Site Plan - Residential Property (719) 520-6300 rayman790.yahoo.com Ray Sorenson Applicant Name ray1243@gmail.com (719) 520-6300 Raymond Lewis Applicant Name Company Name - Here are two site plan examples with email Company Name 1126 Ransom Rd all necessary information. Property Address* -show the dimensions of the tiny home 2163 San Mateo Dr Property Address* Please show access (driveway along LOT 2 Green Gardens sub no 1 Legal Description* with road surface type) LOT 57 Village at Wolf Ranch F#16 Legal Description* - Correct the spelling of Monument in Lot area* 7403219002 19.6 acre Lot area* Zoning* A-5 Plat* 24621 (sq.ft.) Parcel/Schedule #* the address 55071-10-086 Zoning* RS-6000 Plat* 12432 7,080 Parcel/Schedule #* (sq.ft.) - Show applicable easements Proposed Structure new detached garage, 24' x 40' Include Tax ID Number. Proposed Structure (include dimension) new 12'x15' deck and new 18'x12' workshop (height 12') (include dimension) Existing structures* New structure Structure Existing structures* New structure 1,664 sf area (sq. ft.) 180 + 216 = 396 sf height area (sq. ft.) area (sq. ft.) area (sq. ft.) Total Structures sq.ft. / Lot sq.ft. = Lot Coverage *see special note Total Structures sq.ft. / Lot sq.ft. = Lot Coverage 2060 / 7,800 = .26 *Note: Property information can be found by using the Assessor Property Search web page (http://land.elpasoco.com) *Note: Property information can be found by using the Assessor Property Search web page (http://land.elpasoco.com) The Assessor web page provides an unofficial aerial parcel map view showing lot lines; also included is a measuring tool. The Assessor web page provides an unofficial aerial parcel map view showing lot lines, also included is a measure tool. A site plan for an addition does not have to be a survey scaled map; however, the plan map should be relatively proportional. A site plan for an addition does not have to be a survey scaled map; however, the plan should be relatively proportional. For existing structures area, use the first floor area of the house plus garage and any other structure (sheds, etc.) For existing structures area, use the first floor area of the house plus garage and any other structure (sheds, etc.) Applicant is responsible for the accuracy of the site plan. Any "no build" areas and special easements must be shown. Applicant is responsible for the accuracy of the site plan. Any "no build" areas and special easements must be shown. Any approval given be El PasoCounty does not obviate the need to comply with Federal, State, and local laws or regulation. Any approval given be El PasoCounty does not obviate the need to comply with Federal, State, and local laws or regulation. mmmmm 1,264 sf, house (first floor) Special Note: 400 sf, garage Lot coverage not required for a lot this size. 180 sf, new deck North Changes in lot coverage have little impact. 216 sf, new workshop 2,060 sf, total structures North It is not essential to show basic setbacks or 2,060 sf structures / 7,800 sf lot = .26 easements unless the structure is near .26 x 100 = 26% lot coverage boundaries. Setbacks & easements will be driveway applied when reviewing the site plan to determine if there are any encroachments. house Special easements or build restricted areas must be shown (These may be found on a subdivision plat or PUD document.) drainage new deck easement New detached "no build" garage 40' x 24' 960 sf new workshop mmm Ransom Rd 769' Special Note: existing house It is not essential to show 2080 sf 538 setbacks or easements unless the new structure is near existing stable boundaries. They will be PROJECT CODE INFORMATION driveway applied when reviewing the site plan to determine if there are PROJECT ADDRESS: 16965 LINDBERGH ROAD any encroachments MONUMENT, CO 80132 1291 minim **CURRENT ZONING:** A-5 . 553'-8 1/4" 400'-0" LINDBERG 968.69' - EXISTING GATE & DRIVE 1" = 40'-0"

Site Plan - Residential Property

PROJECT:

fuel

16965 LINDBERGH ROAD
MONUMEBT, CO 80132

TAX ID#:

219 WEST COLORADO AVE. SUITE 308 COLORADO SPRINGS, CO. 719-634-3600 719-634-2239

ARCHITECT



3311 Elm Street, Suite 105
Dallas, Texas 75226
214-742-6044
www.sgdesign.biz

ARCHITECT'S SEAL:



TOM CHAPMAN, ARCHITECT Colorado Registration # C-5397

CONSULTANT'S SEAL:

FULL SET ISSUE HISTORY:			
OUEET DELTA DELVIOLONI			

SHEET DELTA REVISION:

WING INFO:	
441.534 6344	

DRAWN BY: SW
CHECKED BY: JS

SHEET NUMBER:

SITE PLAN

A1.1