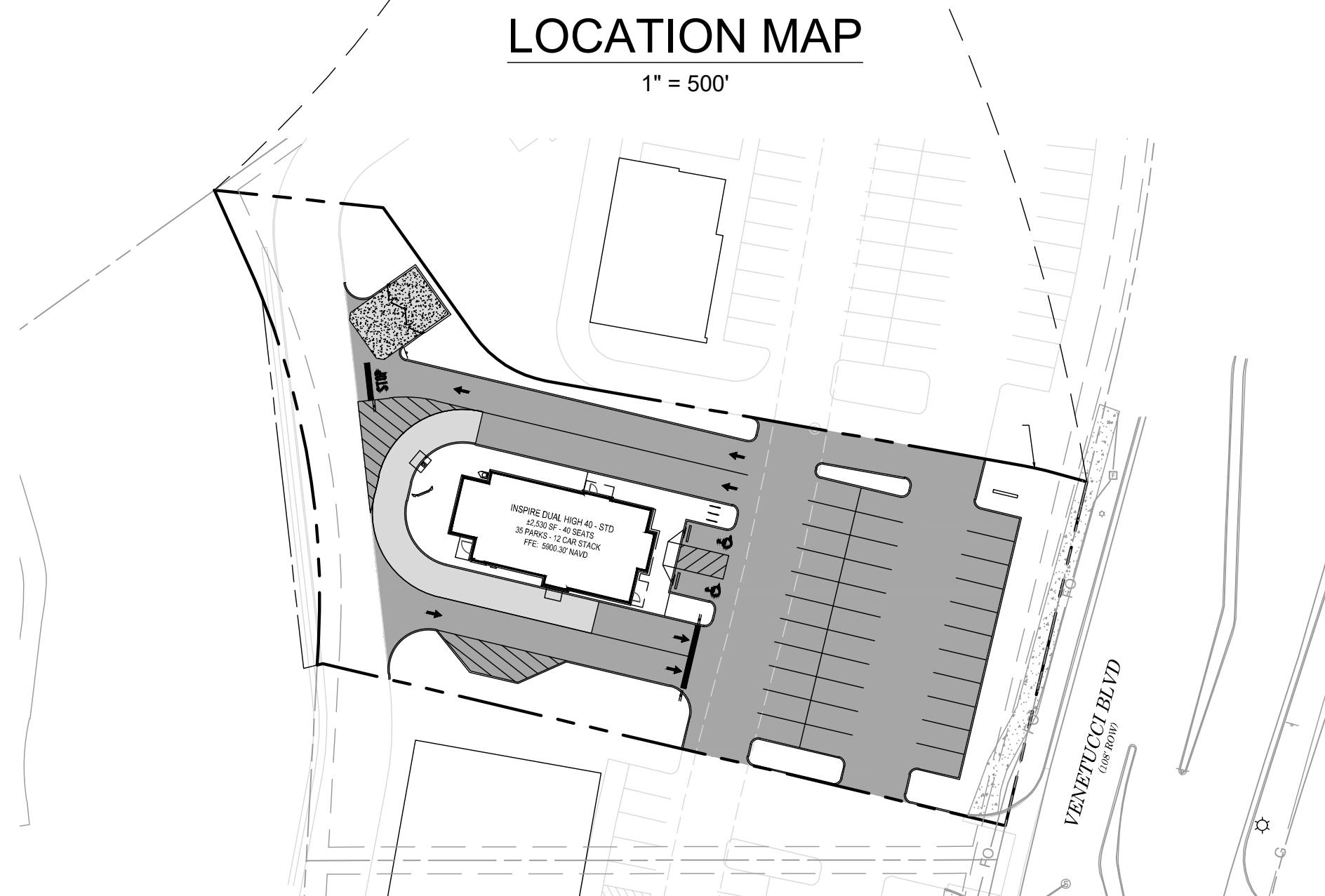
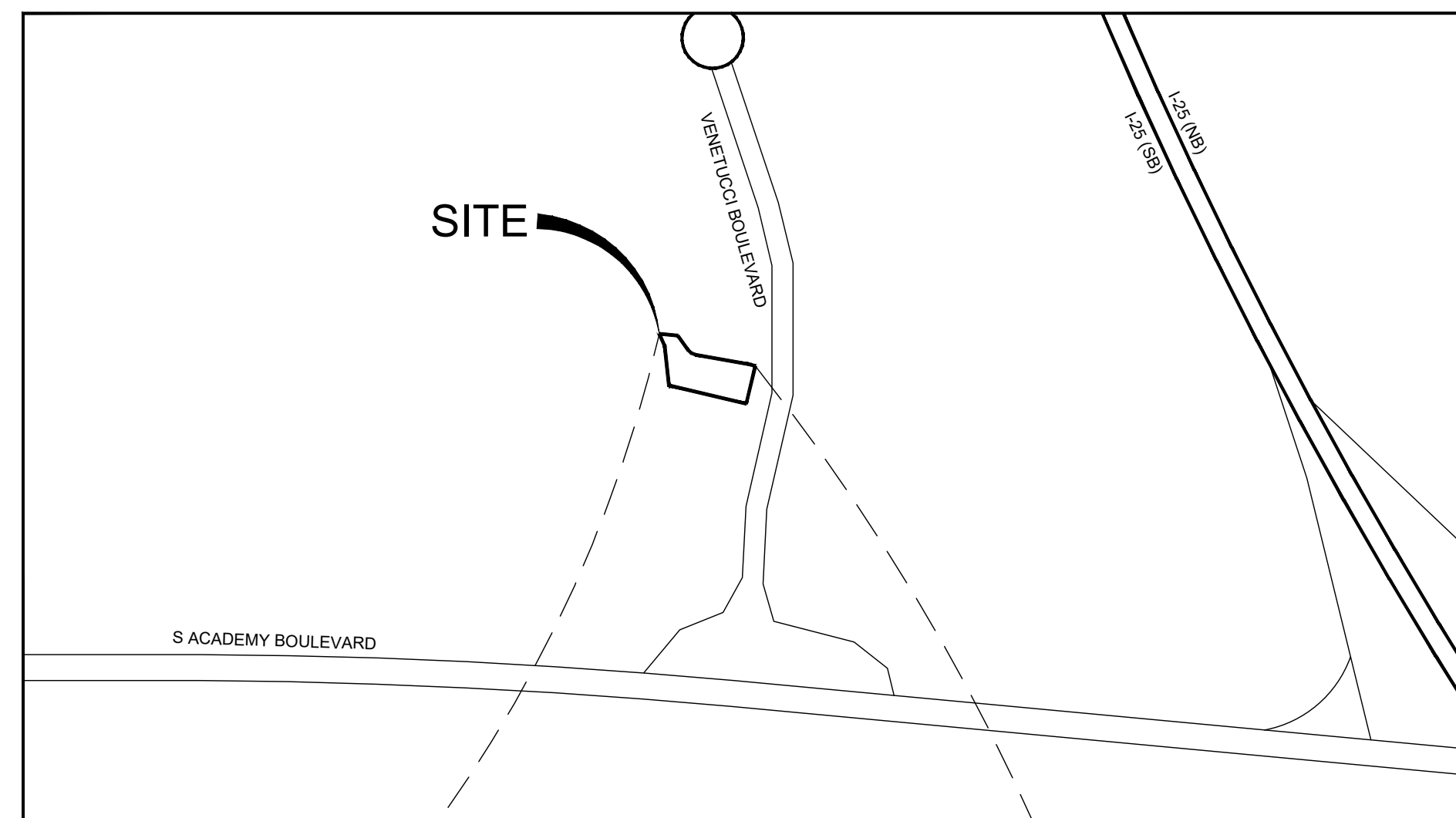


FINAL SITE DEVELOPMENT PLANS

FOR

ARBY'S

4446 VENETUCCI BOULEVARD
COLORADO SPRINGS, COLORADO 80906



Bowman

Certificate of Authorization License No. 30462

13450 W. Sunrise Boulevard
Suite 320
Sunrise, FL 33323
Phone: (954) 314-8480

www.bowman.com
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LEGAL DESCRIPTION

A PARCEL OF LAND BEING A PORTION OF LOT 8 AND TRACT J AS PLATTED IN SOUTH ACADEMY HIGHLANDS FILING NO. 1 RECORDED UNDER RECEPTION NO. 214713425 RECORDS OF EL PASO COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTS AT THE EASTERLY END BY A 2-1/2 INCH ALUMINUM SURVEYORS CAP WITH APPROPRIATE MARKINGS "PLS 28651" AND AT THE WESTERLY END BY CONCRETE POST WITH WASHER STAMPED "LS 3854", IS ASSUMED TO BEAR S89°53'21"W, A DISTANCE OF 262.07 FEET.

COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO SAID POINT BEING ON THE NORTHERLY RIGHT OF WAY LINE OF SOUTH ACADEMY BOULEVARD;

THENCE N06°42'12"W, A DISTANCE OF 397.84 TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF VENETUCCI BOULEVARD AS PLATTED IN SOUTH ACADEMY HIGHLANDS FILING NO. 1 RECORDED UNDER RECEPTION NO. 214713425 SAID POINT BEING THE POINT OF BEGINNING;

THENCE N76°39'22"W, A DISTANCE OF 260.26 FEET;
THENCE S75°59'26"W, A DISTANCE OF 169.48 FEET TO A POINT ON THE EASTERLY BOUNDARY OF STRATMOOR SOUTH SUBDIVISION FILING NO. 3 RECORDED IN PLAT BOOK 11-3 AT PAGE 29;
THENCE ON THE EASTERLY BOUNDARY OF SAID STRATMOOR SOUTH SUBDIVISION FILING NO. 3 THE FOLLOWING THREE (3) COURSES:

- N38°41'15"W, A DISTANCE OF 85.00 FEET TO A POINT OF CURVE;
- ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 02°33'18", A RADIUS OF 430.00 FEET AND A DISTANCE OF 19.17 FEET TO A POINT ON CURVE;
- N54°25'15"E, A DISTANCE OF 233.19 FEET;

THENCE S84°02'33"E, A DISTANCE OF 62.88 FEET;
THENCE S35°30'45"E, A DISTANCE OF 58.13 FEET TO A POINT OF CURVE;
THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 44°25'09", A RADIUS OF 42.00 FEET AND A DISTANCE OF 32.56 FEET TO A POINT OF TANGENT;
THENCE S79°55'54"E, A DISTANCE OF 179.45 FEET TO A POINT OF CURVE;
THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 05°10'39", A RADIUS OF 100.00 FEET AND A DISTANCE OF 9.04 FEET TO A POINT OF TANGENT;
THENCE S74°45'15"E, A DISTANCE OF 15.48 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF SAID VENETUCCI BOULEVARD;
THENCE S13°20'38"W, ON THE WESTERLY RIGHT OF WAY LINE OF SAID VENETUCCI BOULEVARD, A DISTANCE OF 131.06 FEET TO THE POINT OF BEGINNING.

STANDARD GUIDELINES / CONSTRUCTION SPECIFICATION NOTES

- ALL WORK WITHIN PUBLIC R.O.W SHALL BE PER CITY OF FOUNTAIN CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL WORK FOR WATER SERVICE, FIRE SERVICE, AND FIRE HYDRANT ASSEMBLIES SHALL BE PER STRATMOOR WATER AND SANITATION DISTRICT STANDARD SPECIFICATIONS.
- ALL WASTEWATER WORK SHALL BE PER CITY OF FOUNTAIN CONSTRUCTIONS STANDARDS AND SPECIFICATIONS.
- SEE SOIL PREPARATION NOTE FOR SOIL RECOMMENDATIONS.
- REFERENCE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, FOR ADDITIONAL INFORMATION.

BASIS OF BEARING

THE SOUTHERLY LINE OF LOT 8, SOUTH ACADEMY HIGHLANDS FILING NO. 1, AS RECORDED UNDER RECEPTION NUMBER 214713425, RECORDS OF EL PASO COUNTY, COLORADO, BEING MONUMENTED ON THE WESTERLY END BY ORANGE PLASTIC SURVEYORS CAP STAMPED "PLS 38999" AND AT THE EASTERLY END BY A 2" ALUMINUM DISK STAMPED "PLS 38318", BEING PLATTED AS N89°56'03"E, A DISTANCE OF 256.36 FEET.

FLOODPLAIN STATEMENT

THIS PROPERTY IS NOT WITHIN A DESIGNATED FEMA FLOODPLAIN, AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY PANNEL 08041C0743G, EFFECTIVE DATE DECEMBER 12, 2018

CITY OF FOUNTAIN ACCEPTANCE

THE PLANS OR REPORT SUBMITTED APPEAR TO BE IN CONFORMANCE WITH THE CITY OF FOUNTAIN SUBMITTAL REQUIREMENTS AND STANDARD ENGINEERING PRINCIPALS AND PRACTICES APPEAR TO HAVE BEEN FOLLOWED. THE PROFESSIONAL ENGINEER SUBMITTING AND SEALING THE PLANS OR REPORT IS SOLELY RESPONSIBLE FOR THEIR ACCURACY AND VALIDITY. THIS REVIEW IS ONLY VALID FOR ONE (1) YEAR FROM THE DATE BELOW.

BRANDY WILLIAMS
PW DIRECTOR / CITY ENGINEER

DATE

PROJECT CONTACTS

OWNER INFORMATION

UTW ACADEMY DEVELOPMENT LLC
1 METROPOLITAN SQ., SUITE 3000
ST LOUIS, MO 63102

APPLICANT

RB COLORADO LLC
1900 W LITTLETON BLVD.
LITTLETON, CO 80120

DEVELOPER

FLYNN RESTAURANT GROUP
6200 OAK TREE BLVD, SUITE 250
INDEPENDENCE, OH 44131
(330) 348-1487
CONTACT: STEVEN KREKUS

CIVIL ENGINEER

BOWMAN CONSULTING
13450 W. SUNRISE BLVD., SUITE 320
SUNRISE, FL 33323
(954) 314-8480
CONTACT: SANDRA ZUMPANO

ARCHITECT

WHITE DESIGN GROUP, P.C.
5801 E. 41ST STREET, SUITE 712
TULSA, OKLAHOMA 74135
CONTACT: CHRIS WHITE, AIA

SURVEYOR

EDWARD JAMES SURVEYING, INC
926 ELKTON DRIVE
COLORADO SPRINGS, CO 80907
(719) 576-1216
CONTACT: JONATHAN TESSIN

PHOTOMETRIC CONSULTANT

PREMIERE LIGHTING & CONTROLS
401 SE FLEETWAY DRIVE
LEE'S SUMMIT, MO 64081
(913) 541-8239

LANDSCAPE ARCHITECT

EVERGREEN DESIGN GROUP
15305 DALLAS PKWY., SUITE 300
ADDISON, TX 75001
(800) 680-6630

GEOTECHNICAL ENGINEER

TERRACON CONSULTANTS INC.
10825 W. I-70 FRONTAGE RD N, SUITE 3
WHEAT RIDGE, CO 80033
(303) 423-3300

ENGINEERING / STORM SEWER

CITY OF FOUNTAIN - ENGINEERING SERVICES
116 SOUTH MAIN STREET
FOUNTAIN, CO 80817
(719) 393-4930
CONTACT: CARL SPENGLER

PLANNING / SIGNAGE

CITY OF FOUNTAIN - PLANNING &
ZONING DEPARTMENT
116 SOUTH MAIN STREET
FOUNTAIN, CO 80817
(719) 322-2017
CONTACT: JORDAN OTT

BUILDING DEPARTMENT

PIKES PEAK REGIONAL BUILDING
DEPARTMENT
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
(719) 327-2927
CONTACT: JANE CASSIDY

NATURAL GAS PROVIDER

COLORADO SPRINGS UTILITIES
111 S. CASCADE AVE
COLORADO SPRINGS, CO 80903
(719) 448-4808

WATER DEPARTMENT

STRATMOOR HILLS WATER
1811 B ST.
COLORADO SPRINGS, CO 80906
(719) 576-0311

ELECTRIC PROVIDER

COLORADO SPRINGS UTILITIES
111 S. CASCADE AVE
COLORADO SPRINGS, CO 80903
(719) 448-4808

SANITARY SEWER

STRATMOOR HILLS WATER
1811 B ST.
COLORADO SPRINGS, CO 80906
(719) 576-0311

FIRE DEPARTMENT

CITY OF FOUNTAIN - FIRE DEPARTMENT
811 NORTH SANTA FE AVENUE
FOUNTAIN, CO 80817
(719) 382-7800

SITE INFORMATION

PROJECT AREA: ± 1.55 ACRES
PARCEL FOLIO NO.: 650-431-1002
PROJECT ADDRESS: 4446 VENETUCCI BOULEVARD
CURRENT ZONING: PUD (PLANNED UNIT DEVELOPMENT)
PROPOSED USE: ARBY'S

SHEET INDEX

- C-1 COVER SHEET
- S-1 SURVEY SHEET 1 OF 2
- S-2 SURVEY SHEET 2 OF 2
- CS-101 SITE PLAN
- CG-101 GRADING AND DRAINAGE PLAN
- CG-102 DRAINAGE PROFILES
- CU-101 UTILITY PLAN
- AS-1.1 SITE DETAILS
- A-1.1 ARCHITECTURAL FLOOR PLAN
- A-2.1 EXTERIOR ELEVATIONS
- A-2.2 EXTERIOR ELEVATIONS
- LP-1 LANDSCAPE PLANTING
- LP-2 LANDSCAPE DETAILS AND SPECIFICATIONS
- M PHOTOMETRICS

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Certificate of Authorization License No. 30462
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Sunrise, FL 33323
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Phone: (954) 314-8480
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NO.	REVISION	DESCRIPTION	DATE

COVER SHEET
ARBY'S
4446 VENETUCCI BOULEVARD
FOUNTAIN, COLORADO
EL PASO COUNTY

EL	DC	BP
SCALE:	N.T.S.	CHKD
JOB No.:	011098-01-001	
DATE:	06/3/2022	

SHEET **C-1**

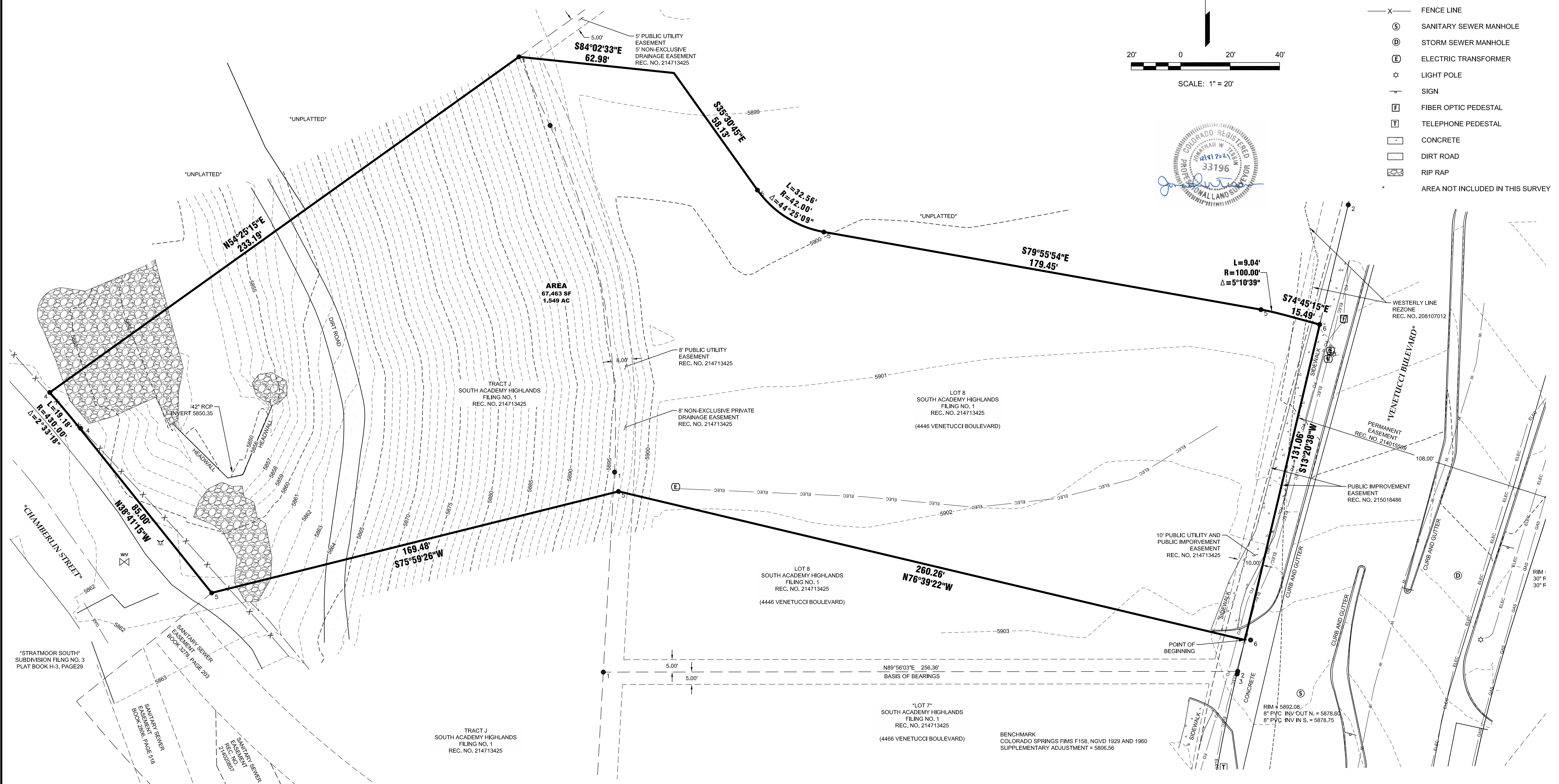
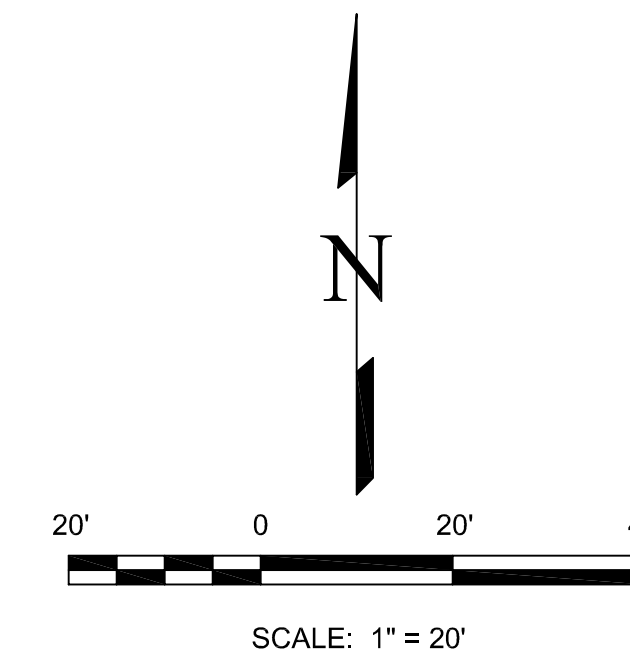
ALTA/NSPS LAND TITLE SURVEY

A PORTION SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

LEGEND:

- 1 FOUND REBAR AND PLASTIC CAP STAMPED "PLS 38069"
- 2 FOUND NAIL AND 1-1/2" ALUMINUM DISK STAMPED "PLS 28069" IN CONCRETE
- 3 FOUND NAIL AND 2" BRASS DISK STAMPED "PLS 38318" IN CONCRETE
- 4 FOUND NO. 5 REBAR WITH ALUMINUM CAP STAMPED "CCES LLC PLS 30118"
- 5 SET NO. 5 REBAR WITH YELLOW PLASTIC CAP STAMPED "EDWARD-JAMES PLS 33196"
- 6 SET NAIL AND 1" BRASS DISK STAMPED "PLS 33196"

- BOUNDARY LINE
- LOT LINE
- - - EASEMENT LINE
- FO- FIBER OPTIC LINE
- ELEC- ELECTRIC LINE
- X FENCE LINE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ ELECTRIC TRANSFORMER
- ☆ LIGHT POLE
- ↑ SIGN
- ⊞ FIBER OPTIC PEDESTAL
- ⊞ TELEPHONE PEDESTAL
- CONCRETE
- DIRT ROAD
- ▨ RIP RAP
- AREA NOT INCLUDED IN THIS SURVEY



NO.	REVISIONS	DESCRIPTION	DATE

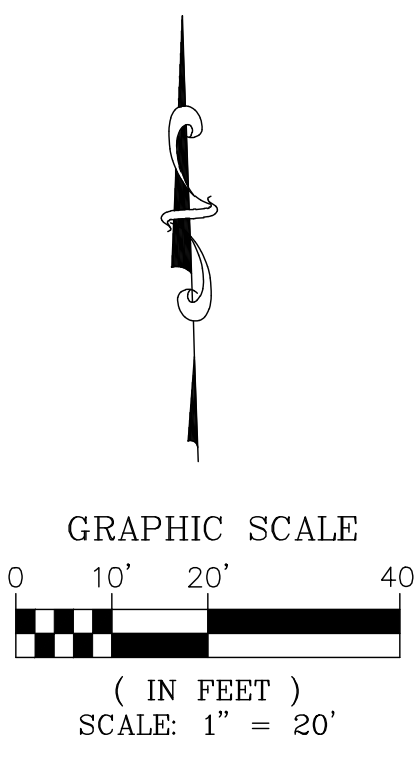
EDWARD-JAMES SURVEYING, INC.
 926 Elkton Drive
 Colorado Springs, CO 80907
 Office: (719) 576-1216
 Fax: (719) 576-1206

4732 Eagleledge Circle
 Pueblo, CO 81008
 Office: (719) 545-6240
 Fax: (719) 545-6247

ALTA/NSPS LAND TITLE SURVEY

A PORTION OF SEC 4, T15S, R66W OF THE 6TH PM
 CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

DRAWN BY	JWT
CHECKED BY	ERF
H-SCALE	1"=20"
JOB NO.	2301-00
DATE CREATED	12/1/21
DATE ISSUED	12/8/21
SHEET NO	2 OF 2



SITE SUMMARY

PARCEL ID:	LOT 2, PORTION OF SECTION 4, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF SIXTH PRINCIPAL MERIDIAN
MASTER DEVELOPMENT:	SOUTH ACADEMY HIGHLANDS
PROJECT AREA:	38,745 SF - 0.89 AC (100%)
TOTAL IMPERVIOUS AREA:	30,867 SF - 0.71 AC (79.7%)
PAVING / SIDEWALK AREA:	28,337 SF - 0.65 AC (73.2%)
BUILDING AREA:	2,530 SF - 0.11 AC (6.5%)
TOTAL PERVIOUS AREA (GREEN SPACE):	7,878 SF - 0.18 AC (20.3%)
BUILDING:	INSPIRE HIGH DUAL 40 - STD
SIZE:	2,530 SF
HEIGHT:	23'-0"
FRONT (EAST) SETBACK REQUIRED:	20'
FRONT (EAST) SETBACK PROVIDED:	150'
PARKING:	
MINIMUM REQUIRED:	1 PER 100 SF GFA = 26 SPACES
PROPOSED REG SPACES:	33 SPACES
ACCESSIBLE SPACES:	2 SPACES
STALL SIZE:	9' X 18'
TOTAL SPACES:	35 SPACES

SITE PLAN DESIGN NOTES

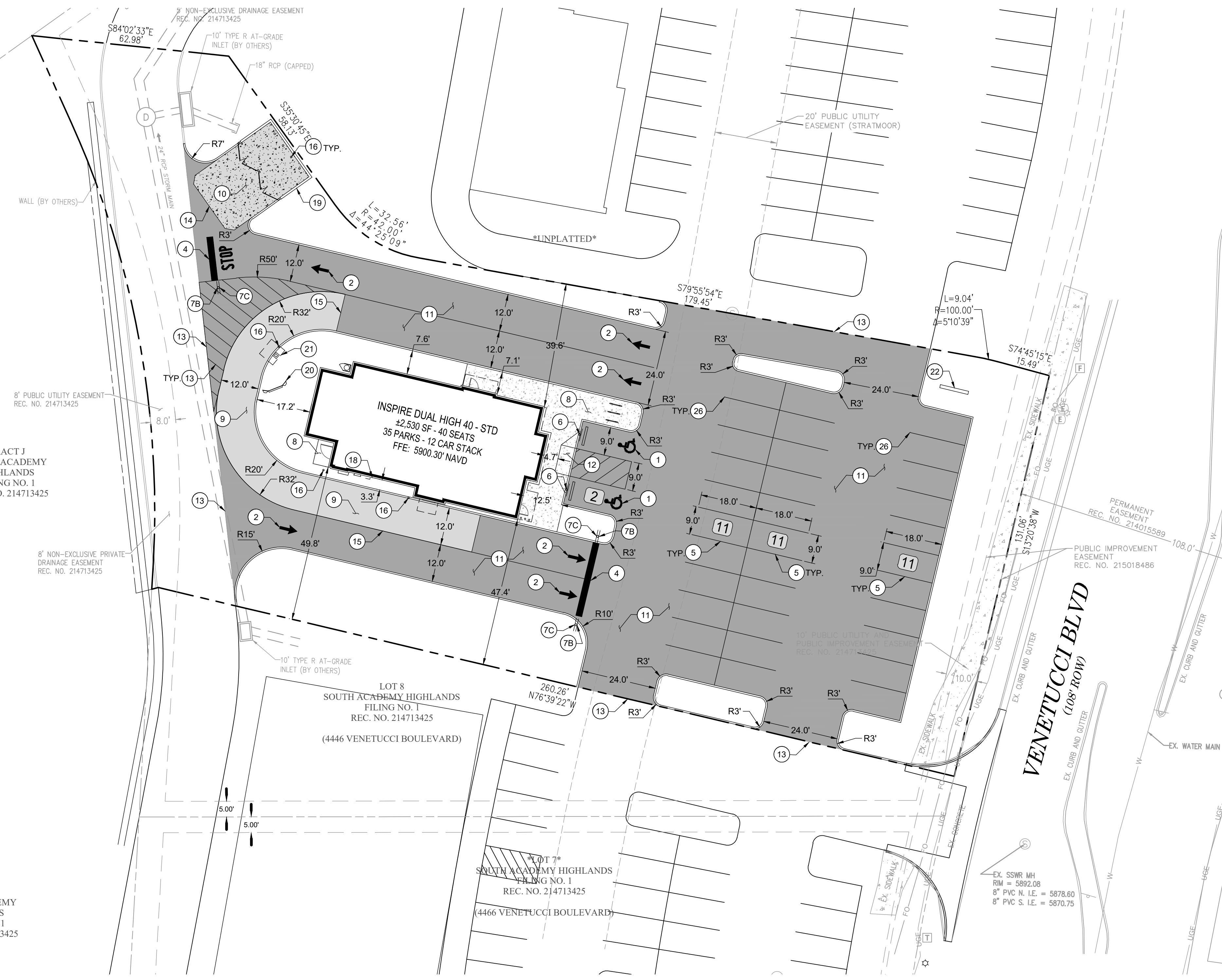
- PAVEMENT MARKINGS (ACCESSIBILITY SYMBOL)
 - PAVEMENT MARKINGS (DIRECTIONAL ARROW)
 - PAVEMENT MARKINGS (DRIVE-THRU)
 - PAVEMENT MARKINGS (STOP BAR)
 - 90° PARKING STRIPING
 - ACCESSIBILITY PARKING SIGN
 - DIRECTIONAL SIGNAGE (REFER TO SIGN PACKAGE FOR MORE DETAILS)
 - ONE WAY
 - DO NOT ENTER
 - STOP SIGN (R1-1 30"x30")
 - CONCRETE SIDEWALK
 - CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - ASPHALT PAVEMENT
 - CURB RAMP WITH FLARED SIDES
 - PAVEMENT EDGE DETAIL
 - CONCRETE APRON AT REFUSE ENCLOSURE
 - CONCRETE PAVEMENT DRIVE-THRU LANE
 - CONCRETE BOLLARD
 - CROSSWALK MARKINGS (NOT USED)
 - BUILDING DOWNSPOUT CONNECTION
 - SCREENED REFUSE ENCLOSURE
 - DRIVE-THRU ORDER POINT MENU BOARD
 - DRIVE-THRU ORDER POINT CANOPY
 - MONUMENT SIGN (REFER TO SIGN PACKAGE)
 - LIGHT POLE AND BASE (REFER TO PHOTOMETRICS PLAN)
 - TRANSFORMER PAD
 - 4" YELLOW STRIPING
 - 4" WHITE STRIPING
- BITUMASTIC EXPANSION JOINT, TYP. INSTALL EXPANSION JOINT BETWEEN ALL CONCRETE PAVEMENT INTERFACE WITH BUILDING, CURB & GUTTER, AND OTHER CONSTRAINED OBJECTS, TYP.
 - SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING AND THE LOCATION OF DOORWAYS, UTILITIES, ETC.
 - GATES TO BE INSTALLED BY BUILDING CONTRACTOR WITH DUMPSTER STRUCTURE COORDINATE WITH PAVEMENT INSTALLATION.
 - SAWCUT EXISTING CURB & GUTTER AS NECESSARY TO COMPLETE NEW CURB & GUTTER CONNECTION. PROVIDE EXPANSION JOINT BETWEEN INTERFACE.
 - THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL, SAFETY BARRICADES, LIGHTING, AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ENSURE PUBLIC SAFETY.



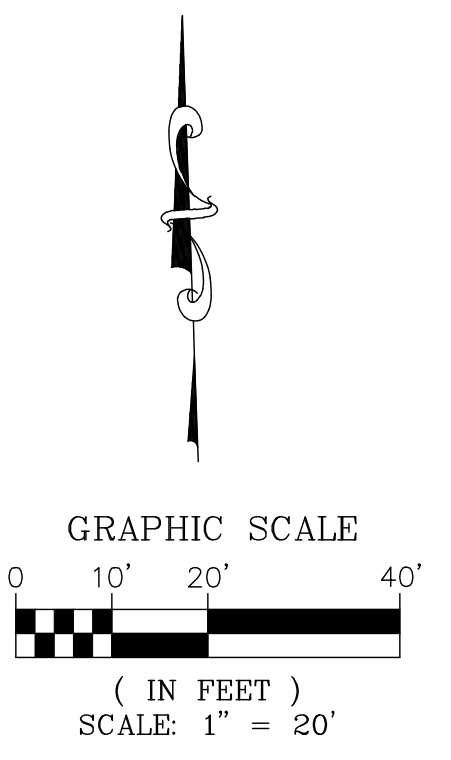
NO.	REVISION DESCRIPTION	DATE

SITE PLAN
ARBYS
 4446 VENETUCCI BOULEVARD
 FOUNTAIN, COLORADO
 EL PASO COUNTY

EL DESIGN	DC DRAWN	BP CHKD
SCALE:	1" = 20'	
JOB No.:	011098-01-001	
DATE:	05/18/2022	
SHEET	CS-101	

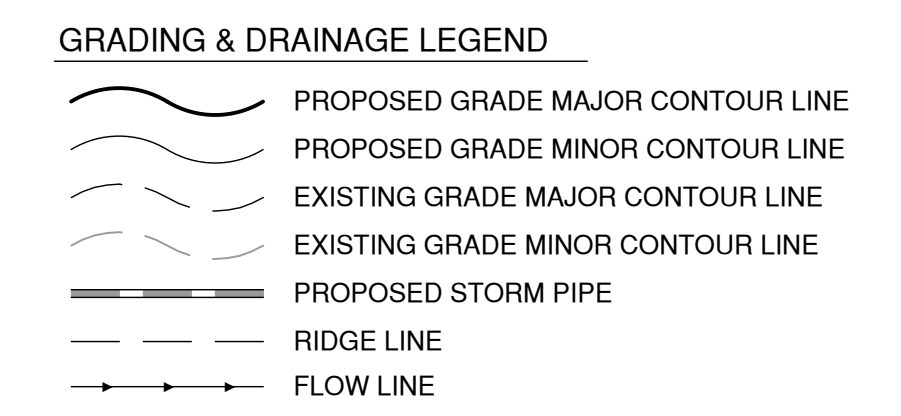


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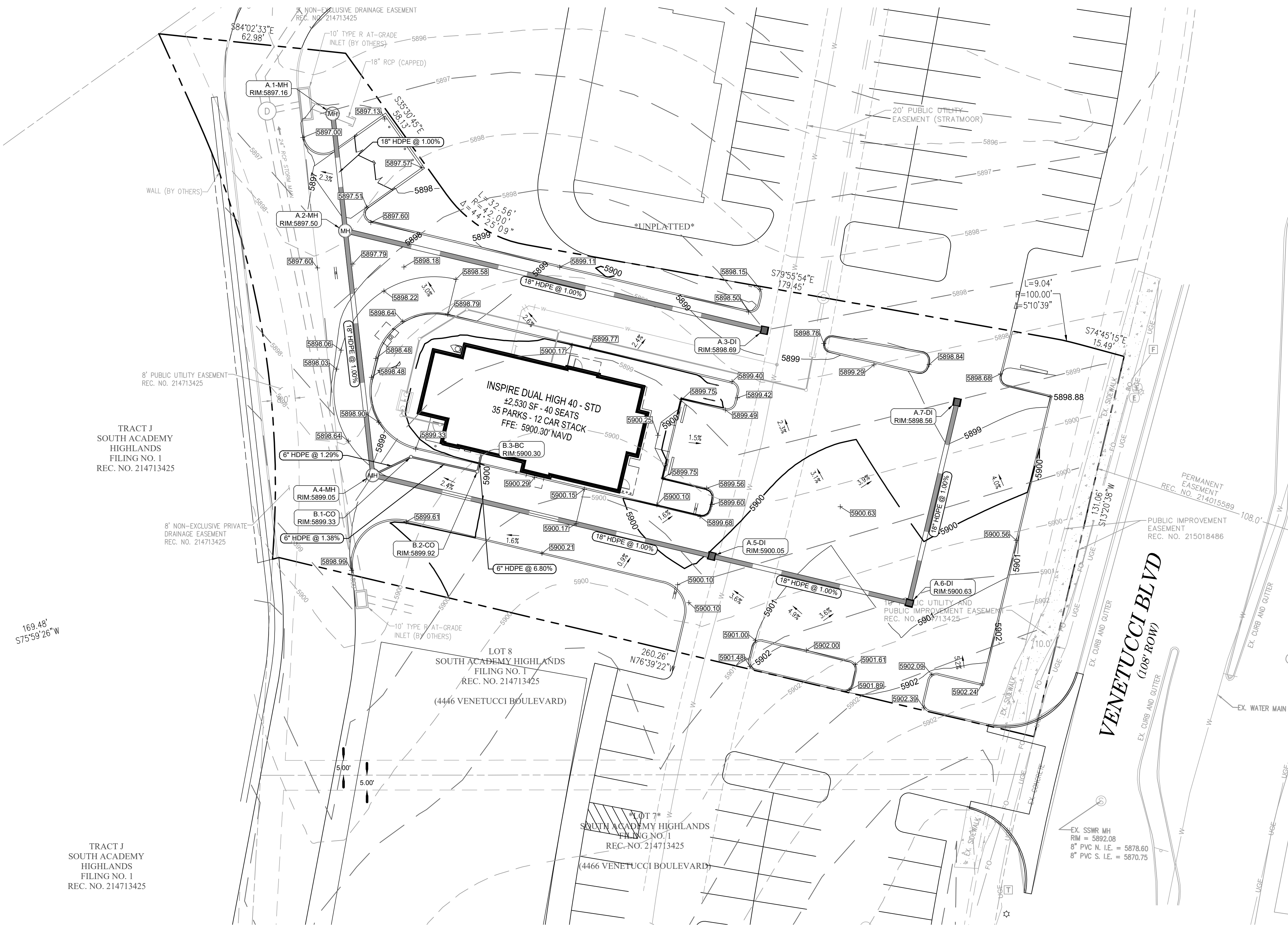


- GENERAL GRADING NOTES**
- ALL ELEVATIONS ARE BASED ON NAVD88.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS. SLOPES IN GRASS AREAS SHALL BE GRADED AT A 1.0% MIN.

ALL SPOT ELEVATIONS REPRESENT GUTTER GRADE UNLESS OTHERWISE NOTED



STORMWATER STRUCTURE TABLE				
STRUCTURE ID	STRUCTURE TYPE	RIM ELEV.	PIPE INVERTS	PIPE INFORMATION
A-1-MH	MANHOLE	RIM = 5897.16	IN (S) = 5898.83	40 LF, 18" HDPE @ 1.00%
A-2-MH	MANHOLE	RIM = 5897.50	IN (S) = 5890.33 OUT (N) = 5890.23 IN (E) = 5892.69	83 LF, 18" HDPE @ 1.00% 40 LF, 18" HDPE @ 1.00% 144 LF, 18" HDPE @ 1.00%
A-3-DI	DROP INLET	RIM = 5898.69	OUT (W) = 5894.13	144 LF, 18" HDPE @ 1.00%
A-4-MH	MANHOLE	RIM = 5899.05	IN (E) = 5891.25 OUT (N) = 5891.15 IN (NE) = 5895.51	117 LF, 18" HDPE @ 1.00% 83 LF, 18" HDPE @ 1.00% 14 LF, 6" HDPE @ 1.29%
A-5-DI	DROP INLET	RIM = 5900.05	IN (E) = 5892.52 OUT (W) = 5892.42	68 LF, 18" HDPE @ 1.00% 117 LF, 18" HDPE @ 1.00%
A-6-DI	DROP INLET	RIM = 5900.63	IN (N) = 5893.30 OUT (W) = 5893.20	69 LF, 18" HDPE @ 1.00% 68 LF, 18" HDPE @ 1.00%
A-7-DI	DROP INLET	RIM = 5898.56	OUT (S) = 5894.00	69 LF, 18" HDPE @ 1.00%
B-1-CO	CLEAN OUT	RIM = 5899.33	IN (E) = 5895.80 OUT (SW) = 5895.70	23 LF, 6" HDPE @ 1.38% 14 LF, 6" HDPE @ 1.29%
B-2-CO	CLEAN OUT	RIM = 5899.92	IN (N) = 5896.21 OUT (W) = 5896.11	6 LF, 6" HDPE @ 6.80% 23 LF, 6" HDPE @ 1.38%
B-3-BC	BUILDING CONNECTION	RIM = 5900.30	OUT (S) = 5896.64	6 LF, 6" HDPE @ 6.80%

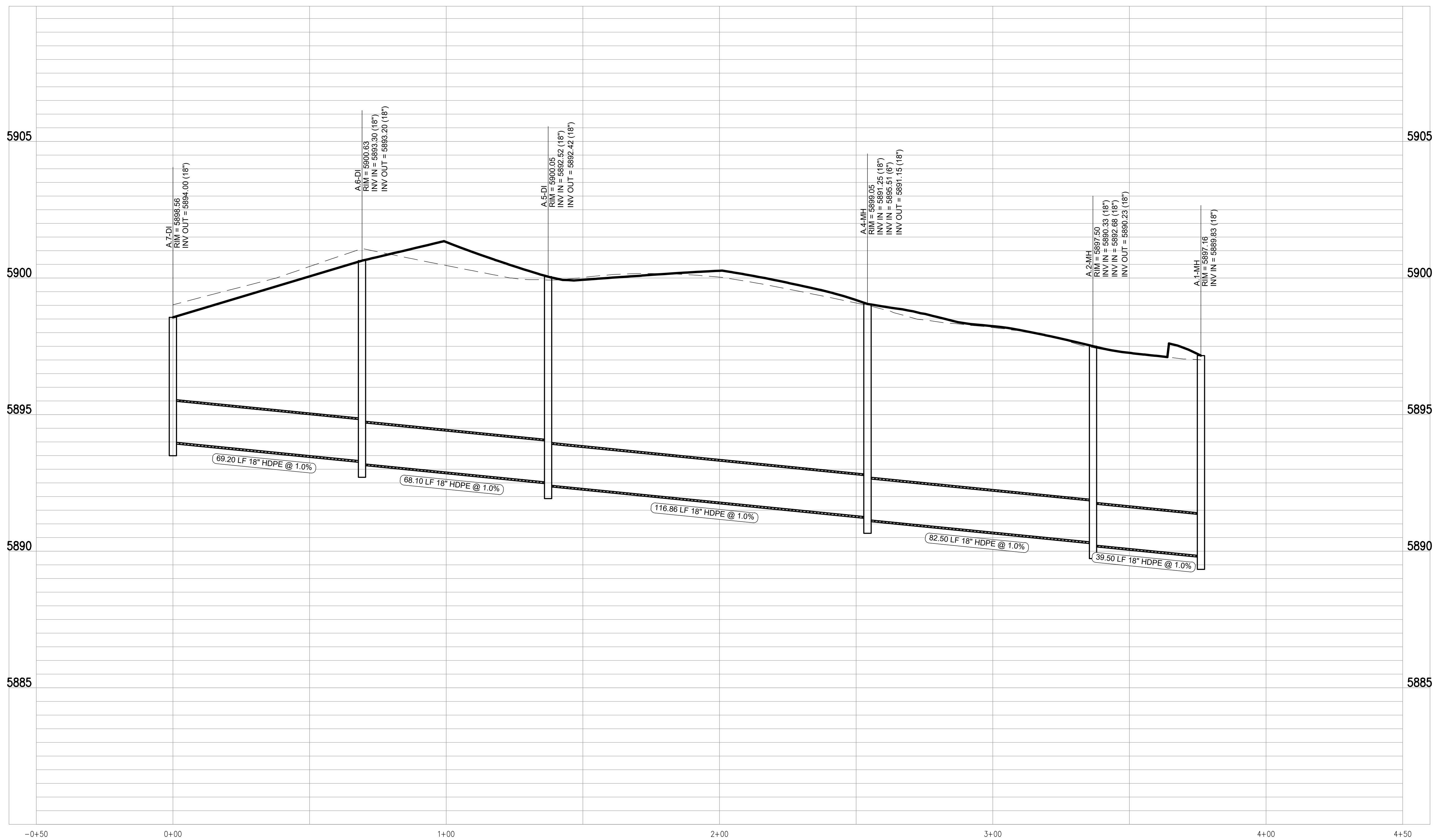


NO.	REVISION	DESCRIPTION	DATE

GRADING AND DRAINAGE PLAN
ARBY'S
 4446 VENETUCCI BOULEVARD
 FOUNTAIN, COLORADO
 EL PASO COUNTY

EL	DC	BP
DESIGN	DRAWN	CHKD
SCALE: 1" = 20'		
JOB No.: 011098-01-001		
DATE: 05/18/2022		

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A.1-A.7 PROFILE VIEW
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=2'

STORMWATER STRUCTURE TABLE				
STRUCTURE ID	STRUCTURE TYPE	RIM ELEV.	PIPE INVERTS	PIPE INFORMATION
A.1-MH	MANHOLE	RIM = 5897.16	IN (S) = 5889.83	40 LF, 18" HDPE @ 1.00%
A.2-MH	MANHOLE	RIM = 5897.50	IN (S) = 5890.33 OUT (N) = 5890.23 IN (E) = 5892.68	83 LF, 18" HDPE @ 1.00% 40 LF, 18" HDPE @ 1.00% 144 LF, 18" HDPE @ 1.00%
A.3-DI	DROP INLET	RIM = 5898.69	OUT (W) = 5894.13	144 LF, 18" HDPE @ 1.00%
A.4-MH	MANHOLE	RIM = 5899.05	IN (E) = 5891.25 OUT (N) = 5891.15 IN (NE) = 5895.51	117 LF, 18" HDPE @ 1.00% 83 LF, 18" HDPE @ 1.00% 14 LF, 6" HDPE @ 1.29%
A.5-DI	DROP INLET	RIM = 5900.05	IN (E) = 5892.52 OUT (W) = 5892.42	68 LF, 18" HDPE @ 1.00% 117 LF, 18" HDPE @ 1.00%
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B.2-CO	CLEAN OUT	RIM = 5899.92	IN (N) = 5896.21 OUT (W) = 5896.11	6 LF, 6" HDPE @ 6.80% 23 LF, 6" HDPE @ 1.38%
B.3-BC	BUILDING CONNECTION	RIM = 5900.30	OUT (S) = 5896.64	6 LF, 6" HDPE @ 6.80%

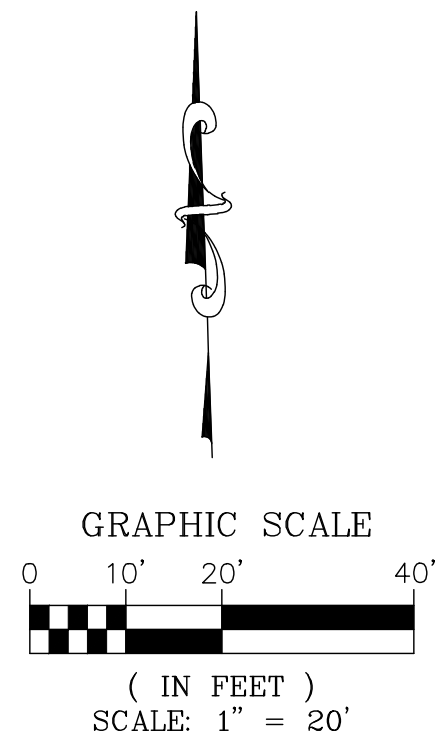
NO.	REVISION DESCRIPTION	DATE

DRAINAGE PROFILES
ARBY'S
 4446 VENETUCCI BOULEVARD
 EL PASO COUNTY FOUNTAIN, COLORADO

EL DESIGN	DC DRAWN	BP CHKD
SCALE: 1" = 20'		
JOB No.: 011098-01-001		
DATE: 05/18/2022		
SHEET CG-102		

Bowman

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 13450 W. Sunrise Blvd., Suite 520
 Sunrise, FL 33323
 www.bowman.com
 Phone: (954) 311-8460
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UTILITY KEY NOTES:

1. PAD MOUNTED TRANSFORMER
2. UNDERGROUND ELECTRIC LINE FROM TRANSFORMER TO BUILDING

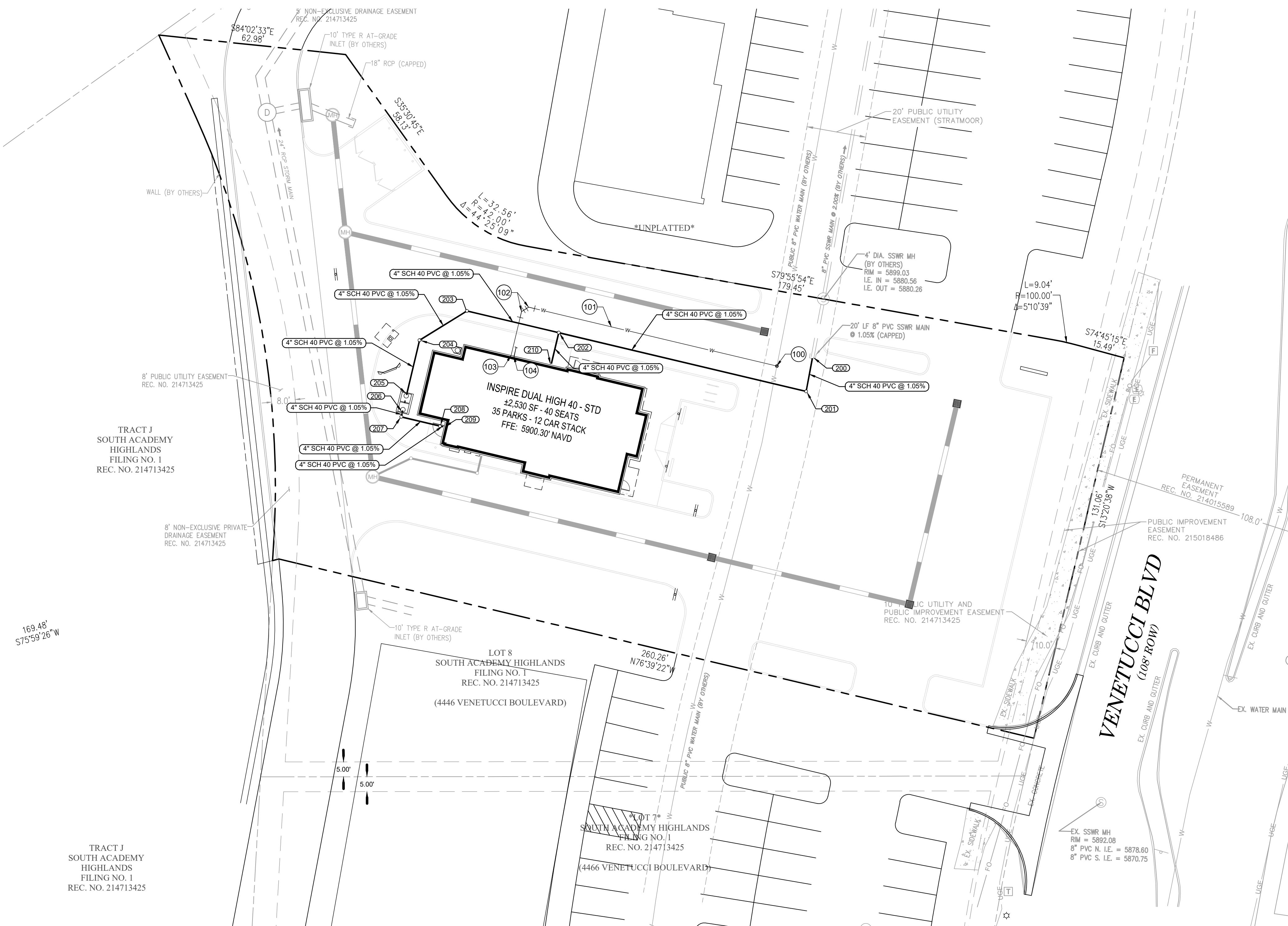
WATER:

100. DOMESTIC WATER SERVICE - CONNECT TO EXISTING 8" MAIN WITH 2" CORP. STOP AND VALVE
101. 2" SDR-11 DOMESTIC SERVICE
102. 2" 45° BEND
103. 2" DOMESTIC SERVICE BUILDING CONNECTION
104. IRRIGATION SERVICE - SEE IRRIGATION PLANS

SANITARY SEWER STRUCTURE TABLE		
STRUCTURE ID	STRUCTURE TYPE	PIPE INVERTS
200	REMOVE CAP AND CONNECT TO EXISTING SANITARY MAIN WITH 4" X 8" REDUCER	IN (S) = 5880.80
201	4" DROP CLEAN OUT	IN (W) = 5893.83 OUT (N) = 5880.92
202	4" DROP CLEAN OUT	IN (S) = 5896.18 OUT (E) = 5894.73 IN (W) = 5894.83
203	4" CLEAN OUT	IN (SW) = 5895.26 OUT (E) = 5895.16
204	4" CLEAN OUT	IN (S) = 5895.56 OUT (NE) = 5895.46
205	GREASE TRAP OUTLET	OUT (N) = 5895.75 IN (S) = 5895.75
206	GREASE TRAP INLET	OUT (N) = 5895.92 IN (S) = 5895.92
207	4" CLEAN OUT	IN (E) = 5896.04 OUT (N) = 5895.94
208	4" CLEAN OUT	IN (E) = 5896.28 OUT (W) = 5896.18
209	GREASE LINE BUILDING CONNECTION	OUT (W) = 5896.30
210	SANITARY LINE BUILDING CONNECTION	OUT (N) = 5896.30

GENERAL UTILITY NOTES

1. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION.
3. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
4. ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS AND STANDARDS.
5. ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
7. THE CONTRACTOR IS TO FIELD VERIFY THE EXACT LOCATIONS AND DEPTHS OF UTILITY LINES.
8. ANY WATER AND/OR SEWER CONNECTIONS MUST BE COORDINATED AND SUPERVISED BY UTILITY DISTRICT PERSONNEL. PLEASE GIVE 72 HOURS NOTICE FOR CONNECTIONS.

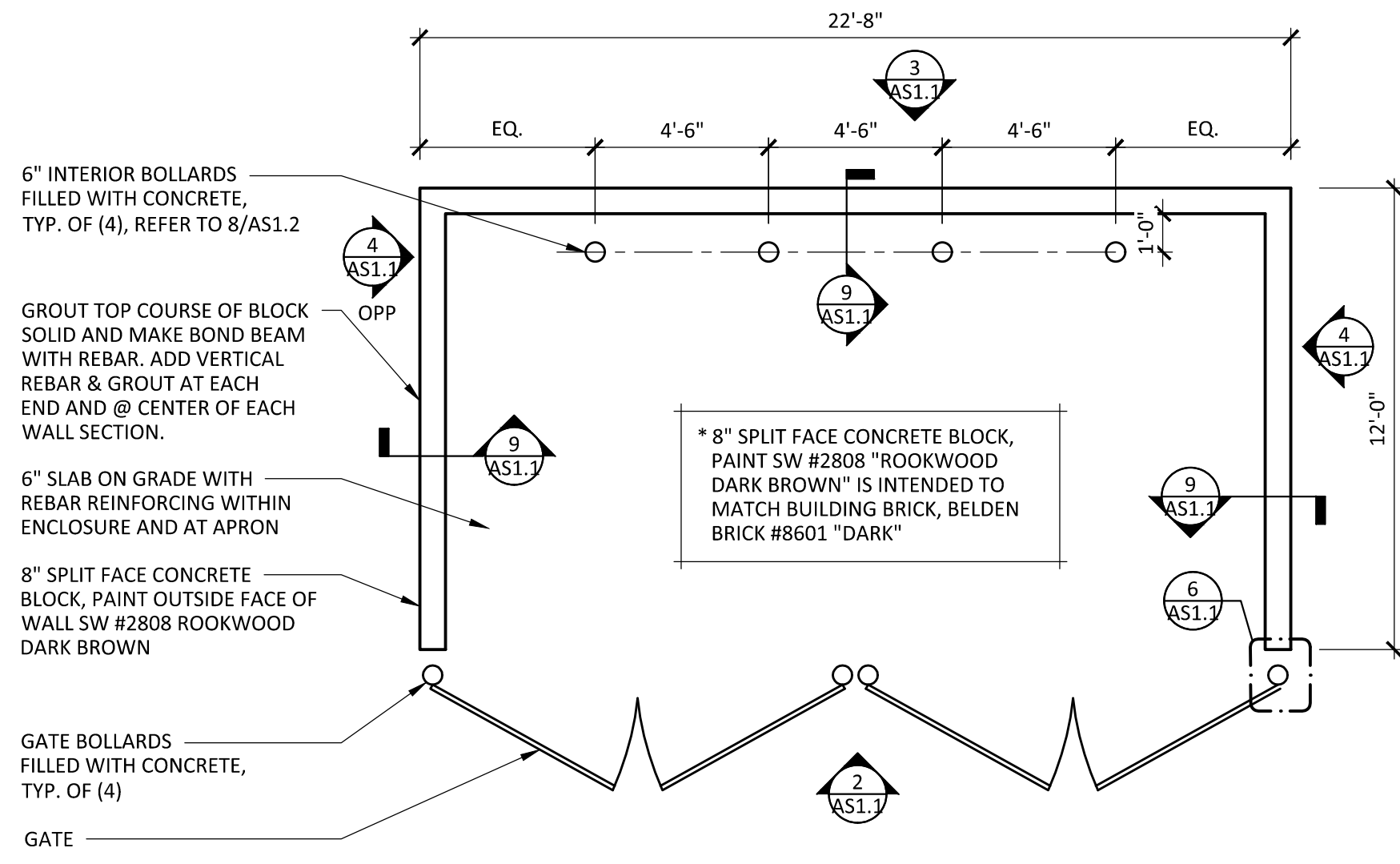


NO.	REVISION	DESCRIPTION	DATE

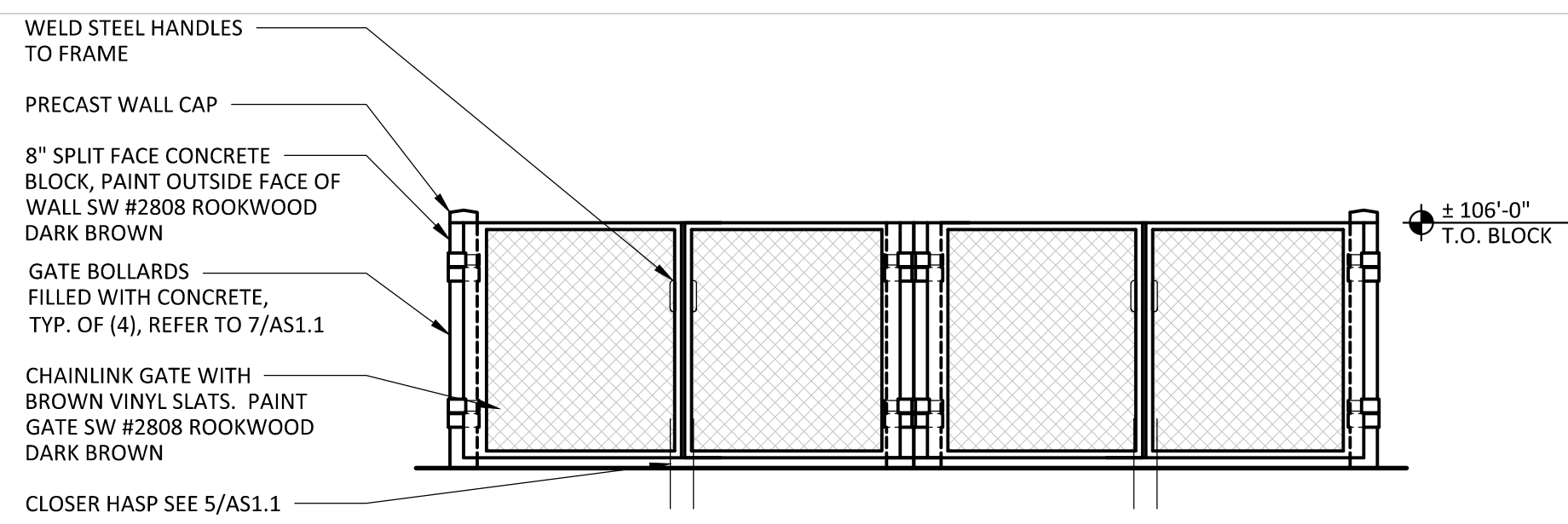
UTILITY PLAN
ARBY'S
 4446 VENETUCCI BOULEVARD
 FOUNTAIN, COLORADO
 EL PASO COUNTY

EL DESIGN	DC DRAWN	BP CHKO
SCALE:	1" = 20'	
JOB No.:	011098-01-001	
DATE:	05/18/2022	

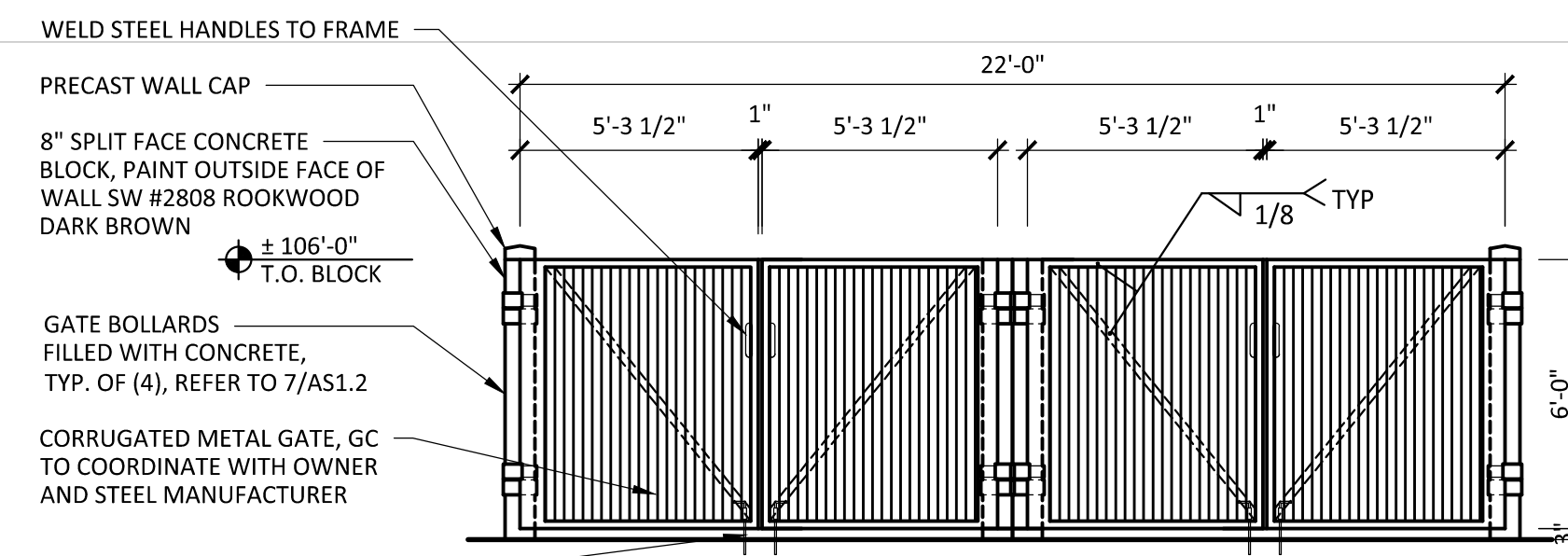
CAD file name: V:\011098 - Arby's 4446 Venetucci Blvd Fountain CO\011098-01-001 (ENG) - Arby's 4446 Venetucci Blvd Fountain CO\Engineering\Engineering Plans\Sheet Sets\C-11 - Utility Plan.dwg 05/18/2022



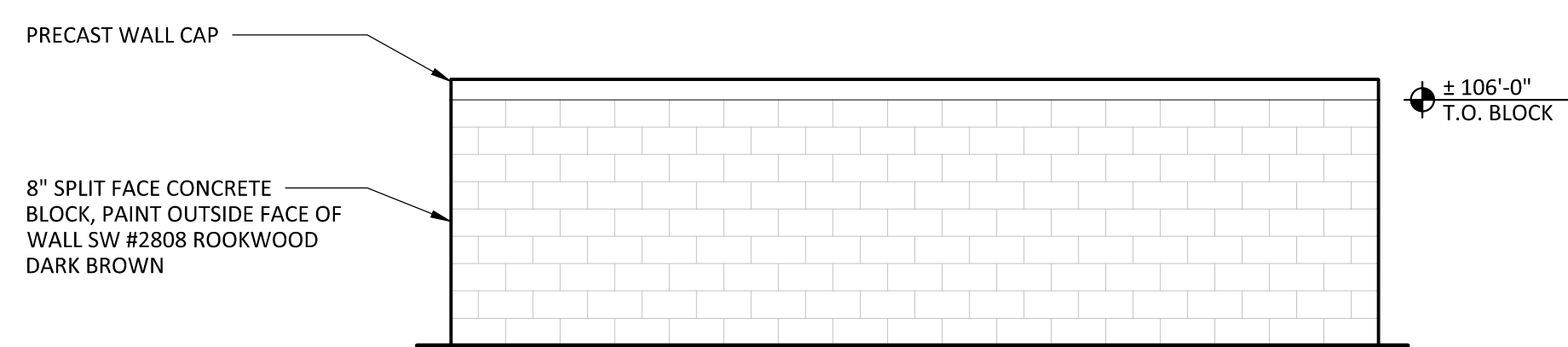
1 TRASH ENCLOSURE PLAN
AS1.1 1/4" = 1'-0"



2 TRASH ENCLOSURE ELEVATION
AS1.1 1/4" = 1'-0"



2A TRASH ENCLOSURE ELEVATION (ALTERNATE)
AS1.1 1/4" = 1'-0"



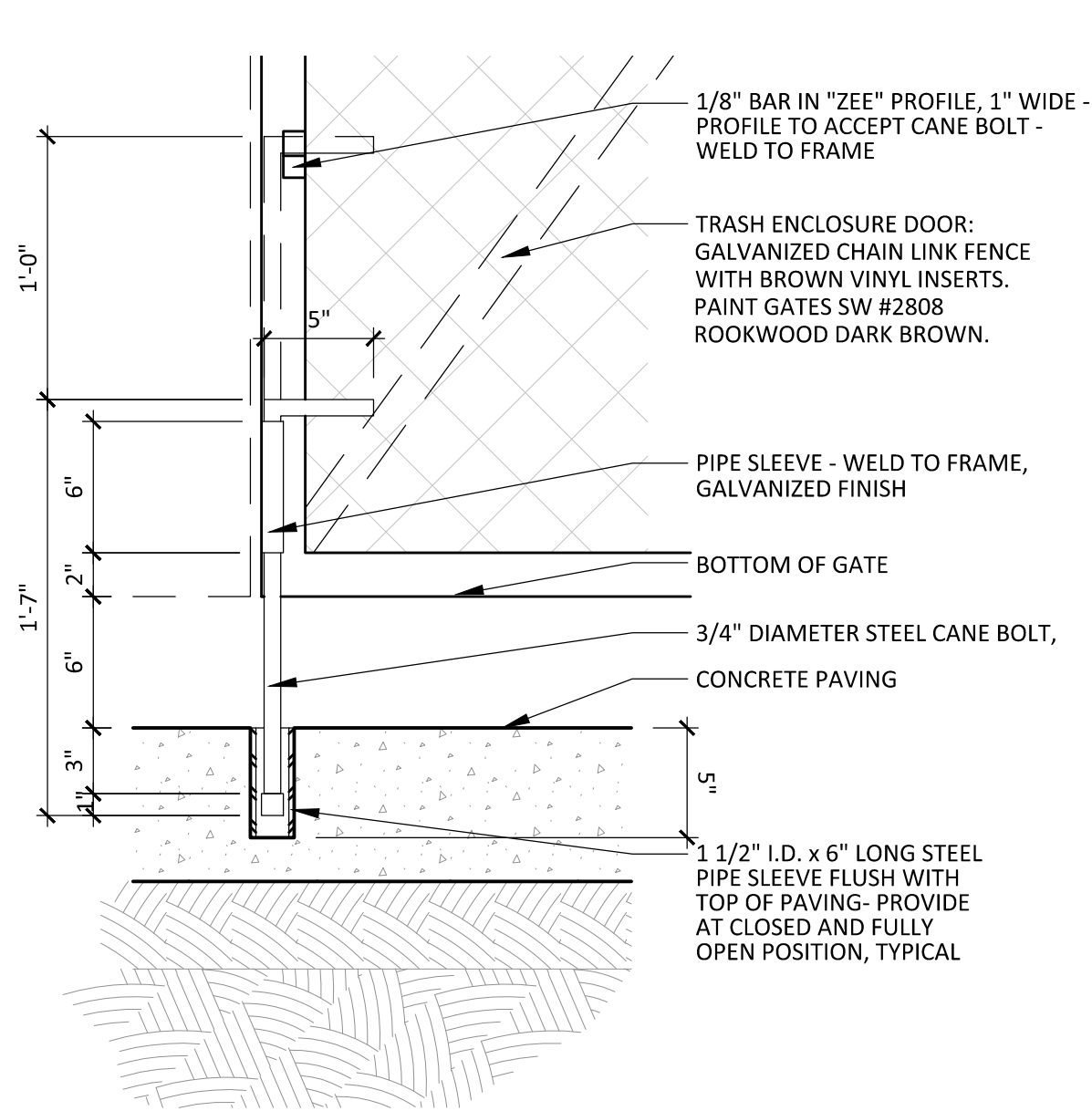
3 TRASH ENCLOSURE ELEVATION
AS1.1 1/4" = 1'-0"

4 TRASH ENCLOSURE ELEVATION
AS1.1 1/4" = 1'-0"

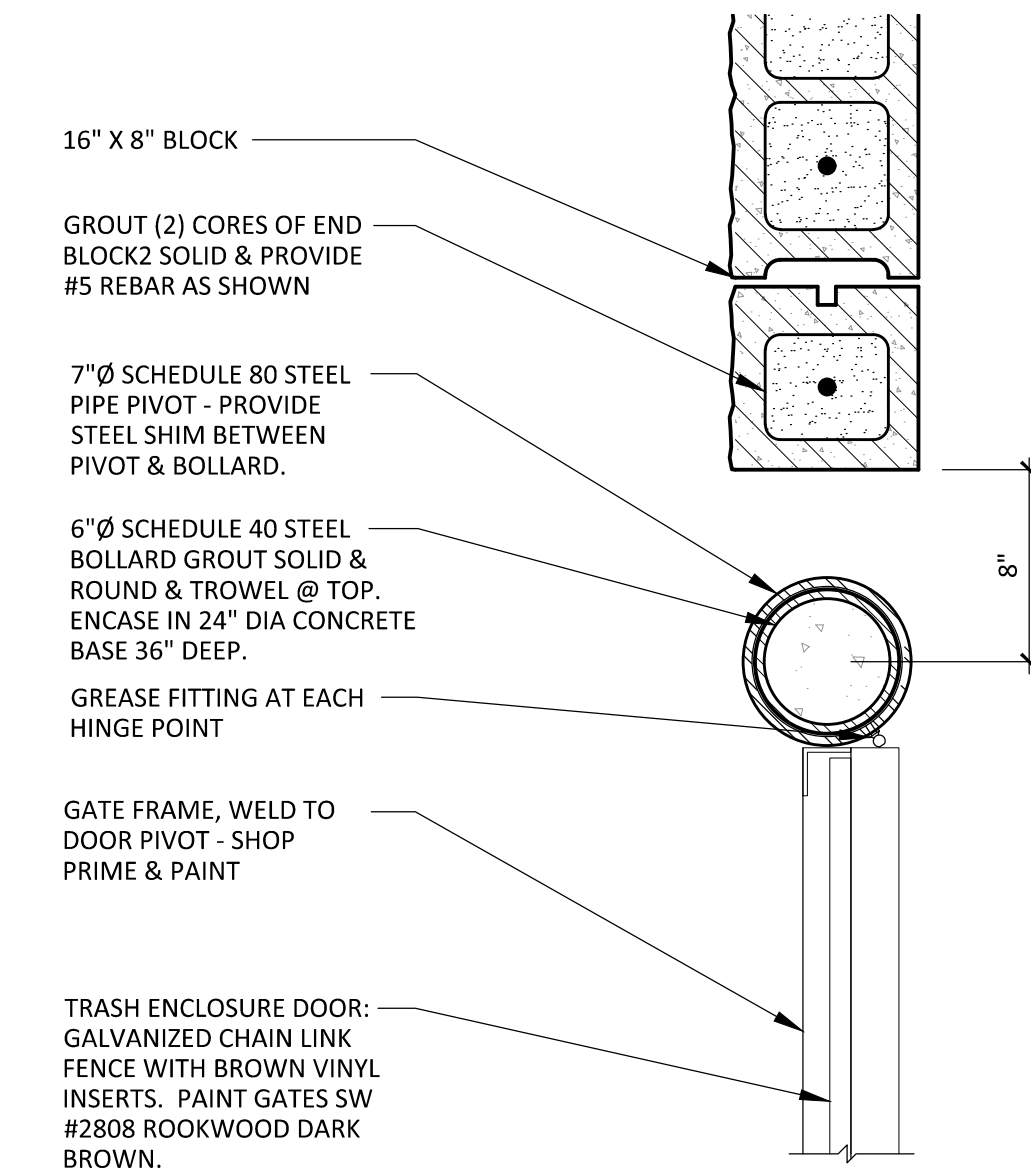
GENERAL NOTES

A. THESE ARE TYPICAL SITE DETAILS. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE COORDINATED WITH THE G.C., CIVIL ENGINEER, OWNER AND THE SOILS INVESTIGATION REPORT.

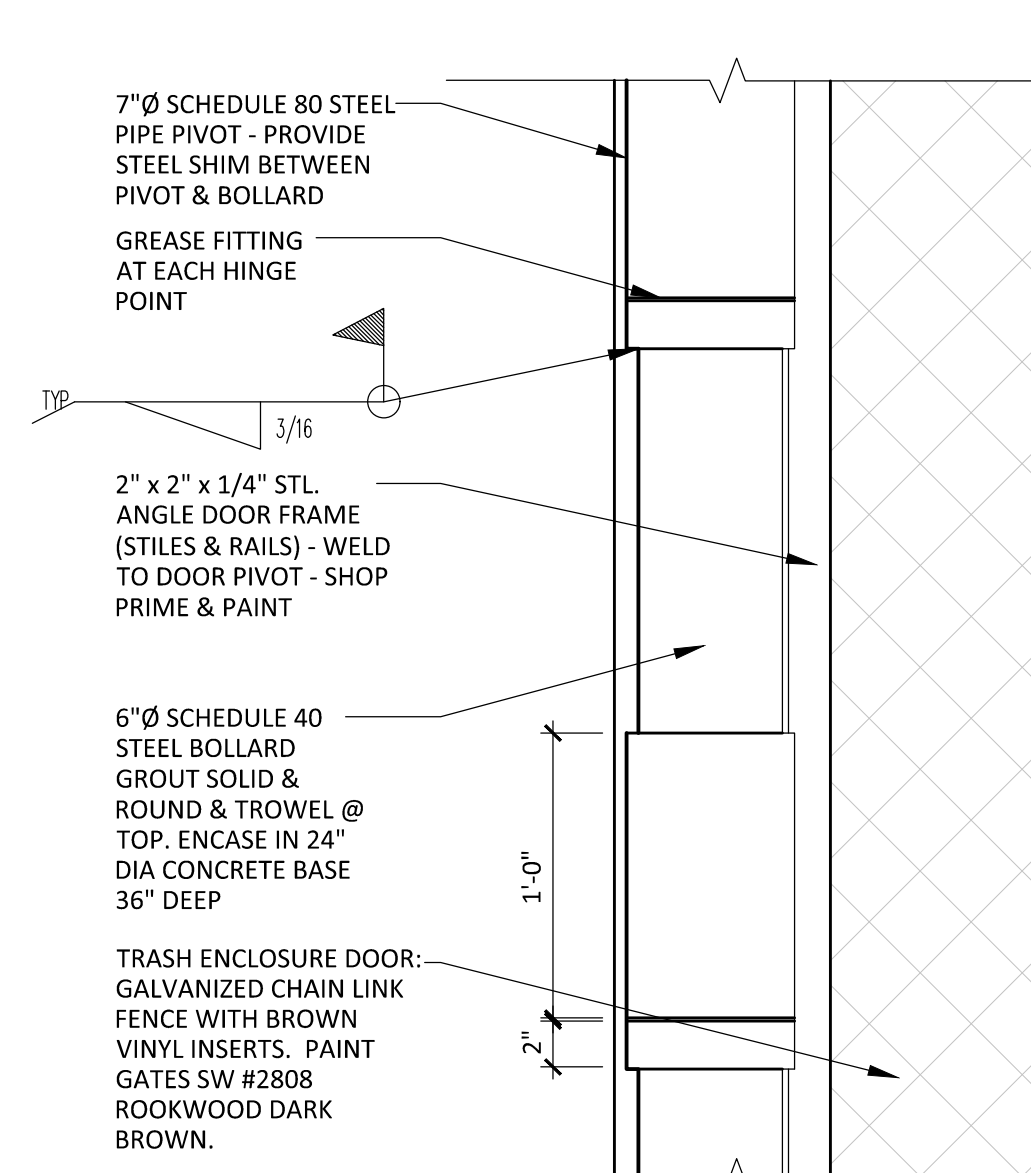
B. TRASH ENCLOSURE DETAILS ARE INTENDED FOR REFERENCE ONLY. CIVIL ENGINEER TO SHOW TRASH ENCLOSURE LOCATION WITH ALL NECESSARY DIMENSIONS AND DETAILS ON THEIR RESPECTIVE SHEETS.



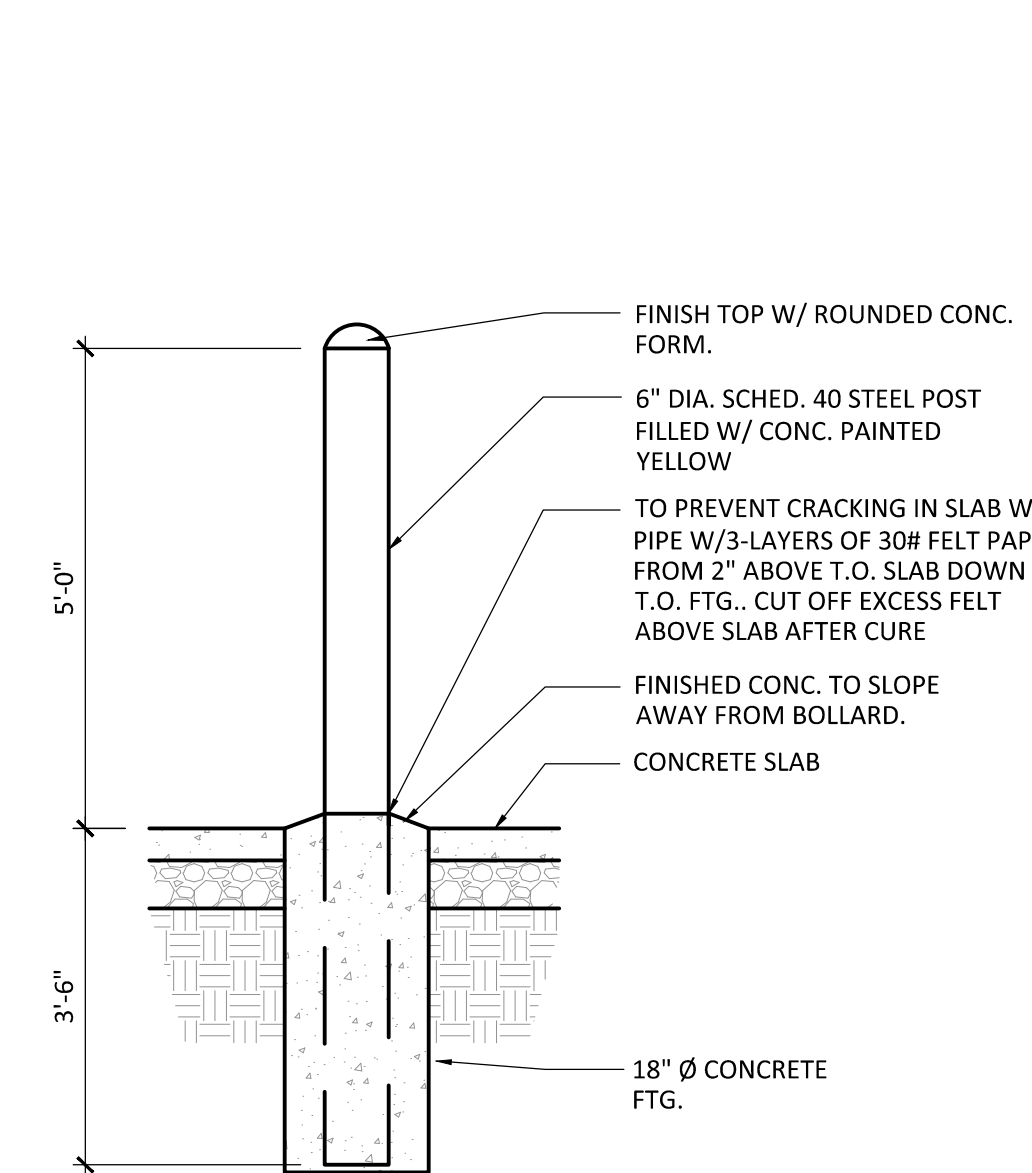
5 CANE BOLT DETAIL
AS1.1 1 1/2" = 1'-0"



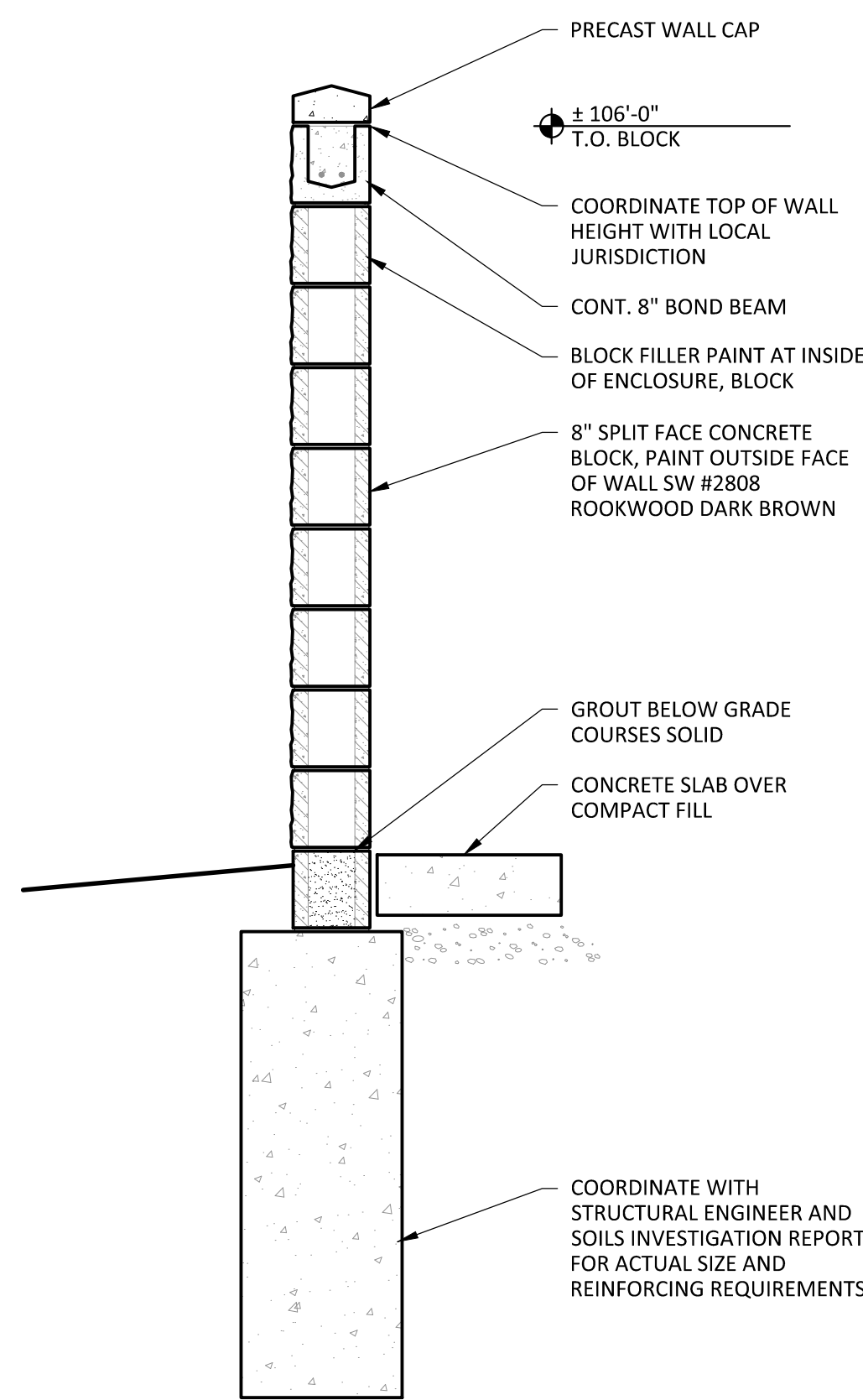
6 POST DETAIL
AS1.1 1 1/2" = 1'-0"



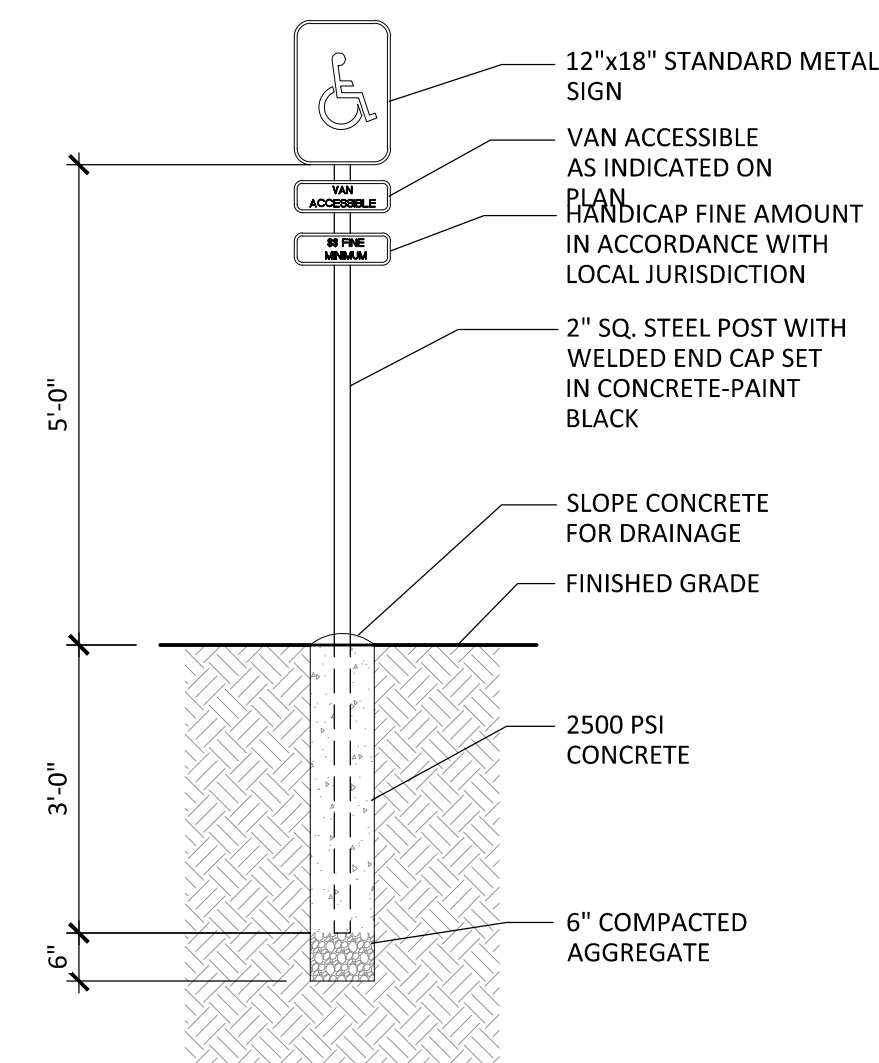
7 BOLLARD AND PIVOT
AS1.1 1 1/2" = 1'-0"



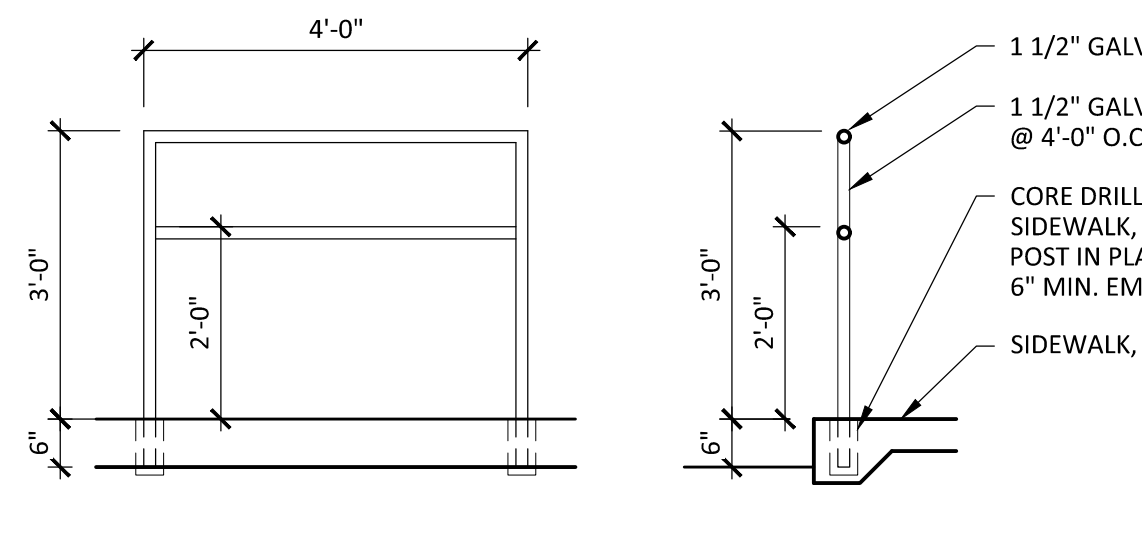
8 BOLLARD DETAIL
AS1.1 1/2" = 1'-0"



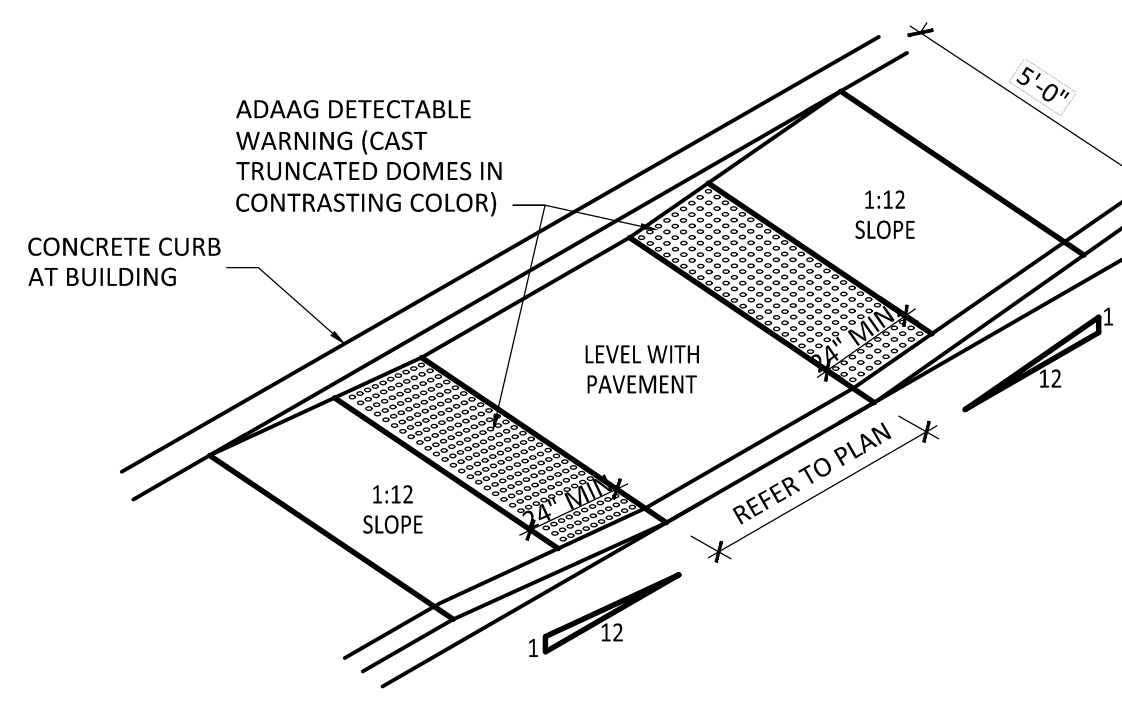
9 TRASH ENCLOSURE WALL SECT.
AS1.1 1/4" = 1'-0"



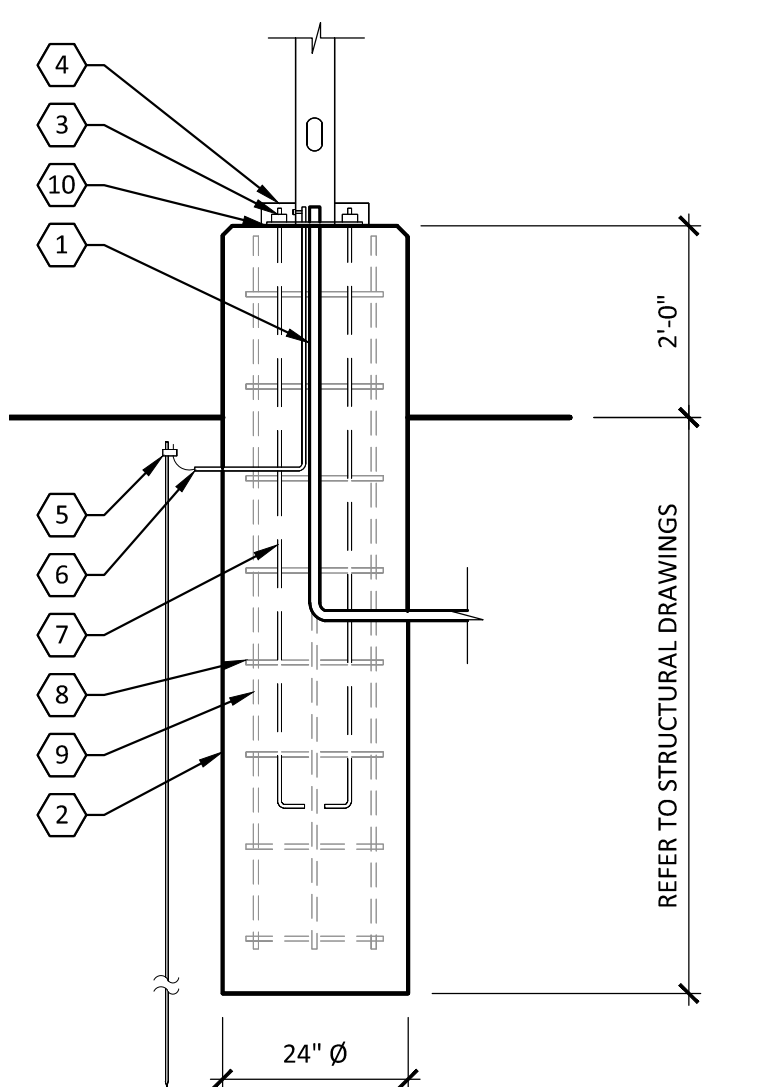
10 TYP. ACC. SIGN DETAIL
AS1.1 1/2" = 1'-0"



11 DRIVE THRU RAIL DETAIL
AS1.1 1/2" = 1'-0"



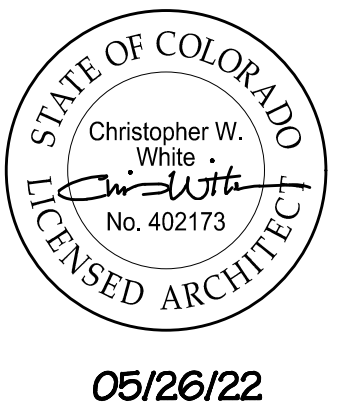
12 ADA CURB RAMP DETAIL
AS1.1 1/2" = 1'-0"



12 LIGHT POLE BASE DETAIL
AS1.1 1/2" = 1'-0"

POLE BASE NOTES

- ELECTRICAL CONDUIT, REFER TO ELECTRICAL DRAWINGS.
- CONCRETE PIER, REFER TO STRUCTURAL DRAWINGS.
- PROVIDE GROUND LUG IN BASE BOLTED TO BASE PLATE. REFER TO STRUCTURAL DRAWINGS.
- BASE COVER OVER GALVANIZED WASHERS, NUTS AND LOCKNUTS. REFER TO STRUCTURAL DRAWINGS.
- GROUND CLAMP, REFER TO ELECTRICAL DRAWINGS.
- GROUND WIRE, REFER TO ELECTRICAL DRAWINGS.
- GALVANIZED ANCHOR BOLTS, REFER TO STRUCTURAL DRAWINGS.
- TIE LOOPS, REFER TO STRUCTURAL DRAWINGS.
- VERTICAL REBAR, REFER TO STRUCTURAL DRAWINGS.
- NON-SHRINK GROUT, REFER TO STRUCTURAL DRAWINGS.



05/26/22

White Design Group, P.C.
Architectural and Interiors Consulting
5801 EAST 41ST STREET, SUITE 712, TULSA, OKLAHOMA 74135



NEW RESTAURANT FOR:
ARBY'S - INSPIRE DUAL HIGH 40 - STD
4446 VENETUCCI BOULEVARD
COLORADO SPRINGS, CO 80906 (FOUNTAIN)
FOR RB AMERICAN GROUP
6200 OAK TREE BLVD, INDEPENDENCE, OH 44131

PROJECT NUMBER:

ISSUE DATE

05-26-2022

REVISION

SITE DETAILS

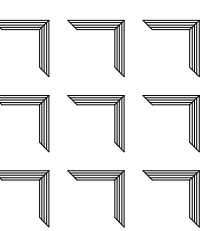
SHEET:

AS1.1



05/26/22

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PROJECT NUMBER:

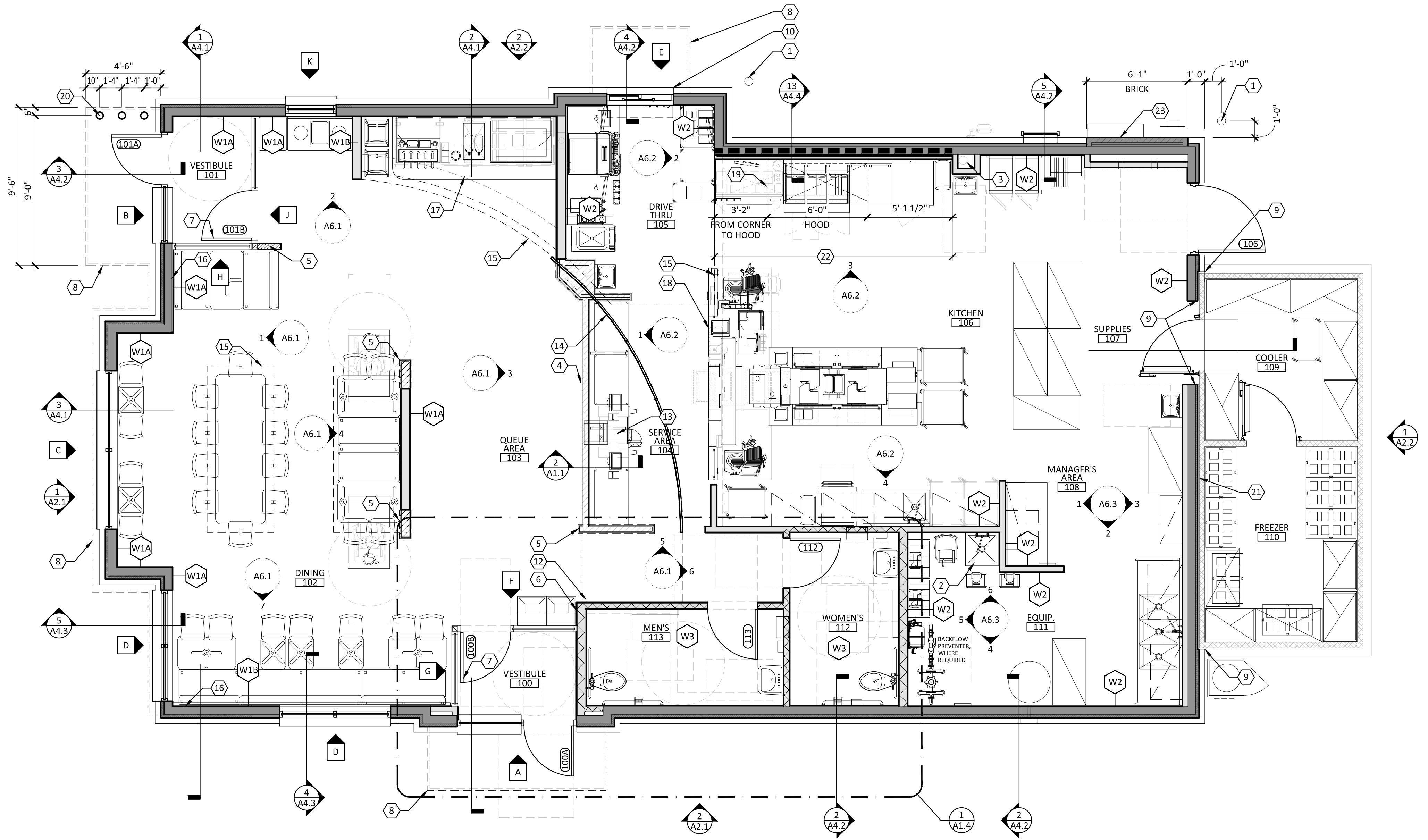
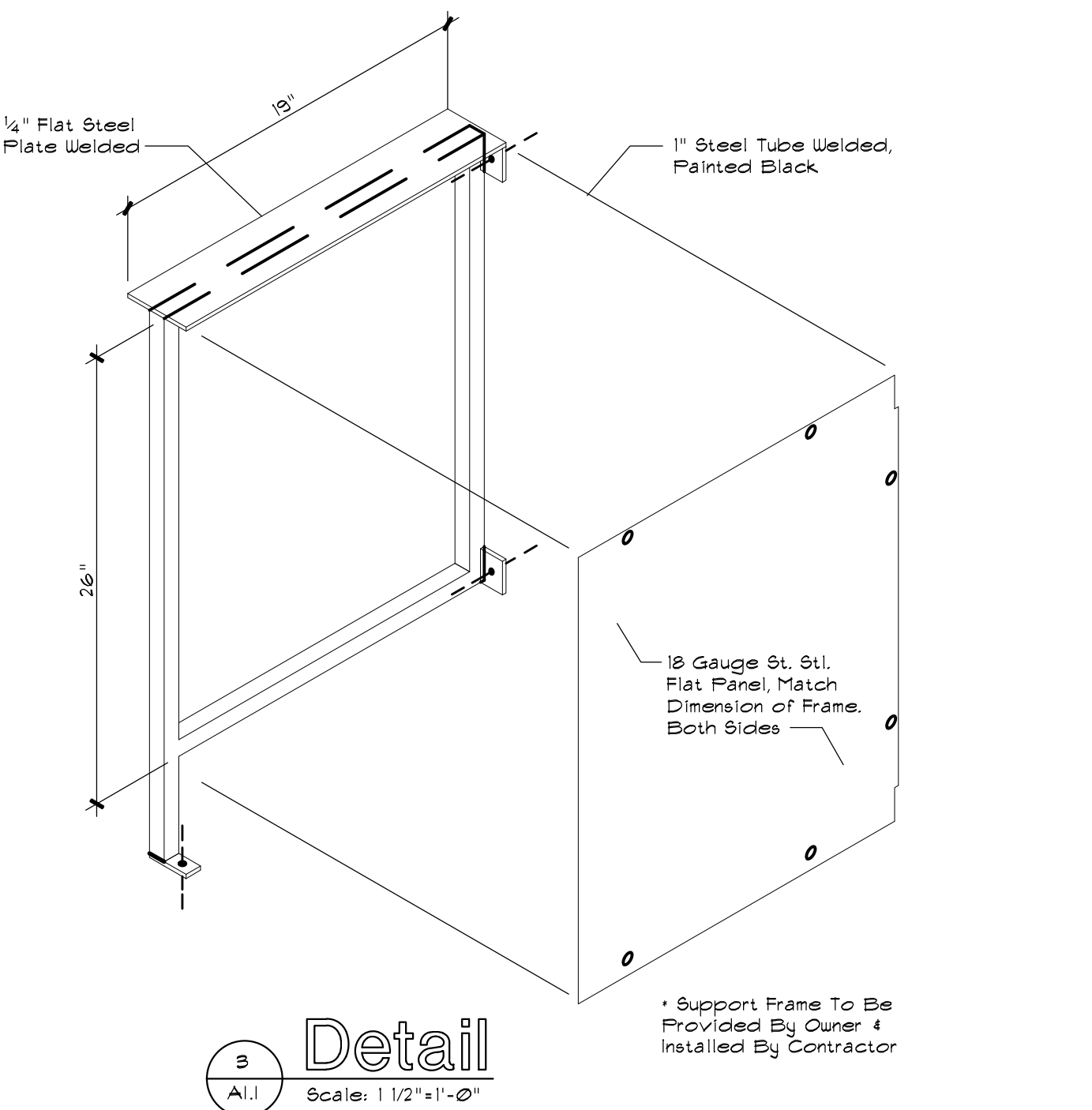
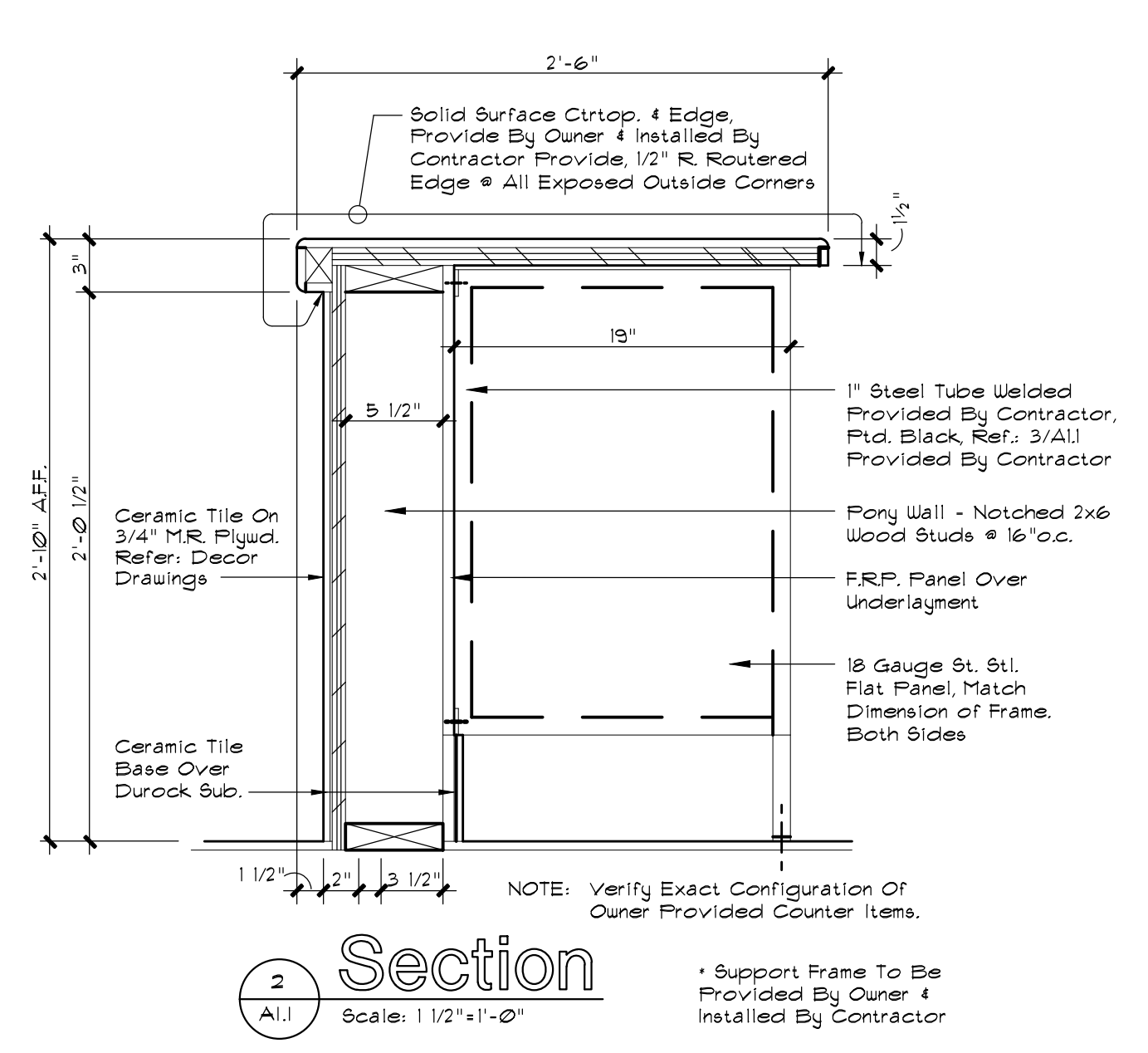
ISSUE DATE
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ARCHITECTURAL FLOOR PLAN

SHEET:

A1.1



1 ARCHITECTURAL FLOOR PLAN
 1/4" = 1'-0"
 North

OWNER FURNISHED ITEM LIST

THE FOLLOWING ITEMS MAY OR MAY NOT BE SUPPLIED BY THE OWNER/FRANCHISEE. G.C. IS TO CONFIRM WITH OWNER THAT THESE ITEMS ARE BEING SUPPLIED AND/OR INSTALLED BY OWNER. PLEASE CONTACT OWNER IF YOU HAVE ANY QUESTIONS ABOUT THIS LIST. ON SHEET SP.1 IN THE ARCHITECTURAL SPECIFICATIONS THERE IS ALSO A LIST THAT OUTLINES SEVERAL OWNER SUPPLIED ITEMS THAT ARE INCLUDED IN THIS LIST, THE SAME INSTRUCTIONS APPLY TO THAT LIST.

A. DRIVE-THRU WINDOW	J. DRINK SYSTEM	Q. MAX. OCCUPANCY SIGNAGE
B. DRIVE-THRU MUSIC SYSTEM	K. DRINK EQUIPMENT INSTALLATION	R. NOT USED
C. HVAC UNITS	L. INTERIOR MENU BOARD	S. STORE SIGNAGE
D. KITCHEN EQUIPMENT	M. EXTERIOR MENU BOARD	T. LOT LIGHTING
E. SMALLWARES	N. MENU BOARD CANOPY	U. FIRE EXTINGUISHERS
F. NOT USED	O. CANOPIES/ACCENT BAND	
G. REGISTERS	P. DECOR PACKAGE	
H. HOOD SYSTEM	a. DECOR LIGHTING	
I. BULK CO2	b. SEATING	
	c. WALL COVERINGS	
	d. FLOORING	

CODED NOTES

1. 6" Ø STEEL BOLLARD, CENTER ON FACE OF BUILDING, REFER TO DETAIL 8/A51.1	16. INSTALL TELEVISION AND MOUNTING BRACKET. PROVIDE IN-WALL BLOCKING. REFER TO ELECTRICAL DRAWINGS FOR RECEPTACLE LOCATION. TV TO CONCEAL RECEPTACLES. COORDINATE FINAL LOCATION WITH DECOR.
2. MOP SINK, REFER TO PLUMBING DRAWINGS. REFER TO 10/A6.3	17. SELF SERVE DRINK STATION AND CONDIMENT BAR. TOP OF COUNTER TO BE SET AT 34" A.F.F. MAX. REFER TO ELECTRICAL AND PLUMBING DRAWINGS.
3. INTERIOR ROOF DRAIN IN WALL, REFER TO PLUMBING DRAWINGS. PROVIDE ACCESS PANEL.	18. PRODUCTION COUNTER. REFER TO ELECTRICAL DRAWINGS.
4. SERVICE COUNTER. SET AT 34" A.F.F. MAX. REFER TO DETAIL 5/A0.1.	19. HOOD ABOVE, REFER TO MECHANICAL DRAWINGS. ANSUL CABINET TO ALWAYS BE LOCATED TOWARDS THE FRONT OF THE STORE.
5. PARTIAL HEIGHT WALL. REFER TO DECOR DRAWINGS.	20. CANOPY POST, BY CANOPY MANUFACTURER, TYP. OF (3).
6. INSTALL MAXIMUM OCCUPANCY SIGNAGE (WHERE REQUIRED). SIGNAGE SHALL BE INSTALLED AT 60" A.F.F. THE G.C. IS TO VERIFY THE SIZE, QUANTITY AND LOCATION(S) OF SIGNAGE WITH LOCAL FIRE MARSHAL PRIOR TO INSTALLATION. (G.C. TO CONFIRM WITH OWNER THAT THIS ITEM IS TO BE PROVIDED BY OWNER.)	21. DO NOT INSTALL BRICK BEHIND COOLER, PROVIDE 1" RIGID INSULATION ON WALL BEHIND COOLER. HOLD COOLER OFF INSULATION 1"
7. PROVIDE TACTILE EXIT SIGN ON SURFACE OF DOOR RE: SHT G0.3	22. PROVIDE STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD ON METAL STUD FURRING BEHIND HOOD. EXTEND STAINLESS STEEL SHEET FROM CORNER TO CORNER, FROM SLAB TO T.O. WALL. PROVIDE 1/2" CEMENT BOARD ON METAL STUD FRAMING IN EXTERIOR WALL BEHIND HOOD. REFER TO STRUCTURAL DRAWINGS FOR EXTERIOR METAL STUD FRAMING INFORMATION. REFER TO 8/A4.5 FOR FURRING WALL CONSTRUCTION BEHIND HOOD. REFER TO TABLE 308.4.2 ON THIS SHEET.
8. LINE OF CANOPY/ACCENT BAND ABOVE.	23. EXTEND BRICK ABOVE WATER TABLE TO PROVIDE FLUSH CONDITIONS FOR ELECTRICAL EQUIPMENT INSTALLATION. REFER TO EXTERIOR ELEVATIONS.
9. STAINLESS STEEL CLOSURE PIECE PROVIDED BY COOLER MANUFACTURER. INSTALLED BY G.C. CAULK TO ADJACENT SURFACE.	24. NOT USED.
10. INSTALL OWNER FURNISHED DRIVE-THRU WINDOW, REFER TO EQUIPMENT PLAN AND SCHEDULE.	25. NOT USED.
11. ROOF ACCESS LADDER.	
12. NOT USED	
13. COORDINATE THE LOCATION OF THE SECURING BOLTS FOR THE SAFE WITH THE MANUFACTURER'S REQUIREMENTS.	
14. MENU BOARD ABOVE, REFER TO CEILING PLAN.	
15. LINE OF SOFFIT ABOVE, REFER TO CEILING PLAN.	

TABLE 308.4.2 CLEARANCE REDUCTION METHODS

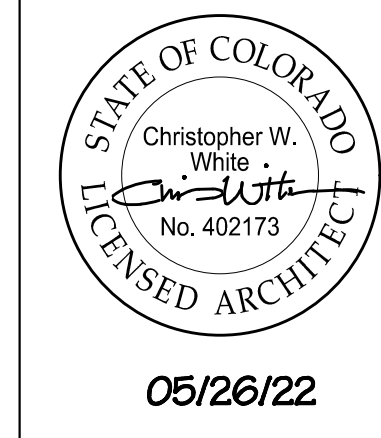
TYPE OF PROTECTIVE ASSEMBLY	REDUCED CLEARANCE WITH PROTECTION (inches)							
	HORIZONTAL COMBUSTIBLE ASSEMBLIES LOCATED ABOVE THE HEAT SOURCE				HORIZONTAL COMBUSTIBLE ASSEMBLIES LOCATED BENEATH THE HEAT SOURCE AND ALL VERTICAL COMBUSTIBLE ASSEMBLIES			
	36	18	9	6	36	18	9	6
GALVANIZED SHEET STEEL, HAVING A MINIMUM THICKNESS OF 0.0236 INCH (NO. 24 GAGE), SPACED 1 INCH OFF THE COMBUSTIBLE ASSEMBLY	18	9	5	3	12	6	3	2

SYMBOL LEGEND

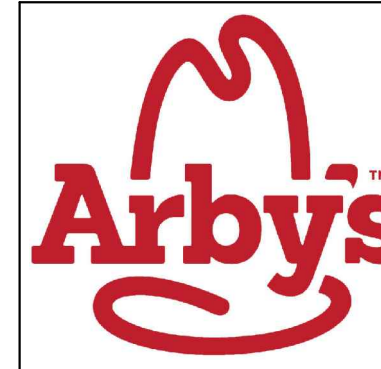
(?)	FLOOR PLAN CODED NOTE (SEE SCHEDULE ON THIS SHEET)
(#)	DOOR TAG (SEE SCHEDULE ON SHEET AB.1)
(X)	WINDOW TAG (SEE ELEVATIONS ON SHEET AB.2)
(X-X)	WALL TYPE TAG (SEE SCHEDULE ON SHEET AO.1)

WALL LEGEND

(---)	WALL/PARTITION
(--- ---)	WALL WITH SOUND BATT
(--- --- ---)	PARTIAL HEIGHT WALL
(--- --- --- ---)	SHEAR WALL



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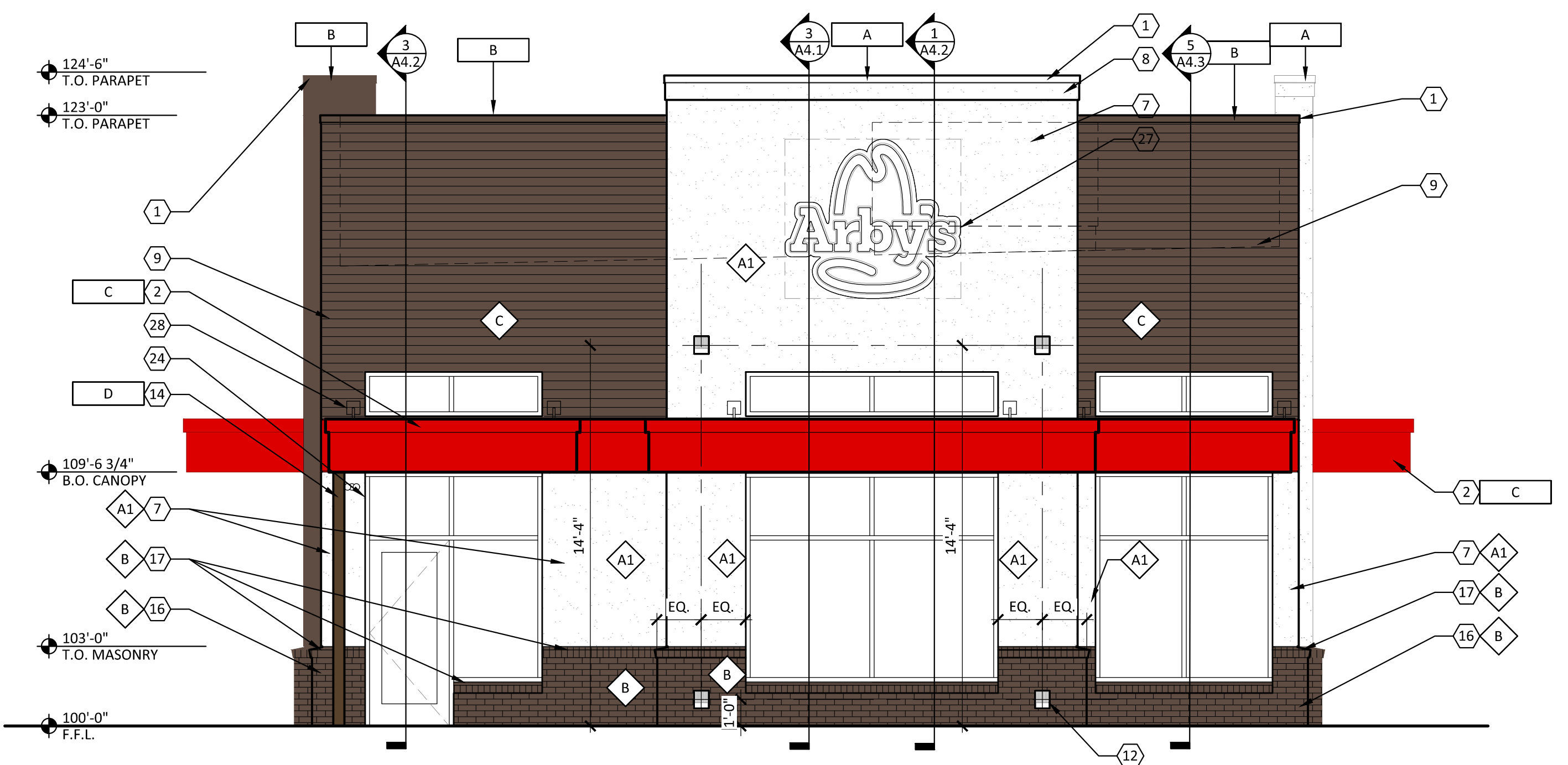
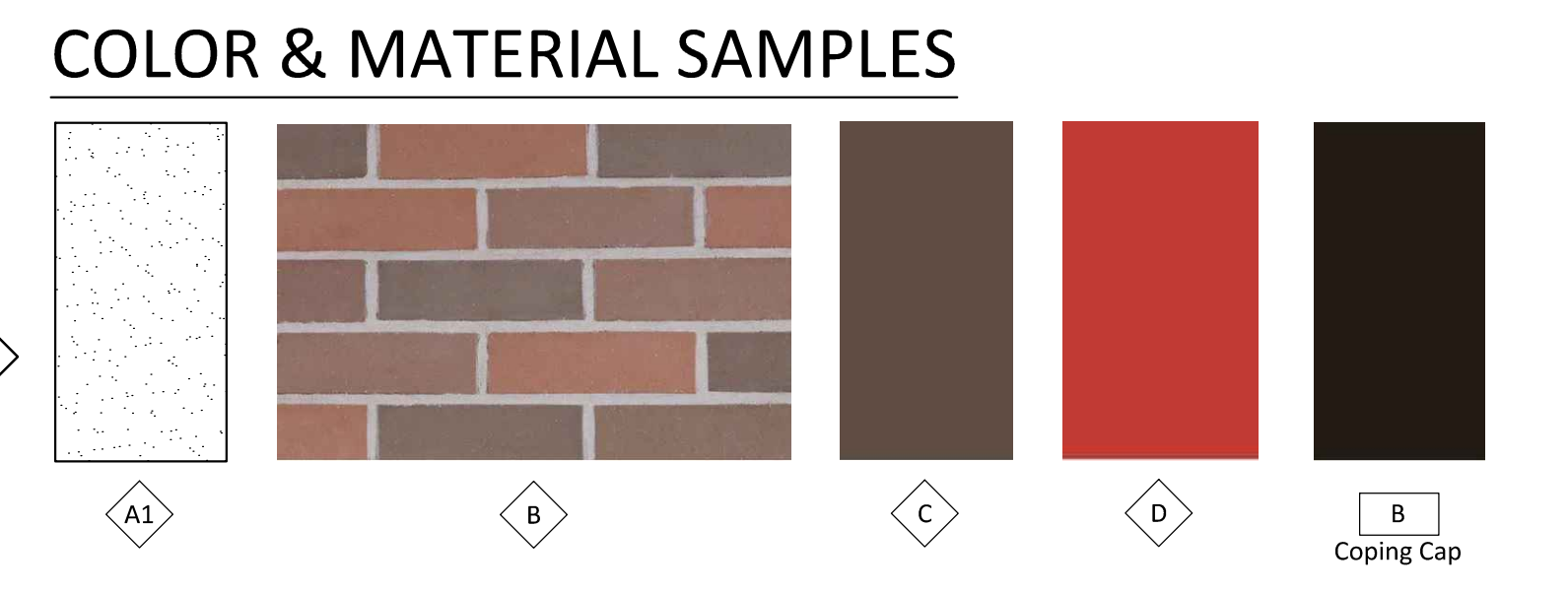
EXTERIOR ELEVATIONS

SHEET:
A2.1

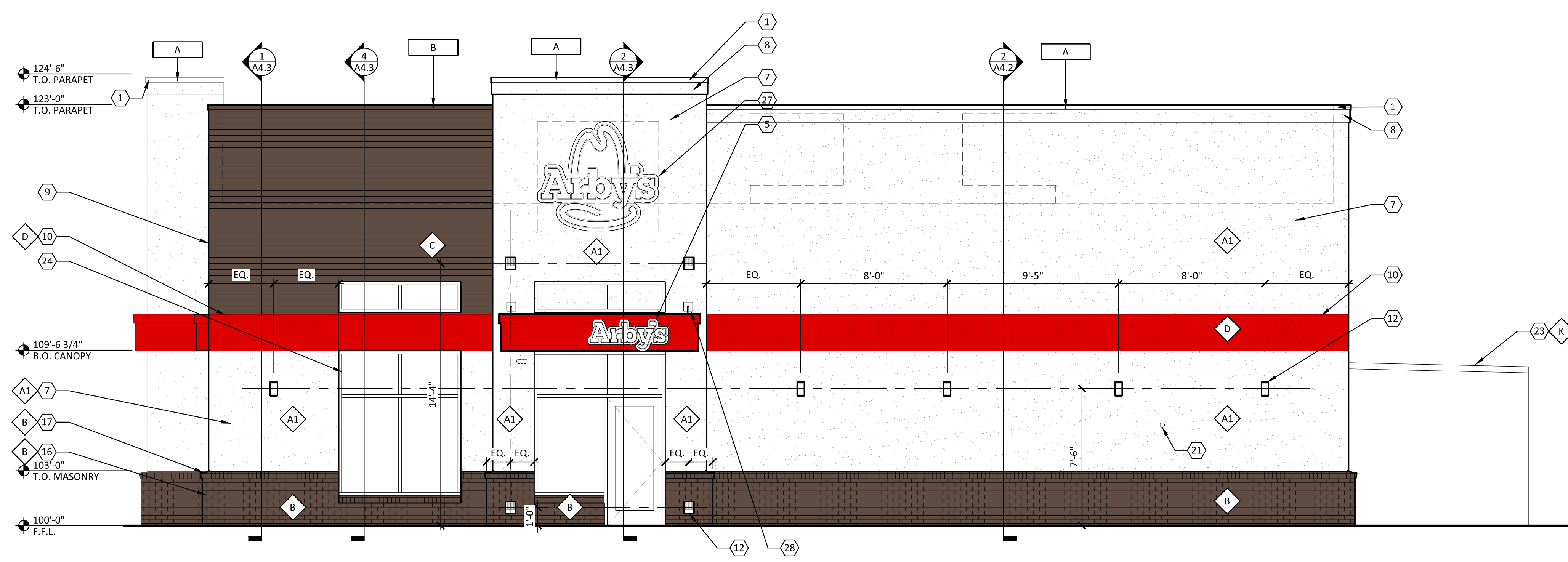
- ### CODED NOTES (X) (ALL CODED NOTES MAY NOT BE USED)
- PRE-FINISHED METAL COPING.
 - PRE-FABRICATED METAL CANOPY/ACCENT BAND.
 - CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
 - NOT USED.
 - ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
 - PAINT DOOR AND FRAME.
 - NEW EIFS WALL SYSTEM.
 - EIFS CORNICE.
 - EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS.
 - PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
 - DRIVE THRU WINDOW.
 - WALL MOUNTED LIGHT FIXTURE.
 - PAINT BOLLARD.
 - PRE-FABRICATED METAL POST FOR CANOPY.
 - ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"
 - BRICK VENEER.
 - BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.
 - NOT USED.
 - ELECTRICAL EQUIPMENT.
 - GAS METER.
 - GREASE OUTLET.
 - Co2 HOOKUP.
 - COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".
 - ALUMINUM STOREFRONT.
 - PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.
 - CONTINUE BRICK VENEER BEHIND ELECTRICAL EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.
 - ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.
 - COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY WINDOW.

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PREFABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PREFABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---
<p>A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.</p> <p>B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.</p> <p>C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.</p> <p>D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.</p> <p>E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.</p> <p>F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.</p> <p>G. ALUMINUM STOREFRONT TO BE DARK BRONZE.</p> <p>H. ALL GLAZING TO BE 1" INSULATED GLAZING.</p> <p>I. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT INSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.</p> <p>J. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.</p> <p>K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.</p> <p>L. PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.</p> <p>M. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.</p> <p>N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.</p> <p>O. ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)</p> <p>P. THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).</p> <p>Q. PROVIDE A KNOX BOX PER LOCAL FIRE DEPARTMENT STANDARDS.</p>			



1 EAST ELEVATION
 1/4" = 1'-0"

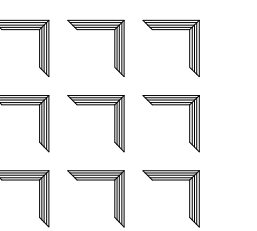


2 NORTH ELEVATION
 1/4" = 1'-0"



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PROJECT NUMBER:

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REVISION

EXTERIOR ELEVATIONS

SHEET:

A2.2

CODED NOTES (X) (ALL CODED NOTES MAY NOT BE USED)

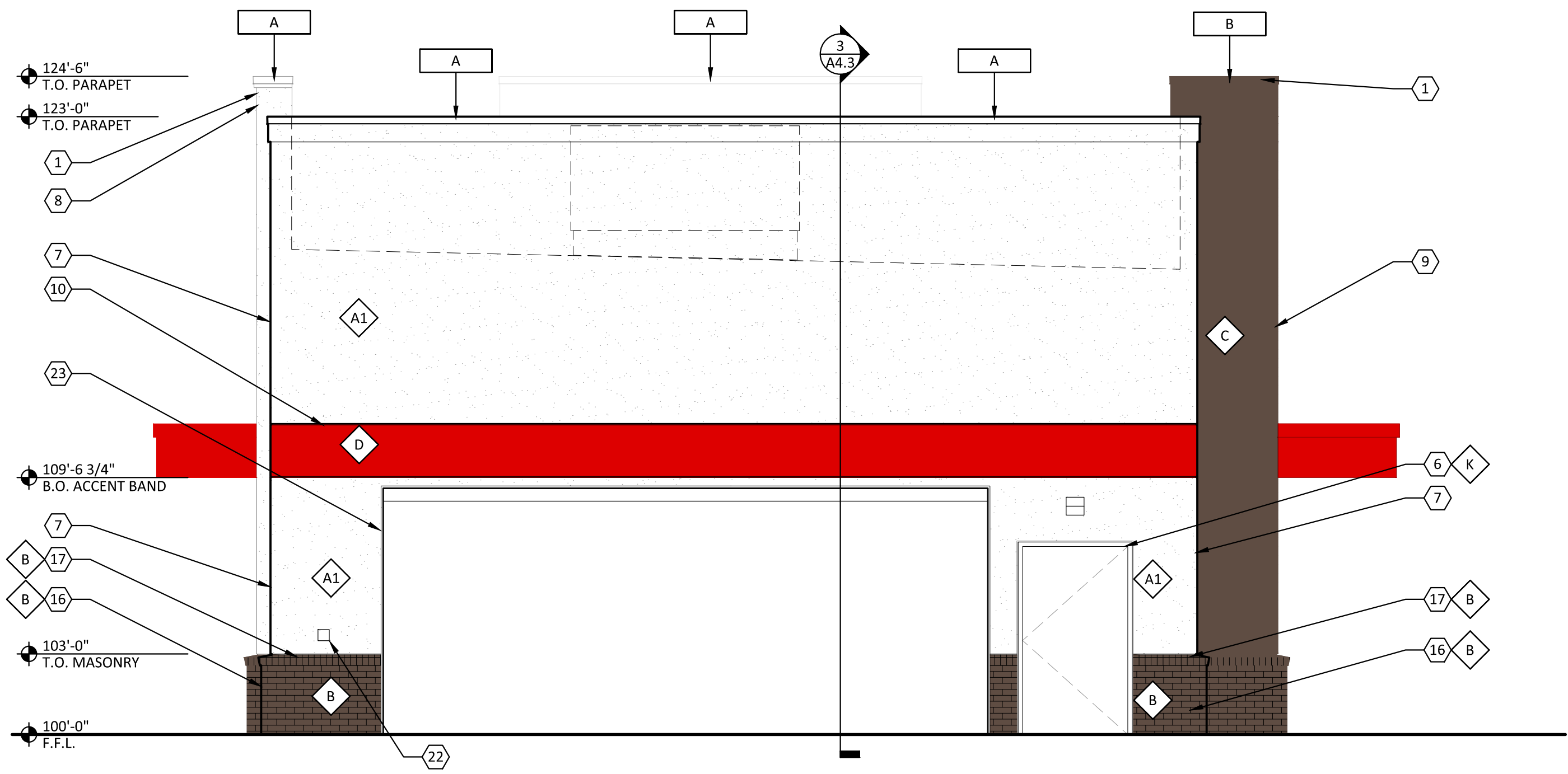
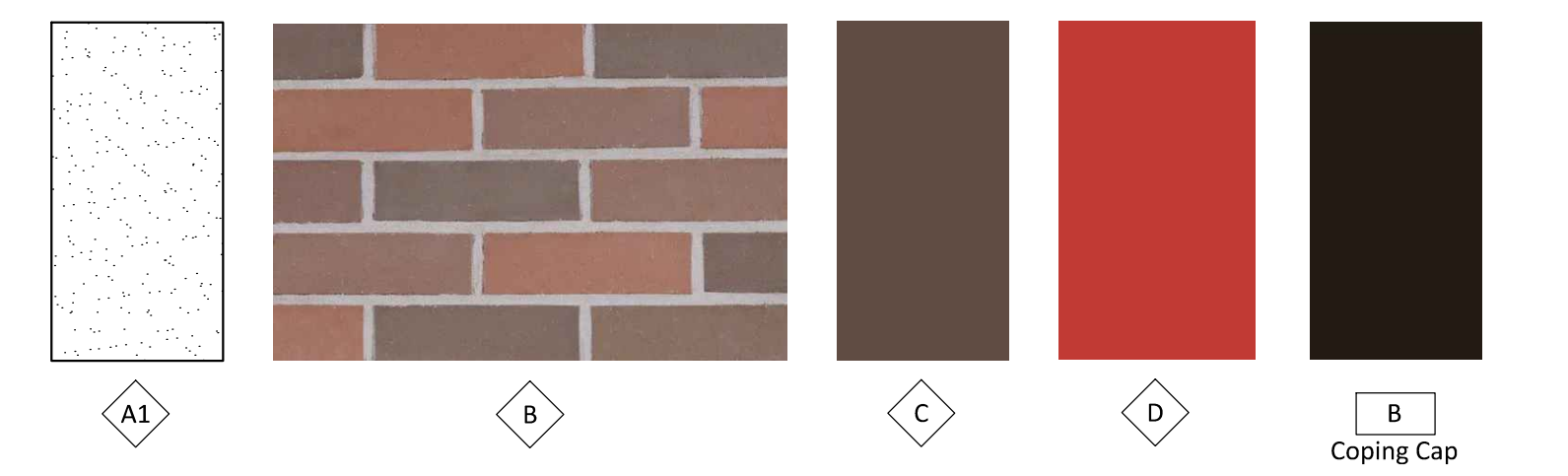
- PRE-FINISHED METAL COPING.
- PRE-FABRICATED METAL CANOPY/ACCENT BAND.
- CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
- NOT USED.
- ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
- PAINT DOOR AND FRAME.
- NEW EIFS WALL SYSTEM.
- EIFS CORNICE.
- EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS.
- PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
- DRIVE THRU WINDOW.
- WALL MOUNTED LIGHT FIXTURE.
- PAINT BOLLARD.
- PRE-FABRICATED METAL POST FOR CANOPY.
- ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"
- BRICK VENEER.
- BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.
- NOT USED.
- ELECTRICAL EQUIPMENT.
- GAS METER.
- GREASE OUTLET.
- CO2 HOOKUP.
- COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".
- ALUMINUM STOREFRONT.
- PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.
- CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.
- ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.
- COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY WINDOW.

FINISH SCHEDULE

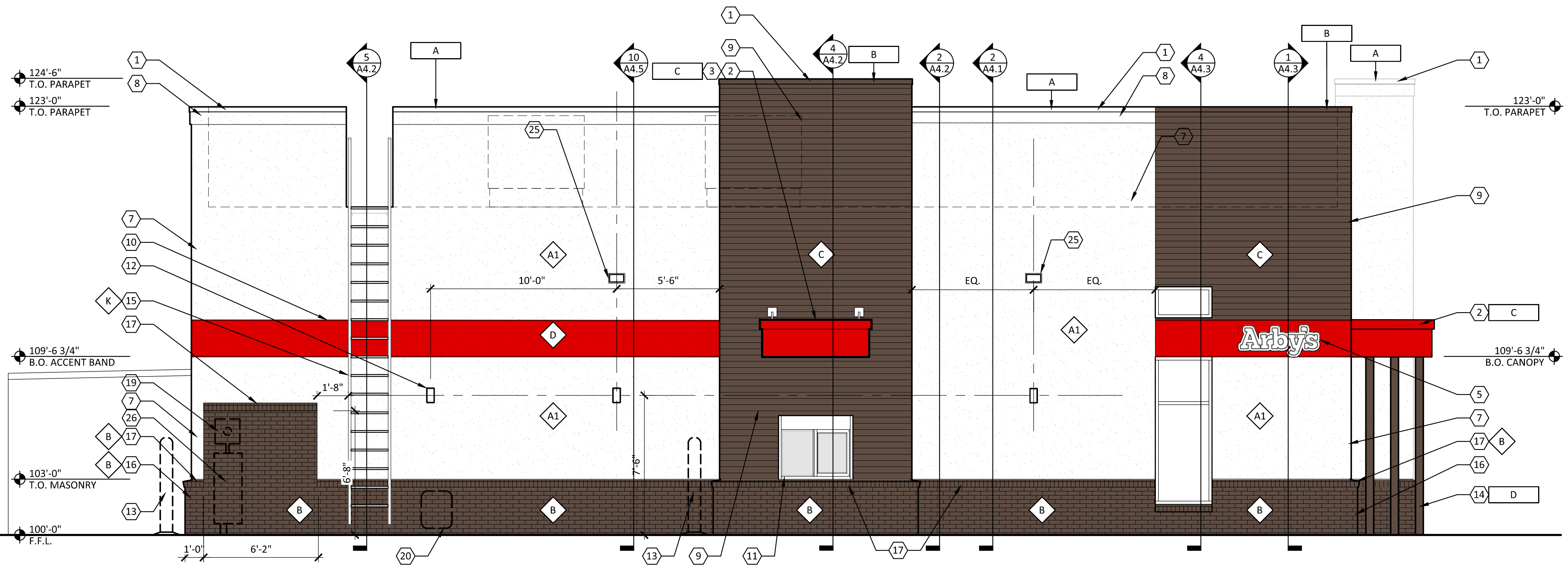
MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

- PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.
- PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
- PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
- TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
- ALUMINUM STOREFRONT TO BE DARK BRONZE.
- ALL GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.
- REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
- PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.
- ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.
- PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.
- ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)
- THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).
- PROVIDE A KNOX BOX PER LOCAL FIRE DEPARTMENT STANDARDS.

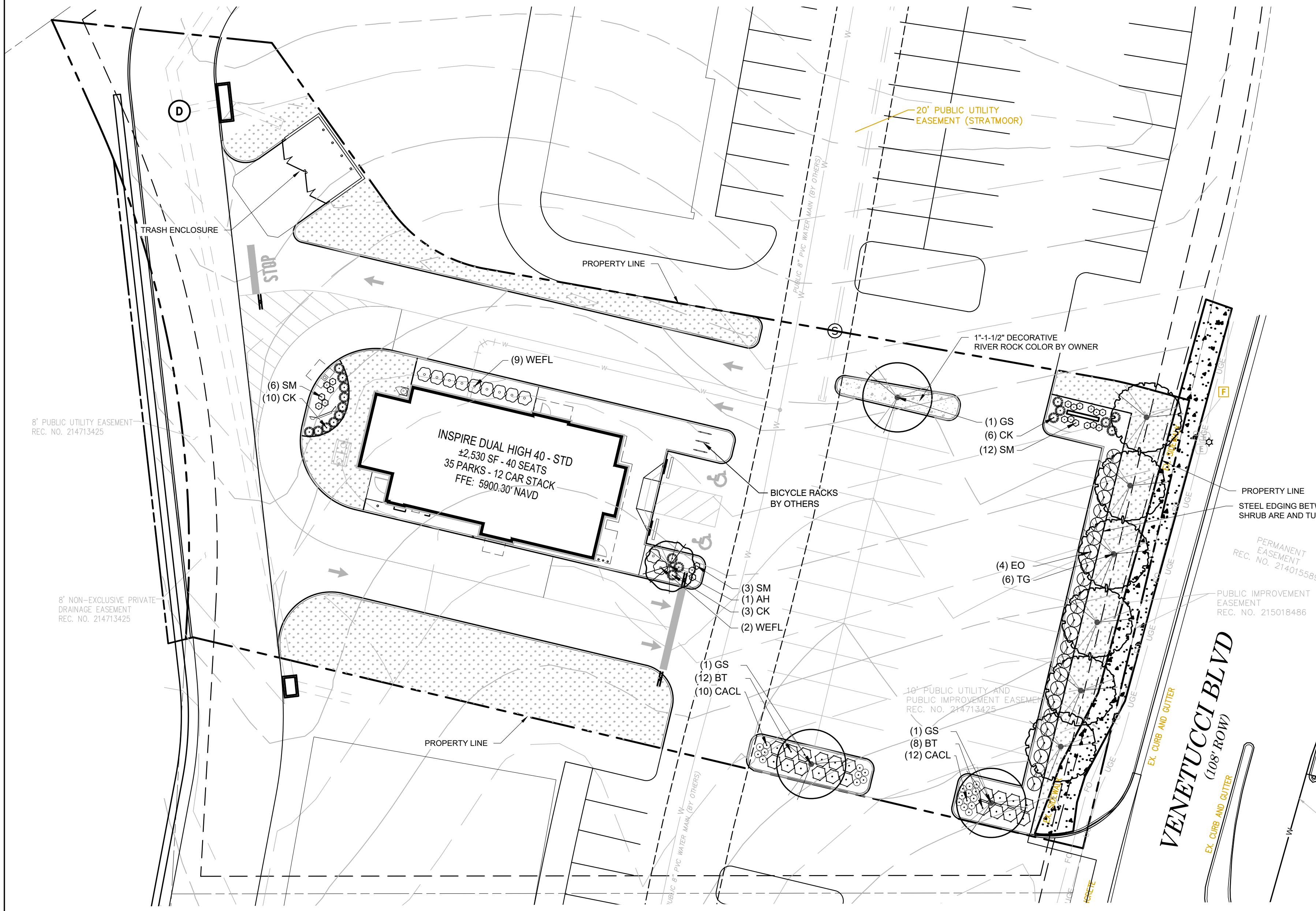
COLOR & MATERIAL SAMPLES



1 WEST ELEVATION
 A2.2 1/4" = 1'-0"



2 SOUTH ELEVATION
 A2.2 1/4" = 1'-0"



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	GS	3	Gleditsia triacanthos inermis 'Shademaster' Shademaster Honey Locust	2" Cal.	Cont. or B&B	8'-10'
	TG	6	Tilia cordata 'Greenspire' Greenspire Littleleaf Linden	2" Cal.	Cont. or B&B	8'-10'
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	AH	1	Acer tataricum 'Hot Wings' Hot Wings Tatarian Maple	1.5" Cal.	Cont. or B&B	6'-8" HT MIN
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	BT	20	Berberis thunbergii 'Rose Glow' Rosy Glow Japanese Barberry	5 GAL	36" OC	
	CK	19	Calamagrostis x acutiflora 'Karl Foerster' Karl Foerster Feather Reed Grass	5 GAL	Per Plan	
	CACL	22	Caryopteris x clandonensis 'Blue Mist' Blue Mist Bluebeard	3 GAL	24" OC	
	EO	25	Euonymus alatus 'Odom' TM Little Moses Dwarf Burning Bush	5 GAL	36" OC	
	SM	21	Spiraea japonica 'Walbura' Magic Carpet Japanese Spirea	5 GAL	24" OC	
	WEFL	11	Weigela florida 'Bokraspiwi' TM Spilled Wine Weigela	5 GAL	Per Plan	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME			
	RR	193 sf	Rock Mulch 1-1/2" Decorative Rock Mulch			
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME			
	PX	5,548 sf	Poa x 'Bandera' Bandera Hybrid Bluegrass			

LANDSCAPE CALCULATIONS

ZONING:	PUD
SITE AREA:	38,745 SF
PERIMETER PARKING LOT	
FRONTAGE LENGTH:	131 LF (VENETUCCI BLVD.)
TREES REQUIRED:	6 TREES (1 PER 25 LF OF FRONTAGE)
TREES PROVIDED:	6 TREES
SHRUBS REQUIRED:	11 SHRUBS (2 PER 25 LF OF FRONTAGE)
SHRUBS PROVIDED:	25 SHRUBS
PARKING LOT	
PARKING SPACES:	35 SPACES
TREES REQUIRED:	3 TREES (1 PER 15 SPACES AND END ISLANDS)
TREES PROVIDED:	4 TREES

GENERAL PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT, INCLUDING ALL APPLICABLE JURISDICTION REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY THE OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY OWNER OF ANY CONFLICTS. UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE OWNER OR OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

MULCHES

AFTER ALL TREE PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH AROUND ALL TREES. 36" DIAMETER, NATURAL (UNDYED).

AFTER ALL SHRUB PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF BLUE GREY RIVER ROCK MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). RIVER ROCK MULCH SHALL BE 3/4" - 2" STONES, BLUE GREY IN COLOR (AS APPROVED BY OWNER).

ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

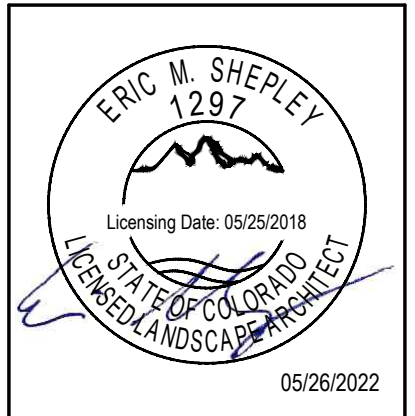
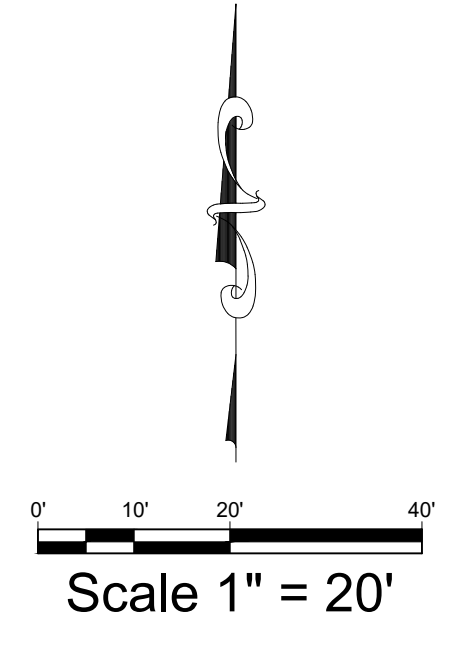
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

TOPSOIL STOCKPILING

PRIOR TO THE START OF CONSTRUCTION, ALL TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN AN AREA SAFE FROM CONTAMINATION AND COMPACTION, AND COVERED WITH TARPS TO PREVENT EROSION AND CONTAMINATION. TOPSOIL SHALL NOT BE STOCKPILED AND REUSED IF NOXIOUS AN/OR INVASIVE WEEDS ARE PRESENT. IF TOPSOIL IS SAFE FOR USE, IT SHALL BE SPREAD OVER ALL NON-TURF LANDSCAPE AREAS AND ROTOTILLED IN TO A DEPTH OF 8".

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.



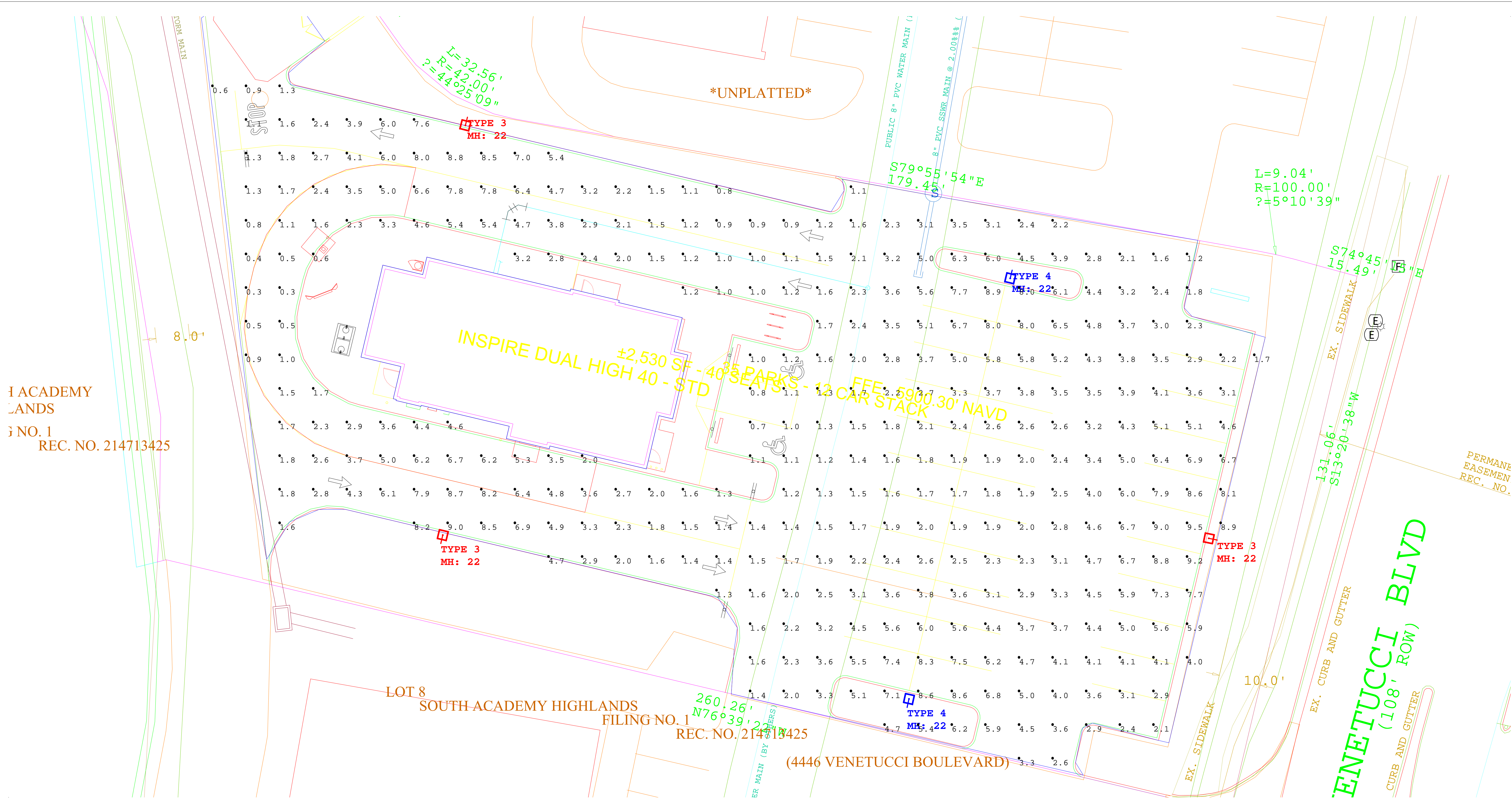
Flynn Restaurant Group
6200 Oak Tree Blvd, Suite 250
Independence, OH 44131

ARBY'S
South Academy Highlands
4446 Venetucci Blvd.
Colorado Springs, CO 80906

LANDSCAPE PLANTING

Date	Comment
Project Number	
Date	05/27/2022
Drawn By	EMS
Checked By	EMS/RM

LP-1



ACADEMY
LANDS
NO. 1
REC. NO. 214713425

LOT 8
SOUTH ACADEMY HIGHLANDS
FILING NO. 1
REC. NO. 214713425
(4446 VENETUCCI BOULEVARD)

ENETUCCI BLVD
(108' ROW)
EX. CURB AND GUTTER
EX. SIDEWALK
PERMANENT EASEMENT
REC. NO.

Luminaire Schedule							
Symbol	Qty	Label	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	3	TYPE 3	RxA-200-3-VS-4K	0.950	25151	200.66	601.98
	2	TYPE 4	RXA-200-4-VS-4K	0.950	24709	204.6	409.2

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING & DRIVE THRU_Planar	Fc	3.54	9.5	0.3	11.80	31.67

#	Date	Comments
Revisions		

Drawn By:
Checked By:
Date: 5/25/2022
Scale:

ARBY'S
FOUNTAIN, CO