-LAST ROOFING SYSTEM METALS/ BONE WHITE/ DURO-LAST #SR.70/TE.87 DETAIL FA3110 **DURO-LAST** EXCEPTIONAL TWO-PIECE SNAP-ON METAL COPING FOR USE WITH DURO-LAST ROOFING SYSTEM METALS/ MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87 DETAIL FA3110 **DURO-LAST** PRE-FABRICATED PRODUCT CODE: 9940-30198R CANOPY/BAND PRODUCT NAME: FC SD RAL 3000 FLAME RED PRE-FABRICATED | PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN

A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.

B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.

C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS , SILLS, ETC.

(ALL CODED NOTES MAY NOT BE USED)

CODED NOTES **(X)**

2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.

3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.

9. EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS.

10. PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.

15. ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"

17. BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS &

23. COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".

25. PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR

26. CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE

SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND

27. ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE

28. COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY

5. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO

1. PRE-FINISHED METAL COPING.

SIGNAGE VENDOR DRAWINGS.

6. PAINT DOOR AND FRAME.

7. NEW EIFS WALL SYSTEM.

11. DRIVE THRU WINDOW.

13. PAINT BOLLARD.

16. BRICK VENEER.

18. NOT USED.

20. GAS METER.

21. GREASE OUTLET

22. Co2 HOOKUP.

19. ELECTRICAL EQUIPMENT.

24. ALUMINUM STOREFRONT.

REFER TO DETAIL 7/A1.3.

ELECTRICAL EQUIPMENT.

VENDOR'S DRAWINGS.

WINDOW.

12. WALL MOUNTED LIGHT FIXTURE.

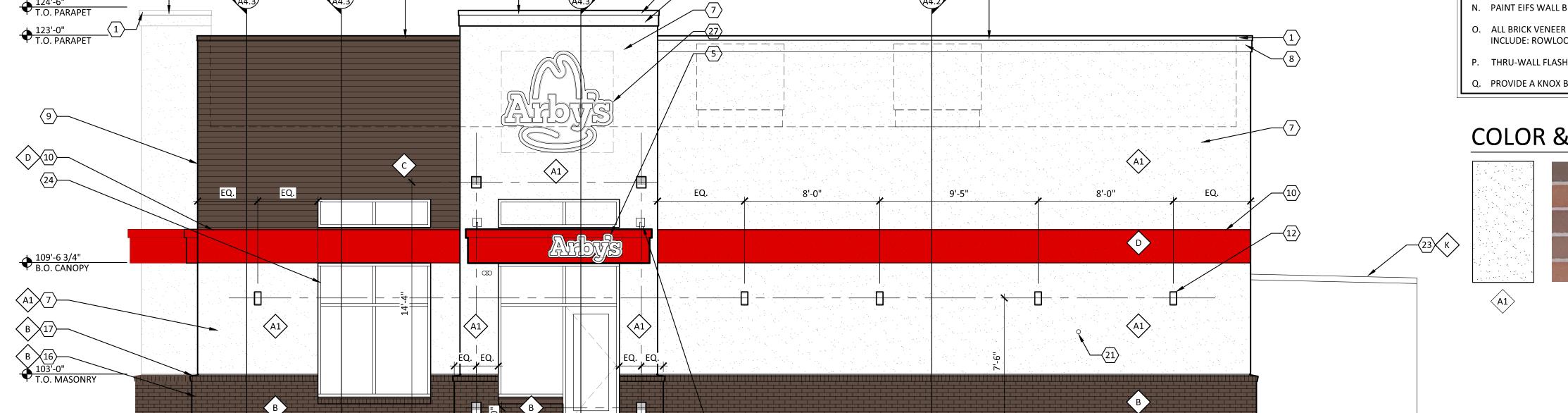
JAMBS. REFER TO DETAIL 3/A2.1.

14. PRE-FABRICATED METAL POST FOR CANOPY.

4. NOT USED.

8. EIFS CORNICE.

D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLENT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.



ISSUE DATE
. 05-26-2022
REVISION

PROJECT NUMBER:

NEW RESTAURANT FOR:
ARBY'S - INSPIRE DUAL FA446 VENETUCCI BOULEVA
COLORADO SPRINGS, CO 80

AL HIGH 40 - STD :VARD) 80906 (FOUNTAIN)

Christopher W.

No. 402173

05/26/22

EXTERIOR ELEVATIONS

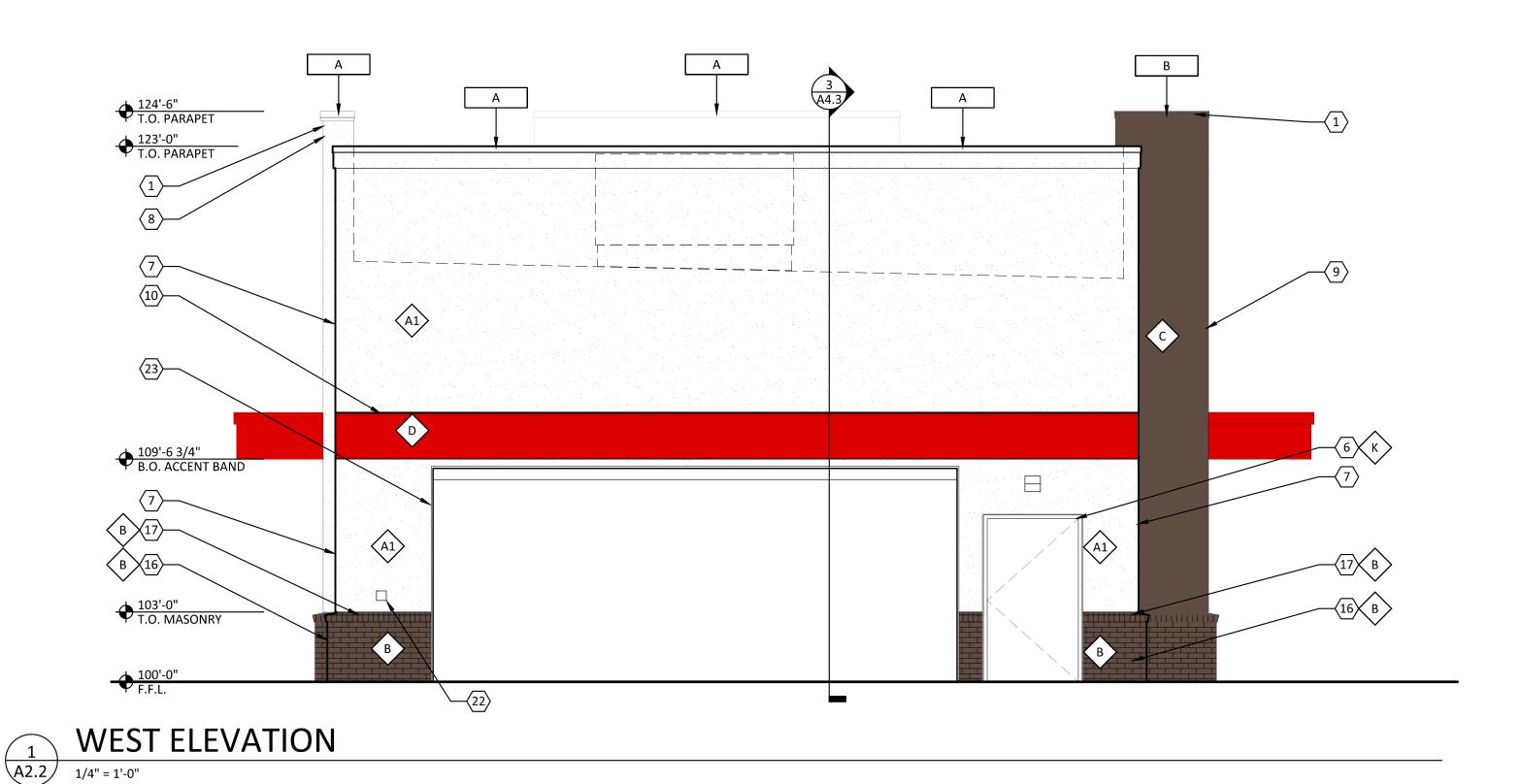
SHEET:

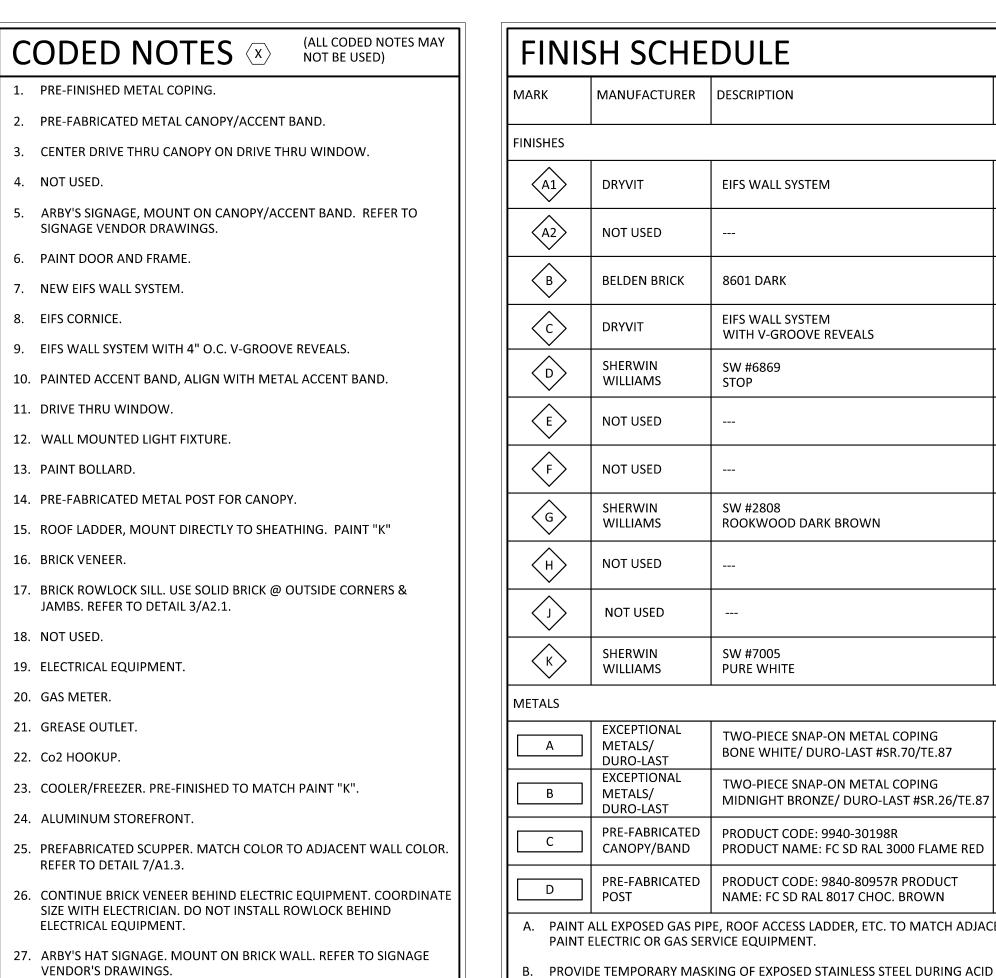
A2.1

E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS. G. ALUMINUM STOREFRONT TO BE DARK BRONZE. H. ALL GLAZING TO BE 1" INSULATED GLAZING. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS. M. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE. N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL O. ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE) P. THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE). Q. PROVIDE A KNOX BOX PER LOCAL FIRE DEPARTMENT STANDARDS. **COLOR & MATERIAL SAMPLES** C \bigcirc D \bigcirc B B Coping Cap

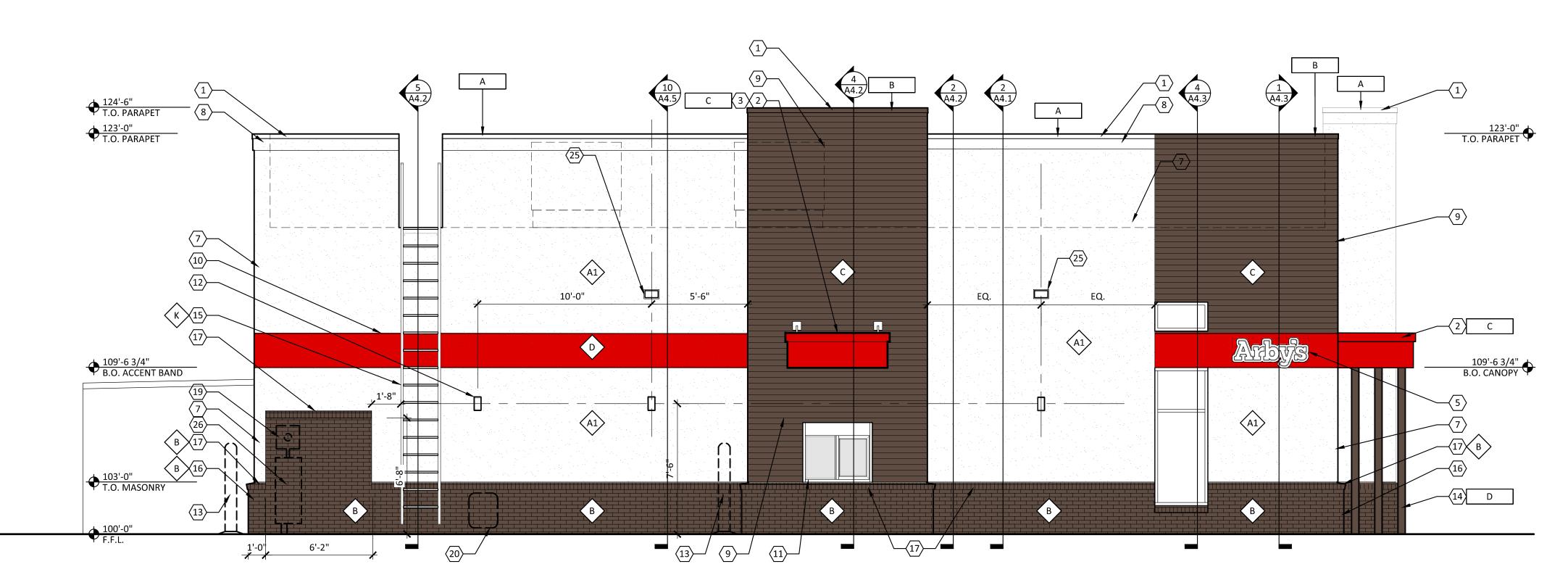
NORTH ELEVATION

A2.1 1/4" = 1'-0"





28. COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY



MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
Á1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED		
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED		
F	NOT USED		
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED		
$\langle 1 \rangle$	NOT USED		
⟨K⟩	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
METALS	•		
А	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
В	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
С	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	

A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT

B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.

C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS , SILLS, ETC.

TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLENT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.

E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.

F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.

G. ALUMINUM STOREFRONT TO BE DARK BRONZE.

H. ALL GLAZING TO BE 1" INSULATED GLAZING.

BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND

VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER

K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.

ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.

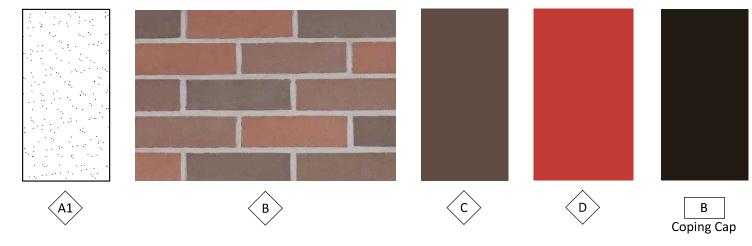
PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.

ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)

THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).

PROVIDE A KNOX BOX PER LOCAL FIRE DEPARTMENT STANDARDS.

COLOR & MATERIAL SAMPLES



Christopher W. White No. 402173

05/26/22

ARBY'S - INSPIRE DUAL HIGH 40 - STD 4446 VENETUCCI BOULEVARD COLORADO SPRINGS, CO 80906 (FOUNTAIN)

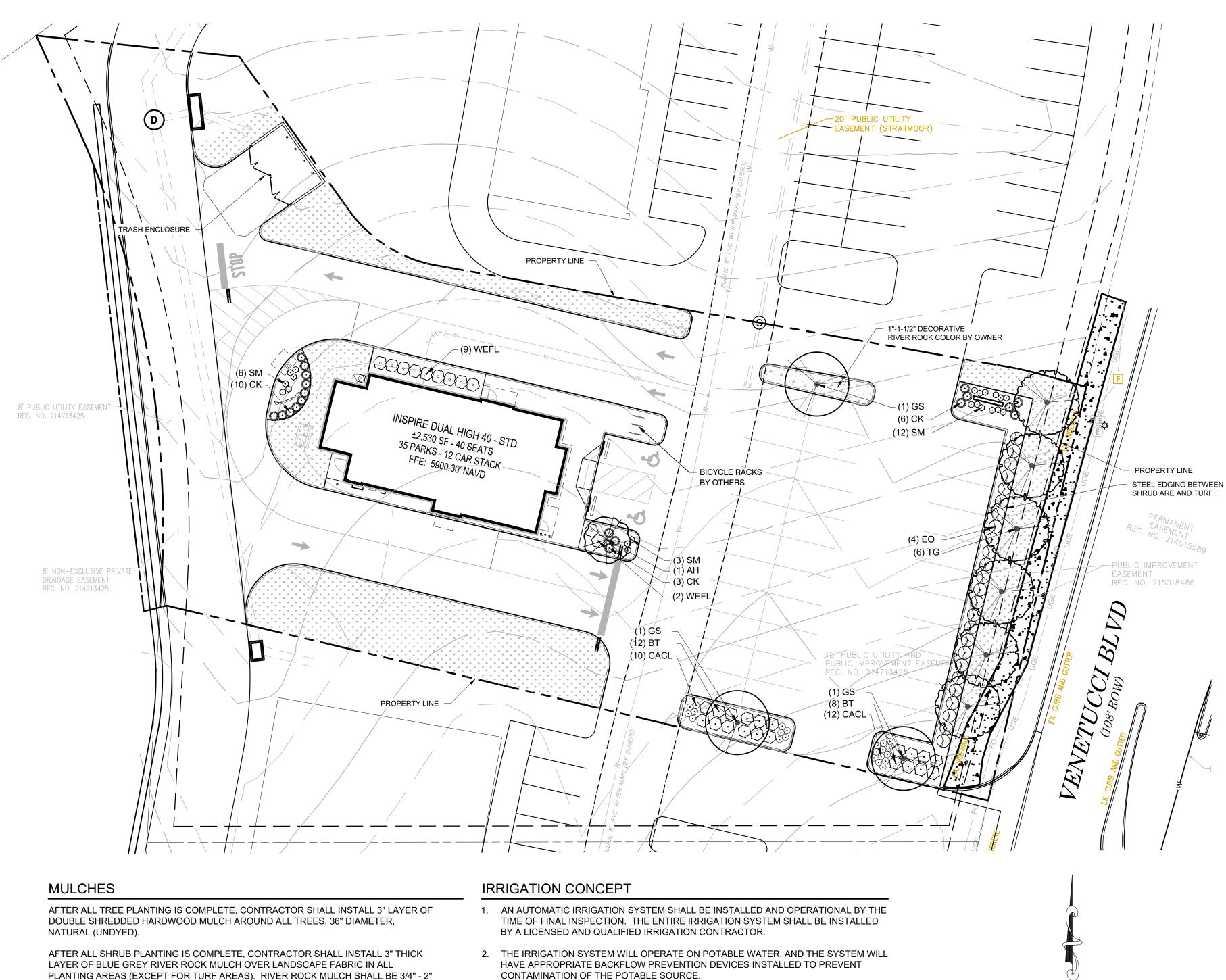
FOR RB AMERICAN GROUP 6200 OAK TREE BLVD, INDEPENDENCE OF 1177

PROJECT NUMBER: DATE 05-26-2022 REVISION

> **EXTERIOR ELEVATIONS**

A2.2

SOUTH ELEVATION 2 SOU | A2.2 1/4" = 1'-0"



PLANTING AREAS (EXCEPT FOR TURF AREAS). RIVER ROCK MULCH SHALL BE 3/4" - 2" STONES, BLUE GREY IN COLOR (AS APPROVED BY OWNER).

ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

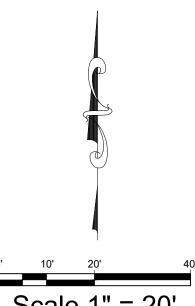
ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

TOPSOIL STOCKPILING

PRIOR TO THE START OF CONSTRUCTION, ALL TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN AN AREA SAFE FROM CONTAMINATION AND COMPACTION, AND COVERED WITH TARPS TO PREVENT EROSION AND CONTAMINATION. TOPSOIL SHALL NOT BE STOCKPILED AND REUSED IF NOXIOUS AN/OR INVASIVE WEEDS ARE PRESENT. IF TOPSOIL IS SAFE FOR USE, IT SHALL BE SPREAD OVER ALL NON-TURF LANDSCAPE AREAS AND ROTOTILLED IN TO A DEPTH OF 8".

- 3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- 4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



PLANT SCHEDULE

TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	GS	3	Gleditsia triacanthos inermis `Shademaster` Shademaster Honey Locust	2" Cal.	Cont. or B&B	8`-10`
	TG	6	Tilia cordata `Greenspire` Greenspire Littleleaf Linden	2" Cal.	Cont. or B&B	8`-10`
ORNAMENTAL TREES	CODE	<u>QTY</u>	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	АН	1	Acer tataricum `Hot Wings` Hot Wings Tatarian Maple	1.5" Cal.	Cont. or B&B	6`-8` HT MIN
<u>SHRUBS</u>	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
\bigcirc	ВТ	20	Berberis thunbergii 'Rose Glow' Rosy Glow Japanese Barberry	5 GAL	36" OC	
	СК	19	Calamagrostis x acutiflora `Karl Foerster` Karl Foerster Feather Reed Grass	5 GAL	Per Plan	
lacktriangle	CACL	22	Caryopteris x clandonensis 'Blue Mist' Blue Mist Bluebeard	3 GAL	24" OC	
	EO	25	Euonymus alatus `Odom` TM Little Moses Dwarf Burning Bush	5 GAL	36" OC	
\odot	SM	21	Spiraea japonica 'Walbuma' Magic Carpet Japanese Spirea	5 GAL	24" OC	
\odot	WEFL	11	Weigela florida `Bokraspiwi` TM Spilled Wine Weigela	5 GAL	Per Plan	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME			
	RR	193 sf	Rock Mulch 1-1/2" Decorative Rock Mulch			
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME			
	PX	5,548 sf	Poa x `Bandera` Bandera Hybrid Bluegrass			

LANDSCAPE CALCULATIONS

ZONING:	PUD
SITE AREA:	38,745 SF
PERIMETER PARKING LOT	
FRONTAGE LENGTH:	131 LF (VENETUCCI BLVD.)
TREES REQUIRED:	6 TREES (1 PER 25 LF OF FRONTAGE)

TREES PROVIDED: SHRUBS REQUIRED: 11 SHRUBS (2 PER 25 LF OF FRONTAGE) SHRUBS PROVIDED: 25 SHRUBS

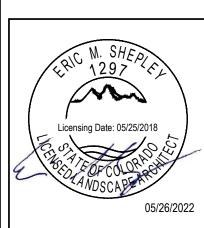
PARKING LOT PARKING SPACES:

35 SPACES 3 TREES (1 PER 15 SPACES AND END ISLANDS) TREES REQUIRED: TREES PROVIDED:

GENERAL PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT, INCLUDING ALL APPLICABLE JURISDICTION REQUIREMENTS.
- 2. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
- 3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY OWNER OF ANY CONFLICTS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKIGN IN THE VICINITY OF UNDERGROUND UTILITIES.
- 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- 5. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IN WRITING (VIA PROPER CHANNELS).
- c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE OWNER OR OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- 6. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE
- 7. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.





Staurant G Tree Blvd. Su ence, OH 4413

80906 lighlands

LANDSCAPE PLANTING

A 940

Date Comment

Project Number 05/27/2022

Drawn By EMS/RM Checked By

PLANTING SPECIFICATIONS

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES. AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:

INSTALLATION OF MATERIALS

- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED. FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM
- SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED
- TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
- ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO
- THE ACCEPTABILITY OF PLANT MATERIAL. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
- ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED. SHALL BE REJECTED
- TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- D. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8: MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT: 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE: SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED. E. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED
- . MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. G. TREE STAKING AND GUYING
- STAKES: 6' LONG GREEN METAL T-POSTS.

SOIL-TESTING AGENCY (SEE BELOW)

- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

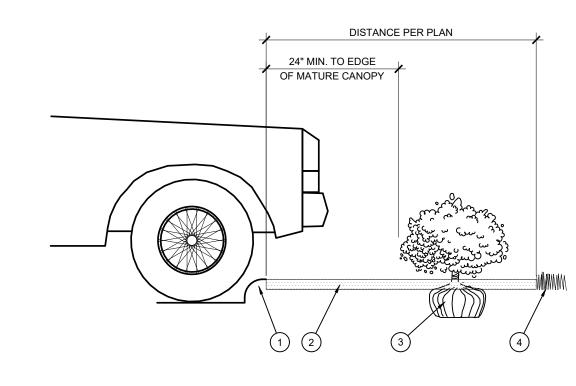
METHODS

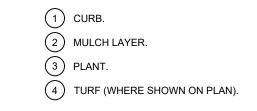
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SOIL TESTING:
- a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS
- b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS. GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
- THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH
- d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR XERIC PLANTS, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE
- THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS. EITHER INCREASE OR DECREASE. SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
- FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING: TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
- NITROGEN STABILIZED ORGANIC AMENDMENT 4 CU. YDS. PER 1,000 S.F. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
- "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE IRON SULPHATE - 2 LBS. PER CU. YD.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED
- INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION. b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS. AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN
- WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED. THE AMOUNT OF SOIL AMENDMENTS TO
- BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE. AS
- SPECIFIED ON THE GRADING PLANS AT APPROXIMATELY 18" AWAY FROM THE WALKS e. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND
- ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT,
- AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
- WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING C. GENERAL PLANTING
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE
- TRENCHING NEAR EXISTING TREES: CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS. TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCUI AR AREA EXTENDING OUTWARD FROM THE TREE TRUNK. WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK
- DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
- ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP
- CANOPY DRIP LINES WITHIN 24 HOURS. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

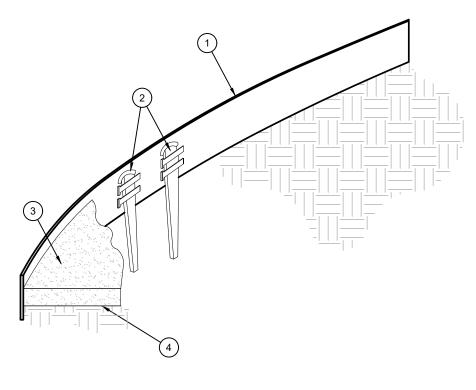
EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE

- D. TREE PLANTING TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
- SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, HE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES
- ABOVE THE SURROUNDING GRADE. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL
- FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED. THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
- a. 1"-2" TREES TWO STAKES PER TREE THREE STAKES PER TREE 2-1/2"-4" TREES
- TREES OVER 4" CALIPER GUY AS NEEDED THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO MUI TI-TRUNK TREES STABILIZE THE TREE
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
- E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING 1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS
- SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A **NEAT. ORDERLY CONDITION**
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. H. INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF
- DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE
- LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE
- LANDSCAPE MAINTENANC THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED. WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- 2. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, AND IRRIGATION
- SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- K. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



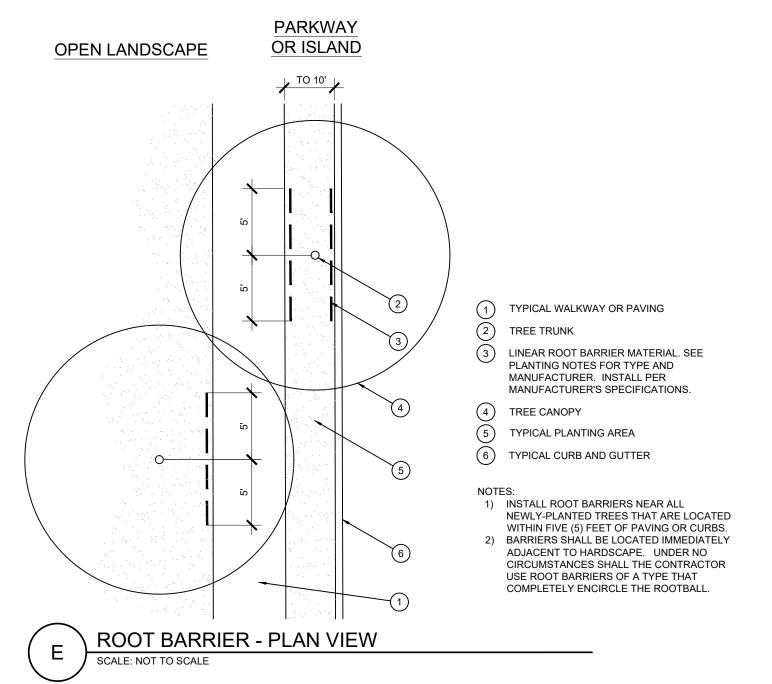


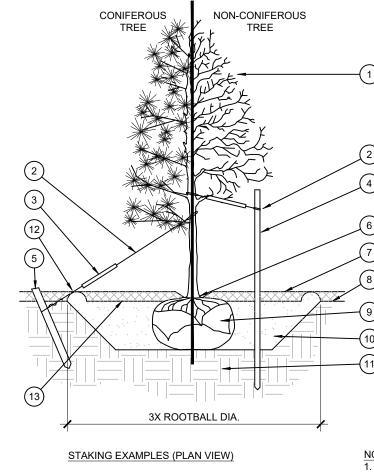
PLANTING AT PARKING AREA

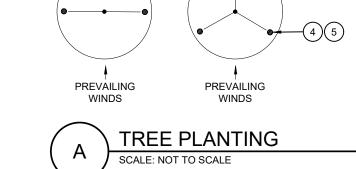


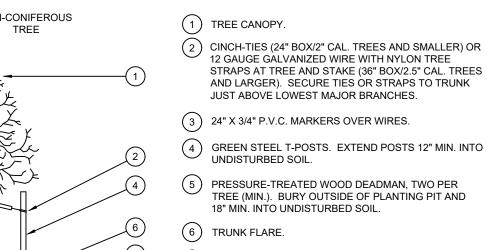
- (1) ROLLED-TOP STEEL EDGING PER PLANS.
- (2) TAPERED STEEL STAKES.
- (3) MULCH, TYPE AND DEPTH PER PLANS
- (4) FINISH GRADE.
- 1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED. 2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE. 3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.











- (3) 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- (4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- (5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND
- (6) TRUNK FLARE.
- (7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- (8) FINISH GRADE.
- (9) ROOT BALL
- (10) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- (11) UNDISTURBED NATIVE SOIL.
- (12) 4" HIGH EARTHEN WATERING BASIN.
- (13) FINISH GRADE.

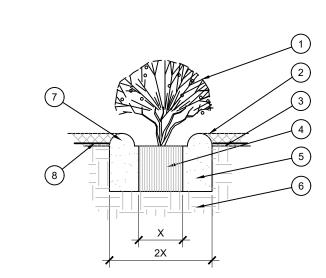
SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE . FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES. TWINE ROPE AND OTHER PACKING MATERIAL REMOVE AS MUCH

5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.

. REMOVE ALL NURSERY STAKES AFTER PLANTING.

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT



(1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO

MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

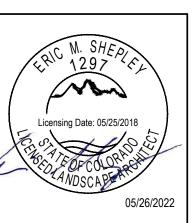
- (3) FINISH GRADE.
- (5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- (6) UNDISTURBED NATIVE SOIL.
- (7) 3" HIGH EARTHEN WATERING BASIN.
- (8) WEED FABRIC UNDER MULCH.

SHRUB AND PERENNIAL PLANTING



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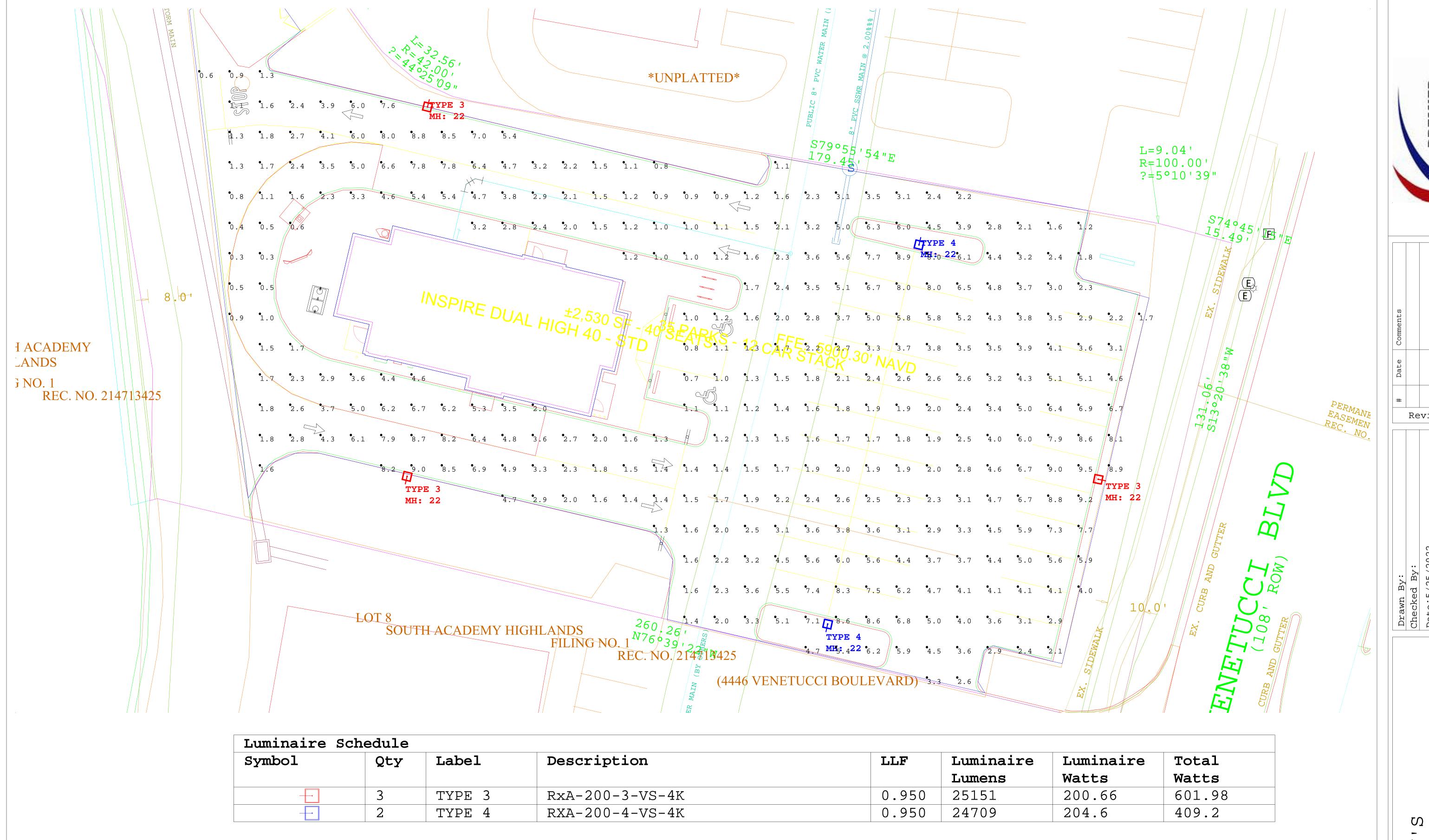
80906 lighlands

LANDSCAPE **DETAILS & SPECS**

Date Comment

Proiect Number 05/27/2022

Drawn By EMS/RM Checked By



Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING & DRIVE THRU_Planar	FC	3.54	9.5	0.3	11.80	31.67



Comments					
Date					
#					
	Re	vi	si	ons	5

Drawn By:	Checked By:	Date:5/25/2022	

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