

DRAWN BY
JAMES C. DUBIL
jcdubil@cmvcc.com

GENERAL CONDITIONS
1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE AND PLANTING.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ROADS AND DRIVEWAYS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND BARRIERS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LIGHTING AND ELECTRICAL SYSTEMS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HEATING AND COOLING SYSTEMS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PIPING AND DRAINAGE SYSTEMS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FOUNDATIONS AND STRUCTURES.

NOTES & REMARKS
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) STANDARDS.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASSE) STANDARDS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) STANDARDS.

OWNER
JAMES C. DUBIL
10725 KENSHAW COURT
MOUNTAIN VIEW, CO 80132
(719) 380-0524

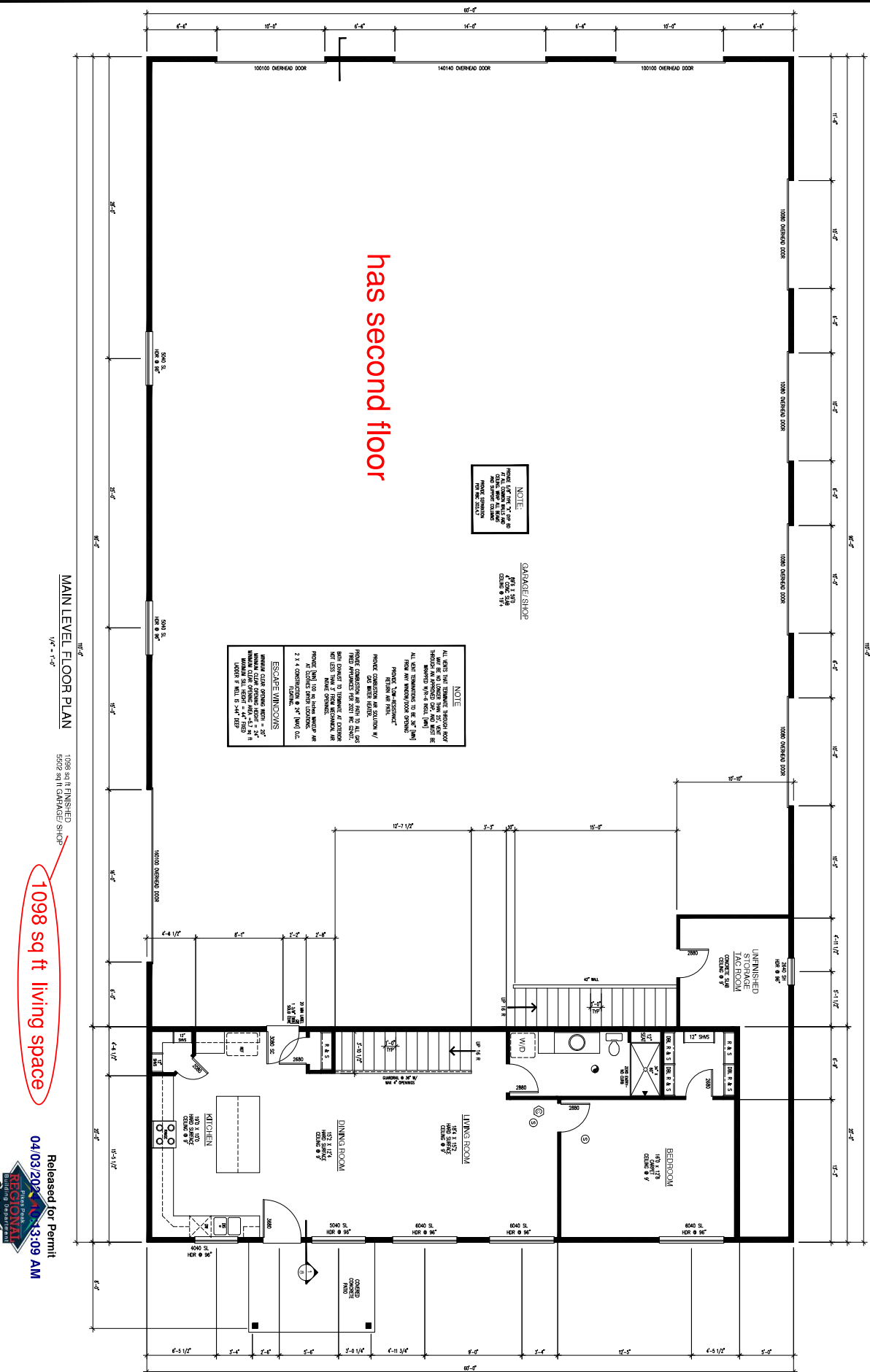
REVISION

REVISION	DATE	BY	DESCRIPTION
1	4/1/2024	JCD	ISSUED FOR PERMIT
2	4/1/2024	JCD	ISSUED FOR PERMIT
3	4/1/2024	JCD	ISSUED FOR PERMIT
4	4/1/2024	JCD	ISSUED FOR PERMIT
5	4/1/2024	JCD	ISSUED FOR PERMIT
6	4/1/2024	JCD	ISSUED FOR PERMIT
7	4/1/2024	JCD	ISSUED FOR PERMIT
8	4/1/2024	JCD	ISSUED FOR PERMIT
9	4/1/2024	JCD	ISSUED FOR PERMIT
10	4/1/2024	JCD	ISSUED FOR PERMIT

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04/03/2024 4:3:09 AM
REGIONAL
BUILDING DEPARTMENT
CITY OF DENVER

1098 sq ft living space

MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"
1098 sq ft FINISHED
5502 sq ft GARAGE / SHOP



DRAWN BY
JENNIFER C. DUBIEL
jcdubiel@permut.com

GENERAL COMMENTS
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
2. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.
4. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
5. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS.
6. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOTICES.
7. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS.

NOTES
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7. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS.

OWNER
JENNIFER C. DUBIEL
1075 KENSHAW COURT
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(720) 380-0524

PR
PALMER BRIDGE
CONSTRUCTION

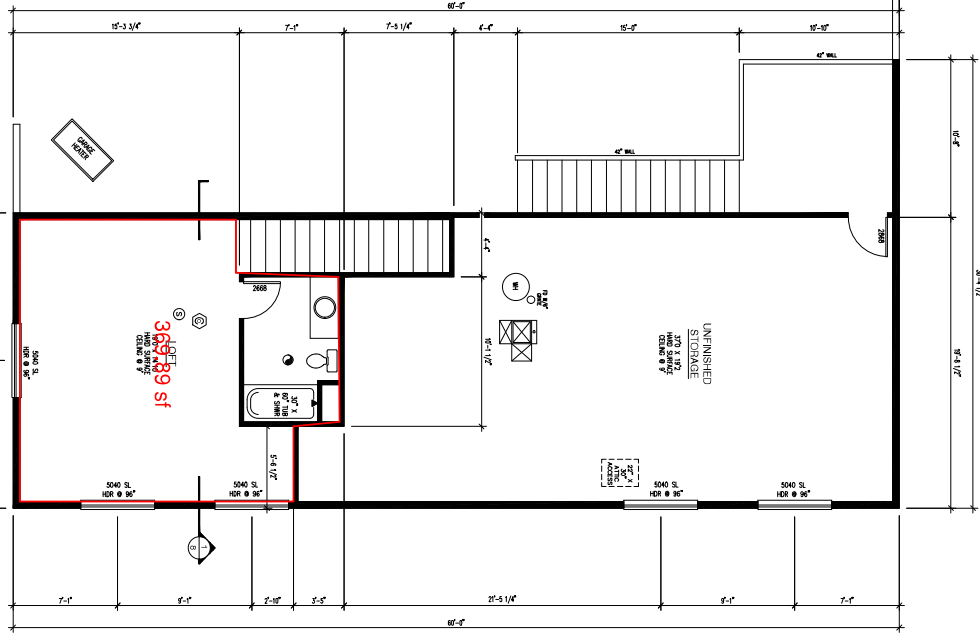
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FILENAME
P173750.DWG
DATE
4/11/2024
SHEET
3 OF 8

UPPER LEVEL FLOOR PLAN
1/4" = 1'-0"
402 sq ft UNFINISHED
170 sq ft UNFINISHED STORAGE
402 sq ft living space

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04/03/2024 1:31:12 AM
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CONSTRUCTION

NOTE
ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
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THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY NOTICES.
THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORDS.



DRAWN BY
Jerrisa G. Duall
jgduall@pccor.com

GENERAL COMMENTS
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND RECORD DRAWINGS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO THE SITE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY NOTICES.

**INTEGRAL & ALTIMAN
ORSER
GENERAL CONTRACTOR**
13750 HOLMES ROAD
COLO. SPOCS. 80508

PALMER BRIDGE CONSTRUCTION
10475 KERSHAW COURT
MOUNTAIN VIEW, CO 80132
(719) 386-0624

**PR
PALMER BRIDGE
CONSTRUCTION**

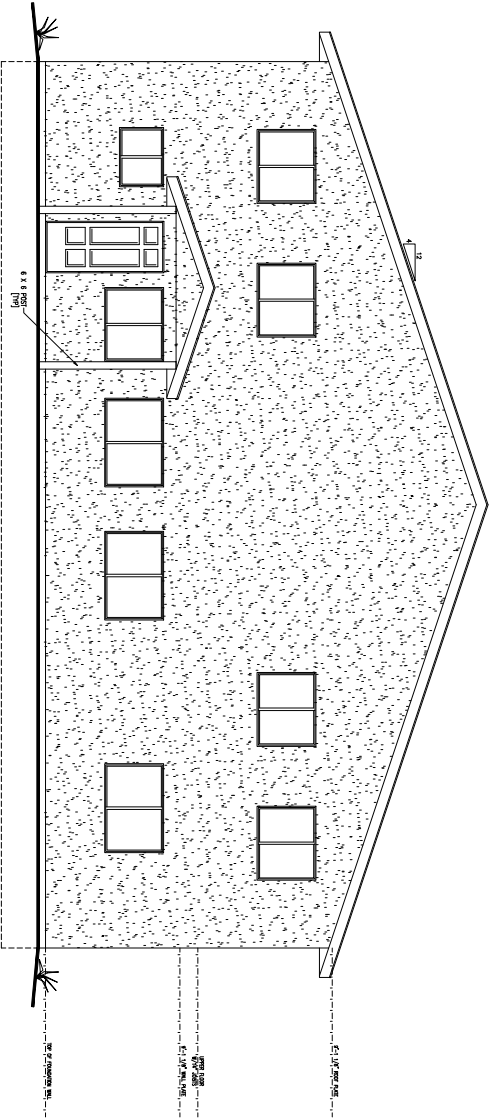
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4/11/2024

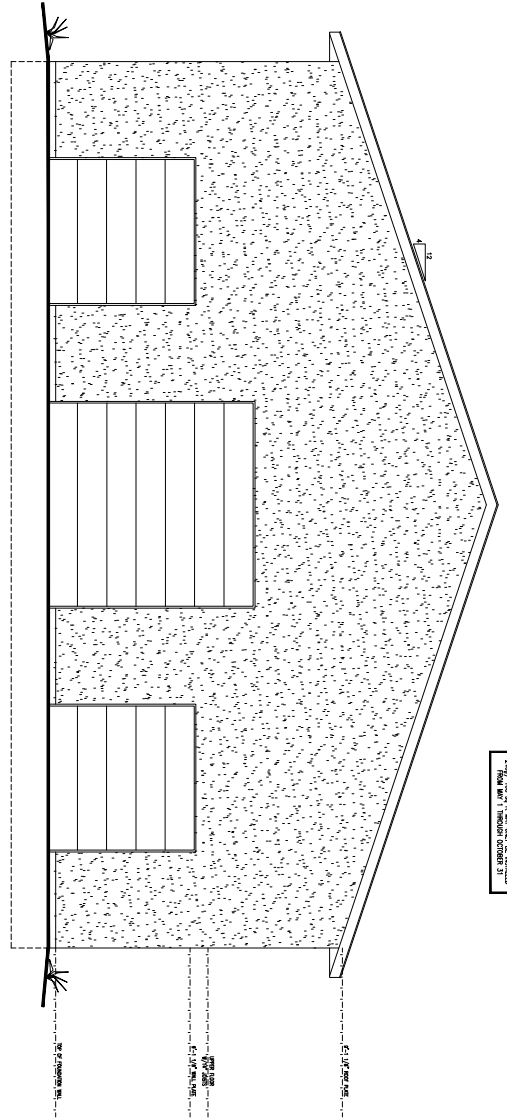
SHEET
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REAR ELEVATION
1/4" = 1'-0"



NOTE
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FRONT ELEVATION
1/4" = 1'-0"



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04/03/2024 13:15 AM
Pike Peak
REGIONAL
Building Department
Chattanooga
CONSTRUCTION

DRAWN BY
James C. Duall
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GENERAL COMMENTS
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
7. ALL WASTE SHALL BE PROPERLY DISPOSED OF AT A LICENSED WASTE TREATMENT PLANT.
8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS.

INCHARGE S. KATTAN
OWNER
GUYARD
INTERIM TENURE
13750 HOLMES ROAD
COLO. SPRS. 80908

PALEK RHOE CONST
10475 KERSHAW COURT
MOUNTAIN CO. 87132
(773) 380-0624

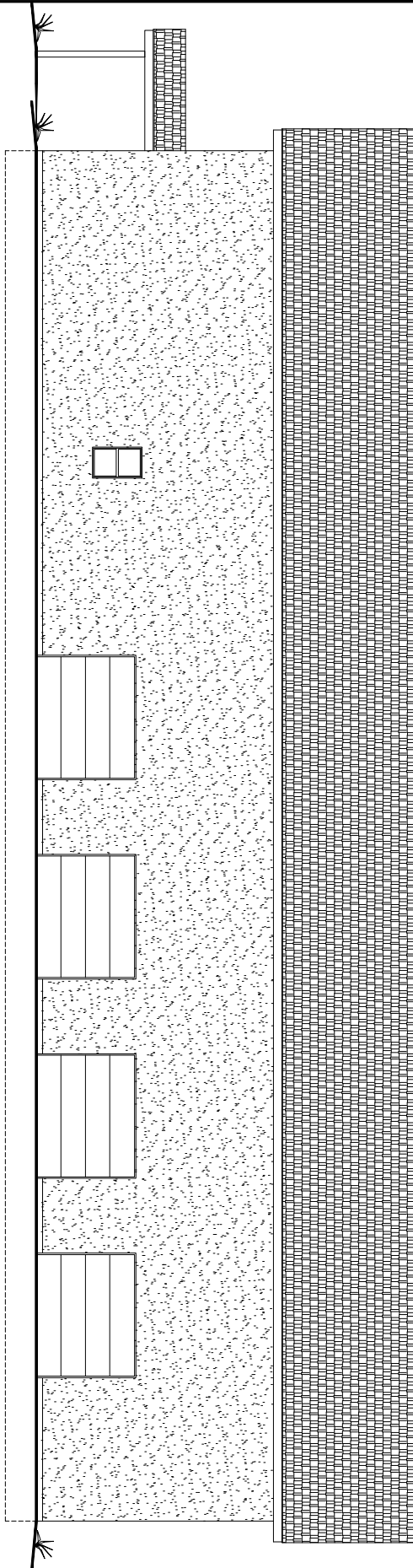


REVISION

NOTE
REMOVE CURBS AND DOWNSPUTS W/ 2' MIN. EXTENSION OF SIDING.
REMOVE EXISTING DOWNSPUTS AND REPLACE WITH NEW DOWNSPUTS.
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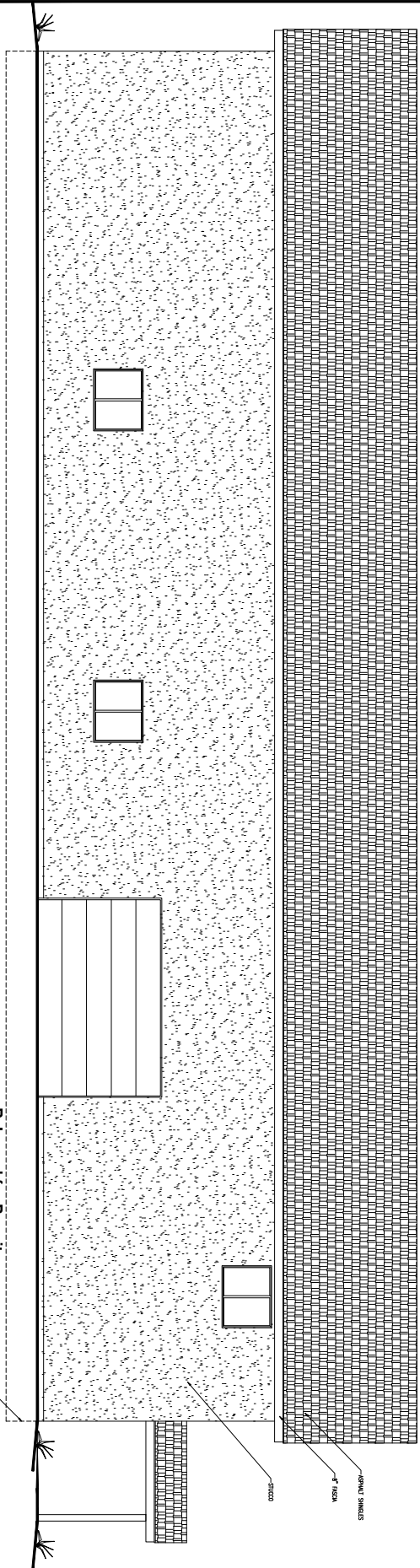
LEFT SIDE ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"



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REGIONAL
Palmer Rhoé
BUILDING DEPARTMENT
CITY OF DENVER
CONSTRUCTION

DATE
4/11/2024

SHEET
5

OF
8

FILENAME
PR13750.DWG

DRAWN BY
Jerrisa C. Dault
jcdault@cmccast.net

GENERAL COMMENTS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
2. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
3. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
4. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.

MICHAEL & AULTMAN
ORSER
BARN APARTMENT
10750 HOLMES ROAD
COLO SPRING, CO 80906

PAKERS RIDGE COURT
10475 KENSHAW COURT
MOUNTAIN VIEW, CO 80112
(719) 580-0024



REVISION

FILENAME
PR13750.DWG

DATE
3/06/2024

SHEET
7 OF 8

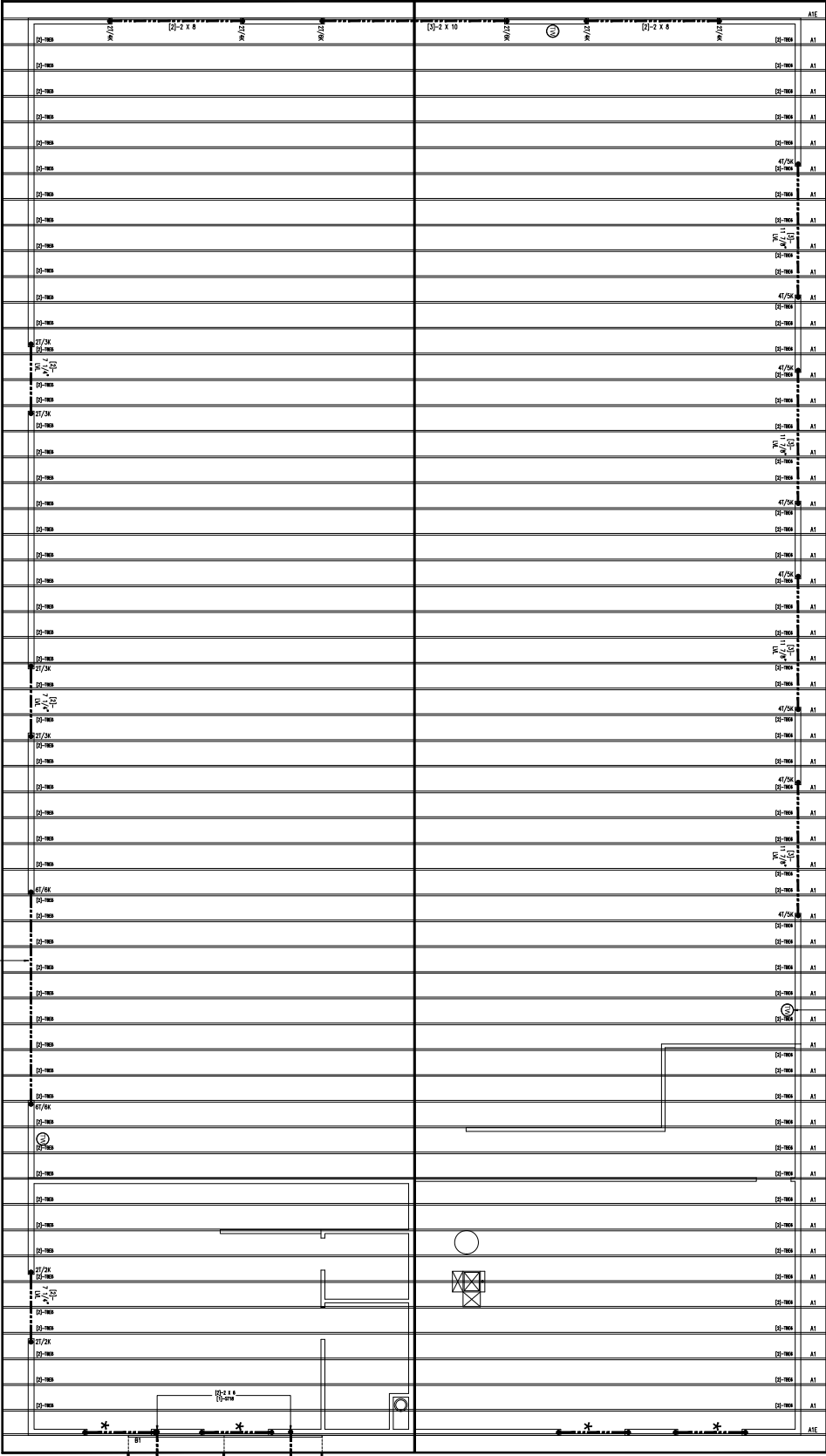
NOTE

ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.

USE THE STUDY & THE STUDY

ROOF NOTES:

1. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
2. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
3. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
4. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.



WOOD NOTES:

1. ALL WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
2. THE WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
3. THE WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
4. THE WOOD SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.

ROOF FRAMING PLAN

1/4" = 1'-0"



SHEATHING NOTES:

1. ALL SHEATHING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
2. THE SHEATHING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
3. THE SHEATHING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
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NOTE

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2. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.
3. THE ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE 2021 IBC AND 2021 IRC.

DRAWN BY
Jerrisa C. Duell
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GENERAL COMMENTS
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR.

MICHAEL & AULTMAN
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BARN/APARTMENT
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(719) 380-0524

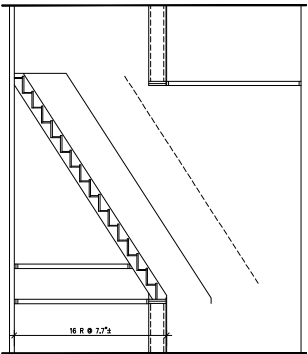


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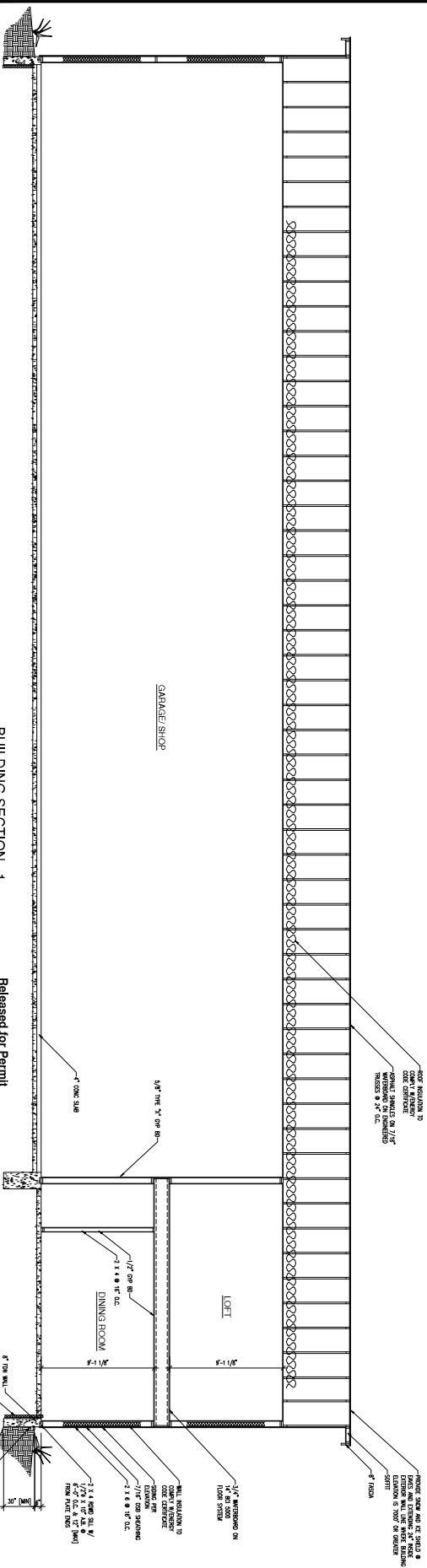
DATE
3/06/2024

SHEET
8 OF 8



STAIR SECTION 2
1/4" = 1'-0"

STAIR NOTES:
1. STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. THE STAIRS SHALL BE FINISHED WITH 3/4\"/>



BUILDING SECTION 1
1/4" = 1'-0"

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Permut Construction
Cherry Creek, CO