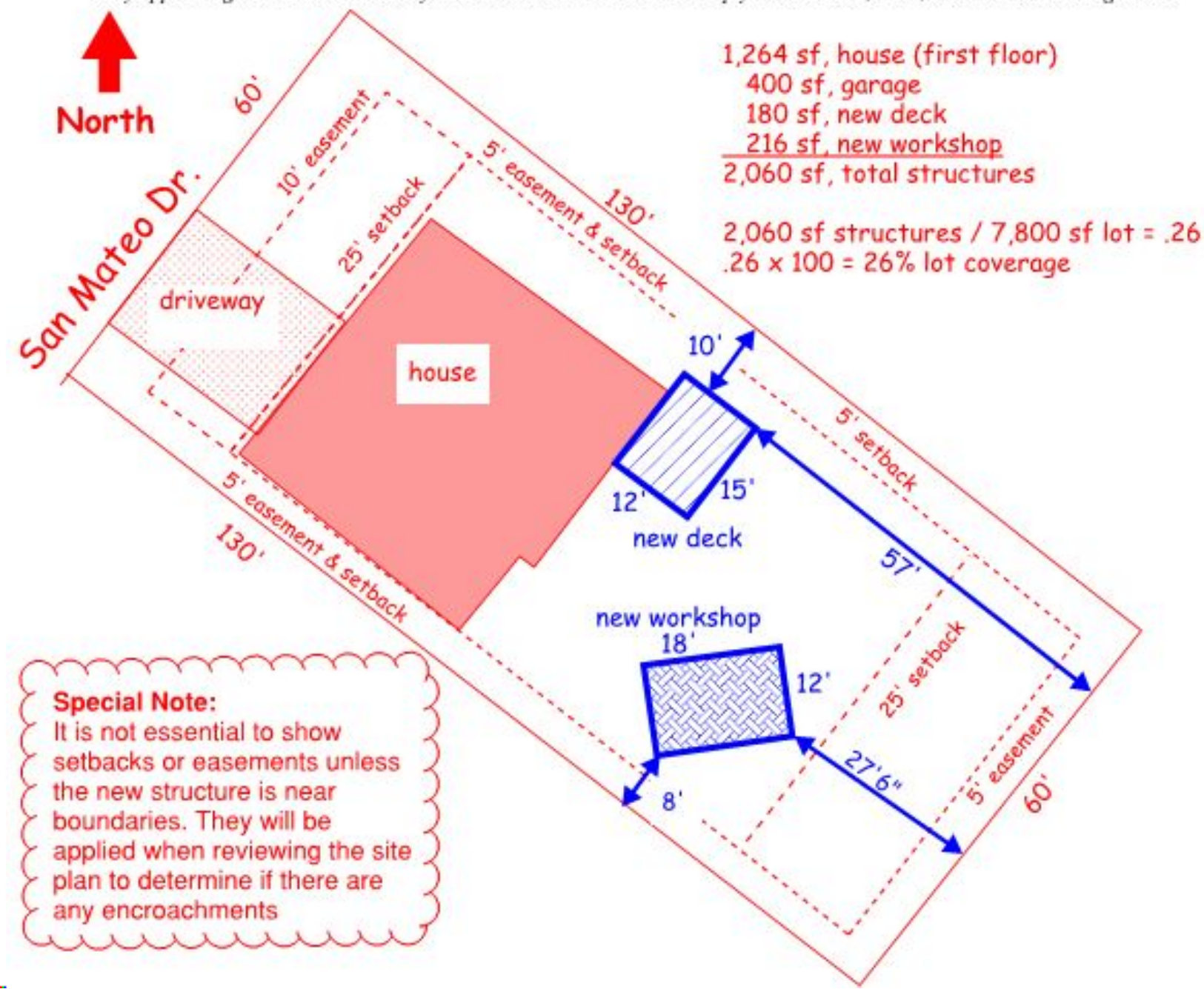


Site Plan – Residential Property

Applicant Name Raymond Lewis (719) 520-6300 ray1243@gmail.com
 Company Name _____
 Property Address* 2163 San Mateo Dr
 Legal Description* LOT 57 Village at Wolf Ranch F#16
 Parcel/Schedule #* 55071-10-086 Zoning* RS-6000 Plat* 12432 Lot area* (sq. ft.) 7,080
 Proposed Structure (include dimension) new 12' x 15' deck and new 18' x 12' workshop (height 12')
 Existing structures* area (sq. ft.) 1,664 sf New structure area (sq. ft.) 180 + 216 = 396 sf Structure height 12'
 Total Structures sq.ft. / Lot sq.ft. = Lot Coverage 2060 / 7,800 = .26

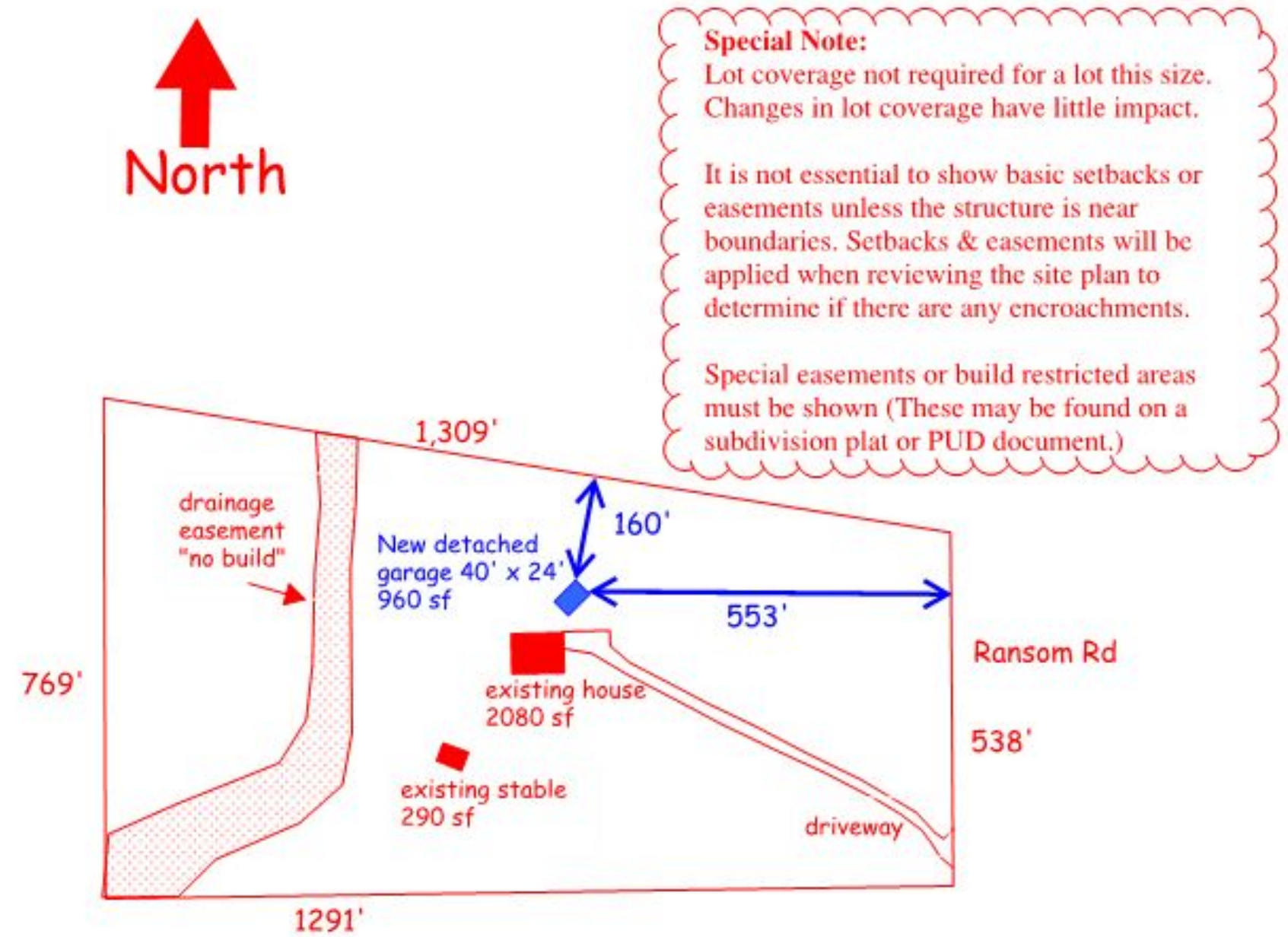
*Note: Property information can be found by using the Assessor Property Search web page (<http://land.elpasoco.com>)
 The Assessor web page provides an unofficial aerial parcel map view showing lot lines; also included is a measuring tool.
 A site plan for an addition does not have to be a survey scaled map; however, the plan should be relatively proportional.
 For existing structures area, use the first floor area of the house plus garage and any other structure (sheds, etc.)
 Applicant is responsible for the accuracy of the site plan. Any "no build" areas and special easements must be shown.
 Any approval given by El Paso County does not obviate the need to comply with Federal, State, and local laws or regulation.



Site Plan – Residential Property

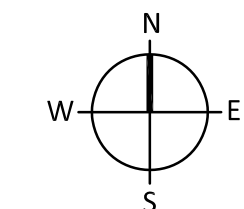
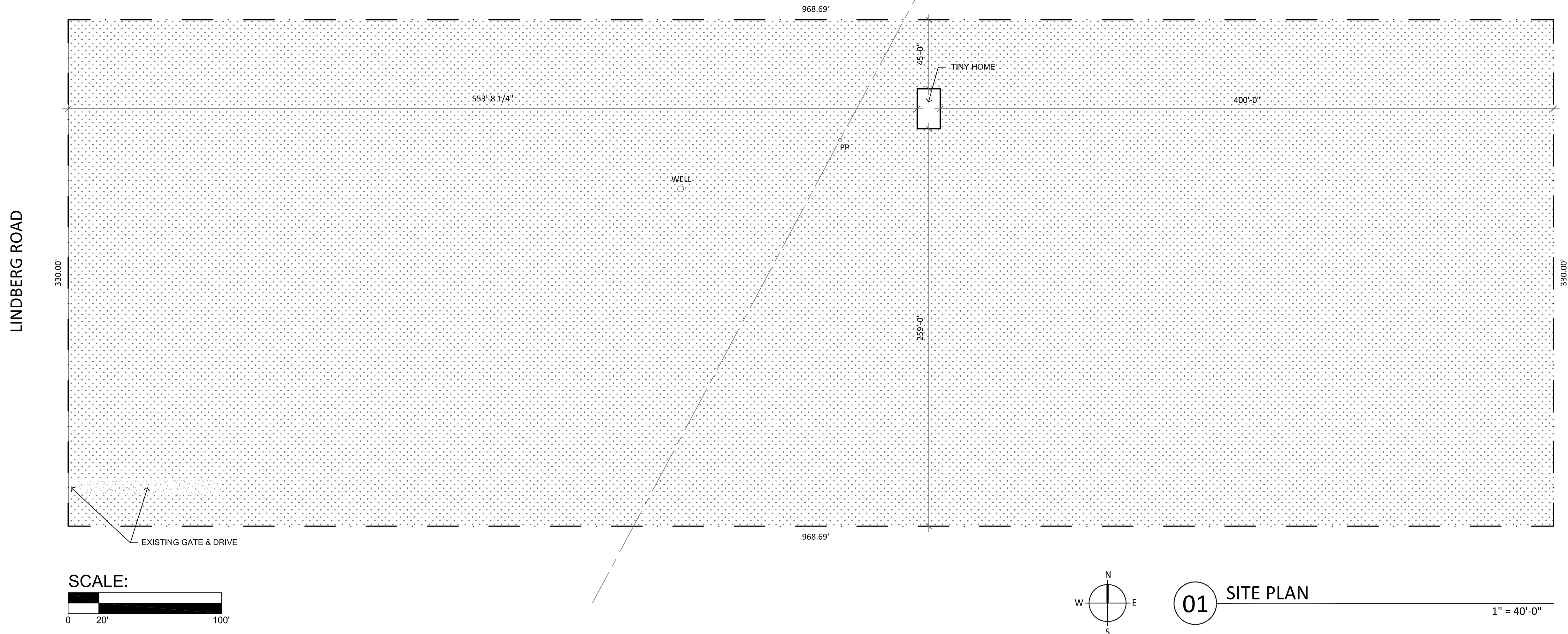
Applicant Name Ray Sorenson (719) 520-6300 rayman790.yahoo.com
 Company Name _____
 Property Address* 1126 Ransom Rd
 Legal Description* LOT 2 Green Gardens sub no 1
 Parcel/Schedule #* 7403219002 Zoning* A-5 Plat* 24621 Lot area* (sq. ft.) 19.6 acre
 Proposed Structure (include dimension) new detached garage, 24' x 40'
 Existing structures* area (sq. ft.) 2370 New structure area (sq. ft.) 960 sf Structure height 14'
 Total Structures sq.ft. / Lot sq.ft. = Lot Coverage *see special note

*Note: Property information can be found by using the Assessor Property Search web page (<http://land.elpasoco.com>)
 The Assessor web page provides an unofficial aerial parcel map view showing lot lines; also included is a measure tool.
 A site plan for an addition does not have to be a survey scaled map; however, the plan should be relatively proportional.
 For existing structures area, use the first floor area of the house plus garage and any other structure (sheds, etc.)
 Applicant is responsible for the accuracy of the site plan. Any "no build" areas and special easements must be shown.
 Any approval given by El Paso County does not obviate the need to comply with Federal, State, and local laws or regulation.



- Here are two site plan examples with all necessary information.
 - show the dimensions of the tiny home
 Please show access (driveway along with road surface type)
 - Correct the spelling of Monument in the address
 - Show applicable easements
 Include Tax ID Number.

PROJECT CODE INFORMATION	
1. PROJECT ADDRESS:	16965 LINDBERGH ROAD MONUMENT, CO 80132
2. CURRENT ZONING:	A-5



01 SITE PLAN



16965 LINDBERGH ROAD
 MONUMENT, CO 80132

TAX ID#
 PROJECT MANAGEMENT
bobby hill
 DESIGNS

219 WEST COLORADO AVE.
 SUITE 308
 COLORADO SPRINGS, CO.
 719-634-3600 719-634-2239



3311 Elm Street, Suite 105
 Dallas, Texas 75226
 214-742-6044
 www.sgdesign.biz

ARCHITECT'S SEAL:
 THIS DOCUMENT IS NOT INTENDED FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION PURPOSES. IT IS RELEASED FOR GENERAL REVIEW ONLY.
 TOM CHARMAN, ARCHITECT
 Colorado Registration # C-5397

CONSULTANT'S SEAL:

FULL SET ISSUE HISTORY:

SHEET DELTA REVISION:

DRAWING INFO:
 DRAWN BY: SW
 CHECKED BY: JS
 SHEET NUMBER:

SITE PLAN
A1.1