SITE DEVELOPMENT PLANS FOR

MURPHY USA (NTI)

EL PASO COUNTY, COLORADO

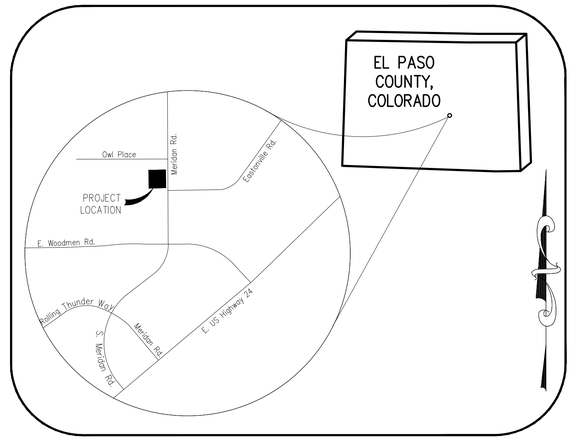
7825 MERIDIAN PARK DRIVE (MURPHY #7968)

SITE PLAN		
GENERAL DEVELOPMENT DATA		
SITE ADDRESS	7825 MERIDIAN PARK DRIVE, FALCON, CO 80831	
JURISDICTION	EL PASO COUNTY, COLORADO	
TAX SCHEDULE NUMBER	5301001015	
COUNTY FILE NUMBER	PPR-24-004	
SITE AREA/TOTAL ACREAGE	48,273 SF / 1.11 ACRES	
DEVELOPMENT SCHEDULE	FALL 2025	
REQUIRED SETBACKS	BUILDING	LANDSCAPE
	FRONT (NORTH): 0'	FRONT (NORTH): 0'
	REAR (SOUTH): 25'	REAR (SOUTH): 10'
	SIDE (EAST): 25'	SIDE (EAST): 25'
	SIDE (WEST): 25'	SIDE (WEST): 10'
TOTAL GROSS BUILDING SQUARE FOOTAGE	2,824 SF	
TOTAL LOT AREA	48,273 SF	
LOT AREA COVERAGE	5.89%	
LOCATION OF NO-BUILD AREAS	NO GRADING OR IMPROVEMENTS WILL BE OCCURRING IN ANY FLOOD PLAINS OR DRAINAGE AREAS.	
EXISTING DEVELOPMENT DATA		
ZONING DISTRICT	CS (COMMERCIAL)	
EXISTING LAND USE	SINGLE FAMILY RESIDENTIAL	
DRAINAGE BASIN	FALCON DBPS	
PROPOSED DEVELOPMENT DATA		
PROPOSED LAND USE	CONVENIENCE STORE, FUEL STATION	
FUELING PUMPS	6	
PROPOSED CANOPY HEIGHT	18'-9"	
PROPOSED BUILDING HEIGHT	18'-6"	
MAXIMUM ALLOWABLE BUILDING HEIGHT	45'	

PARKING INFORMATION: MURPHY OIL						
DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED:				
		RATIO	SPACES			
			REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL
RETAIL, GENERAL	2,824	1/250				
			11	N/A	1	12
STALL DIMENSIONS:		PROVIDED:				
9'X18' (MIN.)			SPACES			
		1/217	REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL
			12	12*	1	13
NO. OF FUEL ISLANDS: 6 NO. OF VEHICLE FUELING POINTS: 12						*NOT INCLUDED IN TOTAL COUNT

PRE-CONSTRUCTION IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	2,412.20	5.00
LANDSCAPE AREA	45,831.80	95.00
GROSS SITE	48,244.00	100

POST-CONSTRUCTION IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	30,598.09	63.42
LANDSCAPE AREA	17,645.91	36.58
GROSS SITE	48,244.00	100



Vicinity Map

NOT TO SCALE

PLAN INDEX:

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	SITE DETAILS

RESOURCE LIST:

PLANNING & ZONING
EL PASO COUNTY PLANNING
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT:
(719) 520-6300

CODE ENFORCEMENT
EL PASO COUNTY
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT:
(719) 520-6300

OWNER
MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
PM: GRANT DENNIS
(870) 315-3430

STORMWATER
EL PASO COUNTY DEPT. PUBLIC WORKS
3275 AKERS DR.,
COLORADO SPRINGS, CO 80922
CONTACT:
(719) 520-6460

HEALTH DEPARTMENT
EL PASO COUNTY PUBLIC HEALTH
1675 W. GARDEN OF THE GODS RD.,
SUITE 2044
COLORADO SPRINGS, CO 80907
(719) 578-3199

CIVIL ENGINEER
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
CONTACT: KYLE GOODWIN
(719) 900-7227

ELECTRIC
MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 E. WOODMEN RD.
FALCON, CO 80831
CONTACT: GINA PERRY
(800) 388-9881

FIRE
FALCON FIRE PROTECTION DISTRICT
7030 OLD MERIDAN ROAD
FALCON, CO 80831
CONTACT: TRENT HARWIG
(719) 495-4050

GEOTECHNICAL
UNITED CONSULTING
625 HOLCOMB BRIDGE RD.
NORCROSS, GA 30071
CONTACT: CHRIS ROBERDS
(770) 209-0029

SEWER & WATER
WOODMEN HILLS METRO DISTRICT
8046 EASTONVILLE ROAD
FALCON, CO 80831
CONTACT: CODY RITTER
(719) 495-2500

LANDSCAPE
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
CONTACT: JON ROMERO
(719) 308-2532

BUILDING CANOPY MANUFACTURER
FREY MOSS STRUCTURES
1801 ROCKDALE INDUSTRIAL BLVD.
CONYERS, GEORGIA 30012
CONTACT: JENNIFER GOODMAN
(770) 483-7543 EXT. 151

TANK AND PRODUCT PIPING
GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD SUITE 200
GREENWOOD VILLAGE, CO 80111
CONTACT: DAVE JONES
(303) 962-8506

BUILDING/CANOPY DESIGN
GREENBERG FARROW
3 EXECUTIVE DRIVE, SUITE 150
SOMERSET, NJ 08873
CONTACT: CHRIS CERBO
(732) 537-0832

GENERAL NOTES:

1. THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

2. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAVE LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.

LEGAL DESCRIPTION:

LOT 1, OWL MARKETPLACE FILING NO. 1, LOCATED IN THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO

OWNER'S STATEMENT

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE DEVELOPMENT PLAN.

GRANT DENNIS — DATE
MURPHY OIL USA, INC.

Approved
By: Justin Kilgore, AICP
Planning Division Manager
Date:06/23/2026
El Paso County Planning & Community Development

MEGGAN HERINGTON — DATE
EXECUTIVE DIRECTOR

GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD.
COLORADO SPRINGS, CO 80920
(719) 900-7227
CONTACT: KYLE GOODWIN, P.E.

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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NOT FOR CONSTRUCTION

Building Permits must match approved PPR. -JK

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MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

SITE DEVELOPMENT PLAN
MURPHY OIL USA #7968
PCD FILING NO. PPR-24-004

7825 MERIDIAN PARK DRIVE
EL PASO COUNTY, COLORADO

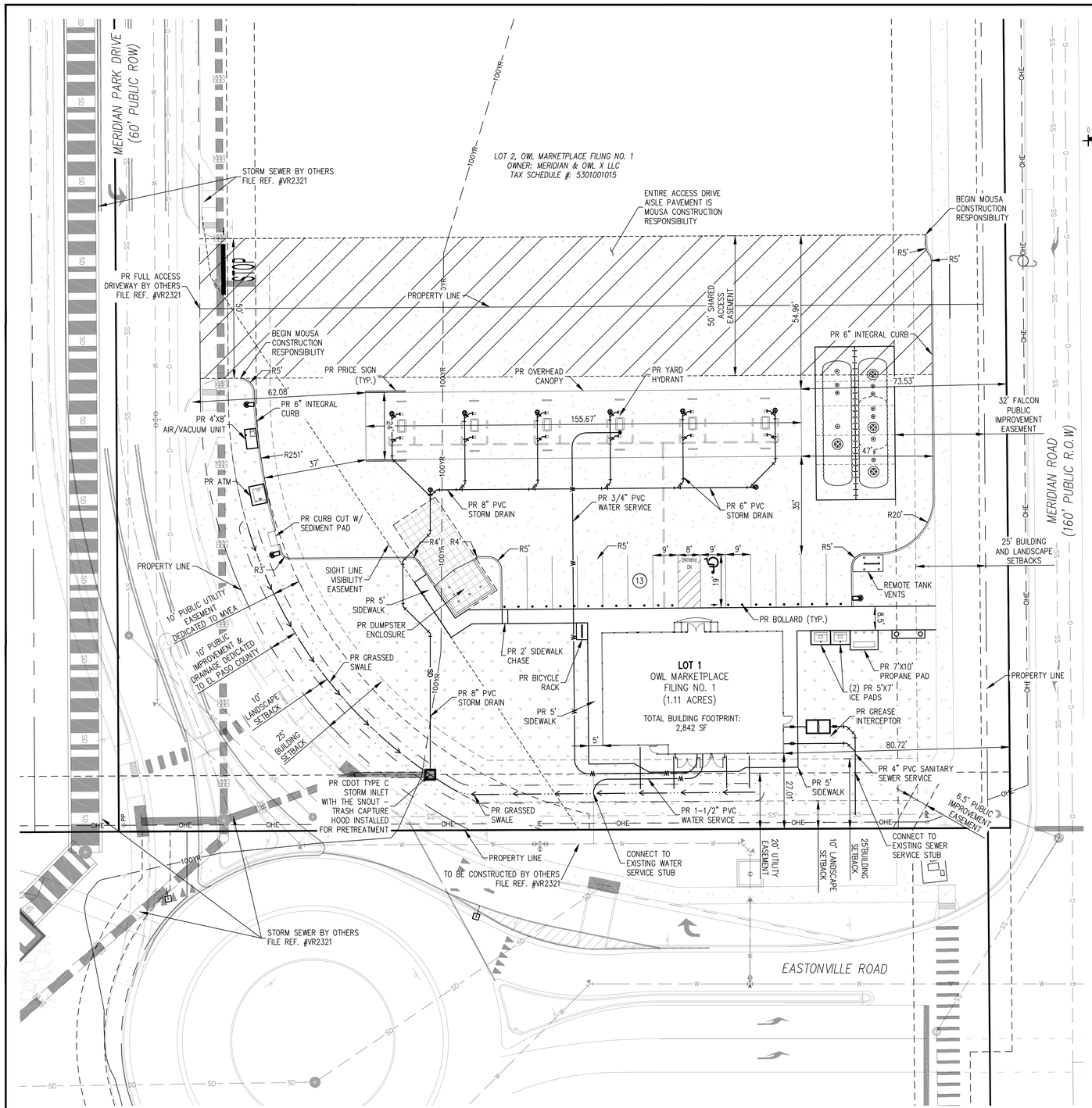
#	Date	Issue / Description	Init.

Project No:	MOC000099
Drawn By:	ASA, BLB
Checked By:	KG, CMWJ
Date:	5/15/2025

COVER SHEET

PCD FILE #: PPR244

C0.0
Sheet 1 of 3



BUILDING SETBACKS:		
NORTH:	BUILDING=0'	LANDSCAPE=0'
WEST:	BUILDING=25'	LANDSCAPE=10'
SOUTH:	BUILDING=25'	LANDSCAPE=10'
EAST:	BUILDING=25'	LANDSCAPE=25'

ZONING: CS (COMMERCIAL)

EXISTING

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER (LESS THAN 12"ø)
- STORM SEWER (BY OTHERS)
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- EXISTING FIBER OPTIC
- EXISTING GAS
- EXISTING 100-YEAR FLOODPLAIN
- EXISTING STREET LIGHT
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC BOX
- EXISTING FIBER OPTIC BOX
- EXISTING GAS METER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING TREE

PROPOSED

- BOUNDARY LINE
- BUILDING CONTROL POINT
- CONCRETE PAVING
- REINFORCED CONCRETE PAVING
- ASPHALT PAVING
- PROPOSED ADA PATH
- PROPOSED LANDSCAPE AREAS (SEE LANDSCAPE PLANS)
- PROPOSED STORM SEWER (LESS THAN 12"ø)
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED WATER SERVICE

Galloway
1155 Kelly Johnson Blvd., Suite 305
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MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730

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MURPHY OIL USA #7968
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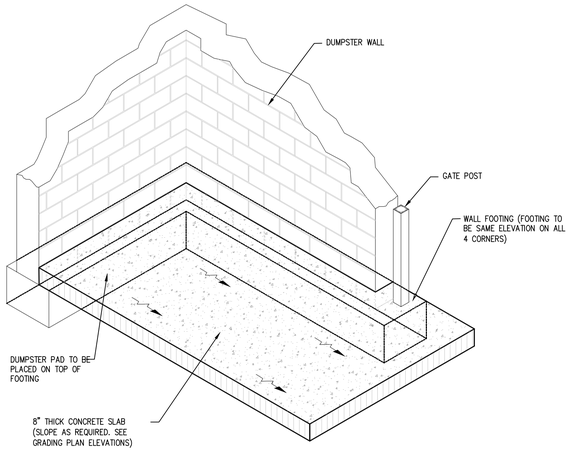
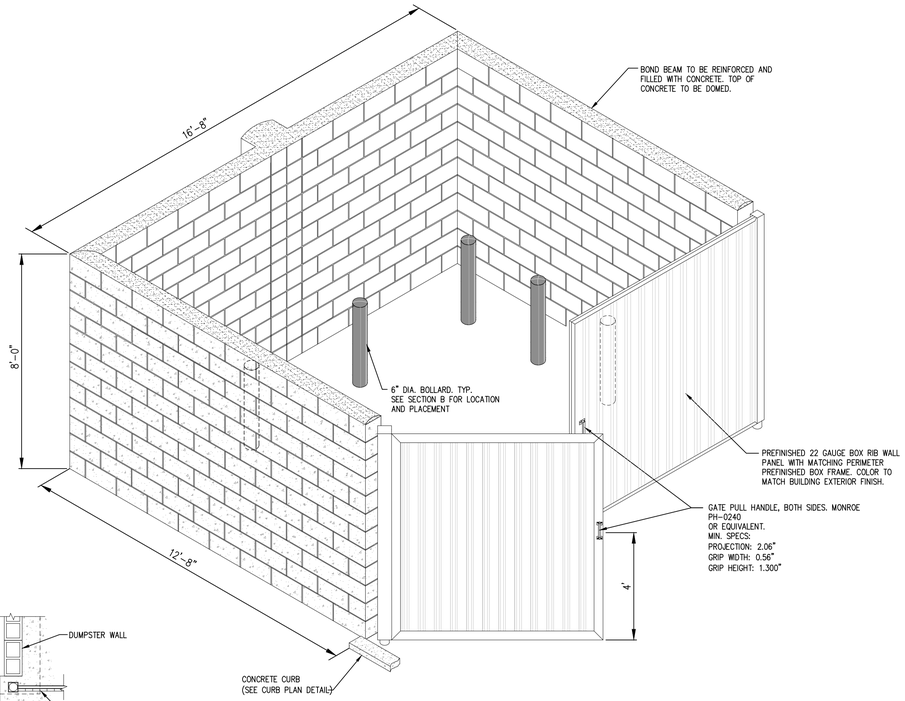
SITE PLAN

PCD FILE #: PPR244

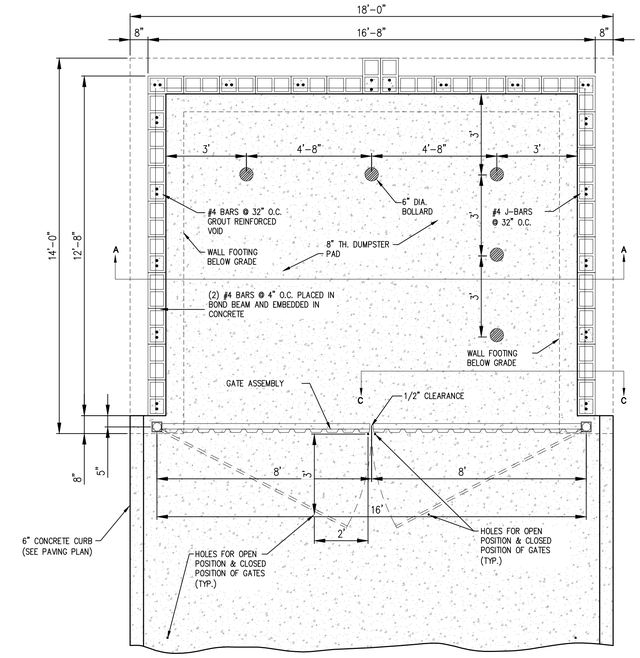
C1.1
Sheet 2 of 3



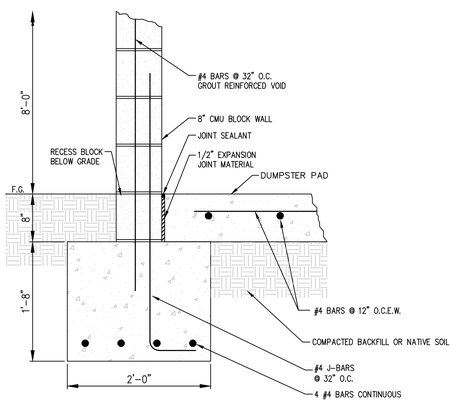
DUMPSTER PAD
N.T.S.



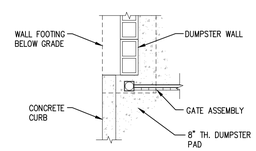
MASONRY CMU BLOCK 8"x8"x16" – DUMPSTER ENCLOSURE
DESIGN WIND SPEED: 130 M.P.H.



SECTION B
DUMPSTER FOUNDATION PLAN
SCALE: 3/8" = 1'-0"

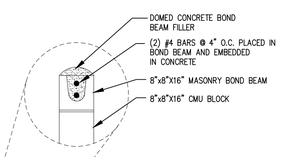


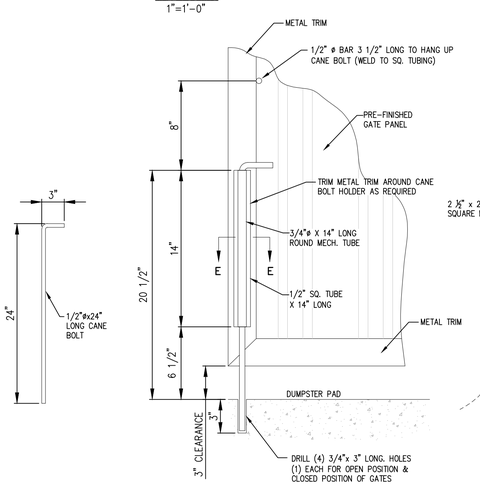
WALL FOOTING
1"=1'-0"

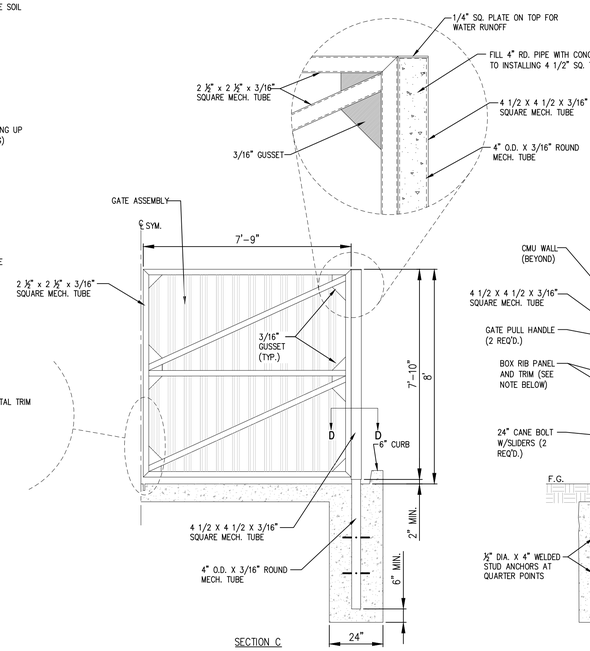


CURB PLAN DETAIL
N.T.S.

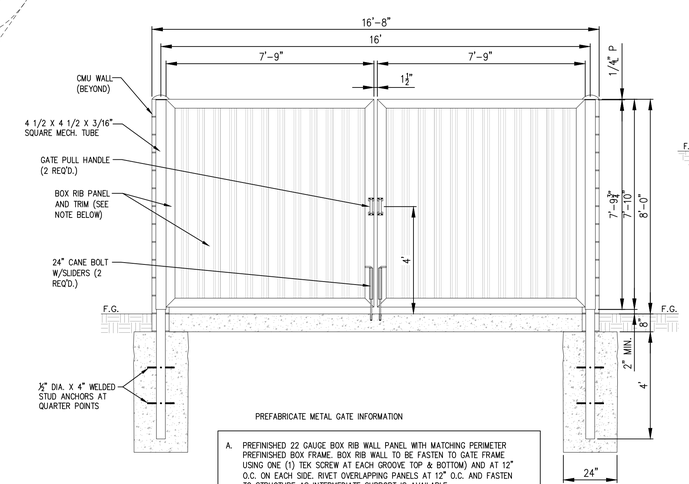
DUMPSTER TO BE:
- 8' HT. SMOOTH FACE CMU BLOCK WALL. COLOR TO MATCH BUILDING EXTERIOR FINISH
- ENDURAMAX PRE-BLENDED MORTAR (GROUT), COLOR "GRAY"







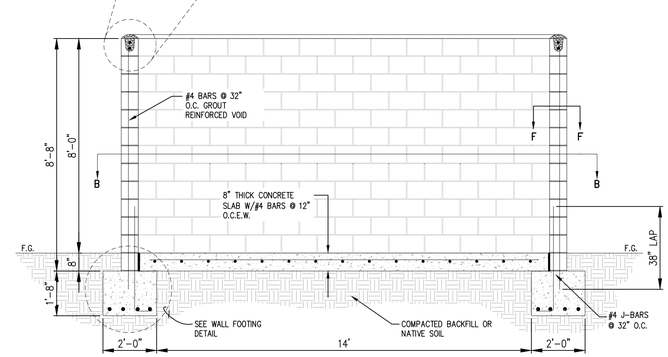
SECTION C



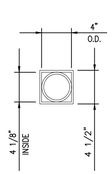
PREFABRICATE METAL GATE INFORMATION

A. PREFINISHED 22 GAUGE BOX RIB WALL PANEL WITH MATCHING PERIMETER PREFINISHED BOX FRAME. BOX RIB WALL TO BE FASTEN TO GATE FRAME USING ONE (1) TEK SCREW AT EACH GROOVE TOP & BOTTOM) AND AT 12" O.C. ON EACH SIDE. RIVET OVERLAPPING PANELS AT 12" O.C. AND FASTEN TO STRUCTURE AS INTERMEDIATE SUPPORT IS AVAILABLE

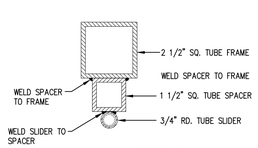
DUMPSTER GATE ELEVATION
SCALE: 3/8" = 1'-0"



SECTION A
DUMPSTER FOUNDATION SECTION
SCALE: 3/8" = 1'-0"



SECTION D



SECTION E

FINISH OF FRAMING (ALL EXPOSED METAL SURFACES) – UPON PREPARATION AND CLEANING PER PAINT MANUFACTURER'S RECOMMENDATIONS, CONTRACTOR SHALL UTILIZE THE FOLLOWING COATINGS:

1. PRIMER COAT – CPS-26 ZINC CHROMATE PRIMER (3 TO 4 MILS DFT)
2. FINISH COAT – 100 SERIES INDUSTRIAL ALKYD ENAMEL W/ HARDNER ADDITIVE (3 TO 5 MILS DFT) – COLOR – BLACK

DUMPSTER ENCLOSURE GATE DETAIL
N.T.S.

CMU DUMPSTER ENCLOSURE (METAL GATES) 2E

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
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MURPHY USA

SITE DEVELOPMENT PLAN
MURPHY OIL USA #7968
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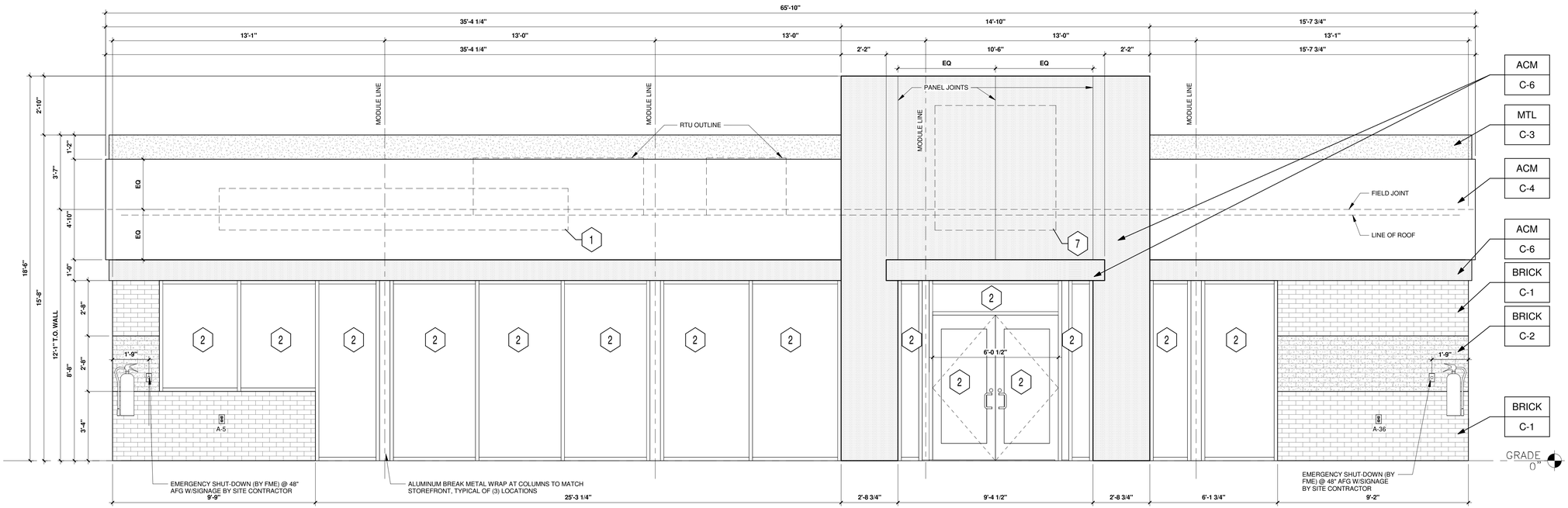
SITE DETAILS

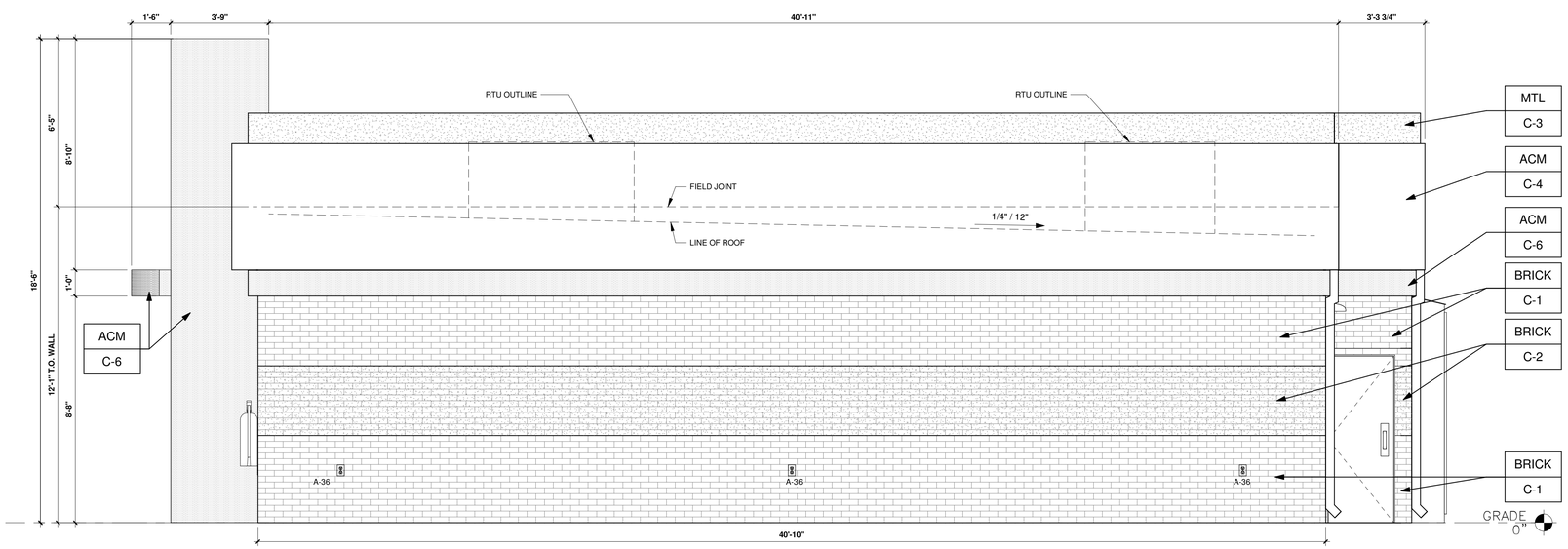
PCD FILE #: PPR244

C2.1
Sheet 3 of 3

ALL SIGNAGES UNDER A SEPARATE PERMIT



1 NORTH ELEVATION
3/8" = 1'-0"



2 WEST ELEVATION
3/8" = 1'-0"

KEYED NOTES:

1	ROUTED LETTER LOGO SIGNAGE	BY FMS
2	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL	C-7
3	EXTERIOR LIGHTING, REFER TO LIGHTING PLAN	SHEET EL2
4	4" x 4" PAINTED METAL DOWNSPOUTS	C-3
5	DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED	C-3
6	OPEN	
7	MURPHY STAR LOGO SIGNAGE	BY SIGN CONTRACTOR

EXTERIOR FINISHES:

ACM	ACM (3MM THICKNESS)	BY FMS
BRICK	THIN BRICK	BY FMS
MTL	20 GA. SHEET METAL (UNLESS NOTED OTHERWISE)	BY FMS

EXTERIOR PAINT/COLORS:

C-1	THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT	BY FMS
C-2	THIN BRICK VENEER - IVORY BLEND VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT	BY FMS
C-3	'DORMER BROWN' SW #7521	BY FMS
C-4	REYNOBOND #4 NATURAL BRUSHED ALUMINUM BY ARCONIC	BY FMS
C-5	OPEN	
C-6	'PROGRAM RED' BY ALPOLIC	BY FMS
C-7	CLEAR ANODIZED ALUMINUM STOREFRONT	BY FMS

www.greenbergfarrow.com
251 West 30th Street
10th Floor
New York, New York 10001
t: 917.689.2729

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ISSUE RECORD

DATE	REV.	DESCRIPTION
12/28/2023		ENTITLEMENT SET

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
SCOTT LOIKITS

PROJECT MANAGER
RASHMIKA PATEL

QUALITY CONTROL
CHRIS CERBO

DRAWN BY
SS

PROJECT NAME

MURPHY USA

MURPHY OIL CONVENIENCE STORE

MERIDIAN RD & EASTONVILLE RD, FALCON COLORADO 80831

FREY-MOSS STRUCTURE

1801 Rockdale Industrial Blvd.
Conyers, Georgia 30012
Voice: (800) 366-6385
Fax: (770) 483-6037

FMS JOB NUMBER
GXXMUXXXXX

FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230059.5

SHEET TITLE

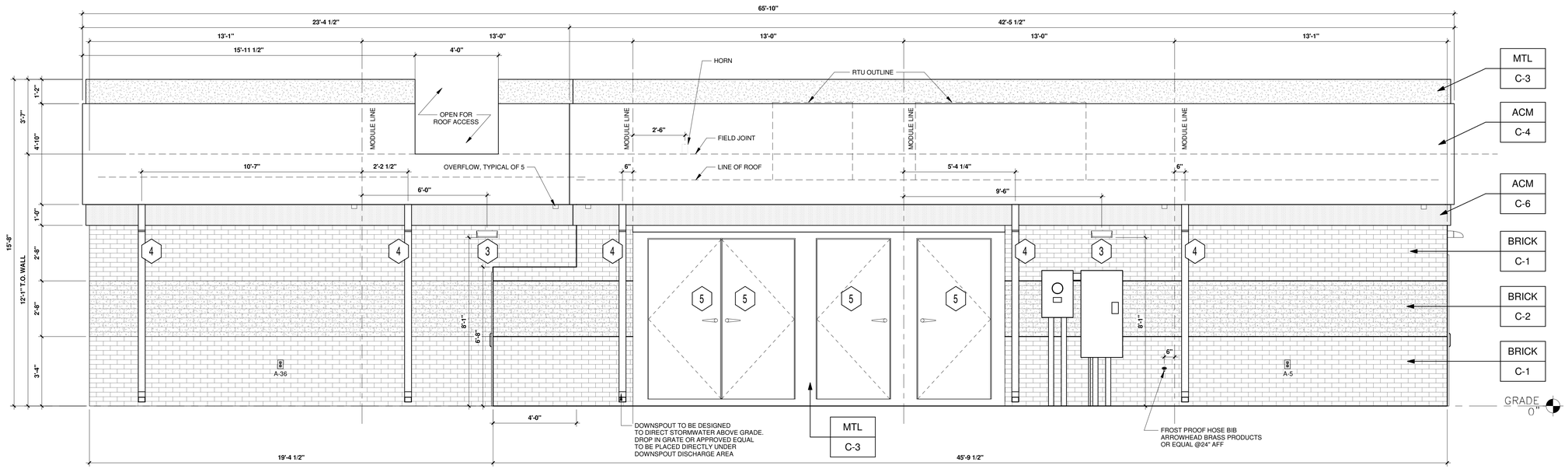
ARCHITECTURAL ELEVATIONS (BUILDING)

SHEET NUMBER

01

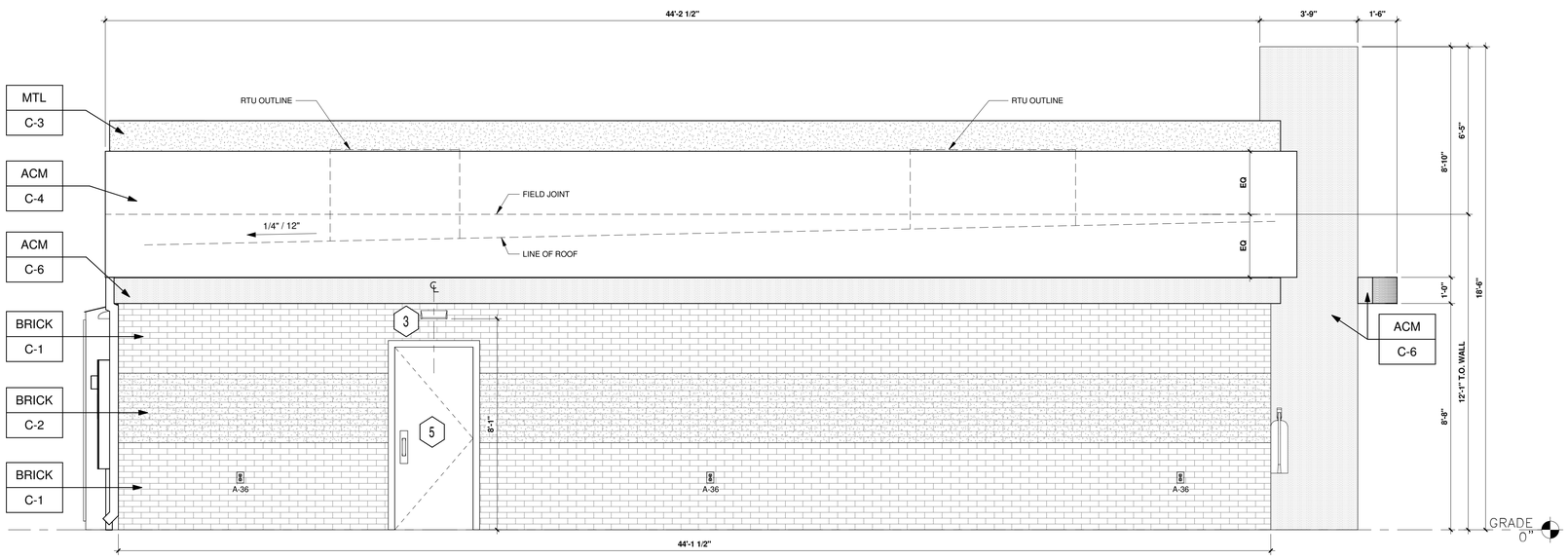
PROTO V3.1 03/01/2023
2800 SQ. FT. BUILDING

ALL SIGNAGES UNDER A SEPARATE PERMIT



3 SOUTH ELEVATION - EASTONVILLE ROAD

3/8" = 1'-0"



4 EAST ELEVATION - MERIDIAN ROAD

3/8" = 1'-0"

KEYED NOTES:

1	ROUTED LETTER LOGO SIGNAGE	BY FMS
2	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM KAWNEER, YKK OR EQUAL	C-7
3	EXTERIOR LIGHTING, REFER TO LIGHTING PLAN	SHEET EL2
4	4" x 4" PAINTED METAL DOWNSPOUTS	C-3
5	DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED	C-3
6	OPEN	
7	MURPHY STAR LOGO SIGNAGE	BY SIGN CONTRACTOR

EXTERIOR FINISHES:

ACM	ACM (3MM THICKNESS)	BY FMS
BRICK	THIN BRICK	BY FMS
MTL	20 GA. SHEET METAL (UNLESS NOTED OTHERWISE)	BY FMS

EXTERIOR PAINT/COLORS:

C-1	THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT	BY FMS
C-2	THIN BRICK VENEER - IVORY BLEND VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREBLENDED GREY COLOR GROUT	BY FMS
C-3	'DORMER BROWN' SW #7521	BY FMS
C-4	REYNOBOND #4 NATURAL BRUSHED ALUMINUM BY ARCONIC	BY FMS
C-5	OPEN	
C-6	'PROGRAM RED' BY ALPOLIC	BY FMS
C-7	CLEAR ANODIZED ALUMINUM STOREFRONT	BY FMS

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ISSUE RECORD

DATE	REV.	DESCRIPTION
12/28/2023		ENTITLEMENT SET

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
SCOTT LOIKITS

PROJECT MANAGER
RASHMIKA PATEL

QUALITY CONTROL
CHRIS CERBO

DRAWN BY
SS

PROJECT NAME

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MURPHY OIL CONVENIENCE STORE

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FMS JOB NUMBER
GXXMUXXXXX

FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230059.5

SHEET TITLE

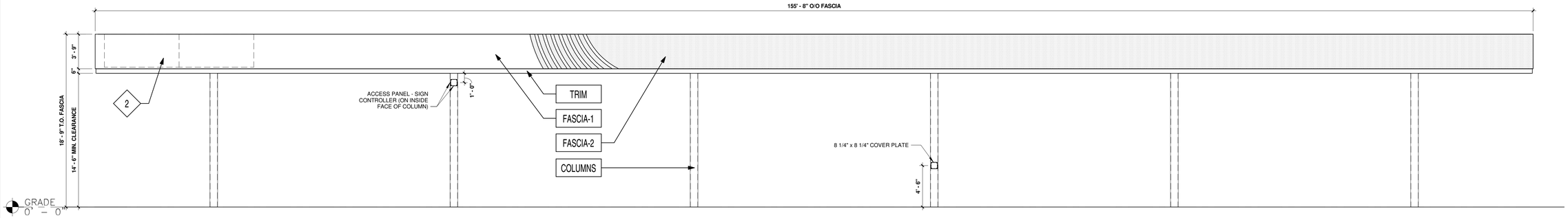
ARCHITECTURAL ELEVATIONS (BUILDING)

SHEET NUMBER

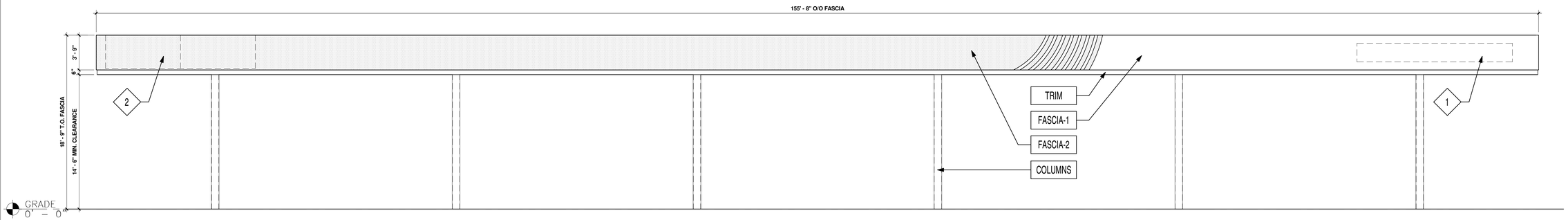
02

PROTO V3.1 03/01/2023
2800 SQ. FT. BUILDING

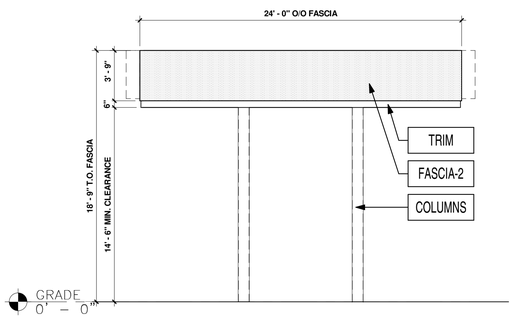
ALL SIGNAGES UNDER A SEPERATE PERMIT



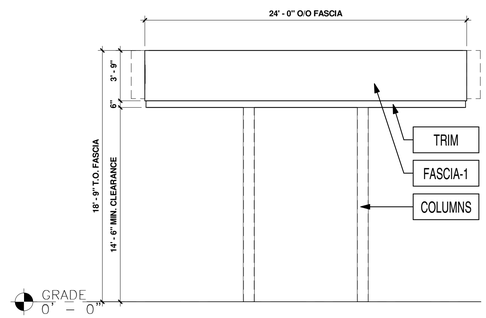
1 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION - EASTONVILLE ROAD
3/16" = 1'-0"



3 WEST ELEVATION
3/16" = 1'-0"



4 EAST ELEVATION - MERIDIAN ROAD
3/16" = 1'-0"

KEYED NOTES				
1	MURPHY LOGO SIGN	**FINISH SCHEDULE**		
2	CANOPY PRICE SIGNS	FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA "BRUSHED ALUMINUM"	FURNISHED & INSTALLED BY FMS
		FASCIA-2	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA "PROGRAM RED"	FURNISHED & INSTALLED BY FMS
		TRIM	20 GA. SHEET METAL	6" HT PRE-FINISHED METAL ACCENT BAND "PURE WHITE" SW #7005	FURNISHED & INSTALLED BY FMS
		COLUMNS	SEE STRUCTURAL DRAWINGS	PAINTED 'DORMER BROWN' SW #7521	FURNISHED & INSTALLED BY FMS

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ISSUE RECORD

DATE	REV.	DESCRIPTION
12/28/2023		ENTITLEMENT SET

PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE
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PROJECT MANAGER
RASHMIKA PATEL

QUALITY CONTROL
CHRIS CERBO

DRAWN BY
SS

PROJECT NAME

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MURPHY OIL FUEL FACILITY CANOPY

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FMS JOB NUMBER
GXXMUXXXXX

FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230059.5

SHEET TITLE

ARCHITECTURAL ELEVATIONS (CANOPY)

SHEET NUMBER

03

PROTO V6.1 03/01/2023

EXIT REQUIREMENTS: (NUMBER AND ARRANGEMENT OF EXITS)

TRAVEL DISTANCE

ALLOWABLE TRAVEL DISTANCE WITHOUT SPRINKLER: 200 FT. (TABLE 1017.2)

MAXIMUM PROVIDED TRAVEL DISTANCE: 96'-7"

COMMON PATH OF TRAVEL

REQUIRED COMMON PATH OF TRAVEL DISTANCE WITHOUT SPRINKLER	ACTUAL COMMON PATH OF TRAVEL DISTANCE
75'-0"	42'-9"

MINIMUM NO. OF EXITS

REQUIRED: 1

PROVIDED: 2

ARRANGEMENT MEANS OF EGRESS

REQUIRED DISTANCE BETWEEN EXIT DOORS

DISTANCE BETWEEN EXITS SHALL BE EQUAL OR NOT LESS THAN 1/2 OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED - MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS (SECTION 1007.1.1)

ACTUAL STRAIGHT LINE DISTANCE BETWEEN EXITS

EXIT #1 TO #2 = 52'-6"

ACTUAL STRAIGHT LINE ACROSS PUBLIC AREA:

DIAGONAL AT PUBLIC AREA = 77'-6"
1/2" DIAGONAL = 38'-9"

CONCLUSION:

52'-6" (STRAIGHT DISTANCE) IS GREATER THAN 38'-9" (1/2 DIAGONAL DISTANCE) MEETS CODE

GENERAL NOTES

1. MEANS OF EGRESS SHALL BE ILLUMINATED WITH AT LEAST ONE-FOOT CANDLE AT THE FLOOR LEVEL (WALKING SURFACE). REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

LEGEND:

= ROUTE FROM THE MOST REMOTE LOCATION IN ROOM OR SPACE TO NEAREST EXIT

= DIAGONAL DISTANCE OF THE BUILDING AREA

= STRAIGHT LINE DISTANCE BETWEEN EXISTS

= MOST REMOTE POINT WITHIN THIS AREA

= ILLUMINATED EXIT SIGN AND EMERGENCY LIGHT COMBO. REFER TO ELECTRICAL PLAN FOR MORE INFO.

(E) = EXIT DISCHARGE LIGHT. REFER TO ELECTRICAL PLAN FOR MORE INFO.

ACCESSIBILITY SIGNS (FURNISHED AND INSTALLED BY GC):

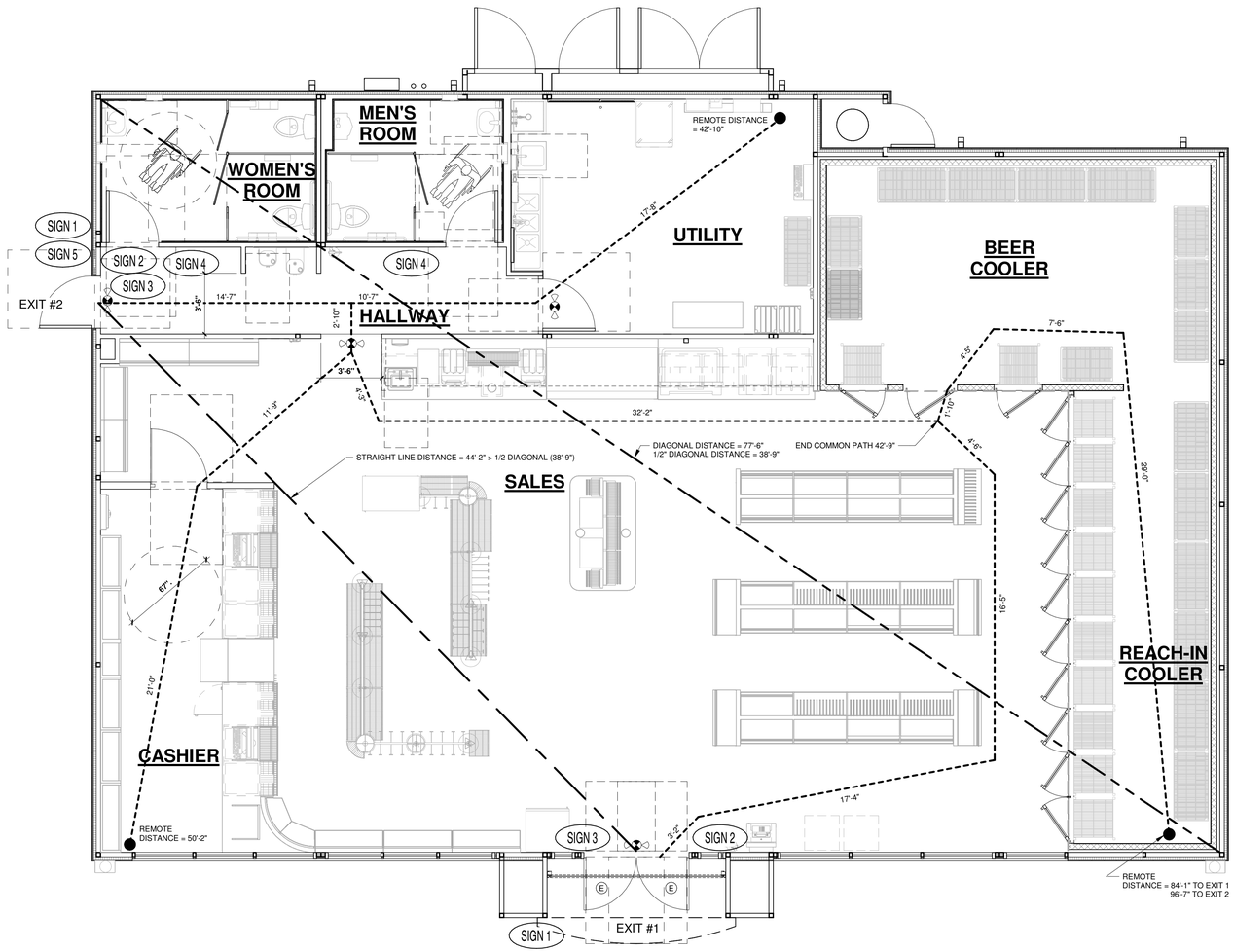
SIGN 1	INTERNATIONAL SYMBOL OF ACCESSIBILITY
SIGN 2	'THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED' LETTER MIN. 1" HIGH SIGN MOUNTED ABOVE DOOR
SIGN 3	TACTILE EXIT SIGN - SHALL COMPLY WITH SECTION 703.3 ICC/ANSI 117.1 2017
SIGN 4	RESTROOM SIGNAGE
SIGN 5	EMPLOYEES ONLY

NOTES:

INSPECTOR MAY REQUIRE ADDITIONAL EXIT SIGNS AT THE TIME OF FINAL INSPECTION.

ACCESSIBILITY NOTES:

1. ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES.
2. THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX. - GROSS SLOPE OF 2%
3. WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT.
4. PROVIDE A 60"x60" MIN. LANDING ON STRIKE SIDE OF DOOR W/ 44" MIN. WIDTH IN DIRECTION OF TRAVEL.
5. WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.
6. THE SLOPE OF RAMPS SHALL NOT EXCEED 1'-0" IN 12'-0" U.N.O.
7. RAMPS SHALL HAVE A NON-SLIP SURFACE.
8. RAMPS SHALL BE 48" WIDE MIN.
9. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3 FT. WIDE BY NOT LESS THAN 6"-8" HIGH CAPABLE OF OPENING 90° AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32" MIN.
10. THRESHOLD TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.
11. MAXIMUM EFFORT TO OPERATE INTERIOR DOORS SHALL NOT EXCEED 5 LBS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECT TO A 15 POUND FORCE, THE DOOR SHALL BE SET IN MOTION WHEN SUBJECT TO 30 POUND FORCE, THE DOOR SHALL SWING TO FULL-OPEN POSITION WHEN SUBJECT TO A 15 POUND FORCE.
12. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
13. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH - PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.)
14. EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, FLUSH OR SURFACE BOLTS SHALL BE AUTOMATIC TYPE. LOCKABLE DOORS SHALL BE PROVIDED WITH A SIGN STATING "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IN MIN. 1" HIGH LETTERS.
15. EXIT SIGNS WHERE NOTED OR REQUIRED SHALL BE WORDED "EXIT" IN LETTERS HAVING THE PRINCIPAL STROKE OF NOT LESS THAN 3/4" WIDE AND 6" HIGH AND SHALL CONFORM TO ALL APPLICABLE CODES.
16. PROVIDE ILLUMINATED EXIT SIGNS AND EMERGENCY LIGHTING AT ALL EXIT CORRIDORS AS REQUIRED BY CODE. EMERGENCY LIGHTING SHALL PROVIDE ILLUMINATION OF ONE FOOT CANDLE AT FLOOR LEVEL.
17. DOORS TO ACCESSIBLE SANITARY FACILITIES SHALL BE IDENTIFIED BY 1/4" THICK GEOMETRIC SYMBOLS OF CONTRASTING COLOR.
18. POST INTERNATIONAL SYMBOL OF ACCESSIBILITY ON OR ADJACENT TO ALL ACCESSIBLE BUILDING ENTRANCES.



1 EGRESS/ACCESSIBILITY FLOOR PLAN
1/4" = 1'-0"

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ISSUE RECORD

DATE	REV.	DESCRIPTION
05/27/2025		PERMIT SUBMISSION SET

PROFESSIONAL SEAL

STATE OF COLORADO
SCOTT MICHAEL LOIKITS
INCORPORATED
LICENSED ARCHITECT
5.27.25

PROFESSIONAL IN CHARGE
SCOTT LOIKITS

PROJECT MANAGER
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QUALITY CONTROL
CHRIS CERBO

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PROJECT NAME

MURPHY USA

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FMS JOB NUMBER
G25MU00062

FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230059.5

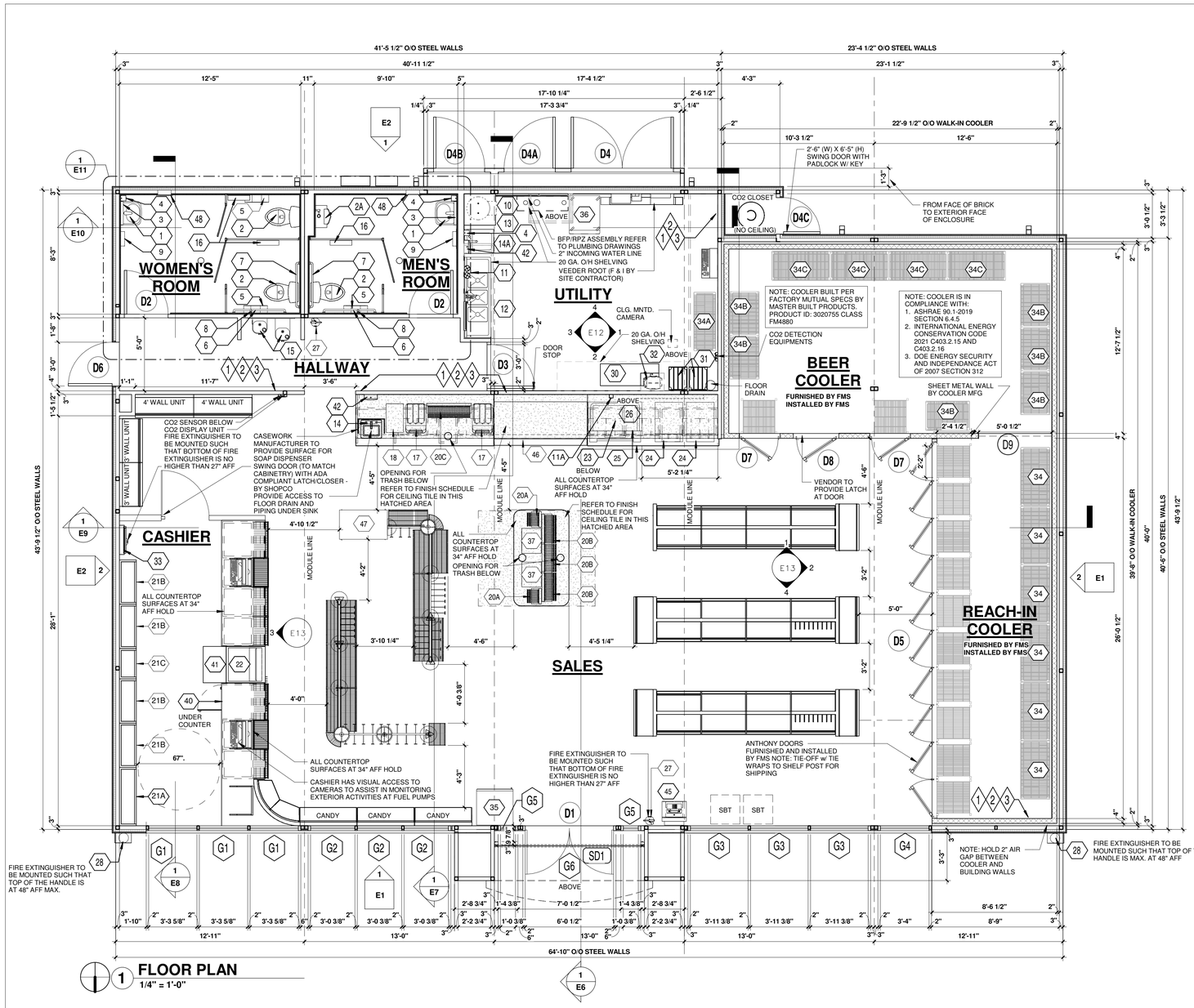
SHEET TITLE

EGRESS/ACCESSIBILITY FLOOR PLAN

SHEET NUMBER

A2

PROTO V4.0 06/28/2024
2800 SQ. FT. BUILDING



1 FLOOR PLAN
1/4" = 1'-0"

NOTES

1. ALL PULL DIMENSIONS ARE TAKEN FROM OUTSIDE OF THE STEEL BASE FRAME OF THE BUILDING.
2. CASHIER COUNTERS, P.O.S. RACKS AND COFFEE COUNTERS TO BE FURNISHED AND INSTALLED BY CABINET SUPPLIER.
3. D1 DOORS TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED. OWNER TO PROVIDE SIGNAGE ON SITE
4. TOILETS, URINALS, HAND SINKS, 3 COMPARTMENT SINKS, MOP SINK, PREP SINKS AND PERMANENT COUNTERS/CABINETS MUST BE SEALED TO FLOORS AND WALLS WITH A SILICONE CAULK SEALANT.
5. ACM BOTTOM TRIM TO BE CUT BACK AT DOOR THRESHOLD AND STOREFRONT FRAMING SILLS THAT MEET SITE CONCRETE SURFACES SO THAT THE SITE CONCRETE SURFACES MAY BE POURED BELOW THRESHOLD AND STOREFRONT WINDOW SILLS.

1 STATE LABEL LOCATION

2 MFG. DATA PLATE LOCATION

3 3RD PARTY INSPECTION LABEL LOCATIONS

CO2 ALARM AND VENTING: FINAL LOCATIONS BY CO2 VENDOR

CO2 SENTRY - AIRGAS -
AIR GAS TO SUPPLY AND INSTALL VENT/EXHAUST LINE FROM BIB RACK AREA TO CO2 CLOSET. AEROSPHERE CO2 MONITOR, PRIMARY: MODEL RVL01-17, SECONDARY: MODEL RVL02-17 SOFT DRINK VENDOR TO MANIFOLD ALL THE SOFT DRINK BIBS VENTS/EXHAUST TOGETHER AND ICEE VENDOR WILL MANIFOLD ICEE BIBS VENT/EXHAUST AND TEE INTO THE SOFT DRINK VENDORS LINE. ALL VENT/EXHAUST LINES TO BE SECURELY ATTACHED AND AT CO2 CLOSET LINES TO BE TURNED DOWN TO PREVENT WATER FROM ENTERING LINES.

EQUIPMENT SCHEDULE

wt	ITEM	DESCRIPTION	FURNISH	INSTALL
			<varies>	<varies>
1	LAVATORY - ADA COMPLIANT	LAVATORY - AMERICAN STANDARD DECLYN 19" x 17" WALL MOUNTED OR EQUAL W/ NO BACK-SPLASH FAUCET - ZURN #Z6615-FS-SENSOR ACTIVATED, CENTERSET ON DRAIN w/ 0.5 GPM AERATOR w/ ASSE 1070 APPROVED MIXING VALVE - SLOAN #MIX-135-A	FMP	FMP
2	WATER CLOSET - ADA COMPLIANT	WATER CLOSET - ZURN #Z-5555- ELONGATED BOWL, TANK WITH LOCKING LID - ZURN #Z5535/45/55TNKWVL	FMP	FMP
2A	URINAL	ZURN Z5755-U, ADA DESIGNED WITH ZURN LOW FLOW FLUSH VALVE (0.5 GPF) MODEL # ZTR6203-EWS-LL POWERED BY 4 "AA" LONG LIFE BATTERIES	FMP	FMP
3	MIRROR	#B-1556 18" x 36" FRAMELESS (OR EQUAL) 40" AFF TO BOTTOM OF REFLECTIVE SURFACE	FMS	FMS
4	SOAP DISPENSER	GP 52057	OWNER	GC
5	TOILET TISSUE DISPENSER	TSN #573700013 STUB TISSUE DISPENSER, 9" ROLL	FMS	FMS
6	42" GRAB BAR	1 1/2" ROUND GRAB BAR, 34" A.F.F. TO CENTER OF BAR	FMS	FMS
7	36" GRAB BAR	1 1/2" ROUND GRAB BAR, 34" A.F.F. TO CENTER OF BAR	FMS	FMS
8	18" GRAB BAR	1 1/2" ROUND GRAB BAR	FMS	FMS
9	ELECTRIC HAND DRYER	XLERATOR MODEL # XL-BW, THERMOSET RESIN w/ ADA RECESS KIT	FMS	FMP
10	SERVICE MOP SINK	FIAT #MSB2424 ON FLOOR MOP SINK W/ FIAT #830AA SERVICE SINK FAUCET @ 36" AFF.	FMP	FMP
11	WATER FILTERS	3M WATER FILTRATION SYSTEM AQUAPURE DP290	FMP	FMP
11A	ECO3ICE	ECO3ICE – ANTIMICROBIAL ICE PROTECTION. MODEL NO ECO3ICE X4. APPROXIMATELY 3.8"L X 3.6"W X 8.0" H(X4). 100-240V, 50/60 HZ FOR PROVIDED 24V, 1.25A TRANSFORMER (INTEGRATED INTO POWER CORD). 3/8" OD PUSH/PULL WATER LINE CONNECTION. TO BE INSTALLED IN THE WATER SUPPLY LINE BETWEEN FILTERATION SYSTEM AND ICE MACHINE.	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
12	3-COMP SINK	ELKAY SSP - #3C10X14-2-16X, 66" GREENWORLD W/ ZURN, #Z8000X0-AF-PR1, PRE-RINSE HOSE ASSEMBLY	FMP	FMP
13	WATER HEATER	RHEEM #E20A-12-G 20 GALLON, 240V SINGLE PHASE, 12000 WATTS WITH WATTS #PLT-5, 2.1 GALLON EXPANSION TANK, 98% MAXIMUM RECOVERY EFFICIENCY	FMP	FMP
14	HANK SINK	ADVANCED TABCO D1-1-35 DROP-IN SINK WITH ASSE 1070 APPROVED MIXING VALVE - SLOAN #MIX-135-A @ BEVERAGE COUNTER WITH ADA COMPLIANT HANDLES	OWNER	GC
14A	HAND SINK	@ UTILITY ROOM WITH SPLASH MOUNT GOOSENECK FAUCET & BASKET TYPE DRAIN	FMP	FMP
15	DRINKING FOUNTAIN	ADA WALL MOUNTED DRINKING FOUNTAINS - SEE PLUMBING DRAWINGS	FMP	FMP
16	PURSE SHELF	GAMCO MS SHELF MODEL NO. MS-18 OR EQUAL, 18"L x 4"W x 1-1/4"H WITH COAT HOOK BELOW (SEE INTERIOR RESTROOM ELEVATION)	FMS	FMS
17	COFFEE BREWER	BUNN FAST CUP, BEAN-TO-CUP BTC FAST CUP 55400.0103 COFFEE	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
18	CAPPUCINO MACHINE	CURTIS G3 PRIMO CAPPUCCINO DISPENSING SYSTEM MODEL PCGT3 (3 STATION DISPENSER) 14 1/4"W X 23.63"D X 34.75"H 120/60Hz 1800W/15 AMP NEMA 5-15P, 1/4" FLARE WATER INLET	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
20A	COUNTER TOP MERCHANDISER	12" COUNTER TOP MERCHANDISER	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
20B	COUNTER TOP MERCHANDISER	24" COUNTER TOP MERCHANDISER	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
20C	COUNTER TOP MERCHANDISER	36" COUNTER TOP MERCHANDISER	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
21A	48" CIGARETTE RACK	(11) 4" PACK PUSHER SHELVES, (1) ENHANCED LIT HEADER (2) BLACKOUT DOORS	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
21B	36-3/8" CIGARETTE RACK	(6) 3' STORAGE SHELVES, (1) 3' ENHANCED LIT HEADER, (2) 18" BLACKOUT DOORS	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
21C	25" E-CIG RACK	(10) 2' SOLID TOP PUSHER SHELVES, (1) 2' ENHANCED LIT HEADER	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
22	OPEN AIR COOLER	BEVERAGE-AIR OPEN-AIR CURTAIN MERCHANDISER MODEL BZ13-1-B WITH PRICE TAG MODELING, 4 SHELVES 115V/60/1,1/2 HP 15 AMP DEDICATED OUTLET 30"W X 32 3/4"D X 54 3/8"H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
23	CARBONATOR	MCCANN'S E SERIES CARBONATOR. E400397, 115V 60HZ, 180-OUNCE SS TANK IN CABINET BELOW	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
24	ICEE MACHINE	VIPER ELITE HIGH INPUT 38 ICEE MACHINE, 22.75"W X 32.5"D X 37"H, 230V +/- 15V 60HZ, 30a, SINGLE PHASE; NEMA L6-30P MOLDED PLUG CONNECTION, INCLUDE WITH BUCK BOOST TRANSFORMER ACCESSORY	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
25	LANCER TWIN POUR MACHINE	LANCER TWIN POUR MACHINE w/ ICE MACHINE ADAPTER 39.375"H X 44"W X 31"D	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
26	ICE MACHINE	HOSHIZAKI KM-520MAJ (AIR COOLED) REMOTE TOP MOUNT ICE MACHINE 115V / 60HZ / 1, 10.6AMP.	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
27	FIRE EXTINGUISHER	WALL HUNG FIRE EXTINGUISHER #10 CLASS ABC WITH UL RATING 4A-60BC. LOCATION TO BE CONFIRMED IN FIELD WITH LOCAL FIRE INSPECTOR.	OWNER	GC
28	FIRE EXTINGUISHER	WALL HUNG FIRE EXTINGUISHER IN CABINET, ANSUL C20 #429017	OWNER	GC
30	LANCER TWIN POUR BIB RACK	5 STACKED INCLINED - 48"D X 18"D X 78"H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
31	ICEE BIB RACK	3 STACKED X ONE (1) BOX WIDE INCLINED 15"W X 19"D X 12"H EACH	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
32	WATER BOOSTER	MCCANN'S WATER BOOSTER, 115V 60Hz, 2-GALLON SS TANK, 3/8" INLET/ OUTLET FITTINGS. MODEL #16-2171. 14.5"W X 14.00"D X 9.5"H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
33	PERMIT CASE	ACCO BRANDS USA QUARTET CLASSIC ENCLOSED CORK BULLETIN BOARD 36" X 24" ITEM #920108	OWNER	GC
34	FOCUS WIRE SHELVING	METRO SUPER ELECTRA SHELF 24" D X 48" W X 78" H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
34A	FOCUS WIRE SHELVING	METRO SUPER ELECTRA SHELF 18" D X 48" W X 72" H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
34B	FOCUS WIRE SHELVING	TECHNIBILT COOLER SHELF 24" D X 36" W X 78" H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
34C	FOCUS WIRE SHELVING	TECHNIBILT COOLER SHELF 24" D X 48" W X 78" H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
35	UPRIGHT FREEZER	TRUE GDM - 26F	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
36	REFRIGERATOR	TURBO AIR MODEL #M3F24-2-N, SERVING DOOR-2, 21.7 CU.FT., 1/2 HP, 4.4 AMPS, 28 3/4"L X 30 3/4"D X 78"H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
37	MICROWAVE	SHARP R-21 LVF, R-21 LTF MEDIUM DUTY COMMERCIAL MICROWAVE OVENS	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
40	SAFE	TIDEL - SERIES 4 + TUBE VEND, 22"W X 18"-6"D X 30 3/4"H	EQUIPMENT INSTALLER	GC
41	LOTTERY UNIT	SCHAFER SYSTEM INC. 35/36 GAME ALL-IN-ONE-UNIT. 27.5"W X 23"D X 32"H WITH LIGHTS PLUG INTO EXISTING RECEPT IN SALES COUNTER	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
42	PAPER TOWEL DISPENSER	GP PRO UNIVERSAL PUSH-PADDLE, MODEL #999592 14 7/16"L X 12 1/2"W X 10 5/8" H	OWNER	GC
45	ATM	MONIMAX, 5000 CE/ 5300 XP	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
46	SANDWICH CASE	JSI 6' GRAB-N-GO, MODEL # MP-PROD-MD036-80-001	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
47	GLASS DOOR MERCHANDISER	SLIDE DOOR FAST LANE PASS-THRU REFRIGERATOR BY TRUE MANUFACTURING CO. INC., MODEL: GDM-33CPT-54-HC-LD, 39 1/2"W X 24 1/8"D X 54 1/8"H	EQUIPMENT INSTALLER	EQUIPMENT INSTALLER
48	PAPER TOWEL DISPENSER / WASTE RECEPTACLE	BOBRICK #B-369 RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	FMS	FMS

SECURITY DOOR SCHEDULE

MARK	SIZE WIDTH	SIZE HEIGHT	DESCRIPTION	QTY.
SD1	10'-3"	9'-1 1/2"	- 'MODEL EX60' BY WHEATBELT WITH PUSH-PULL MANUAL SYSTEM AND w/ SURFACE MOUNTED GUIDE RAILS AND CLEAR ANODIZED ALUMINUM SLATS - SHUTTER TO REMAIN LOCKED IN OPEN POSITION DURING HOURS OF OPERATION - 12" SQUARE BOX (WHITE)	1

ROOM FINISH SCHEDULE

ROOM	FLOORING	INTERIOR WALLS	CEILING	
CASHIER	DALTILE "BARITONE BROWN" #CH24 24" X 24" SQ. SATIN FINISH W/ 1/4" GROUT #185 NEW TAUPE BY CUSTOM BUILDING PRODUCTS WITH JOHNSONITE 4" RUBBER COVE BASE #69 STERLING SILVER	20 GA. STEEL PRE-FINISHED SMOOTH WHITE ACRYLIC PANELS	USG - RADAR #2310 (CLASS-A FIRE RATED) IN SUSPENDED CEILING (FLAME SPREAD INDEX-25, SMOKE DEVELOPED-50)	9'-10"
RESTROOMS (WOMEN'S, MEN'S)	MARAZZI COLOR BODY PORCELAIN RIFLESSI DE LEGNO, UJ3N, 12"X24" WALNUT TILE W/ LATICRETE SPECTRALOCK GROUT #66 CHESTNUT BROWN	DALTILE MODEL 'CS21 UMBER SQUARE MATTE' 12" X 12" PORCELAIN TILE EPOXY GROUT TO UNDERSIDE OF CEILING - #185 NEW TAUPE	WHITE ACRYLIC PANELS 20 GA. STEEL PRE-FINISHED SMOOTH (BY OTHERS) (FLAME SPREAD INDEX-0, SMOKE DEVELOPED-85)	8'-8"
HALLWAY	DALTILE "BARITONE BROWN" #CH24 24" X 24" SQ. SATIN FINISH W/ 1/4" GROUT #185 NEW TAUPE BY CUSTOM BUILDING PRODUCTS WITH JOHNSONITE 4" RUBBER COVE BASE #69 STERLING SILVER	20 GA. STEEL PRE-FINISHED SMOOTH WHITE ACRYLIC PANEL	USG - RADAR #2310 (CLASS-A FIRE RATED) IN SUSPENDED CEILING (FLAME SPREAD INDEX-25, SMOKE DEVELOPED-50)	9'-0"
UTILITY	SW-ARMORSEAL 1000 HS (B67 A 2001 AND B67 V 2002) DARK GREY SEALER CONCRETE (OR EQUAL) WITH JOHNSONITE 4" RUBBER COVE BASE #69 STERLING SILVER	20 GA. STEEL PRE-FINISHED EMBOSSED WHITE ACRYLIC PANELS	SHEETROCK BRAND CLIMAPLUS LAY-IN CEILING PANEL, VINYL #3270 IN DONN BRAND CE SUSPENDED CEILING 2' x 4' LAY-IN CEILING TILE W/WHITE GRID (FLAME SPREAD INDEX-25, SMOKE DEVELOPED-50)	9'-0"
SALES	DALTILE "BARITONE BROWN" #CH24 24" X 24" SQ. SATIN FINISH W/ 1/4" GROUT #185 NEW TAUPE BY CUSTOM BUILDING PRODUCTS WITH JOHNSONITE 4" RUBBER COVE BASE #69 STERLING SILVER	20 GA. STEEL PRE-FINISHED SMOOTH WHITE ACRYLIC PANEL	USG - RADAR #2310 (CLASS-A FIRE RATED) IN SUSPENDED CEILING (FLAME SPREAD INDEX-25, SMOKE DEVELOPED-50)	9'-10"
			ABOVE DRINK AND FOOD COUNTERS USE: SHEETROCK BRAND CLIMAPLUS LAY-IN CEILING PANEL, VINYL #3270 IN DONN BRAND CE SUSPENDED CEILING 2' x 4' LAY-IN CEILING TILE W/WHITE GRID (FLAME SPREAD INDEX-25, SMOKE DEVELOPED-50)	9'-10"
BEER COOLER	DALTILE "BARITONE BROWN" #CH24 24" X 24" SQ. SATIN FINISH W/ GROUT #185 NEW TAUPE BY CUSTOM BUILDING PRODUCTS WITH JOHNSONITE 4" RUBBER COVE BASE, COLOR: BLACK.	20 GA. STEEL PRE-FINISHED EMBOSSED WHITE ACRYLIC PANELS. (BY COOLER MANUFACTURER) (FLAME SPREAD INDEX-0, SMOKE DEVELOPED-85)	WHITE ACRYLIC PANELS 20 GA. STEEL PRE-FINISHED EMBOSSED (BY COOLER MANUFACTURER) (FLAME SPREAD INDEX-0, SMOKE DEVELOPED-85)	9'-0"
REACH-IN COOLER	SW-ARMORSEAL 1000 HS (B67 A 2001 AND B67 V 2002) DARK GREY SEALER CONCRETE WITH JOHNSONITE 4" RUBBER COVE BASE, COLOR: BLACK.	20 GA. STEEL PRE-FINISHED EMBOSSED WHITE ACRYLIC PANELS. (BY COOLER MANUFACTURER) (FLAME SPREAD INDEX-0, SMOKE DEVELOPED-85)	WHITE ACRYLIC PANELS 20 GA. STEEL PRE-FINISHED EMBOSSED (BY COOLER MANUFACTURER) (FLAME SPREAD INDEX-0, SMOKE DEVELOPED-85)	9'-0"

NOTE: THE CEILING GRID/TILES ARE TO BE INSTALLED PER ASTM C635, C636 AND E580 IN ACCORDANCE WITH THE SEISMIC DESIGN CATEGORY LISTED ON DWG S1.

DOOR SCHEDULE

MARK	SIZE WIDTH	SIZE HEIGHT	DESCRIPTION	QTY.
D1	3'-0"	7'-0"	3070 INSULATED WIDE STILE ALUMINUM CLEAR ANODIZED FINISH WITH GRAY TINTED 1" SAFETY GLASS AND 10" HIGH BOTTOM RAIL, 4" X 1 3/4" ALUMINUM CLEAR ANODIZED FINISH DOOR FRAME w/ ROUND PUSH BAR (INTERIOR) AND PULL HANDLE (EXTERIOR), ADAMS RITE #1850-A-505 LOCK w/ BEST T-SERIES DEADBOLT 8T3 EXTERIOR W/ ADAMS RITE 4089 EXIT INDICATOR 80-0180-14 INTERIOR AND 4015 THRESHOLD BOLT, AND 4016 HEADER BOLT THREE-POINT DEADBOLT LOCKING SYSTEM OR EQUAL INTERIOR. PEMKO #229A HALF SADDLE ALUMINUM THRESHOLD 1/2" x 36" x 5", 1 1/2 PAIR 4 1/2" x 4 1/2" B.B. BUTT HINGES w/ N.R.P., PUSH SIDE MOUNT CLOSURE - LCN #4021 & 4020-18 DROP PLATE (CLEAR FINISH), DOOR SWEEP @ BOTTOM, PAINT INTERIOR WHITE TO MATCH, & EXTERIOR TO MATCH (STORE FRONT GLASS DOOR WITH (G2) GLASS ABOVE DOOR) W/ WIND CHAINS, BOTTOM RAIL OF DOOR TO BE 10" HIGH; U=0.74; SHGC=0.28, V=0.37 - BY KAWNEER OR EQUAL	1 SET (1) RH (1) LH
D2	3'-0"	7'-0"	3070 SOLID WOOD DOOR W/ FRAME - PUSH/PULL, 1 1/2 PAIR 4 1/2" x 4 1/2" B.B. PRIMED BUTT HINGES w/ N.R.P., 10"X2'-8" STAINLESS STEEL KICK PLATE ON BOTH SIDES, LCN #4021 PUSH SIDE MOUNT CLOSURE, FULL LENGTH ASTRAGAL, PAINTED SW SEMI-GLOSS WHITE ON BOTH SIDES.	2 (1) RH (1) LH
D3	3'-0"	7'-0"	3070 SOLID WOOD DOOR W/ FRAME - PAINT GRADE - KEYPAD LOCKSET SIMPLEX 5000 MODEL 5021-XS-WL-26D-41, 1 1/2 PAIR 4 1/2" x 4 1/2" B.B. PRIMED BUTT HINGES w/ N.R.P., 10"X2'-8" STAINLESS STEEL KICK PLATE ON BOTH SIDES, PAINTED SW SEMI-GLOSS WHITE ON BOTH SIDES. PROVIDE ADA COMPLIANT LEVEL HANDLE ON BOH SIDE OF DOOR.	(1) RH
D4	3'-6"	8'-0"	(3680) 1 3/4" HOLLOW METAL DOORS - BEST LOCK #8ST7K CS TUBULAR DEADBOLT (ON ACTIVE LEAF ONLY) SLIDE BOLT @ BOTTOM (INACTIVE LEAF ONLY), SPRING LOADED BARREL BOLT @ TOP & BOTTOM (ON INACTIVE LEAF) (2) - 6' CONTINUOUS 1 1/2" X 1 1/2" STAINLESS STEEL HINGES (ONE PER DOOR), WIND CHAINS, PAINT INTERIOR AND EXTERIOR TO MATCH EXTERIOR, FULL LENGTH ASTRAGAL. EXTERIOR GRADE WEATHER SWEEP TO SEAL DOOR GAP TO THRESHOLD. PROVIDE PEMKO 3151CN OR 321CN DOOR SWEEP OR EQUAL TO ACCOMODATE DOOR WIDTH.	1 SET (1) RH (1) LH
D4A D4B	3'-6"	8'-0"	(3680) 1 3/4" HOLLOW METAL DOOR, SEE D4 ABOVE FOR SPECIFICATIONS & HARDWARE W/ WIND CHAINS. EXTERIOR GRADE WEATHER SWEEP TO SEAL DOOR GAP TO THRESHOLD. PROVIDE PEMKO 3151CN OR 321CN DOOR SWEEP OR EQUAL TO ACCOMODATE DOOR WIDTH.	(1) LH
D4C	2'-6"	6'-0"	(2660) 1 3/4" HOLLOW METAL DOOR, SEE D4 ABOVE FOR SPECIFICATIONS & HARDWARE W/ WIND CHAINS. EXTERIOR GRADE WEATHER SWEEP TO SEAL DOOR GAP TO THRESHOLD. PROVIDE PEMKO 3151CN OR 321CN DOOR SWEEP OR EQUAL TO ACCOMODATE DOOR WIDTH.	
D5	2'-6"	6'-7 1/2"	CDS DOORS (BLACK). DOORS 5, 7 & 8 MUST MATCH. FURNISHED & INSTALLED BY FMS.	(9) RH (1) LH
D6	3'-0"	7'-0"	3070 INSULATED METAL DOOR w/ FRAME - CONCEALED PANIC DEVICE 'ABLCH-TA1R-M110-A7-B2-630 FIVE POINT' BY SECURITECH (OR EQUAL), 1 1/2 PAIR 4 1/2" x 4 1/2" B.B. PRIMED BUTT HINGES w/ N.R.P., LCN #1461 CLEAR FINISH, PUSH SIDE MOUNT CLOSER. OFFSET ALUMINUM THRESHOLD, DOOR SWEEP @ BOTTOM, PAINT INTERIOR WHITE TO MATCH, & EXTERIOR TO MATCH. MODEL: H-SERIES FLUSH SINGLE DOOR W/ FRAME BY STEELCRAFT.	(1) LH
D7	2'-6"	6'-7 1/2"	CDS DOORS (BLACK). DOORS 5, 7 & 8 MUST MATCH. FURNISHED & INSTALLED BY FMS.	2 (1) RH (1) LH
D8	3'-0"	7'-0"	CDS DOORS (BLACK). DOORS 5, 7 & 8 MUST MATCH. FURNISHED & INSTALLED BY FMS.	(1) LH
D9	5'-0"	9'-0"	PLASTIC COOLER STRIP CURTAIN BY EQUIPMENT INSTALLER	

NOTE : ALL CYLINDERS TO BE BEST LOCK CYLINDERS.

GLASS SCHEDULE

ALL GLASS SUPPLIED AND INSTALLED BY FMS

MARK	SIZE WIDTH	SIZE HEIGHT	DESCRIPTION	QTY.
G1	3'-3 5/8"	5'-0"	1" TEMPERED, INSULATED GLASS W/2"X4" CLEAR ANODIZED ALUMINUM SASH STOREFRONT SYSTEM TRIFAB 451T BY KAWNEER GUARDIAN (OLDCASTLE) SOLARBAN 60 ON SOLARGRAY LOW-E U=0.27, SHGC=0.25, V=0.35 (OR EQUAL)	3
G2	3'-0 3/8"	5'-0"		3
G3	3'-11 3/8"	5'-0"		3
G4	3'-4"	5'-0"		1
G5	1'-0 3/8"	8'-4"		2
G6	6'-0 1/2"	1'-4"		1

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PROFESSIONAL IN CHARGE
SCOTT LOIKITS

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JAVIER COHEN

QUALITY CONTROL
CHRIS CERBO

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FMS JOB NUMBER
G25MU00062

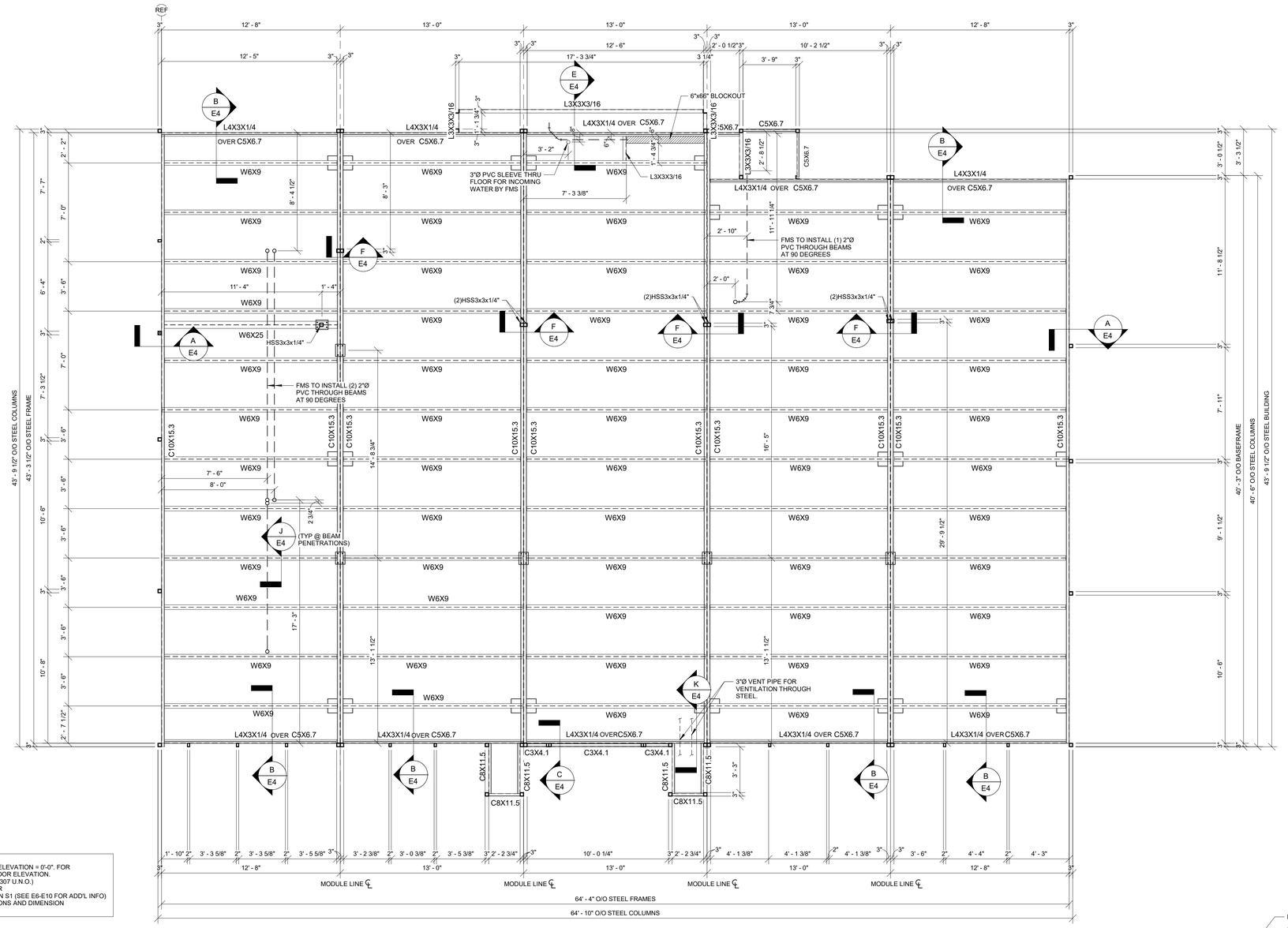
FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230059.5

SHEET TITLE
FLOOR PLAN

SHEET NUMBER
E3

PROTO V4.0 06/28/2024
2800 SQ. FT. BUILDING

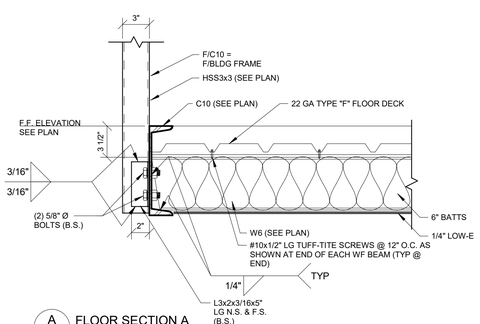


DENOTES HSS LIFTING COLUMN
DENOTES HSS 3 x 3 x 3/16" COLUMN
DENOTES TS 3 x 3 x 14GA COLUMN
DENOTES TS 3 x 2 x 14GA COLUMN
DENOTES STL ANGLE 3 x 3 x 3/16"
DENOTES BASE LIFTING POINT
DENOTES WHEEL LOCATION

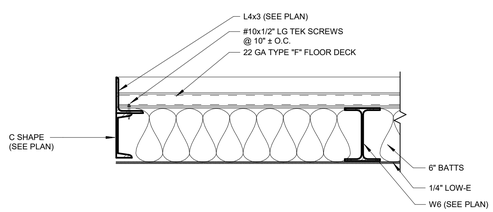
NOTE: ALL PULL DIMENSIONS ARE FROM FACE OF BLDG FRAME

FRAMING PLAN NOTES:
1. ALL ELEVATIONS REFERENCED FROM FINISH FLOOR ELEVATION = 0'-0". FOR REFERENCE ONLY. SEE CIVIL FOR ACTUAL FINISH FLOOR ELEVATION.
2. BOLTS SHALL BE 5/8"Ø x1 1/2" LG (M. BOLTS) (GRADE A307 U.N.O.)
3. (B.S) - PROVIDED & INSTALLED BY BUILDING SUPPLIER
4. FOR WALL PANEL REQUIREMENTS, SEE SCHEDULE ON S1 (SEE E6-E10 FOR ADD'L INFO)
5. COORDINATE ALL BLOCKOUT AND PLUMBING LOCATIONS AND DIMENSION INFORMATION WITH DRAWING "P1".

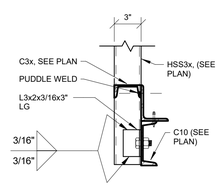
1 / E4 FLOOR FRAMING PLAN
1/4" = 1'-0"



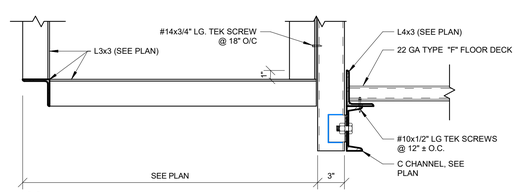
A / E4 FLOOR SECTION A
1 1/2" = 1'-0"



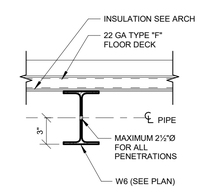
B / E4 FLOOR SECTION B
1 1/2" = 1'-0"



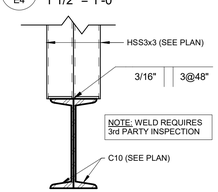
C / E4 FLOOR SECTION C
1 1/2" = 1'-0"



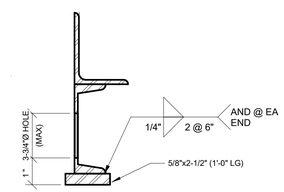
E / E4 FLOOR SECTION E
1 1/2" = 1'-0"



J / E4 FLOOR SECTION J
1 1/2" = 1'-0"



F / E4 FLOOR SECTION F
1 1/2" = 1'-0"



K / E4 HOLE PENETRATION DETAIL
3" = 1'-0"

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B McGLADE

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D MAHONEY

PROJECT NAME

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MURPHY OIL CONVENIENCE STORE

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FMS JOB NUMBER
G25MU00062

FMS MODEL NUMBER
XXXXXX

PROJECT NUMBER
20230059.5

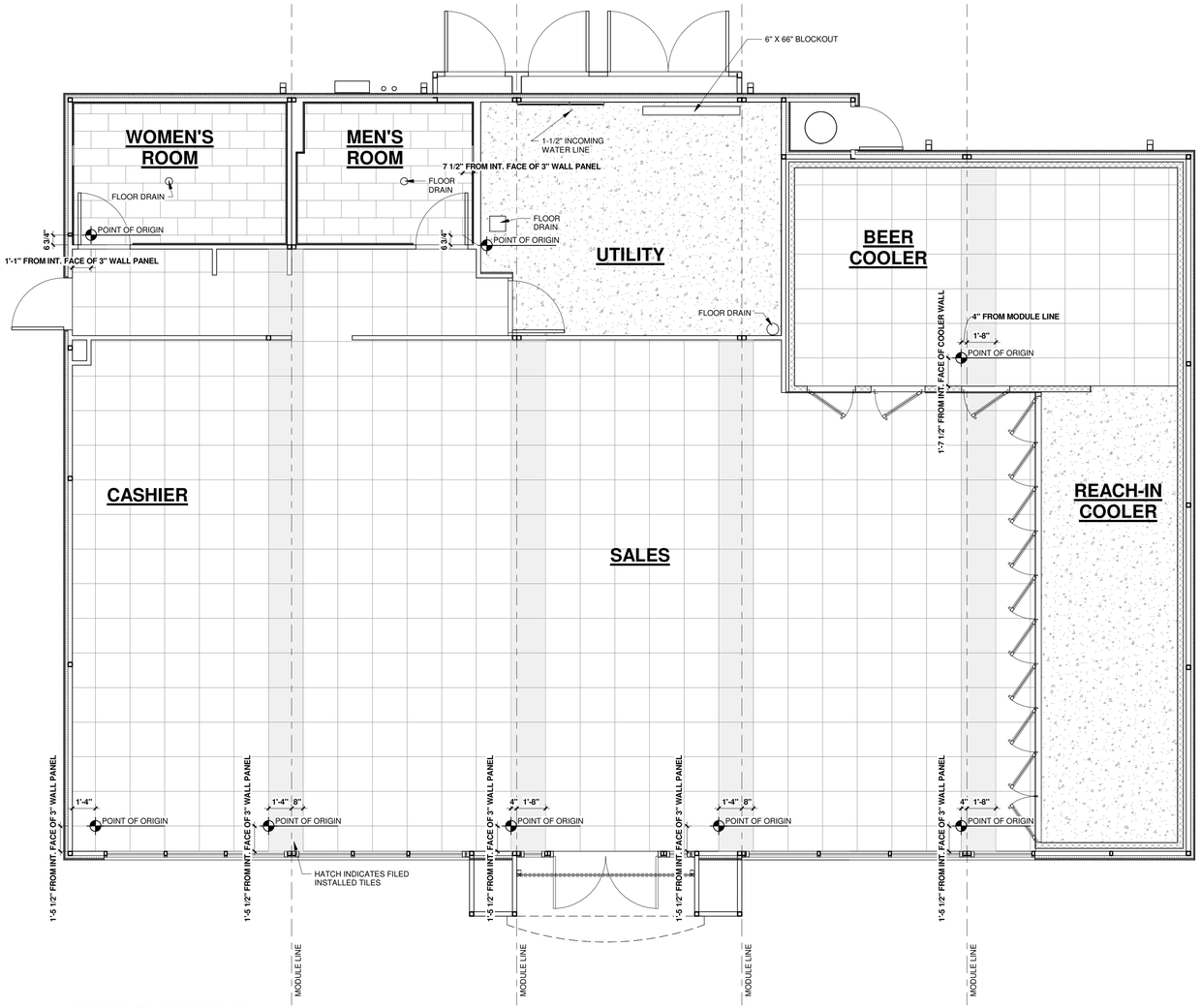
SHEET TITLE

FLOOR FRAMING PLAN

SHEET NUMBER

E4

PROTO V4.0 06/28/2024
2800 SQ. FT. BUILDING



1 **FINISH FLOOR PLAN**
1/4" = 1'-0"

FINISH MATERIAL LEGEND	
	COOLER - SW-ARMORSEAL 1000 HS (B67 A 2001 AND B67 V 2002) DARK GREY SEALER CONCRETE - FLOOR FINISH BY FMS WITH JOHNSONITE 4" RUBBER COVE BASE, COLOR: BLACK.
	SALES / CASHIER / BEER COOLER - DALTILE "BARITONE BROWN" #CH24 24" X 24" SQ. SATIN FINISH W/ 1/4" GROUT #185 NEW TAUPE BY CUSTOM BUILDING PRODUCTS WITH JOHNSONITE 4" RUBBER COVE BASE #69 STERLING SILVER IN SALES/CASHIER AND BLACK COLOR IN BEER COOLER
	UTILITY - SW-ARMORSEAL 1000 HS (B67 A 2001 AND B67 V 2002) DARK GREY SEALER CONCRETE (OR EQUAL) w/ JOHNSONITE 4" RUBBER COVE BASE #69 STERLING SILVER FLOOR FINISH AND COVE BASE BY FMS
	RESTROOMS: DALTILE "WALNUT CREEK" SD15 6" X 36" W/ 3/16" LATICRETE SPECTRALOCK GROUT #66 CHESTNUT BROWN PROVIDE COVE BASE - SCHLUTER DILEX EHK OR EQUAL

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5.27.25

PROFESSIONAL IN CHARGE
SCOTT LOIKITS

PROJECT MANAGER
JAVIER COHEN

QUALITY CONTROL
CHRIS CERBO

DRAWN BY
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PROJECT NAME
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MURPHY OIL CONVENIENCE STORE

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20230059.5

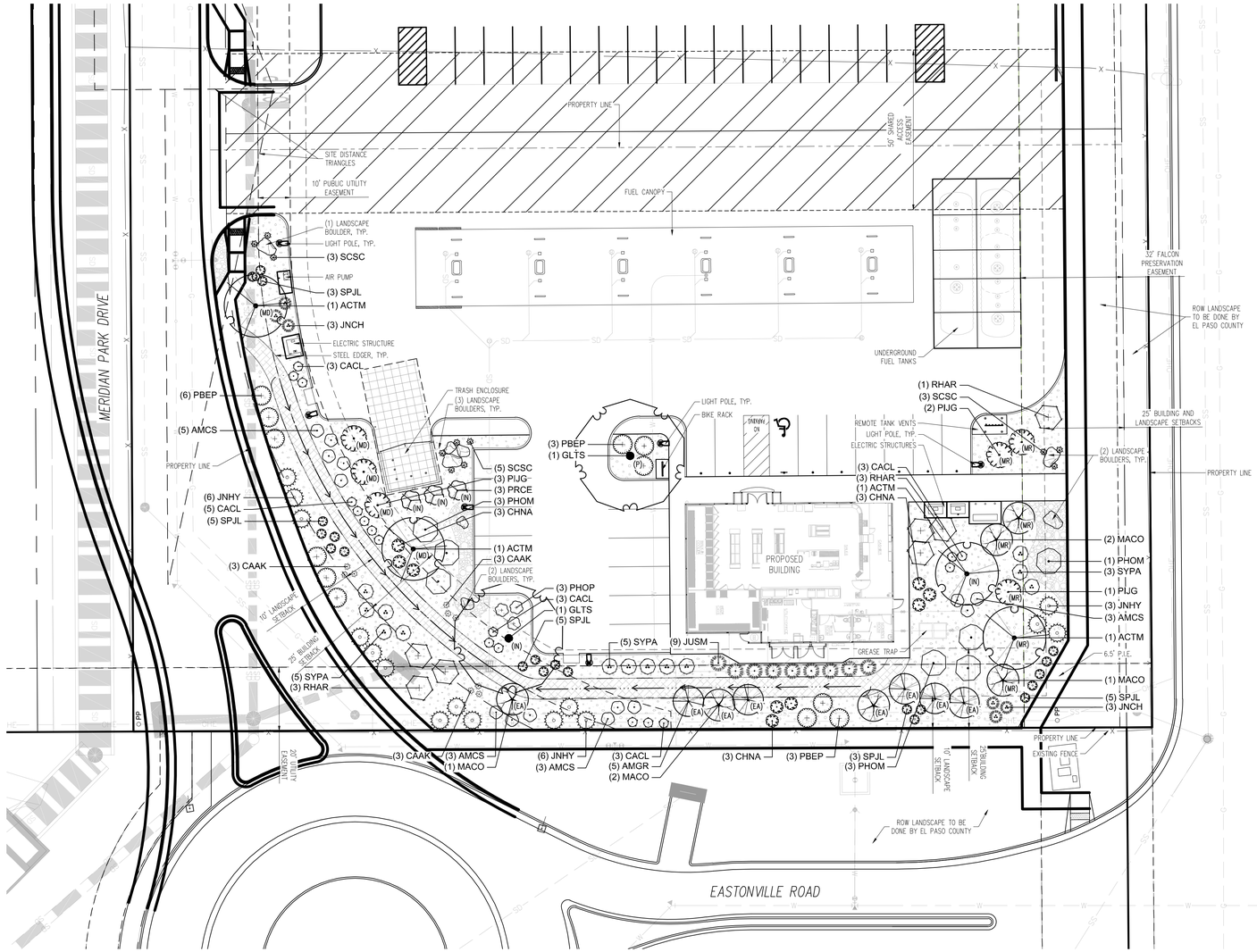
SHEET TITLE

FLOOR FINISH PLAN

SHEET NUMBER

E14

PROTO V4.0 06/28/2024
2800 SQ. FT. BUILDING



N

0 10 20

SCALE: 1"=20'

PLANT LEGEND

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME
DECIDUOUS TREES				
	GLTS	2	SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEM
EVERGREEN TREES				
	PIJG	6	JEANGENIE COLORADO BLUE SPRUCE	PICEA PUNGENS 'MONEVA' PPAF
ORNAMENTAL TREES				
	ACTM	4	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM
	AMGR	5	AUTUMN BRILLIANCE APPLE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BF
	MACO	6	CORALBURST CRABAPPLE	MALUS X 'CORALCOLE' TM
	PRCE	3	CRIMSON POINTE FLOWERING PLUM	PRUNUS X CERASIFERA 'CRIPOIZAM'

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME
UPRIGHT JUNIPERS				
	JUSM	9	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'
DECIDUOUS SHRUBS				
	AMCS	14	LEADPLANT	AMORPHA CANESCENS
	CACL	17	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST
	CHNA	9	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	PHOP	3	LITTLE DEVIL DWARF NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' T
	PHOM	7	DIABOLO NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MONLO' TM
	PBEP	12	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'P011S' TM
	RHAR	7	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'
	SPJL	21	LITTLE PRINCESS JAPANESE SPIREA	SPIRAEA JAPONICA 'LITTLE PRINCESS'
	SYPA	13	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'
EVERGREEN SHRUBS				
	JNCH	6	ARMSTRONG JUNIPER	JUNIPERUS CHINENSIS 'ARMSTRONGII'
	JNHY	15	CREEPING JUNIPER	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'
ORNAMENTAL GRASSES				
	CAAK	9	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOEI
	SCSC	11	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM

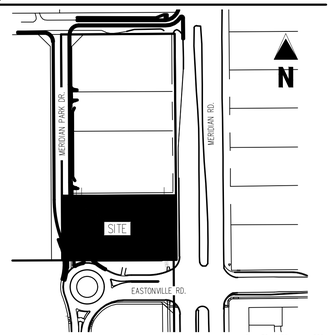
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME
MULCH				
	RMULCH2	617 SF	2"-4" ROCK COBBLE	2"-4" ARKANSAS TAN ROCK COBBLE
	RMULCH1	10,200 SF	3/4" ROCK MULCH	3/4" GOLDEN SUNSET ROCK MULCH
SOD/SEED				
	SEED1	1,661 SF	LOW GROW NATIVE SEED	LOW GROW NATIVE SEED

LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED	ABBREVIATION DENOTED ON PLAN
6.2.2 (B) (1)	ROADWAY LANDSCAPING (MERIDIAN RD; MINOR ARTERIAL)	20' LANDSCAPE SETBACK; 1 TREE / 25 LF	182 LF / 25	7 TREES	7 TREES*; 0 SHRUB SUBSTITUTES	(MR)
6.2.2 (B) (1)	ROADWAY LANDSCAPING (MERIDIAN PARK DR; NON-ARTERIAL)	10' LANDSCAPE SETBACK; 1 TREE / 30 LF	158 LF / 30	5 TREES	5 TREES; 0 SHRUB SUBSTITUTES	(MD)
6.2.2 (B) (1)	ROADWAY LANDSCAPING (EASTONVILLE RD; NON-ARTERIAL)	10' LANDSCAPE SETBACK; 1 TREE / 30 LF	184 LF / 30	8 TREES	8 TREES; 0 SHRUB SUBSTITUTES	(EA)
6.2.2 (C) (1)	PARKING LOT LANDSCAPING	1 TREE / 15 PARKING SPACES	21 PARKING SPACES / 15	1 TREES	1 TREES	(P)
6.2.2 (C) (5)	PARKING LOT SCREENING	2/3 OF PARKING LOT SCREENED	55 LF x 0.66	36 LF	43 LF	NA
6.2.2 (E) (2)	MINIMUM LANDSCAPE AREA	5% OF LOT TO BE LANDSCAPED	46,042 SF** x 0.05	2,302 SF	12,216 SF	NA
6.2.2 (E) (2)	MINIMUM LANDSCAPE AREA	1 TREE / 500 SF	2,302 SF / 500	5 TREES	5 TREES; 0 SHRUB SUBSTITUTES	(IN)
6.2.2 (F) (2)	REQUIRED LIVE GROUNDCOVER	75% OF REQUIRED LANDSCAPE AREAS TO BE LIVING GROUNDCOVER	2,302 SF x 0.75	1,727 SF	1,832 SF (80%)	NA

* TREES LOCATED OUTSIDE SETBACK DUE TO EASEMENT CONFLICT
** TOTAL LOT AREA DOES NOT INCLUDE BUILDING FOOTPRINT

VICINITY MAP



PROPERTY INFO:

ADDRESS: 7440 MERIDIAN PARK DR.
ZONING: CS
LOT SIZE: 1.11 ACRES
PARCEL NUMBER: 5301001015

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811 Know what's below. Call before you dig.

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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MURPHY OIL USA, INC.
MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730

SITE DEVELOPMENT PLAN
MURPHY OIL USA #7968
PCD FILING NO. PPR-24-004

7825 MERIDIAN PARK DRIVE
EL PASO COUNTY, COLORADO

#	Date	Issue / Description	Init.

Project No:	MOC000099
Drawn By:	TR
Checked By:	JS
Date:	FEBRUARY 9, 2024

LANDSCAPE PLAN

LP-1

RESOURCE LIST:

PLANNING & ZONING
EL PASO COUNTY PLANNING
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT:
(XXX) XXX-XXX

CODE ENFORCEMENT
EL PASO COUNTY
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT:
(719) 520-6300

OWNER
MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
PM: GRANT DENNIS
(870) 315-3430

STORMWATER
EL PASO COUNTY DEPT. PUBLIC WORKS
3275 AKERS DR.,
COLORADO SPRINGS, CO 80922
CONTACT:
(719) 520-6460

HEALTH DEPARTMENT
EL PASO COUNTY PUBLIC HEALTH
1675 W. GARDEN OF THE GODS RD.,
SUITE 2044
COLORADO SPRINGS, CO 80907
(719) 578-3199

CIVIL ENGINEER
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
CONTACT: KYLE GOODWIN
(719) 900-7227

ELECTRIC
MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 E. WOODMEN RD.
FALCON, CO 80831
CONTACT: GINA PERRY
(800) 388-9881

FIRE
FALCON FIRE PROTECTION DISTRICT
7030 OLD MERIDAN ROAD
FALCON, CO 80831
CONTACT: TRENT HARWIG
(719) 495-4050
EMAIL: THARWIG@FALCONFIREPD.ORG

GEOTECHNICAL
UNITED CONSULTING
625 HOLCOMB BRIDGE RD.
NORCROSS, GA 30071
CONTACT: CHRIS ROBERDS
(770) 209-0029
EMAIL: CROBERDS@UNITEDCONSULTING.COM

SEWER & WATER
WOODMEN HILLS METRO DISTRICT
8046 EASTONVILLE ROAD
FALCON, CO 80831
CONTACT: CODY RITTER
(719) 495-2500

LANDSCAPE
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
CONTACT: JON ROMERO
(719) 308-2532

BUILDING CANOPY MANUFACTURER
FREY MOSS STRUCTURES
1801 ROCKDALE INDUSTRIAL BLVD.
CONYERS, GEORGIA 30012
CONTACT: JENNIFER GOODMAN
(770) 483-7543 EXT. 151

INTERNET CABLE COMPANY
NAME
ADDRESS
ADDRESS
CONTACT:
(XXX) XXX-XXX

TANK AND PRODUCT PIPING
GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD SUITE 200
GREENWOOD VILLAGE, CO 80111
CONTACT: DAVE JONES
(303) 962-8506

BUILDING/CANOPY DESIGN
GREENBERG FARROW
3 EXECUTIVE DRIVE, SUITE 150
SOMERSET, NJ 08873
CONTACT: CHRIS CERBO
(732) 537-0832

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
4. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNS.

UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

PLANTING NOTES

GENERAL

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION

13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING

17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
23. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
24. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
25. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
26. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
27. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING

28. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
29. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
30. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
31. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
32. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
33. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

PLANT SCHEDULE

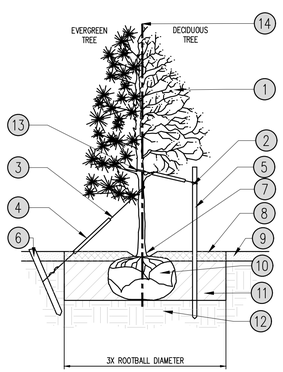
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.	WATER USE
DECIDUOUS TREES								
	GLTS	2	SHADEMASTER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	B&B	2" CAL	50'X35'	LOW
EVERGREEN TREES								
	PUG	6	JEANGENIE COLORADO BLUE SPRUCE	PICEA PUNGENS 'MONEVA' PPAF	B&B	6' HT	15'X8'	LOW
ORNAMENTAL TREES								
	ACTM	4	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM	B&B	1.5" CAL	25'X20'	MODERATE
	AMGR	5	AUTUMN BRILLIANCE APPLE SERVICEBERRY	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B	1.5" CAL	20'X10'	MODERATE
	MACO	6	CORALBURST CRABAPPLE	MALUS X 'CORALCOLE' TM	B&B	1.5" CAL	12'X10'	LOW
	PRCE	3	CRIMSON POINTE FLOWERING PLUM	PRUNUS X CERASIFERA 'CRIPOIZAM'	B&B	1.5" CAL	25'X6'	HIGH

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	WATER USE	LIGHT REQ.
UPRIGHT JUNIPERS								
	JUSM	9	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	#5 CONT.	10'X5'	VERY LOW	SUN
DECIDUOUS SHRUBS								
	AMCS	14	LEADPLANT	AMORPHA CANESCENS	#5 CONT.	4'X4'	VERY LOW	SUN/PART SHADE
	CACL	17	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'	#5 CONT.	3'X3'	VERY LOW	SUN
	CHNA	9	RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS	#5 CONT.	4'X4'	VERY LOW	SUN
	PHOP	3	LITTLE DEVIL DWARF NINEBARK	PHYSOCARPUS OPULIFOLIUS 'DONNA MAY' TM	#5 CONT.	4'X4'	LOW	SUN
	PHOM	7	DIABOLO NINEBARK	PHYSOCARPUS OPULIFOLIUS 'MONLO' TM	#5 CONT.	8'X8'	LOW	SUN
	PBEP	12	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'P011S' TM	#5 CONT.	1.5'X6'	VERY LOW	SUN
	RHAR	7	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	#5 CONT.	3'X8'	LOW	SUN
	SPJL	21	LITTLE PRINCESS JAPANESE SPIREA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	#5 CONT.	2'X3'	LOW	SUN/PART SHADE
	SYPA	13	MISS KIM KOREAN LILAC	SYRINGA PATULA 'MISS KIM'	#5 CONT.	5'X5'	VERY LOW	SUN/PART SHADE
EVERGREEN SHRUBS								
	JNCH	6	ARMSTRONG JUNIPER	JUNIPERUS CHINENSIS 'ARMSTRONGII'	#5 CONT.	4'X4'	VERY LOW	SUN
	JNHY	15	CREEPING JUNIPER	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	#5 CONT.	1.5'X6'	VERY LOW	SUN/PART SHADE
ORNAMENTAL GRASSES								
	CAAK	9	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5'X2'	LOW	SUN
	SCSC	11	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	#1 CONT.	3'X2'	VERY LOW	SUN

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	TYPE
MULCH					
	RMULCH2	617 SF	2"-4" ROCK COBBLE	2"-4" ARKANSAS TAN ROCK COBBLE	MULCH
	RMULCH1	10,200 SF	3/4" ROCK MULCH	3/4" GOLDEN SUNSET ROCK MULCH	MULCH
SOD/SEED					
	SEED1	1,661 SF	LOW GROW NATIVE SEED	LOW GROW NATIVE SEED	SEED

LANDSCAPE MATERIALS SCHEDULE

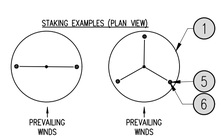
SYMBOL	DESCRIPTION	QTY
	STEEL EDGER	532 LF
	2"-3" SILOAM STONE BOULDER	8



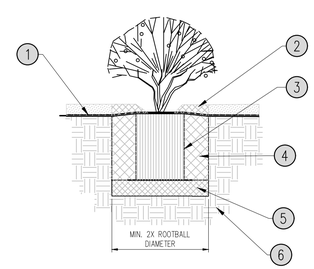
1. TREE CANOPY
2. NYLON TREE STRIPS AT ENDS OF WIRES – SECURE TO STAKE OR DEADEN WITH NAILS
3. 12 GAUGE GALVANIZED WIRE. SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
4. 24"X3/4" P.V.C. MARKERS OVER WIRES.
5. PRESSURE-TREATED WOOD STAKE, 2" DIA. EXTEND STAKES 12" MIN. INTO UNDISTURBED SOIL.
6. PRESSURE-TREATED WOOD DEADMEN. TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
7. TRUNK FLARE
8. WOOD MULCH TREE RING 3" DIA. MIN. TYPE & DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
9. FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
10. ROOT BALL – SEE NOTE 3, THIS DETAIL
11. BACKFILL. AMEND & FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
12. UNDISTURBED NATIVE SOIL
13. SOFT VELCRO, OR OTHER FABRIC WRAP
14. CENTRAL LEADER, SEE PLANTING NOTES

NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3"-5" ABOVE FINISH GRADE.
3. CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL.
4. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH.
5. REMOVE ALL NURSERY STAKES AFTER PLANTING.
6. FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
7. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.

STAKING EXAMPLES (PLAN VIEW)

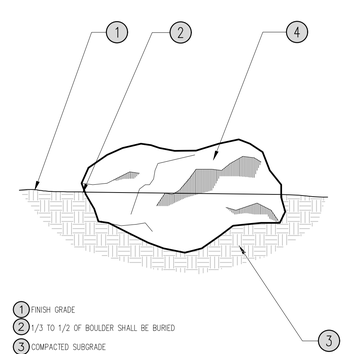


1 TREE PLANTING
N.T.S.



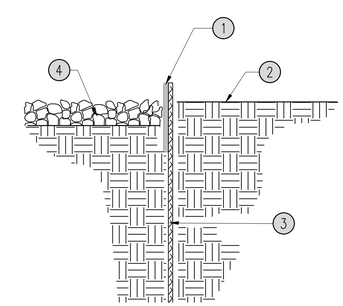
1. FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
2. SHREDDED BARK MULCH, 3" MIN. DEPTH, ROUGHLY THE EXTENTS OF ROOTBALL
3. PLANT ROOT BALL. SET TOP ROOTBALL 2" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 2" ABOVE LOWER ADJACENT GRADE – INSTALL WATER RING (2 – 3" HT.)
4. BACKFILL MIX (PER PLANTING SPECIFICATIONS). AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. JET BACKFILL WITH WATER TO ELIMINATE VOIDS.
5. COMPACTED BACKFILL MIX (75%).
6. UNDISTURBED NATIVE SOIL.

2 SHRUB/PERENNIAL PLANTING
N.T.S.



1. FINISH GRADE
2. 1/3 TO 1/2 OF BOULDER SHALL BE BURIED
3. COMPACTED SUBGRADE
4. HARVEST BOULDERS FROM A LOCAL SOURCE, REFERENCE SPECIFICATIONS FOR TYPE & PLANS FOR LOCATIONS.

3 LANDSCAPE BOULDER
N.T.S.



1. 3/16" x 4" RYERSON STEEL EDGING OR EQUAL
2. FINISH GRADE
3. 16" STAKES AT 30" O.C.
4. 4" DEPTH MULCH

4 STEEL EDGE
N.T.S.

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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MURPHY OIL USA, INC.
MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730

SITE DEVELOPMENT PLAN
MURPHY OIL USA #7968
PCD FILING NO. PPR-24-004

7825 MERIDIAN PARK DRIVE
EL PASO COUNTY, COLORADO

#	Date	Issue / Description	Init.
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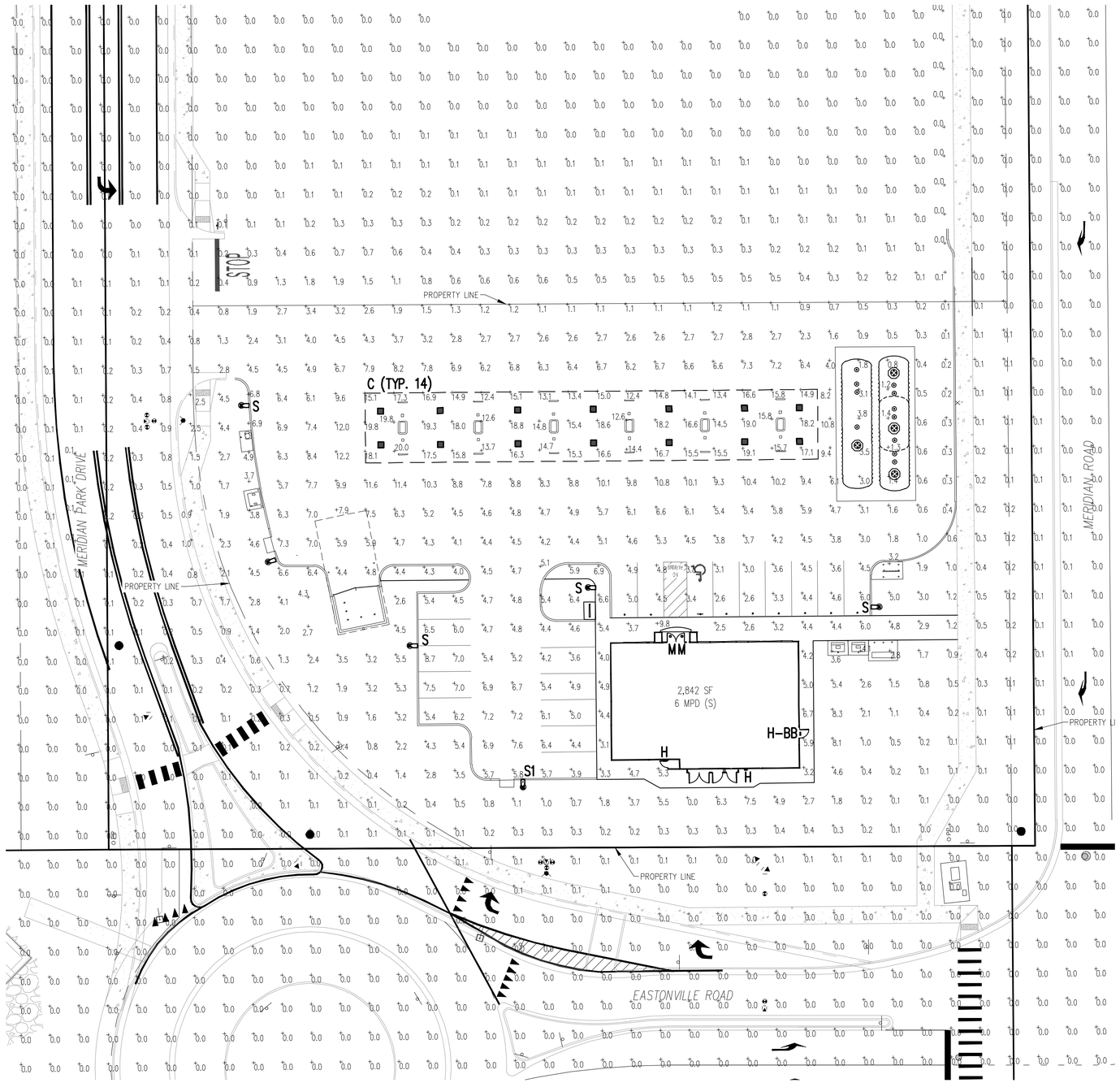
Project No:	MOC000099
Drawn By:	TR
Checked By:	JS
Date:	FEBRUARY 9, 2024

LANDSCAPE NOTES & DETAILS

LP-2



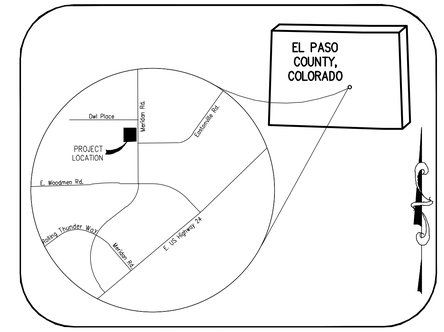
1 PHOTOMETRIC SITE PLAN

SCALE:1"=20'-0"

N

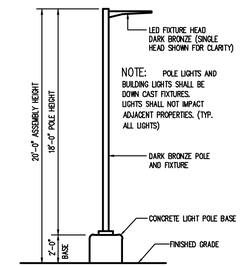
0 10 20

SCALE: 1"=20'



Vicinity Map

NOT TO SCALE



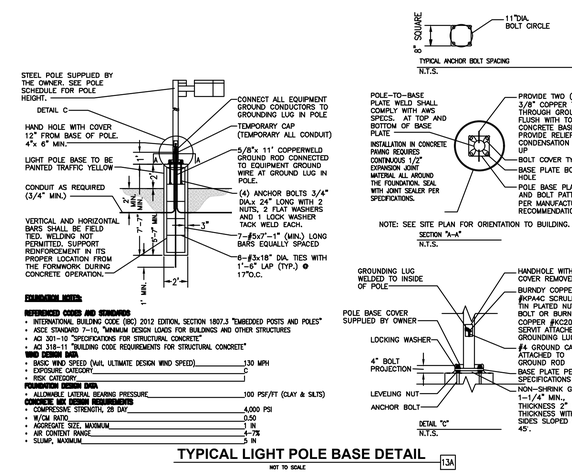
2 AREA LIGHT DETAIL

SCALE: NOT TO SCALE

POLE SCHEDULE

MOUNTING CONFIG.	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION
S & S1		6	18'-0"	4SQB3-S11G-18-S-BRZ-4BC	LSI LIGHTING, STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
POLES RATED TO 130 MPH WIND VELOCITY



TYPICAL LIGHT POLE BASE DETAIL 13A

NOT TO SCALE

LUMINAIRE SCHEDULE

MOUNTING CONFIG.	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S		5	20'-0"	18'-0"	18904	135	SLM-18L-SIL-FT-UNV-50-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW
S1		1	20'-0"	18'-0"	18904	135	SLM-18L-SIL-FT-UNV-50-70-BRZ-IL	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 5000K 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW WITH INTERNAL LOUVER
C		14	15'-0"	N/A	9364	60	CRUS-SC-LED-VLW-50-UE-WHT	LSI LIGHTING, LEGACY SERIES, VLW DRIVER, FLAT LENS CANOPY FIXTURE
H H-BB		2 1	8'-3"	N/A	4124	30	XWM 3 LED 04L 50 UE BRZ XWM 3 LED 04L 50 UE BRZ CWBB	LSI LIGHTING, MIRADA (XWM) WALL MOUNT LUMINAIRE, 5000k CCT, 4000 LUMEN PACKAGE, BRONZE COLOR, H-BB WITH BATTERY BACK-UP
M		2	8'-8"	N/A	2333	22	LCD6LED25LUNVDIM135WF T86RWWHAZ EM	LSI LIGHTING, LCD6 DOWN LIGHT LUMINAIRE, 3500k CCT, 2500 LUMENS, WIDE FLOOD HAZE SEMI-DIFFUSED WALL WASH REFLECTOR, WHITE OR EQUIVALENT

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET
ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.
ALL PROPOSED FIXTURES ARE FULL CUT-OFF FIXTURES

CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	FC	15.92	20.0	12.4	1.28 to 1	1.61 to 1
CANOPY INFLUENCE AREA	FC	7.62	12.2	4.0	1.91 to 1	3.05 to 1
PARKING	FC	5.13	8.7	2.6	1.97 to 1	3.35 to 1
DRIVES	FC	3.37	8.4	0.7	4.81 to 1	12.0 to 1
LIFE SAFETY PATH	FC	4.61	9.8	1.2	3.84 to 1	8.17 to 1

CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS

PHOTOMETRIC SITE PLAN

GENERAL DEVELOPMENT DATA	
SITE ADDRESS	7825 MERIDIAN PARK DRIVE, FALCON, CO 80831
JURISDICTION	EL PASO COUNTY, COLORADO
TAX SCHEDULE NUMBER	5301001015
COUNTY FILE NUMBER	PPR-24-004
SITE AREA/TOTAL ACREAGE	48,273 SF / 1.11 ACRES
ZONING	CS (COMMERCIAL)

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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MURPHY OIL USA, INC.
MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730

SITE DEVELOPMENT PLAN
MURPHY OIL USA #7968
PCD FILING NO. PPR-24-004

7825 MERIDIAN PARK DRIVE
EL PASO COUNTY, COLORADO

#	Date	Issue / Description	Init.

Project No:	Moc901028
Drawn By:	JMG
Checked By:	JMG
Date:	02/09/2024

PHOTOMETRIC SITE PLAN

L1.0

Sheet 1 of 2

Catalog #: Project:
Prepared By: Date: Type: CAN

Scottsdale® Legacy (CRUS)

LED Canopy Luminaire

IN THE USA · cULus LISTED · DLC PREMIUM · ida · IP66

OVERVIEW	
Lumen Package	5,000 - 22,000
Wattage Range	38 - 152
Efficacy Range (LPW)	114 -156
Weight lbs(kg)	23 (10.4)

QUICK LINKS

Ordering Guide | Performance | Photometrics | Dimensions

FEATURES & SPECIFICATIONS

Construction
- Features a ultra-slim 11/16" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP66 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System
- Features an array of select, mid-power, high brightness, high efficiency LED; 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).
- Choice of Symmetric or Asymmetric distribution. Asymmetric provides a wider distribution pattern. Optional symmetric with diffused lens also available.
- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond. The forward through optic directs the light to the forecourt from the gas canopy eliminating the need for supplemental floodlights and extensive perimeter lighting.
- Diffuse lens available as an option to soften brightness of the luminaire.
- Six Lumen Packages: 5,000, 9,000, 10,000, 13,000, 18,000 and 22,000 Lumens.

Electrical
- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral 6kV surge protection that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards. Additional field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/ IEEE C62.41.2). Custom lumen and wattage packages available.
- Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and acts as the primary heatsink ensuring cool operation of internal components for longer life. Seals to optical housing via one-piece molded silicone gasket.
- Universal voltage power supply, 120-277 VAC, 50/60 HZ and 347-480 VAC, 50/60 HZ input.
- -40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)
- Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location (see performance data for specifics.)

Hazardous Location
- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See lsicorp.com for specific guidance. Not available on SLW.

Installation
- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Warranty
- LSI LED fixtures carry a 5-year warranty (contact your LSI representative for extended warranty options.)

Listings
- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature.

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Type: CAN

Scottsdale® Legacy (CRUS) LED Canopy Luminaire

ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: CRUS SC LED SS 50 UE WHT

Prefix	Distribution	Light Source	Driver	Color Temperature	Input Voltage	Finish	Options[4]
CRUS - LED Canopy Luminaire	SC - Symmetric AC[1] - Asymmetric SCFT[2] - Combination Standard Symmetric and Forward Throw	LED	SLW - 5,000 Lumens VLW - 9,000 Lumens LW - 11,000 Lumens SS - 13,000 Lumens HO - 19,000 Lumens VHO - 22,000 Lumens[2] Custom Lumen Packages[3] VHO - 22,000 Lumens	50 - 5000K 40 - 4000K 30 - 3000K	UE - Universal Voltage (120 - 277V) HV - High Voltage (347 - 480V)	WHT - White BRZ - Bronze BLK - Black	HL[5] - Hazardous Location DFL - Diffuse Lens

Accessory Ordering Information (Accessories are field installed)

Description	Order Number
Retrofit Panels - EC / ECTA / SCF to CRUS, for 16" Deck Panel	525946
Retrofit Panels - ECTA / SCF to CRUS, for 12" Deck Panel	530281
Retrofit 2x2 Cover Panel Blank (no holes)	357282

Description	Order Number
Retrofit RIC Cover Panel Blank (no holes)	354702
Kit - Hole Plugs and Silicone (enough for 25 retrofits)*	1320540

*Consists of (25) 7/8" hole plugs, (100) 5/16" hole plugs and (1) tube of RTV

1 AC distribution utilizes a reflector which alters the look from a standard SC distribution.
2 FT distribution option only available with VHO 22,000 lumen package.
3 Custom lumen and wattage packages available consult factory Values are within industry standard tolerances but not DLC listed.
4 Not available with SCFT.
5 Not available on SLW.

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Catalog #: Project:
Prepared By: Date: Type: S & S1

Slice Medium (SLM)

Outdoor LED Area Light

TITLE 24 · DLC PREMIUM · IN THE USA · IP66 · cULus LISTED · ida · IK08

OVERVIEW	
Lumen Package	9,000 - 48,000
Wattage Range	63 - 401
Efficacy Range (LPW)	112 - 156
Weight lbs(kg)	30 (13.6)

QUICK LINKS

Ordering Guide | Performance | Photometrics | Dimensions

FEATURES & SPECIFICATIONS

Construction
- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

Optical System
- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also available in phosphor converted amber with peak intensity at 610nm.
- Minimum CRI of 70
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

Electrical
- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls
- Optional integral passive infrared Bluetooth™ motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern. (See drawing on page 9)

Warranty
- LSI luminaires carry a 5-year limited warranty. Refer to https://www.lsiindustries.com/resources/terms-and-warranty.aspx for more information.

Listings
- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applicationsapplicationsare qualified.
- IK08 rated luminiare per IEC 66262 mechanical impact code.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)

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Type: S & S1

Slice Medium Outdoor LED Area Light

ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: SLM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL

Luminaire Prefix	Light Source	Lumen Package	Light Output	Distribution	Orientation[2]	Voltage	Driver
SLM - Slice Medium	LED	9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms Custom Lumen Packages[1]	SIL - Silicone	2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive AM - Automotive Merchandise	(blank) - standard (no rotation) L- Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

Color Temp	Color Rendering	Controls (Choose One)	Finish	Options
50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT AMB - Phosphor Converted Amber[11]	70CRI - 70 CRI	(Blank) - None Wireless Controls System ALSC - AirLink Synapse Control System ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) Stand-Alone Controls EXT - 0-10V Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle ANSI C136.41[5] IMSBT1- Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)[4] IMSBT2- Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)[4] Button Type Photocells PCI120 - 120V PCI208-277 - 208 -277V PCI347 - 347V	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	(Blank) - None IH - Integral Houseside Shield[3] IL - Integral Louver (Sharp Spill Light Cutoff)[3] –S1

Accessories Ordering Information[6]

Controls Accessories

Description	Order Number
Twist Lock Photocell (120V) for use with CR7P[7]	122514
Twist Lock Photocell (208-277) for use with CR7P[7]	122515
Twist Lock Photocell (347V) for use with CR7P[7]	122516
Twist Lock Photocell (480V) for use with CR7P[7]	1225180
AirLink 5 Pin Twist Lock Controller[7]	61409
AirLink 7 Pin Twist Lock Controller[7]	661410
Pole-Mounted Occupancy Sensor (24V)	663284CLR[8]
Shorting Cap for use with CR7P[7]	14932

Fusing Options[10]

Description	Order Number
Single Fusing (120V)	See Fusing Accessory Guide
Single Fusing (277V)	
Double Fusing (208V, 240V)	
Double Fusing (480V)	
Double Fusing (347V)	

Shielding Options

Mirada Small	See Shielding Guide
Mirada Medium	
Mirada Large	
Zone Medium	
Zone Large	
Slice Medium	

Mounting Accessories[8]

Description	Order Number
Round Pole Adapter (3" Round/Tapered Poles)	408273CLR
Round Pole Adapter (4" Round Poles)	379967CLR
Round Pole Adapter (5" Round Poles)	379968CLR
Universal Mounting Bracket	684616CLR
Adjustable Slip Fitter (2" - 2 3/8" Tenon)	688138CLR
Quick Mount Pole Bracket (Square Pole)	687073CLR
Quick Mount Pole Bracket (4-5" Round Pole)	689903CLR
15 Tilt Quick Mount Pole Bracket (Square Pole)	688003CLR
15 Tilt Quick Mount Pole Bracket (4-5" Round Pole)	689905CLR
Wall Mount Bracket	382132CLR
Wood Pole Bracket (6" Minimum Pole Diameter)	751219CLR

Shielding & Miscellaneous Accessories

Description	Order Number
Integral Louver/Shield	684812
Internal Houseside Shield	743414
10' Linear Bird Spike Kit (6' Recommended per Luminaire)	751632

FOOTNOTES:
1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
2. Not available on "Type 5W" distribution.
3. Consult factory for availability.
4. IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
5. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
6. Accessories are shipped separately and field installed.
7. Fusing must be located in hand hole of pole.
8. "CLR" denotes finish. See Finish options.
9. Only available with ALSC/ALSCH control options.
10. Fusing must be located in hand hole of pole. See Fusing Accessory Guide for compatability.
11. Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.

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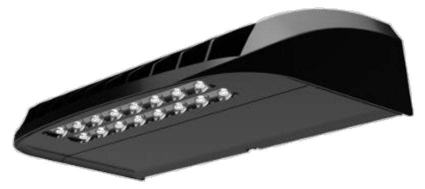
Catalog # : Project : Type: H & H-BB
Prepared By : Date :

Mirada Medium Wall Sconce (XWM)

Outdoor Wall Sconce

IN THE USA · TITLE 24 · DLC PREMIUM · ida · IK08



OVERVIEW	
Lumen Package (lm)	3,000 - 21,000
Wattage Range (W)	23 - 175
Efficacy Range (LPW)	125 - 158
Weight lbs (kg)	27 (12.2)

QUICK LINKS

Ordering Guide | Performance | Photometrics | Dimensions

FEATURES & SPECIFICATIONS

Construction
- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
- Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
- Optional pole-mounting bracket (XPMA) permits mounting to standard poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Max shipping weight: 30lbs in carton

Optical System
- State-of-the-Art one piece silicone optic provides industry leading optical control while also acting as an integrated gasket reducing system complexity and improving fixture reliability.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, and Forward Throw (FT) distributions.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.

Electrical
- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- 3L to 12L operating temperature: -40°C to +50°C (-40°F to +122°F)
- 15L operating temperature: -40°C to +45°C (-40°F to +113°F).
- 18L operating temperature: -40°C to +40°C (-40°F to +104°F).
- 21L operating temperature: -40°C to +35°C (-40°F to + 95°F).
- Power factor: >.90
- Input power stays constant over life.
- Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
- Optional integral emergency battery pack provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. The fixture delivers 1500 lumens during emergency mode.

Controls
- Integral passive infrared Bluetooth™ motion sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app. Updates and modifications to the control strategy are easily implemented via an intuitive app.
- LSI's AirLink™ Blue lighting control system is a simple feature rich wireless Bluetooth mesh network. The integrated fixture sensor module provides wireless control of grouped fixtures based on motion sensors, daylight or a fully customizable schedule.

Installation
- Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
- 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for installing/servicing.
- Optional terminal block accepts up to 12 ga wire.

Warranty
- LSI luminaires carry a 5-year limited warranty. Refer to https://www.lsicorp.com/resources/terms-conditions-warranty/ for more information.
- 1 Year warranty on Battery Back-up option.

Listings
- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K or lower color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP65 rated luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPMA bracket) or wall mounted.
- IK08 rated luminiare per IEC 66262 mechanical impact code
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

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Mirada Medium Wall Sconce (XWM) Outdoor Wall Sconce

Type: H & H-BB

Have questions? Call us at (800) 436-7800

ORDERING GUIDE

Back to Quick Links

TYPICAL ORDER EXAMPLE: XWM 2 LED 03L 30 UE BRZ ALSC

Family	Distribution	Light Source	Lumen Package	Color Temperature
XWM - Mirada Medium Wall Sconce	2 - Type 2 3 - Type 3 FT - Type 4 Forward Throw	LED	3L - 3,000 4L - 4,000 6L - 6,000 8L - 8,000 12L - 12,000 15L - 15,000 18L - 18,000 21L - 21,000 Custom Lumen Packages[1]	30 - 3000K 40 - 4000K 50 - 5000K AMB - Phosphor Converted Amber[2]

Voltage	Finish	Controls	Options
UE - Universal Voltage (120-277V) HV - High Voltage (347-480V)	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	Blank - None Wireless Controls ALSC - Airlink Synapse Control System ALSCS01 - AirLink Synapse Control System with 8-12' Motion Sensor ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' MH)[3] ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' MH)[3] Standalone Controls DIM - 0-10v Dimming leads extended to housing exterior IMSBT1 -Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)[3,4] IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)[3,4] Button Type Photocells PCI120 - 120V PCI208-277 - 208 -277V PCI347 - 347V	Blank - None BB - Battery Back-up (0°C)[5] –H-BB CWBB - Cold Weather Battery Backup (-20°C)[5] XPMA - Pole Mounting Bracket SP1 - 10kV Surge Protection TB - Terminal Block

Need more information? Click here for our glossary

Have additional questions? Call us at (800) 436-7800

FUSING ACCESSORY ORDERING INFORMATION[6]

Part Number	Description
FK120[7]	FK120 - Single Fusing
FK277[7]	FK277 - Single Fusing
FK347[7]	FK347 - Single Fusing
DFK208[7]	DFK - Double Fusing
DFK240[7]	DFK - Double Fusing (240V)
DFK480[7]	DFK - Double Fusing (480V)

MOUNTING ACCESSORY ORDERING INFORMATION[6]

Part Number[8]	Description
356915CLR	XWM Wet Location Surface Conduit/Wiring Box
751632	10' Linear Bird Spike Kit (2' Recommended per Luminaire)

1 Custom lumen and wattage packages available consult factory. Values are within industry standard tolerances but not DLC listed.
2 Only available in 6L Lumen Package. Consult factory for lead time and availability.
3 IMSBT and ALBCS control options are not available in 3L or 4L lumen packages when high voltage (HV) is specified.
4 IMSBTxL is field configurable via the Leviton app that can be downloaded from your smartphone's app store.
5 Not available in HV.
6 Accessories are shipped separately and field installed.
7 Fusing must be located in a hand hole for pole or in the junction box.
8 "CLR" to be replaced by paint finish selection. See Finish options for paint color selections.

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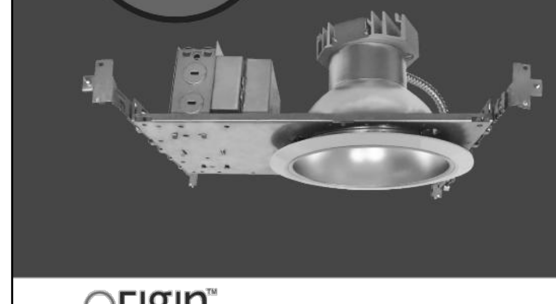
Catalog # :	Project :
Prepared By :	Date :

Type: M

LCD6

6" LED Commercial Downlight



6 inch LED new construction downlight delivers superior performance and energy efficiency. Designed to use anodized aluminum reflectors delivering even illumination and low glare. The high performance luminaire offers 1000 up to 4000 lumens with color temperatures of 2700K, 3000K, 3500K, 4000K at 80 CRI. Standard driver offers universal (120-277V) and 0 -10V dimming down to 1%. The LCD series is ideal for low to medium ceiling heights for retail, hospitality and commercial applications.

Origin™

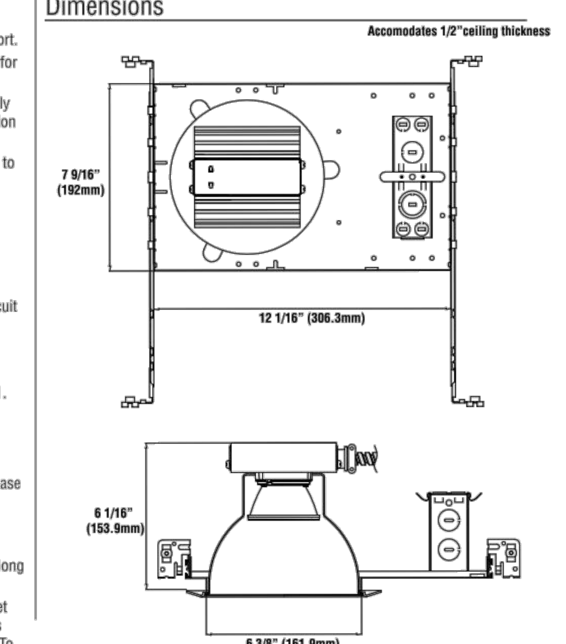
Features & Specifications

Optical System
- LED source provides superior lumen output with maximum visual comfort.
- Tailored spot, narrow flood, flood and wide flood beam optics designed for glare free illumination.
- Choice of flanged or flangeless spun reflector utilizing heavy gauge highly reflective diffuse anodized aluminum to deliver low glare, even illumination of the space.
- Reflectors are retained with three retention clips holding the flange tight to the finished ceiling surface.
- Minimum CRI of 80.

Electrical
- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (1% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz.
- L70 Calculated Life: > 50k Hours projected @ 25°C per IESNA TM-21-11.
- Total harmonic distortion: <20%
- Power factor: >.90
- Input power stays constant over life.
- Compatible with Triac (forward-phase or leading-edge), ELV (reverse-phase or trailing edge) dimming only at 120 Vac.
- Driver can be accessed from below plenum for servicing.
- High-efficacy LEDs with integrated circuit board mount directly to an extruded aluminum heatsink to maximize heat dissipation and promote long life.
- Remote Emergency Battery (120-277V) field installed is available to meet critical life safety lighting requirements. The 90-minute battery provides 7.8watts constant power to the LED system, ensuring code compliance.To calculate light output during emergency mode(EM battery 7.8 watts x LPW of fixture being powered - see spec sheet). Detailed wiring diagram and installation instructions located on website.

TITLE 24 COMPLIANT · ETL Intertek · Dimmable · RoHS COMPLIANT · damp location

Dimensions



Type: M

LCD6

6" LED Commercial Downlight

Luminaire Ordering Guide

TYPICAL ORDER EXAMPLE: LCD6 LED 25L UNV DIM1 35 NF TR6R HAZ

Family/ Size	LED Gen	Lumen Package	Voltage	Driver	Color Temperature	CRI	Beam Optics[6]
LCD6 - 6" New Construction[4]	LED	14L - 1400 25L - 2500 32L - 3200 41L - 4100	UNV - 120-277V	DIM1 - Dims to 1% (0-10V dimming)	30 - 3000K 35 - 3500K 40 - 4000K	Blank - 80 CRI	SP - Spot NF - Narrow Flood FL- Flood WF - Wide Flood

	Reflector	Finish	
Self-Fange	TR6R - Open Reflector	SF HAZ - Haze semi- diffused	
		SF SPC - Specular clear	
	TR6RWW - Wall Wash[2]	SF HAZ - Haze semi-diffused	
Flangeless (ship standard w/ white plastic trim ring)	TR6R - Open Reflector	HAZ - Haze semi-diffused, white trim ring	
		SPC - Specular clear, white trim ring	
	TR6RFL- Frosted Floating Lens[3]	HAZ - Haze semi-diffused Reflector w/ Frosted Floating Lens, w/ integrated white metal trim ring (optional trim ring not compatible)	
		SPC - Specular Clear Reflector w/ Frosted Floating Lens, w/ integrated white metal trim ring (optional ring not compatible)	
	TR6RWW - Wall Wash[2]	HAZ - Haze semi-diffused wall wash reflector, white trim ring	
	TR6B - Baffle	HAZ - Haze semi-diffused reflector	WH - White baffle and white trim ring
			BL - Black Baffle and white trim ring
	TR6BL - Baffle w/ Regressed Lens[1]	HAZ - Hazed semi-diffused	WH - White baffle and white trim ring
		SPC - Specular clear	BL - Black baffle and white trim ring
	TR6RL - Regressed Lens[1]	HAZ - Haze semi-diffused reflector w/ specular clear regressed lens and white trim ring	
		SPC - Specular clear reflector w/ specular clear regressed lens and white trim ring	

Accessory Ordering Information (Accessories are field installed)

Description	Order Number
WH - White metal trim ring (only compatible w/flangeless trims)	616106
EM - Emergency Battery	658633

NOTES:
1. Regressed lens trims are wet location listed. All other trims are rated for damp location.
2. TR6RWW wall wash reflector comes with 40º integrated optic; additional beam optics not compatible
3. TR6RFL frosted floating lens comes with integrated white metal trim; accessory white metal trim ring not required)
4. Housing can ship ahead of the light engine and reflector
5. 90 CRI requires 55 day leadtime & 100 MOQ; Consult Factory
6. Refer to IES Files for Beam Spread.

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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EL DORADO, AR 71730

MURPHY USA

SITE DEVELOPMENT PLAN
MURPHY OIL USA #7968
PCD FILING NO. PPR-24-004

7825 MERIDIAN PARK DRIVE
EL PASO COUNTY, COLORADO

#	Date	Issue / Description	Init.

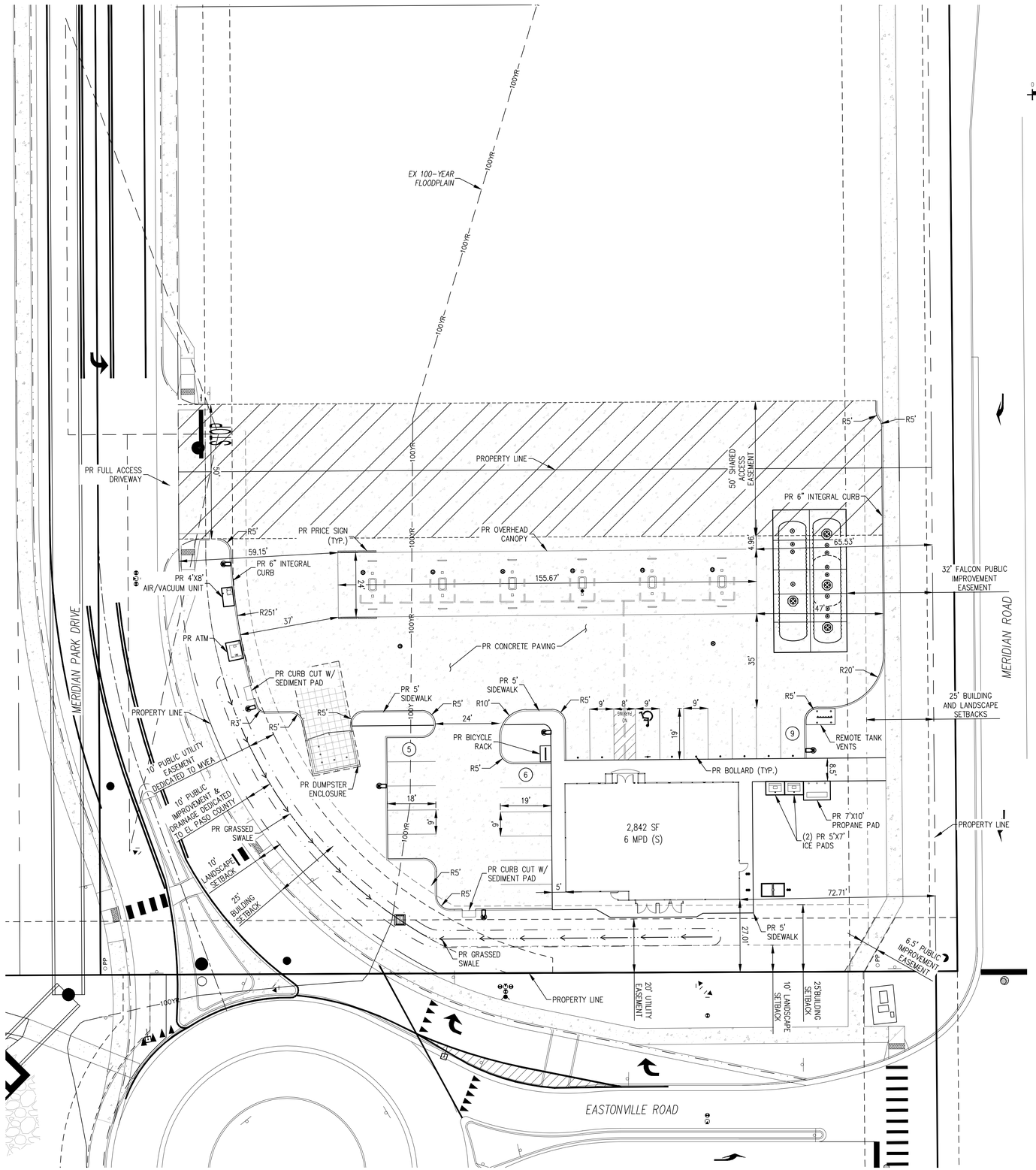
Project No:	Moc901028
Drawn By:	JMG
Checked By:	JMG
Date:	02/09/2024

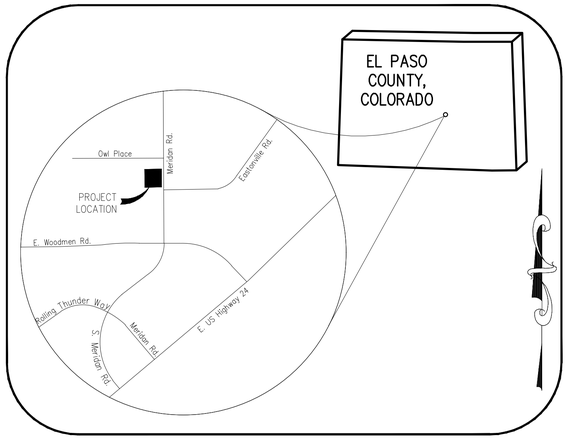
PHOTOMETRIC DETAILS

L1.1

Sheet 2 of 2

H:\M\Murphy Oil Photometrics\CO, Falcon (Meridian & Eastonville) #7968-Moc901028\2-Plan\MOC99_P_0X-Lite.dwg - Jim Galloway - 5/17/2024





Vicinity Map

NOT TO SCALE

RESOURCE LIST:

PLANNING & ZONING
EL PASO COUNTY PLANNING
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT:
(XXX) XXX-XXX

CODE ENFORCEMENT
EL PASO COUNTY
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
CONTACT:
(719) 520-6300

OWNER
MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730
PM: GRANT DENNIS
(870) 315-3430

STORMWATER
EL PASO COUNTY DEPT. PUBLIC WORKS
3275 AKERS DR.,
COLORADO SPRINGS, CO 80922
CONTACT:
(719) 520-6460

HEALTH DEPARTMENT
EL PASO COUNTY PUBLIC HEALTH
1675 W. GARDEN OF THE GODS RD.,
SUITE 2044
COLORADO SPRINGS, CO 80907
(719) 578-3199

CIVIL ENGINEER
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
CONTACT: KYLE GOODWIN
(719) 900-7227

ELECTRIC
MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 E. WOODMEN RD.
FALCON, CO 80831
CONTACT: GINA PERRY
(800) 388-9881

FIRE
FALCON FIRE PROTECTION DISTRICT
7030 OLD MERIDAN ROAD
FALCON, CO 80831
CONTACT: TRENT HARWG
(719) 495-4050
EMAIL: THARWG@FALCONFIREPD.ORG

GEOTECHNICAL
UNITED CONSULTING
625 HOLCOMB BRIDGE RD.
NORCROSS, GA 30071
CONTACT: CHRIS ROBERDS
(770) 209-0029
EMAIL: CROBERDS@UNITEDCONSULTING.COM

SEWER & WATER
WOODMEN HILLS METRO DISTRICT
8046 EASTONVILLE ROAD
FALCON, CO 80831
CONTACT: CODY RITTER
(719) 495-2500

LANDSCAPE
GALLOWAY & COMPANY, INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
CONTACT: JON ROMERO
(719) 308-2532

BUILDING CANOPY MANUFACTURER
FREY MOSS STRUCTURES
1801 ROCKDALE INDUSTRIAL BLVD.
CONYERS, GEORGIA 30012
CONTACT: JENNIFER GOODMAN
(770) 483-7543 EXT. 151

INTERNET CABLE COMPANY
NAME
ADDRESS
ADDRESS
CONTACT:
(XXX) XXX-XXX

TANK AND PRODUCT PIPING
GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD SUITE 200
GREENWOOD VILLAGE, CO 80111
CONTACT: DAVE JONES
(303) 962-8506

BUILDING/CANOPY DESIGN
GREENBERG FARROW
3 EXECUTIVE DRIVE, SUITE 150
SOMERSET, NJ 08873
CONTACT: CHRIS CERBO
(732) 537-0832

PARKING INFORMATION: MURPHY OIL

REQUIRED:

RATIO	SPACES			
	REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL
3/PUMP 1/EMPLOYEE	20	N/A	1	21

PROVIDED:

RATIO	SPACES			
	REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL
5/PUMP 1/EMPLOYEE	19	12	1	32

NO. OF FUEL ISLANDS: 6
NO. OF VEHICLE FUELING POINTS: 12
NO. OF COMPACT STALLS: 0
NO. OF BIKE STALLS: 1

BUILDING SETBACKS:

NORTH:	BUILDING=0'	LANDSCAPE=0'
WEST:	BUILDING=25'	LANDSCAPE=10'
SOUTH:	BUILDING=25'	LANDSCAPE=10'
EAST:	BUILDING=25'	LANDSCAPE=25'

ZONING: CS (COMMERCIAL)

EXISTING

- EXISTING MAJOR CONTOUR (5460)
- EXISTING MINOR CONTOUR (52)
- EXISTING STORM SEWER (LESS THAN 12"ø) (SD)
- EXISTING SANITARY SEWER (SS)
- EXISTING WATER (W)
- EXISTING UNDERGROUND ELECTRIC (UE)
- EXISTING OVERHEAD ELECTRIC (OHE)
- EXISTING FIBER OPTIC (FO)
- EXISTING GAS (G)
- EXISTING STREET LIGHT
- EXISTING TRANSFORMER
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC BOX
- EXISTING FIBER OPTIC BOX
- EXISTING GAS METER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING STORM INLET
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING BOLLARD

PROPOSED

- BOUNDARY LINE
- BUILDING CONTROL POINT
- CONCRETE PAVING
- REINFORCED CONCRETE PAVING
- ASPHALT PAVING
- PROPOSED ADA PATH

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MURPHY OIL USA, INC.
MURPHY USA
200 PEACH STREET
EL DORADO, AR 71730

PARKING LOT PLAN
MURPHY OIL USA #7968
PCD FILING NO. XXXXX

7825 MERIDIAN PARK DRIVE
EL PASO COUNTY, COLORADO

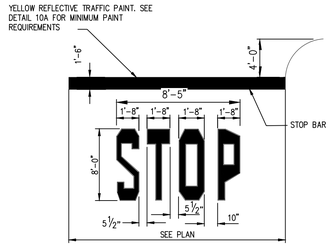
#	Date	Issue / Description	Init.

Project No:	MOC000099
Drawn By:	ASA
Checked By:	KG
Date:	5/17/2024

PARKING LOT PLAN

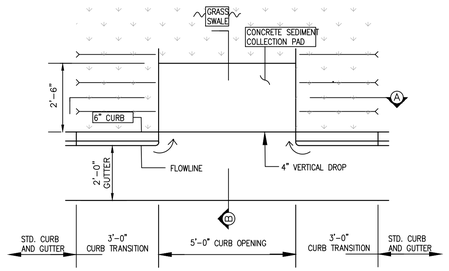
PCD FILE #: PPR244

P1.1
Sheet 1 of 2

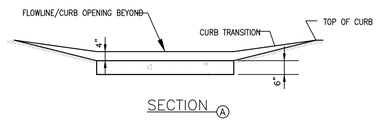


YELLOW REFLECTIVE TRAFFIC PAINT. SEE DETAIL 10A FOR MINIMUM PAINT REQUIREMENTS

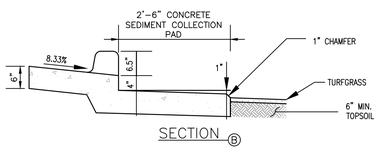
STOP BAR 10B
N.T.S.



PLAN

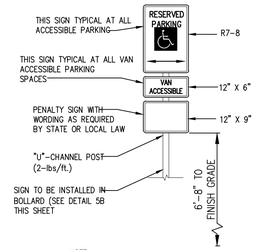


SECTION A



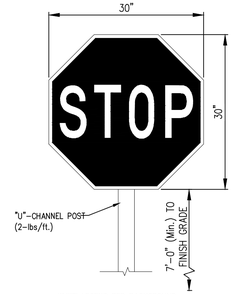
SECTION B

CURB CUT WITH SEDIMENT PAD 1E
N.T.S.



NOTE:
1. SIGN TO BE INSTALLED IN BOLLARD (SEE DETAIL 5B THIS SHEET)

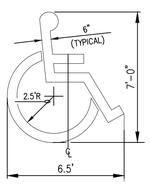
ACCESSIBLE PARKING SIGN 9V
N.T.S.



WHITE LEGEND RED BACKGROUND R1-1

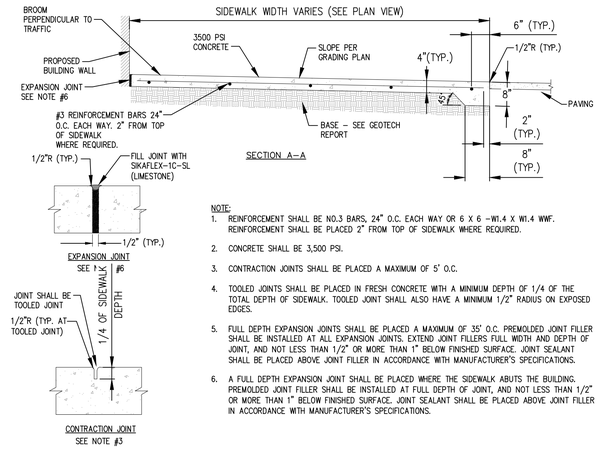
NOTE:
1. SIGN TO BE INSTALLED IN BOLLARD (SEE DETAIL 5B THIS SHEET)

STOP SIGN 12G
N.T.S.



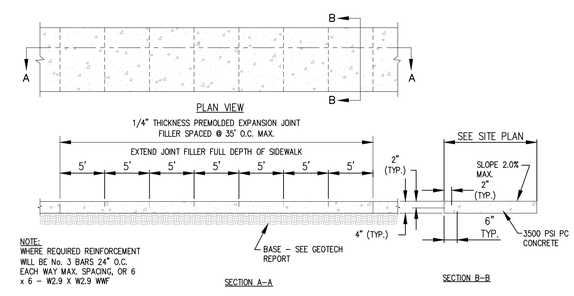
NOTES:
1. LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING.
2. COLOR PER ADA REQUIREMENTS

ACCESSIBLE PARKING SYMBOL 9U
N.T.S.



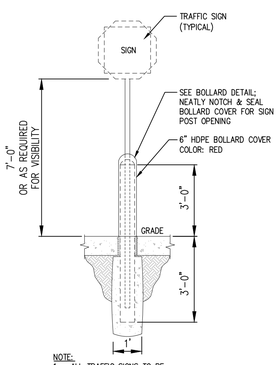
NOTE:
1. REINFORCEMENT SHALL BE NO.3 BARS, 24" O.C. EACH WAY OR 6 X 6 -W1.4 X W1.4 WWF. REINFORCEMENT SHALL BE PLACED 2" FROM TOP OF SIDEWALK WHERE REQUIRED.
2. CONCRETE SHALL BE 3,500 PSI.
3. CONTRACTION JOINTS SHALL BE PLACED A MAXIMUM OF 5' O.C.
4. TOOLED JOINTS SHALL BE PLACED IN FRESH CONCRETE WITH A MINIMUM DEPTH OF 1/4 OF THE TOTAL DEPTH OF SIDEWALK. TOOLED JOINT SHALL ALSO HAVE A MINIMUM 1/2" RADIUS ON EXPOSED EDGES.
5. FULL DEPTH EXPANSION JOINTS SHALL BE PLACED A MAXIMUM OF 35' O.C. PREMOLDED JOINT FILLER SHALL BE INSTALLED AT ALL EXPANSION JOINTS. EXTEND JOINT FILLERS FULL WIDTH AND DEPTH OF JOINT, AND NOT LESS THAN 1/2" OR MORE THAN 1" BELOW FINISHED SURFACE. JOINT SEALANT SHALL BE PLACED ABOVE JOINT FILLER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
6. A FULL DEPTH EXPANSION JOINT SHALL BE PLACED WHERE THE SIDEWALK ABUTS THE BUILDING. PREMOLDED JOINT FILLER SHALL BE INSTALLED AT FULL DEPTH OF JOINT, AND NOT LESS THAN 1/2" OR MORE THAN 1" BELOW FINISHED SURFACE. JOINT SEALANT SHALL BE PLACED ABOVE JOINT FILLER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

CONCRETE SIDEWALK AT BUILDING (FLUSH TRANSITION) 3K
N.T.S.



NOTE:
WHERE REQUIRED REINFORCEMENT WILL BE No. 3 BARS 24" O.C. EACH WAY MAX. SPACING, OR 6 x 6 - W2.9 X W2.9 WWF

CONCRETE SIDEWALK 3D
N.T.S.

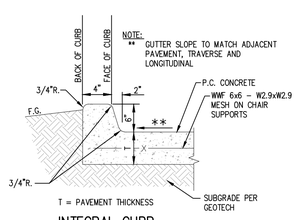


NOTE:
1. ALL TRAFFIC SIGNS TO BE INSTALLED IN BOLLARD.

SIGN IN BOLLARD 5B
N.T.S.

NOTES:
1. ALL LETTERS TO BE CAPITAL
2. LETTER HEIGHT 12" MIN. AND STROKE WIDTH OF 2" MIN.

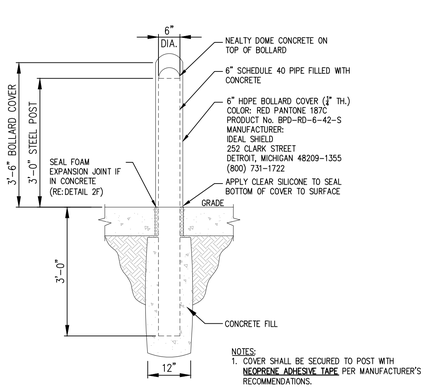
"NO PARKING" ON PAVEMENT 9X



NOTE:
** GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRAVERSE AND LONGITUDINAL

P.C. CONCRETE
WWF 6x6 - W2.9xW2.9 MESH ON CHAIR SUPPORTS

INTEGRAL CURB 1A
N.T.S.



NOTES:
1. COVER SHALL BE SECURED TO POST WITH **NEOPRENE ADHESIVE TAPE** PER MANUFACTURER'S RECOMMENDATIONS.

STEEL BOLLARD WITH COVER 5F
N.T.S.

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220
GallowayUS.com

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MURPHY OIL USA, INC.
200 PEACH STREET
EL DORADO, AR 71730

MURPHY USA

PARKING LOT PLAN
MURPHY OIL USA #7968
PCD FILING NO. XXXXX

7825 MERIDIAN PARK DRIVE
EL PASO COUNTY, COLORADO

#	Date	Issue / Description	Init.

Project No:	MOC000099
Drawn By:	ASA
Checked By:	KG
Date:	5/17/2024

SITE DETAILS

PCD FILE #: PPR244

P2.2
Sheet 2 of 2