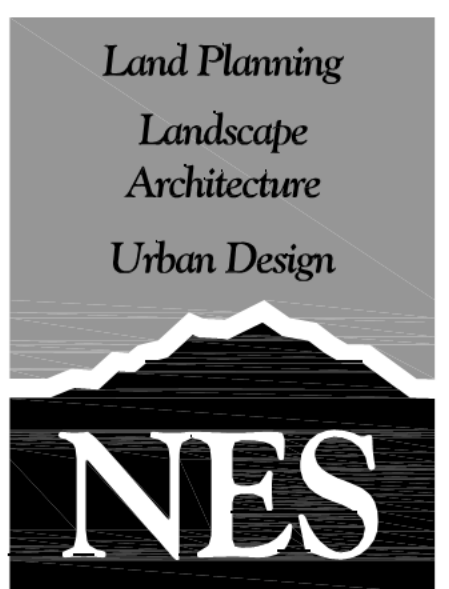


# COTTAGES AT WOODMEN HEIGHTS

## CITY OF COLORADO SPRINGS, COLORADO DEVELOPMENT PLAN



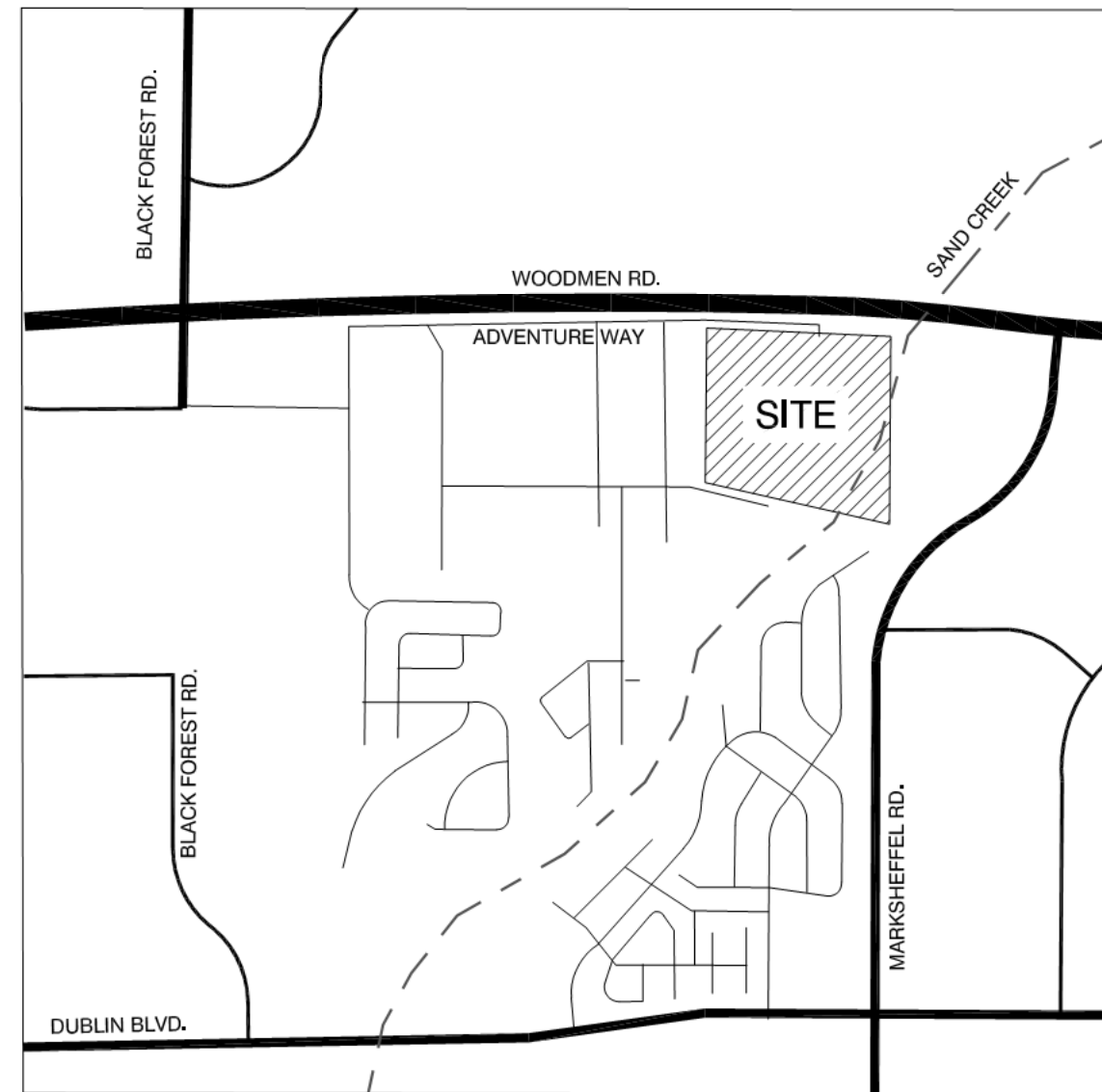
N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

www.nescolorado.com

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### VICINITY MAP



### OWNER

KINZLER TRUST  
948 EASTWOOD DR  
GOLDEN CO,  
80401

### APPLICANT

N.E.S. INC.  
619 N. CASCADE AVE.,  
SUITE 200  
COLORADO SPRINGS, CO  
80903

### DEVELOPER

GK DEVELOPMENT  
8605 EXPLORER DRIVE, SUITE #250  
COLORADO SPRINGS, CO  
80920

### CIVIL ENGINEERING

DREXEL, BARRELL & CO.  
3 S. 7th STREET  
COLORADO SPRINGS, CO  
80905

### SITE DATA

Tax ID Number:	5308000131	Parking Calculations (Cottages):	STUDIO	1.1 Spaces/Unit	20	22 Spaces
Site Area:	38.5 AC	1 BR	1.5 Spaces/Unit	76 Units	114 Spaces	
Master Plan:	Woodmen Heights Master Plan	2 BR	1.7 Spaces/Unit	96 Units	164 Spaces	
Development Schedule:	Fall 2020-2021	3 BR	2.0 Spaces/Unit	10 Units	20 Spaces	
Current Zoning:	A/SS/AO	Office	1.0 Spaces/400 SF	3,493 SF	9 Spaces	
Proposed Zoning:	PUD/AO/SS					
Proposed Use:	Multi-family, Driving School, Commercial	Total Required:	329 Spaces			
Site Area:	81	Total Provided:	399 Spaces (359 surface, 40 garage)			
Proposed Total Lots:	280 (202 Cottages, 78 Townhomes)	Total ADA Required:	8 Spaces (2 Van Accessible)			
Proposed Dwelling Units:	9.15 DU/AC	Total ADA Provided:	14 Spaces (14 Van Accessible)			
Gross Density:	9.15 DU/AC	(11 surface, 3 garage)				
Building Setbacks (perimeter):		Parking Calculations (Townhomes):	2 BR	1.7 Spaces/Unit	34 Units	58 Spaces
- Front (Adventure Way)	10'	3 BR	2.0 Spaces/Unit	44 Units	88 Spaces	
- Front (Woodmen Rd.)	20'					
- Side	10'	Total Required:	146 Spaces			
- Rear	25'	Total Provided:	182 Spaces (26 surface, 156 garage)			
Maximum Building Height:	45'	Total ADA Required:	1 Spaces (1 Van Accessible)			
Max. Building Lot Coverage (Overall):	40%	Total ADA Provided:	1 Spaces (1 Van Accessible)			
Max. Building Lot Coverage (Per Lot):	60%	Parking Calculations (Driving School):	Personal Improvements Service	1.0 Spaces/250 SF	1,080 SF	5 Spaces
Proposed Lot Coverage:		Total Required:	5 Spaces			
- Total Area	1,595,046 SF (36.6 AC)	Total Provided:	5 Spaces			
- Excludes Adventure Way ROW & Future Commercial	209,492 SF (13 %)	Total ADA Required:	1 Spaces (1 Van Accessible)			
- Building	530,181 SF (33 %)	Total ADA Provided:	1 Spaces (1 Van Accessible)			
- Impervious	855,373 SF (54 %)					
- Landscape						
Landscape Setbacks/Buffer:						
- Adventure Way:	10' Setback					
- Woodmen Rd:	25' Setback					
- South Boundary:	15' Buffer					
- West Boundary:	15' Buffer					
- East Boundary:	Zone Boundary					
- Lot 1 to Lot 2:	15' Buffer					
Open Space:						
Required Per Bedroom =	200 SF x 474 Bedrooms					
	94,800 SF Total					
Proposed Per Bedroom =	560 SF (265,388 SF Total)					

### LOT / TRACT TABLE

NAME	SIZE	USE	LANDSCAPE MAINTENANCE
Lot 1	6 AC	Personal Improvement services	Property owner or their assigns
Lot 2	14.5 AC	Multi-family Residential	Property owner or their assigns
Lots 3-80	4 AC	Multi-family Residential	Homeowners association
Tract A	0.25 AC	Landscape setback, Open Space, Trails	Homeowners association
Tract B	1.5 AC	Private Road, Parking, Open Space	Homeowners association
Tract C	10.5 AC	Public Detention, Drainage, Open Space, Trails	Homeowners association
Lot 81	1 AC	Future Development	Property owner or their assigns

### GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- DRIVEWAYS ARE TO BE A MINIMUM 20' OR MAXIMUM 8' LENGTH FROM GARAGE FACE TO BACK OF WALK OR CURB (OR EDGE OF PAVEMENT OF ACCESS ROAD). ALL DRIVEWAYS ARE TO BE CONSTRUCTED TO CITY STD. D-16.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
- PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
- ALL PRIVATE TRAFFIC SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD GUIDELINES AND INSTALLED BY THE DEVELOPER. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 2880 INTERNATIONAL CIRCLE FOR SIGN PLAN APPLICATION.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS AND CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5978.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- PER THE FEMA FLOOD INSURANCE RATE MAPS (FIRM), MAP NO. 08041C0533G, HAVING A MAP REVISED DATE OF DECEMBER 7, 2018, INDICATES THE SUBJECT PROPERTY TO BE DESIGNATED AS ZONE AE.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- THE PROPERTY BEING PLATTED HEREIN IN ITS ENTIRETY IS SUBJECT TO AN AVIGATION EASEMENT FOR PUBLIC AVIGATION PURPOSES. SAID EASEMENT SHALL BE CONSIDERED A PUBLIC EASEMENT AND SUBJECT TO THOSE TERMS AND CONDITIONS AS SPECIFIED ON THE INSTRUMENT RECORDED AT RECEPTION NO. 217069667 OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENT OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
- NO DEVELOPMENT SHALL OCCUR ON LOT 81 WITHOUT AN APPROVED AMENDMENT TO THIS DEVELOPMENT PLAN OR A SEPARATE DEVELOPMENT PLAN.

### LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHEAST 1/4 OF SECTION 8, T13S, R65W OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

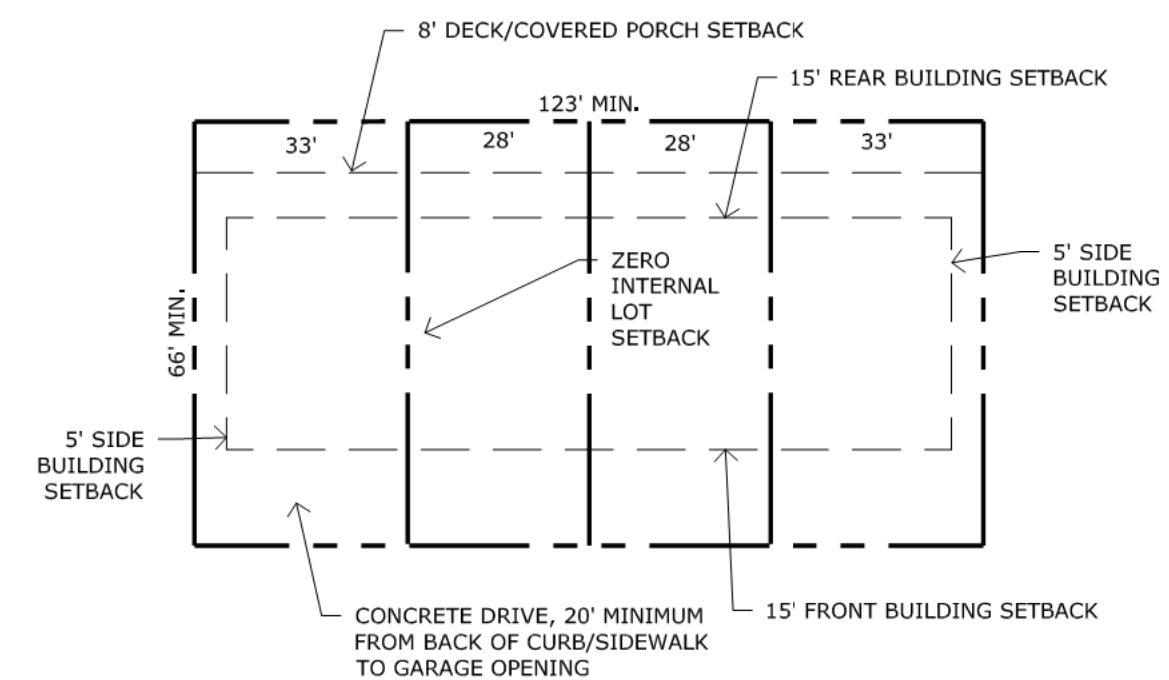
COMMENCING AT THE NORTHEAST CORNER OF THE NE 1/4 OF SAID SECTION 8 AND CONSIDERING THE EAST LINE OF SAID NE 1/4 IS ASSUMED TO BEAR S00°17'38"E, SAID LINE IS MONUMENTED AT THE NORTH END BY A NUMBER 6 STEEL REBAR WITH A 3.25" ALUMINUM CAP STAMPED "AZTEC CONSULTANTS INC T13S R65W S5 S4 S8 S9 2015 PLS 38256" AND MONUMENTED AT THE SOUTH END BY A NUMBER 6 STEEL REBAR WITH A 3.25" ALUMINUM CAP STAMPED "AZTEC CONSULTANTS INC T13S R65W 1/4 S8 S9 2015 PLS 38256" WITH ALL BEARINGS CONTAINED HEREIN RELATIVE TO SAID LINE;

THENCE S00°17'38"E, 30.00 FEET ALONG SAID EAST LINE OF THE NE 1/4 TO THE POINT OF BEGINNING, BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF WOODMEN ROAD, AS SHOWN ON THE RIGHT-OF-WAY PLANS THEREOF RECORDED UNDER RECEPTION NO. 205900244 OF THE RECORDS OF EL PASO COUNTY, COLORADO, SAID RIGHT-OF-WAY LINE BEING 30.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF THE NE1/4 OF SECTION 8;

THENCE S00°17'38"E, 1297.38 FEET, CONTINUING ALONG THE EAST LINE OF THE NE 1/4 OF SECTION 8, TO THE SOUTHEAST CORNER OF THE NE 1/4 OF THE NE/14 OF SECTION 8; THENCE S89°15'54"W, 1310.10 FEET ALONG THE SOUTH LINE OF SAID NE 1/4 OF THE NE 1/4 TO THE SOUTHWEST CORNER OF THE NE 1/4 OF THE NE 1/4; THENCE N00°04'28"W, 1300.16 FEET ALONG THE WEST LINE OF THE NE1/4 OF THE NE 1/4 TO THE SOUTHERLY RIGHT-OF-WAY LINE OF WOODMEN ROAD AS DESCRIBED ABOVE; THENCE N89°23'05"E, 1305.10 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 38.985 ACRES OR 1,698,200 SQUARE FEET, MORE OR LESS.

### LOT TYPICAL (TOWNHOMES)



### UNIT TYPES (COTTAGES)

STUDIOS- 1 Story, 2 Units (Sheet 13) Height- 13'-6" Size- 15W x 49D Unit A- Studio, 348 SF Unit B- Studio, 348 SF	DUPLEX MODEL 4- 2 Story, 2 Units (Sheet 16,17) Height- 24'-3" Size- 15W x 60D Unit A- 1 Bedroom, 770 SF Unit B- 2 Bedroom, 900 SF
DUPLEX MODEL 1- 1 Story, 2 Units (Sheet 14) Height- 16' Size- 28W x 48D Unit A- 1 Bedroom, 669 SF Unit B- 1 Bedroom, 606 SF	DUPLEX MODEL 5- 2 Story, 2 Units (Sheet 18,19) Height- 25'-4" Size- 28W x 57D Unit A- 3 Bedroom, 1,440 SF Unit B- 3 Bedroom, 1,508 SF
DUPLEX MODEL 2- 1 Story, 2 Units (Sheet 15) Height- 16' Size- 28W x 60D Unit A- 2 Bedroom, 836 SF Unit B- 2 Bedroom, 774 SF	

### SHEET INDEX

SHEET 1 of 24	COVER SHEET
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SHEET 4 of 24	PRELIMINARY UTILITIES
SHEET 5 of 24	PRELIMINARY UTILITIES
SHEET 6 of 24	STREAM SIDE EXHIBIT
SHEET 7 of 24	PRELIMINARY LANDSCAPE PLAN
SHEET 8 of 24	PRELIMINARY LANDSCAPE PLAN
SHEET 9 of 24	PRELIMINARY LANDSCAPE PLAN
SHEET 10 of 24	LANDSCAPE NOTES AND DETAILS
SHEET 11 of 24	SITE DETAILS
SHEET 12 of 24	FIRE TRUCK TURNING PATH
SHEET 13 of 24	BUILDING ELEVATIONS- COTTAGES
SHEET 14 of 24	BUILDING ELEVATIONS- COTTAGES
SHEET 15 of 24	BUILDING ELEVATIONS- COTTAGES
SHEET 16 of 24	BUILDING ELEVATIONS- COTTAGES
SHEET 17 of 24	BUILDING ELEVATIONS- COTTAGES
SHEET 18 of 24	BUILDING ELEVATIONS- COTTAGES
SHEET 19 of 24	BUILDING ELEVATIONS- COTTAGES
SHEET 20 of 24	BUILDING ELEVATIONS- CLUBHOUSE
SHEET 21 of 24	BUILDING ELEVATIONS- TOWNHOMES
SHEET 22 of 24	BUILDING ELEVATIONS- TOWNHOMES
SHEET 23 of 24	BUILDING ELEVATIONS- GARAGES
SHEET 24 of 24	BUILDING ELEVATIONS- GARAGES

## COTTAGES AT WOODMEN HEIGHTS

ADVENTURE WAY  
COLORADO SPRINGS,  
CO 80923

DATE: 02-26-2020  
PROJECT MGR: A.BARLOW  
PREPARED BY: K.MARSHALL

### ENTITLEMENT

DATE: BY: DESCRIPTION:

### COVER

# 1

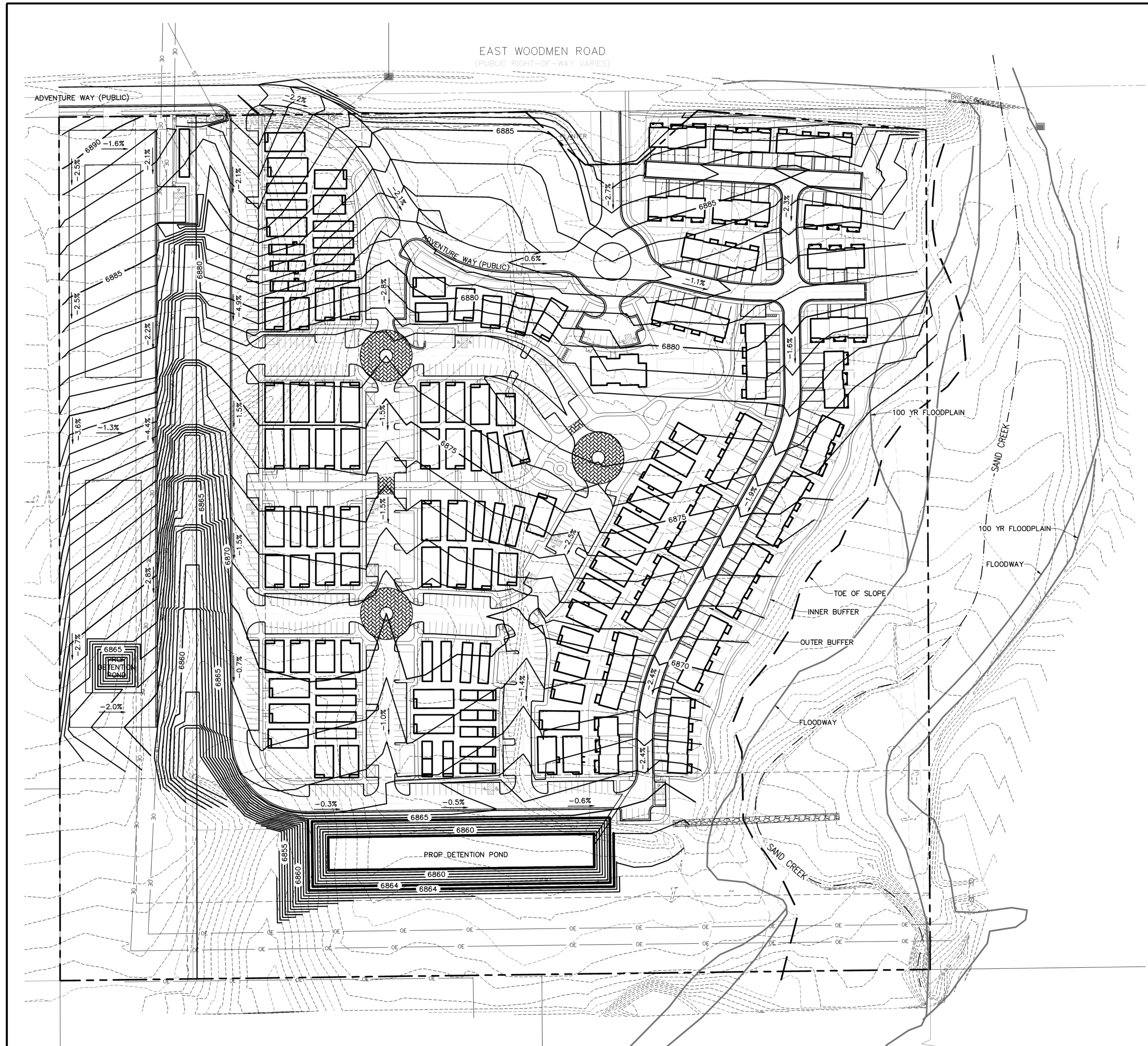
1 OF 24

CPC #









**LEGEND**

- EX. INTERMEDIATE CONTOUR ..... 6202
- EX. INDEX CONTOUR ..... 6205
- PROPERTY LINE .....
- EASEMENT .....
- PROPOSED INTERMEDIATE CONTOUR ..... 6222
- PROPOSED INDEX CONTOUR ..... 6225
- EX. TRANSMISSION TOWER ..... T.T.
- EX. ELECTRIC BOX ..... @
- EX. ELECTRIC VAULT ..... [Symbol]
- EX. TRANSFORMER ..... [Symbol]
- EX. ELECTRIC MANHOLE ..... [Symbol]
- EX. LIGHT POLE ..... [Symbol]
- EX. ELECTRIC METER ..... [Symbol]
- EX. UTILITY POLE ..... [Symbol]

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 3 SOUTH 7TH STREET  
 COLORADO SPRINGS, COLORADO 80905  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719)264-0887  
 BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:  
**GOODWIN KNIGHT**  
 8605 EXPLORER DRIVE, SUITE 250  
 COLORADO SPRINGS,  
 COLORADO 80920  
 (719)-598-5192

DEVELOPMENT PLAN  
**COTTAGES @  
 WOODMEN HEIGHTS**  
 7725 ADVENTURE WAY  
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	02-06-20
LATEST ISSUE	02-26-20

DESIGNED BY:	TDM
DRAWN BY:	SLG
CHECKED BY:	TDM
FILE NAME:	21369-00GP1

DRAWING SCALE:  
 HORIZONTAL: X" = XX"  
 VERTICAL: X" = XX"

**PRELIMINARY  
 GRADING  
 PLAN**

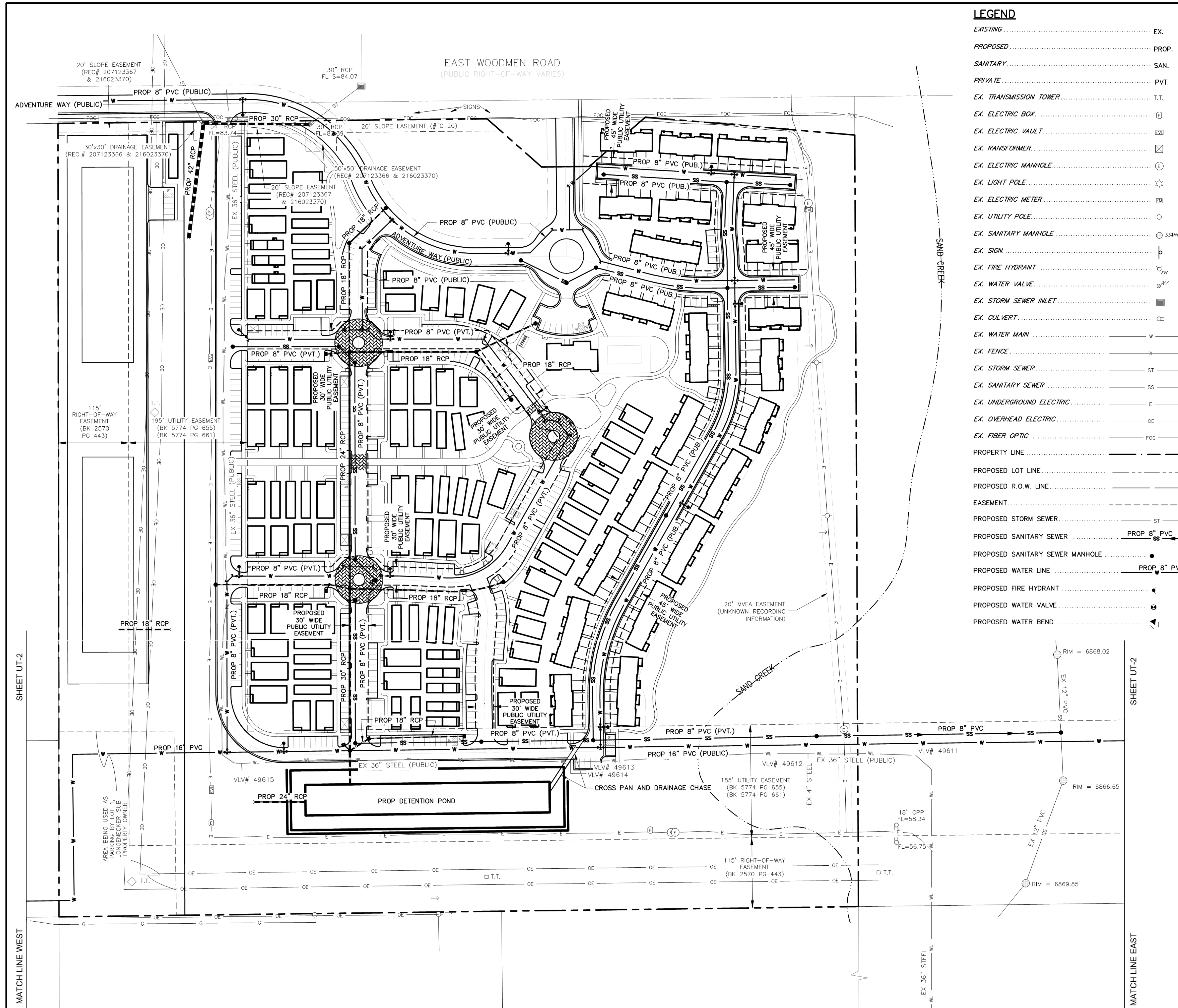
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 DRAWING NO.

**GP-1**

SHEET: 3 OF 24



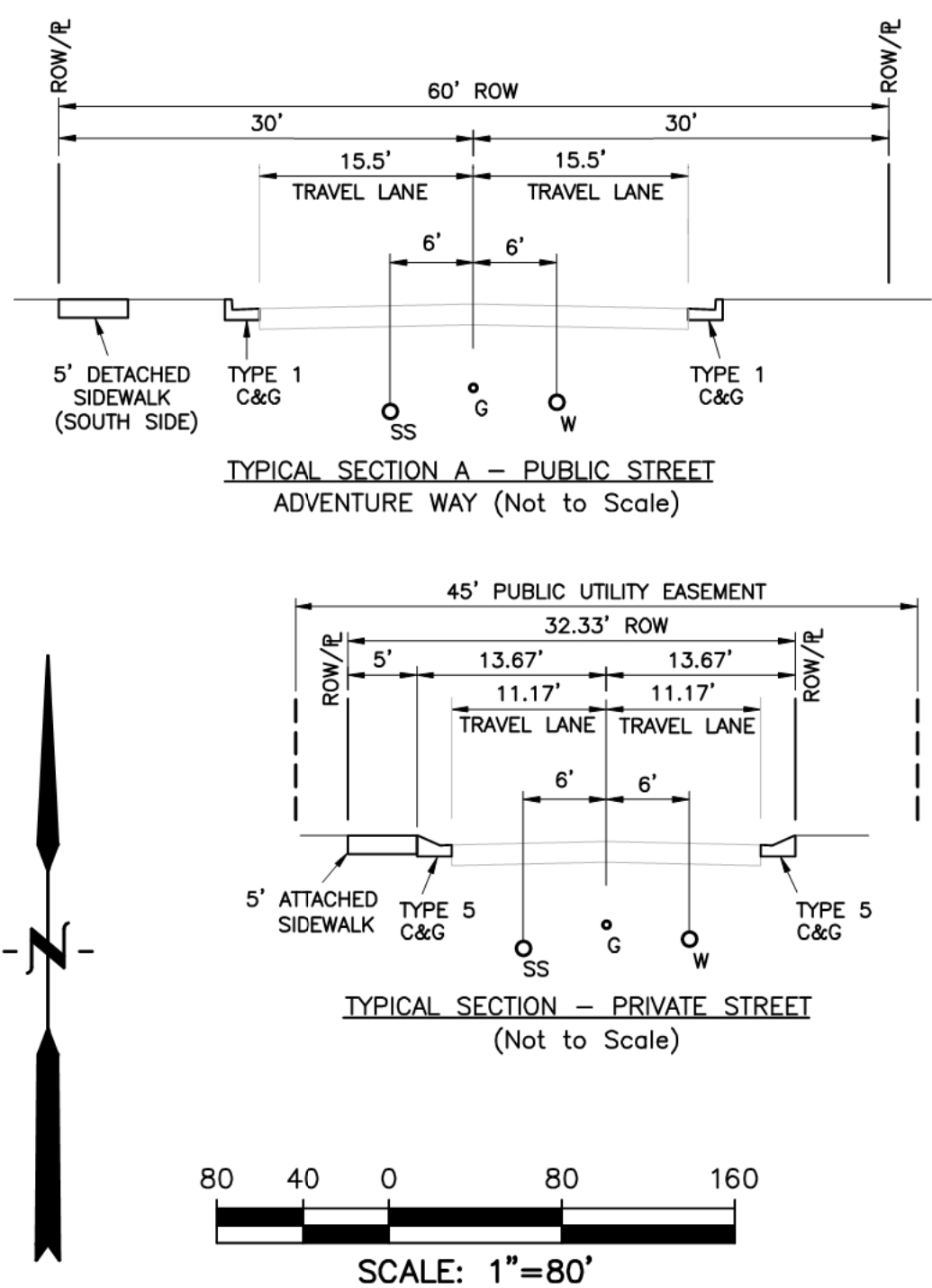




**LEGEND**

EXISTING .....	EX.
PROPOSED .....	PROP.
SANITARY .....	SAN.
PRIVATE .....	PVT.
EX. TRANSMISSION TOWER .....	T.T.
EX. ELECTRIC BOX .....	Ⓚ
EX. ELECTRIC VAULT .....	Ⓚ
EX. TRANSFORMER .....	Ⓚ
EX. ELECTRIC MANHOLE .....	Ⓚ
EX. LIGHT POLE .....	Ⓚ
EX. ELECTRIC METER .....	Ⓚ
EX. UTILITY POLE .....	Ⓚ
EX. SANITARY MANHOLE .....	Ⓚ
EX. SIGN .....	Ⓚ
EX. FIRE HYDRANT .....	Ⓚ
EX. WATER VALVE .....	Ⓚ
EX. STORM SEWER INLET .....	Ⓚ
EX. CULVERT .....	Ⓚ
EX. WATER MAIN .....	W
EX. FENCE .....	X
EX. STORM SEWER .....	ST
EX. SANITARY SEWER .....	SS
EX. UNDERGROUND ELECTRIC .....	E
EX. OVERHEAD ELECTRIC .....	OE
EX. FIBER OPTIC .....	FOC
PROPERTY LINE .....	---
PROPOSED LOT LINE .....	---
PROPOSED R.O.W. LINE .....	---
EASEMENT .....	---
PROPOSED STORM SEWER .....	ST
PROPOSED SANITARY SEWER .....	PROP 8" PVC
PROPOSED SANITARY SEWER MANHOLE .....	●
PROPOSED WATER LINE .....	PROP 8" PVC
PROPOSED FIRE HYDRANT .....	●
PROPOSED WATER VALVE .....	●
PROPOSED WATER BEND .....	▲

- General Notes for Preliminary Utility Plans**
- Property Owner(s) acknowledge and agree to the following upon approval of Preliminary Utility Plan:
- Colorado Springs Utilities (Springs Utilities) shall make the final determination of the location of all water, wastewater, electric and gas facilities, which may not be the same location as shown on this Preliminary Utility Plan.
  - Property Owner(s) ("Owner") acknowledges that the connection and/or extension of utility services to the property identified in this Preliminary Utility Plan ("Property") shall be in accordance with all applicable codes and regulations, Springs Utilities Line Extension & Service Standards ("Standards"), Tariffs, Colorado Springs City Code, resolutions, and policies, and Pikes Peak Regional Building Department codes, in effect at the time of utility service connection and/or extension.
  - Owner acknowledges responsibility for the costs of extensions or utility system improvements that Springs Utilities determines necessary to provide utility services to the Property or to ensure timely development of integrated utility systems serving the Property and areas outside the Property (including the costs to design and install water systems, wastewater collection systems, and any gas or electric lines to and within the Property). Owner may be eligible for a cost Recovery Agreement as provided in Springs Utilities' Rules and Regulations.
  - Springs Utilities utility services are available on a "first-come, first-served" basis, and therefore no specific allocations or amounts of utility services, facilities, capacities or supplies are reserved for the Owner, and Springs Utilities makes no commitment as to the availability of any utility service until such time as an application for permanent service is approved by Springs Utilities.
  - The relocation or alteration of any existing utility facilities within the Property will be at the Owner's sole cost and expense. If Springs Utilities determines that Owner's relocation or alteration requires new or updated easements, Owner shall convey those easements prior to relocating or altering the existing utility facilities.
  - Owner shall dedicate by plat and/or convey by recorded document, all property and easements that Springs Utilities determines are required for all utility system facilities necessary to serve the Property or to ensure development of an integrated utility system. All easements granted by separate instrument shall utilize Springs Utilities' then-current Permanent Easement Agreement form.
  - The water system facilities must meet Springs Utilities criteria for water quality, reliability and pressure, including looping requirements (see Springs Utilities Line Extension and Service Standards).
  - Owner recognizes that the extension of water system facilities may affect the quality of water in the Springs Utilities water system. When a limitation upon the authority of Springs Utilities is affected, Owner acknowledges responsibility for any costs that Springs Utilities determines necessary in order to maintain water quality in its system as a result of Owner's water system extensions. Owner may be required to submit a Water Quality Plan for the project.
  - Owner must contact Springs Utilities Field Engineering to determine the location of all natural gas and electric meters and transformers and to ensure approval of gas-service-line pressures in excess of Springs Utilities standard gas system pressure. (Contact Field Engineering North 668-4985 or South 668-5564).
  - It shall not be permissible for any person to modify the grade of the earth within any Springs Utilities easement or rights of way without the written approval of Springs Utilities. Improvements, structures and trees shall not be located within utility easement, shall not violate National Electric Safety Code (NESC) provisions and clearances, and shall not impair access or the ability to maintain utility facilities.
  - Springs Utilities approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of Springs Utilities to apply its Standards; and if there are any conflicts between any approved drawings and any provision of Standards or the City Code, then the Standards or City Code shall apply. Springs Utilities' approval of this Preliminary Utility Plan shall not be construed as a limitation upon the authority of the City of Colorado Springs or Springs Utilities to adopt different ordinances, rules, regulations, resolutions, policies or codes which change any of the provisions of the Standards so long as they apply to the City generally and are in accordance with the then-current tariffs, rates and policies of Springs Utilities.



**PREPARED BY:**  
  
**DREXEL, BARRELL & CO.**  
 Engineers-Surveyors  
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 BOULDER • COLORADO SPRINGS • GREELEY

**CLIENT:**  
**GOODWIN KNIGHT**  
 8605 EXPLORER DRIVE, SUITE 250  
 COLORADO SPRINGS,  
 COLORADO 80920  
 (719)-598-5192

**DEVELOPMENT PLAN**  
**COTTAGES @**  
**WOODMEN HEIGHTS**  
 7725 ADVENTURE WAY  
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	02-06-20
LATEST ISSUE	02-26-20

**DESIGNED BY:** TDM  
**DRAWN BY:** SLG  
**CHECKED BY:** TDM  
**FILE NAME:** 21369-00UT1

**DRAWING SCALE:**  
 HORIZONTAL: 1" = 100"  
 VERTICAL: N/A

**PRELIMINARY**  
**UTILITY & PUBLIC**  
**FACILITY PLAN**

**PROJECT NO. 21369-00CSCV**  
**DRAWING NO.**

**UT-1**

**SHEET: 4 OF 24**



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
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DEVELOPMENT PLAN  
**COTTAGES @  
 WOODMEN HEIGHTS**  
 7725 ADVENTURE WAY  
 COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	02-06-20
LATEST ISSUE	02-26-20

DESIGNED BY: TDM  
 DRAWN BY: SLG  
 CHECKED BY: TDM  
 FILE NAME: 21369-00UT1

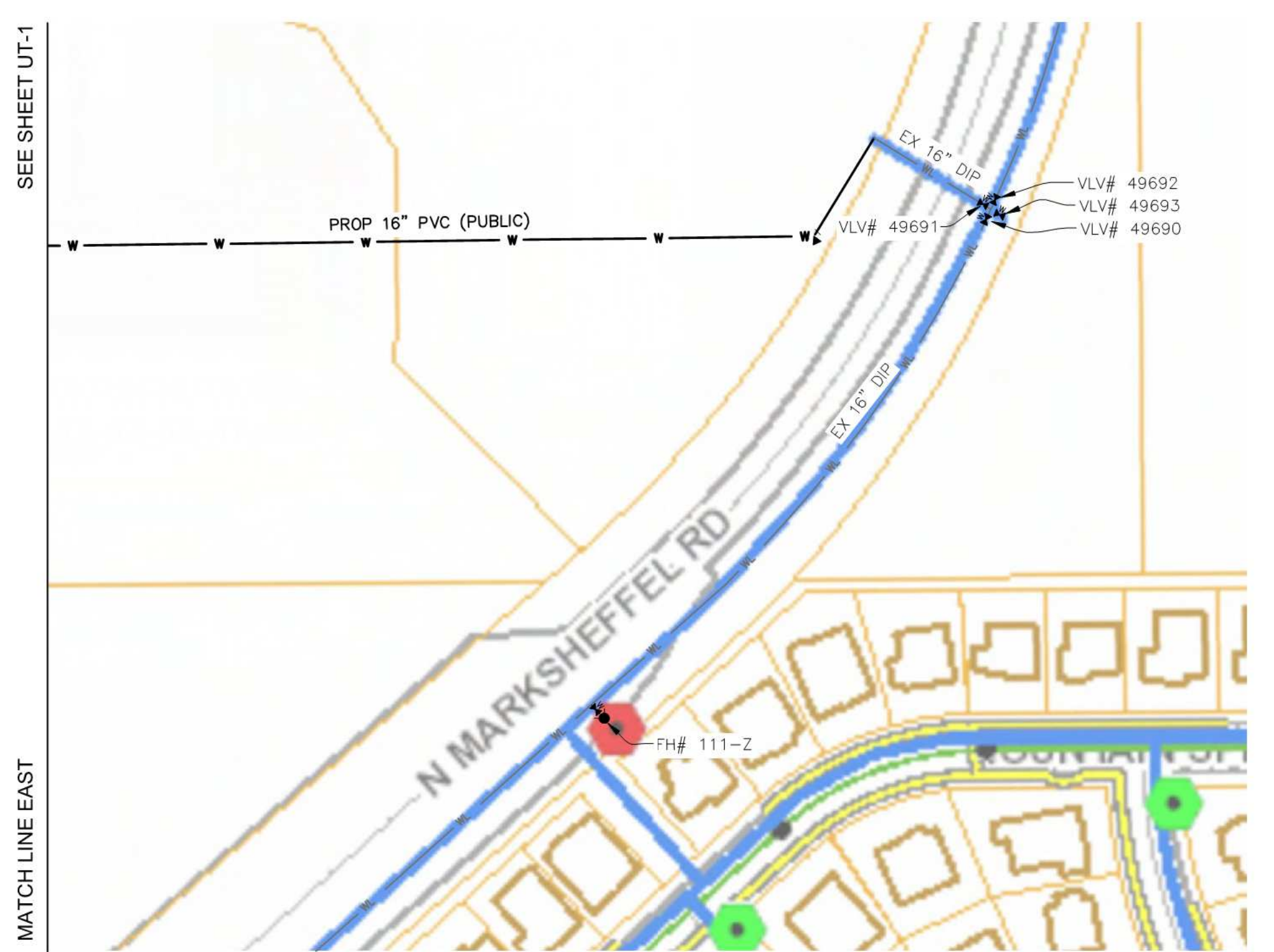
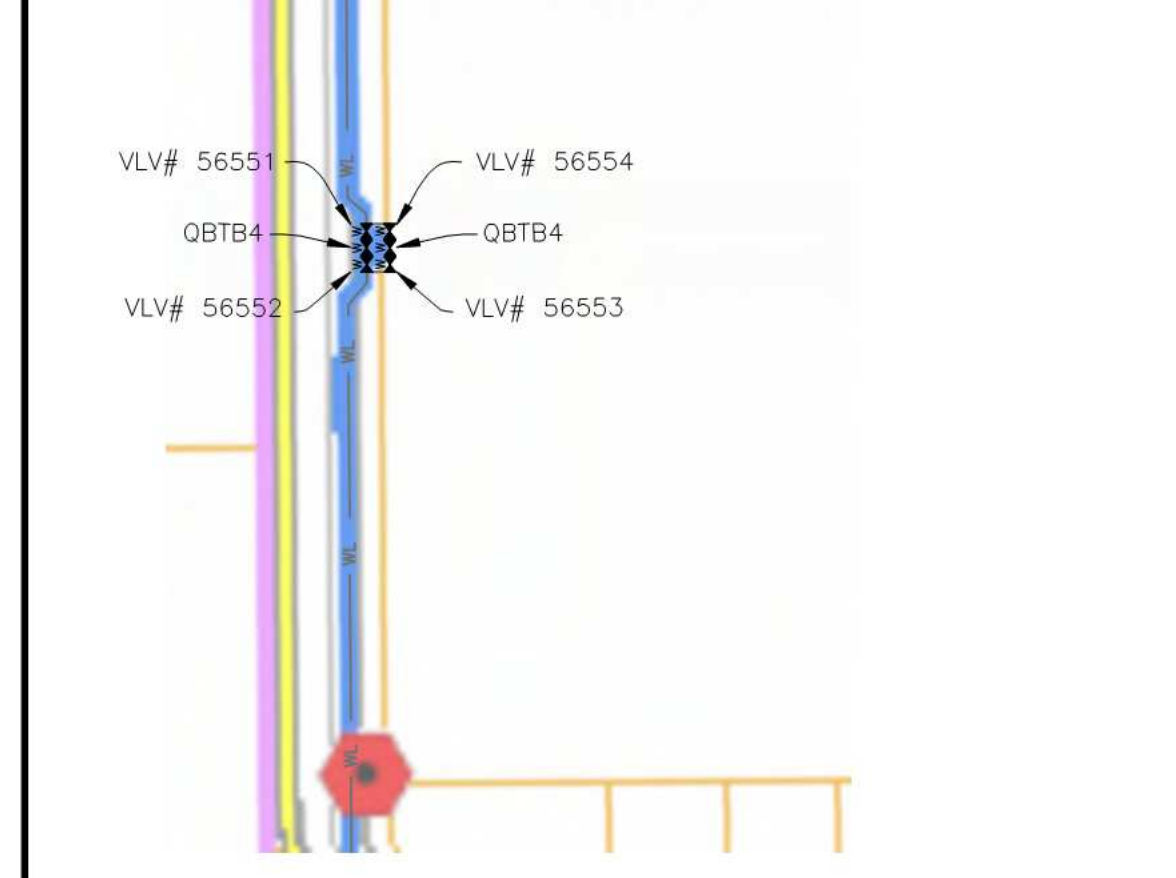
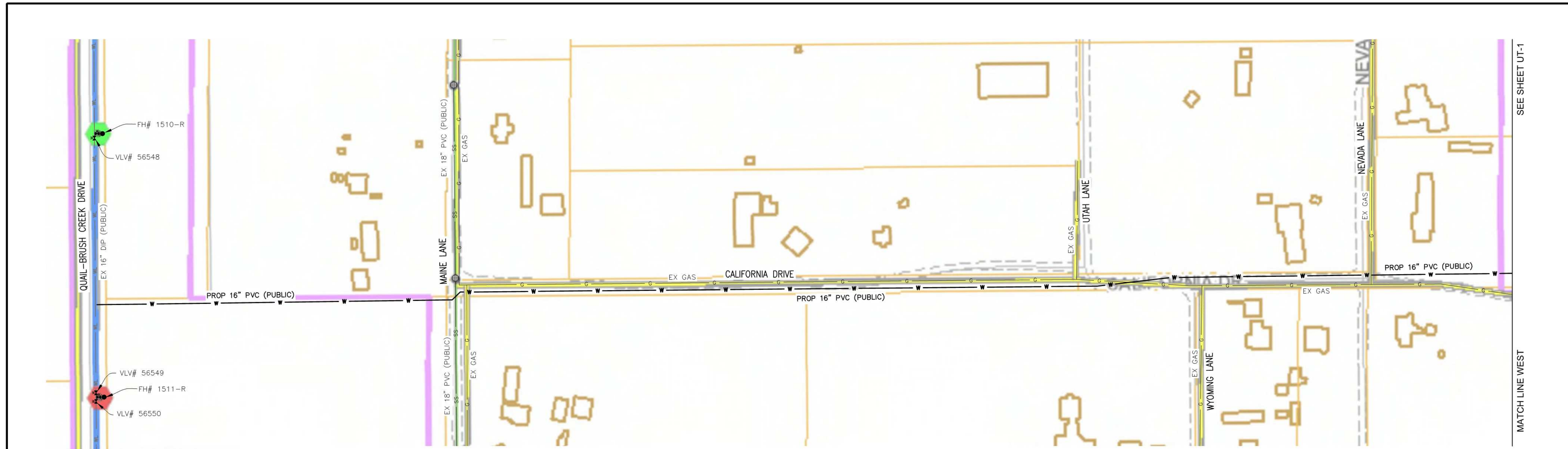
DRAWING SCALE:  
 HORIZONTAL: 1" = 100'  
 VERTICAL: N/A

PRELIMINARY  
 UTILITY & PUBLIC  
 FACILITY PLAN

PROJECT NO. 21369-00CSCV  
 DRAWING NO.

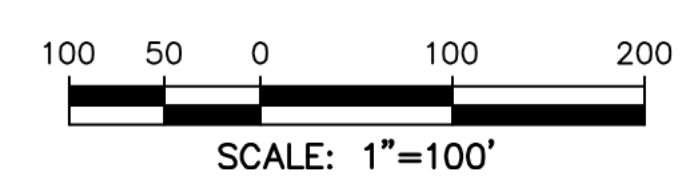
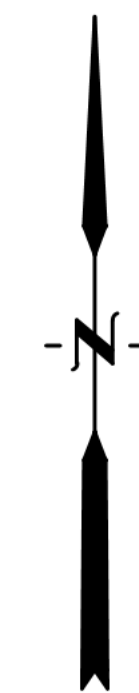
**UT-2**

SHEET: 5 OF 24



**LEGEND**

EXISTING .....	EX.	PROPERTY LINE .....	---
PROPOSED .....	PROP.	PROPOSED LOT LINE .....	- - - - -
SANITARY .....	SAN.	PROPOSED R.O.W. LINE .....	=====
PRIVATE .....	PVT.	EASEMENT .....	-----
EX. TRANSMISSION TOWER .....	T.T.	PROPOSED STORM SEWER .....	ST
EX. ELECTRIC BOX .....	⊕	PROPOSED SANITARY SEWER .....	PROP 8" PVC
EX. ELECTRIC VAULT .....	⊕	PROPOSED SANITARY SEWER MANHOLE .....	●
EX. TRANSFORMER .....	⊗	PROPOSED WATER LINE .....	PROP 8" PVC
EX. ELECTRIC MANHOLE .....	⊕	PROPOSED FIRE HYDRANT .....	⬄
EX. LIGHT POLE .....	⊙	PROPOSED WATER VALVE .....	⬄
EX. ELECTRIC METER .....	⊕	PROPOSED WATER BEND .....	⬄
EX. UTILITY POLE .....	⊙		
EX. SANITARY MANHOLE .....	⊕ SSMH		
EX. SIGN .....	⊕		
EX. FIRE HYDRANT .....	⊕ FH		
EX. WATER VALVE .....	⊕ WV		
EX. STORM SEWER INLET .....	⊕		
EX. CULVERT .....	⊕		
EX. WATER MAIN .....	W		
EX. FENCE .....	X		
EX. STORM SEWER .....	ST		
EX. SANITARY SEWER .....	SS		
EX. UNDERGROUND ELECTRIC .....	E		
EX. OVERHEAD ELECTRIC .....	OE		
EX. FIBER OPTIC .....	FOC		



**811** Know what's below.  
 Call before you dig.  
 CALL 2-BUSINESS DAYS IN ADVANCE  
 BEFORE YOU DIG, GRADE, OR  
 EXCAVATE FOR THE MARKING OF  
 UNDERGROUND MEMBER UTILITIES.



## STREAMSIDE REVIEW CRITERIA

**1. HAS THE NATURAL LANDFORM BEEN MAINTAINED WITHIN THE OVERLAY AREA AND DOES GRADING CONFORM TO THE SPECIFIC GRADING LIMITATIONS OF THIS SECTION AS WELL AS ALL OTHER CITY GRADING AND FILLING REGULATIONS?**  
This project will maintain the natural landform of the streamside since the grading plan meets and terminates at the slope of the inner buffer. Bank stabilization and revegetation is proposed in the impacted portions of the streamside. The bank will be revegetated to a more natural state per City Standards and the Streamside Design Guidelines.

**2. DOES THE DEVELOPMENT INCORPORATE THE STREAM ECOSYSTEM INTO THE PROJECT DESIGN AND COMPLEMENT THE NATURAL STREAMSIDE SETTING? HAS THE PROJECT BEEN DESIGNED TO LINK AND INTEGRATE ADJACENT PROPERTIES WITH THE STREAM CORRIDOR USING ACCESSWAYS, CREEK FRONT PLAZAS, EMPLOYEE RECREATIONAL AREAS OR OTHER SITE PLANNING AND LANDSCAPING TECHNIQUES WHICH INCLUDE THE STREAM CORRIDOR AS AN AMENITY?**  
This project provides a landscaped corridor with natural vegetation, a trail, and access to an existing concrete streamside trail on the eastern side of Sand Creek. The concrete trail is easily accessed by an existing sidewalk adjacent to the site.

**3. HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT UPON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM WHICH EXISTS ON OR ADJACENT TO THE SITE? DOES THE PROJECT DESIGN PROTECT ESTABLISHED HABITAT OR ANY KNOWN POPULATIONS OF ANY THREATENED OR ENDANGERED SPECIES OR SPECIES OF SPECIAL CONCERN?**  
This project contains 20% Impervious surfaces due to townhome lots being within the outer buffer of Sand Creek. Viable vegetation, if possible, will be preserved and revegetation is proposed to return the streamside to a more natural landscape and protect the creek. There is no impact on endangered species.

**4. HAVE EXISTING OR POTENTIAL COMMUNITY TRAIL NETWORKS AND OTHER RECREATIONAL OPPORTUNITIES BEEN IDENTIFIED AND INCORPORATED INTO THE PROJECT DESIGN?**  
A trail network is incorporated into the project design, and an existing concrete trail adjacent to Sand Creek is identified.

**5. HAS THE PROJECT BEEN DESIGNED TO PROTECT THE SUBJECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS?**  
The project site is outside of the floodplain for Sand Creek, and provides a public full spectrum detention pond. No channel improvements are required.

**6. HAVE ALL SIGNIFICANT NATURAL FEATURES WITHIN THE PROJECT STREAMSIDE AREA BEEN IDENTIFIED, AND HAS THE PROJECT BEEN DESIGNED TO MINIMIZE THE IMPACT ON THESE FEATURES?**  
There are no significant natural features within the streamside area other than the stream itself and there is no impact on the stream. This project contains 20% of impervious surfaces within the outer buffer and proposes to revegetate the remainder of the outer buffer of the streamside per City Standards and the Streamside Design Guidelines.

**7. DOES THE PROJECT IDENTIFY AND IMPLEMENT THE RECOMMENDATIONS OF ANY APPROVED SUBAREA PLANS (SUCH AS THE CITY GREENWAY MASTER PLAN, CITY OPEN SPACE PLAN OR A SPECIFIC DRAINAGE BASIN PLANNING STUDY) AND OF ANY APPROVED PUBLIC WORKS PROJECTS AND HABITAT CONSERVATION PLANS?**  
The project is within the Sand Creek Area Drainage Basin and bank stabilization is proposed to stabilize and revegetate the impacted portion of the streamside. The bank will be revegetated to a more natural state per City Standards and the Streamside Design Guidelines.

**8. DOES THE PROJECT DESIGN:**  
**A. IMPLEMENT A RIPARIAN BUFFER OF SPECIFIED WIDTH BETWEEN THE DEVELOPED PORTIONS OF THE SITE AND THE ADJACENT WATERWAY TO ASSIST IN PREVENTING POINT AND NONPOINT SOURCE POLLUTANTS AND SEDIMENT FROM ENTERING THE WATERWAY?**  
The townhome lots of this project extend into the outer buffer of the streamside, resulting in 20% of the outer buffer being impervious surfaces. The remainder is natural vegetation with new native plantings provided for the outer buffer.

**B. EXCLUDE IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEET IMPERVIOUSNESS RESTRICTIONS ACROSS THE ENTIRE OVERLAY?**  
There are no impervious surfaces in the inner buffer. The outer buffer contains 20% of impervious surfaces to accommodate the townhome lots.

**C. INCORPORATE ALL STORMWATER BMPs REQUIRED BY CITY ENGINEERING THROUGHOUT THE DEVELOPED SITE AND ADJACENT TO THE BUFFER TO ENCOURAGE ON SITE FILTRATION OF STORMWATER AND PROTECT WATER QUALITY?**  
A full spectrum detention pond is to be constructed south of the site meeting all BMP's required by City Engineering.

**D. INCORPORATE VISUAL BUFFER OPPORTUNITIES OF THE STREAM BETWEEN IDENTIFIED EXISTING AND/OR PROPOSED PROJECTS ON OPPOSING SIDES OF THE STREAM?**  
There are no adjacent developments on the opposing side of Sand Creek east of the site. This land is owned by Woodmen Road Metro District and is part of their wetland mitigation for the widening of Woodmen Road. The extensive streamside buffers and proposed vegetation provide a visual buffer to proposed commercial developments further east.

**9. ARE INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS MET? HAVE DISTURBED AREAS BEEN REVEGETATED TO MINIMIZE EROSION AND STABILIZE LANDSCAPE AREAS AND DOES THE PROJECT LANDSCAPING DESIGN SPECIFY PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES AS SET FORTH IN APPENDIX A OF THE LANDSCAPE POLICY MANUAL? DOES THE PROPOSAL MEET ALL OTHER REQUIREMENTS OF THE CITY'S LANDSCAPE CODE?**  
Landscaping standards for the inner/outer buffer overlay have been identified and the number of proposed trees in the inner/outer buffer are provided in the streamside plan. There is no disturbance to the inner buffer of the streamside, except for the proposed 4' breeze trail and streamside planting. Where disturbance is proposed to the outer buffer, stabilization and revegetation are proposed to mitigate any impacts to the stream.

**10. HAVE STREAM BANK AND SLOPE AREAS BEEN IDENTIFIED (PARTICULARLY THOSE OVER 15 PERCENT SLOPE)? HAS THE DISTURBANCE TO THESE AREAS AND ANY PROTECTIVE OR STABILIZING VEGETATIVE COVER BEEN MINIMIZED? DOES THE PLAN PROVIDE FOR THE SUITABLE REVEGETATION AND STABILIZATION OF ANY DISTURBED AREAS?**  
Stream bank and slope areas have been identified in the Land Suitability Analysis. The Development Plan does not disturb any slope areas over 15% and revegetation measures will be implemented as needed in the outer buffer. Native plantings are proposed for the outer buffer area.

**11. HAVE OPPORTUNITIES TO RECLAIM THE DRAINAGEWAY BEEN IDENTIFIED AND IMPLEMENTED WHERE PRACTICAL? FOR THIS CRITERION, RECLAMATION CONSTITUTES ANY ACTION THAT IMPROVES THE QUALITY OF THAT DRAINAGEWAY VISUALLY, FUNCTIONALLY OR RECREATIONALLY, AND BRINGS THAT DRAINAGEWAY INTO A MORE NATURAL CONDITION.**  
Visual and recreational improvements are included to improve the quality of the streamside and revegetation is proposed to return the creek to a more natural setting.

## Streamside Criteria

Type III Stream Channel

Buffer Zone	Width (In Ft.)	Linear Footage	Streamside Trees Required / Provided
Inner Buffer Zone	40'	1220'	(1/20) 61 / 36*
Outer Buffer Zone	80'	1360'	(1/30) 46 / 27*

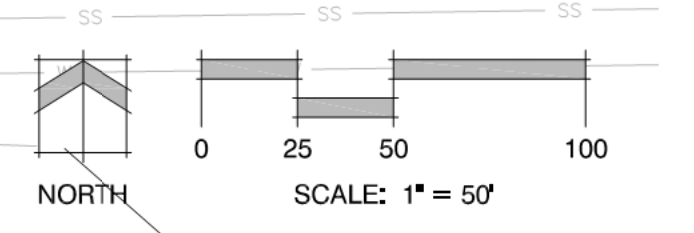
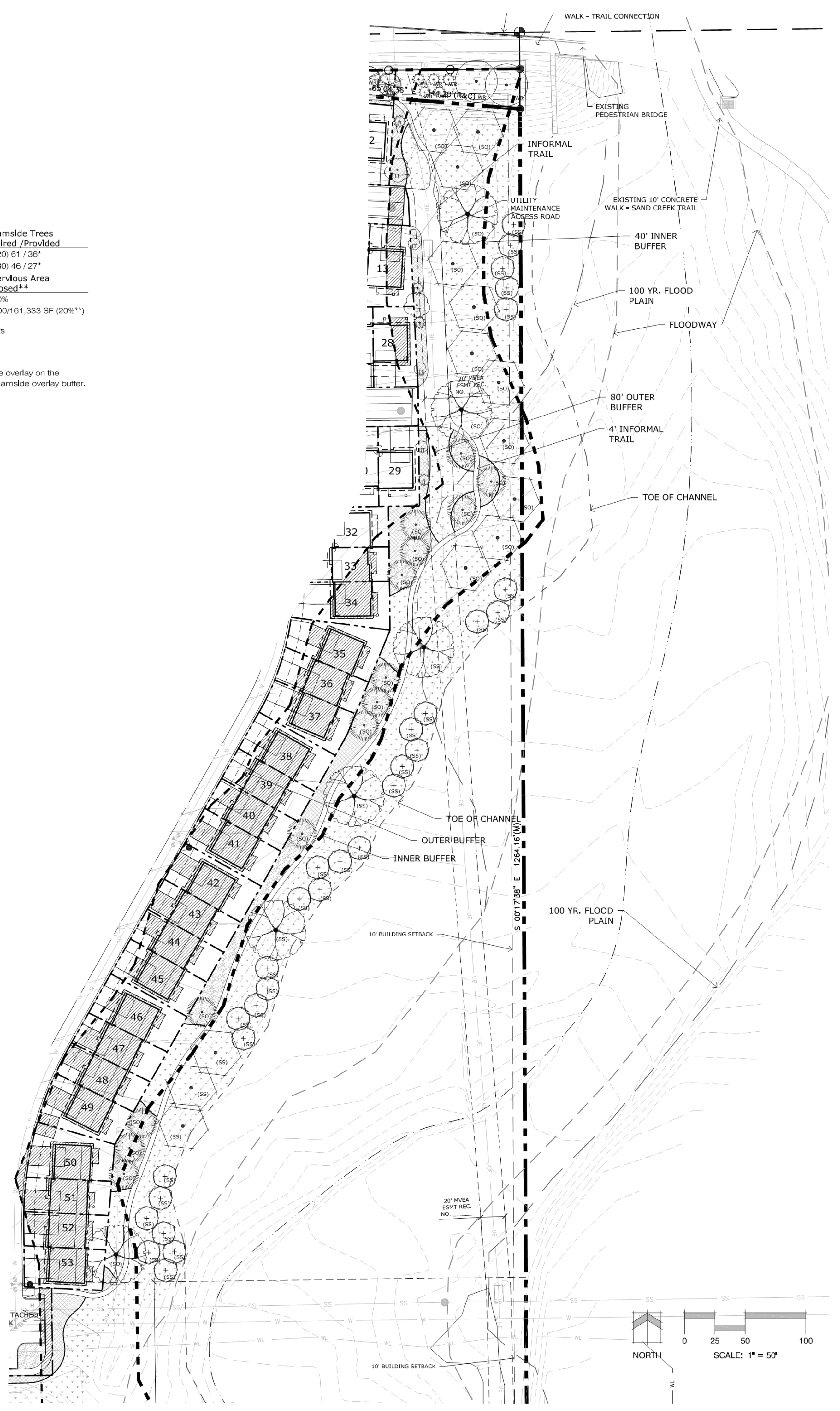
Buffer Zone	Shrub Substitutes Required / Provided	Streamside Plant Abbr. Denoted on Plan	Impervious Area Proposed**
Inner Buffer Zone	250 / tbd	SS	0%
Outer Buffer Zone	190 / tbd	SO	32,000/161,333 SF (20%*)

\*Shrub substitution maximum of 25% is not applied to 300' extent within utility easements  
\*\*Up to 25% Allowed with Water Quality Capture Volume

Impervious Area  
-The Impervious surface allowance for any property that has the streamside overlay on the property will be 25% of the area on the property that is overlaid with the streamside overlay buffer.

## GROUND TREATMENT LEGEND

	Wood Mulch Gorilla Hair Cedar
	Rock Mulch 1/4" Cimarron Granite
	Sod Kentucky Blue Grass
	Native Seed



# COTTAGES AT WOODMEN HEIGHTS

## DEVELOPMENT PLAN

PROJECT INFO  
DATE: 02/26/2020  
PROJECT MGR: K. MARSHALL  
PREPARED BY: B. PERKINS

## ENTITLEMENT

DATE: BY: DESCRIPTION:

## STREAMSIDE PLAN

6 OF 24

CPC #



**COTTAGES AT  
WOODMEN  
HEIGHTS  
DEVELOPMENT PLAN**

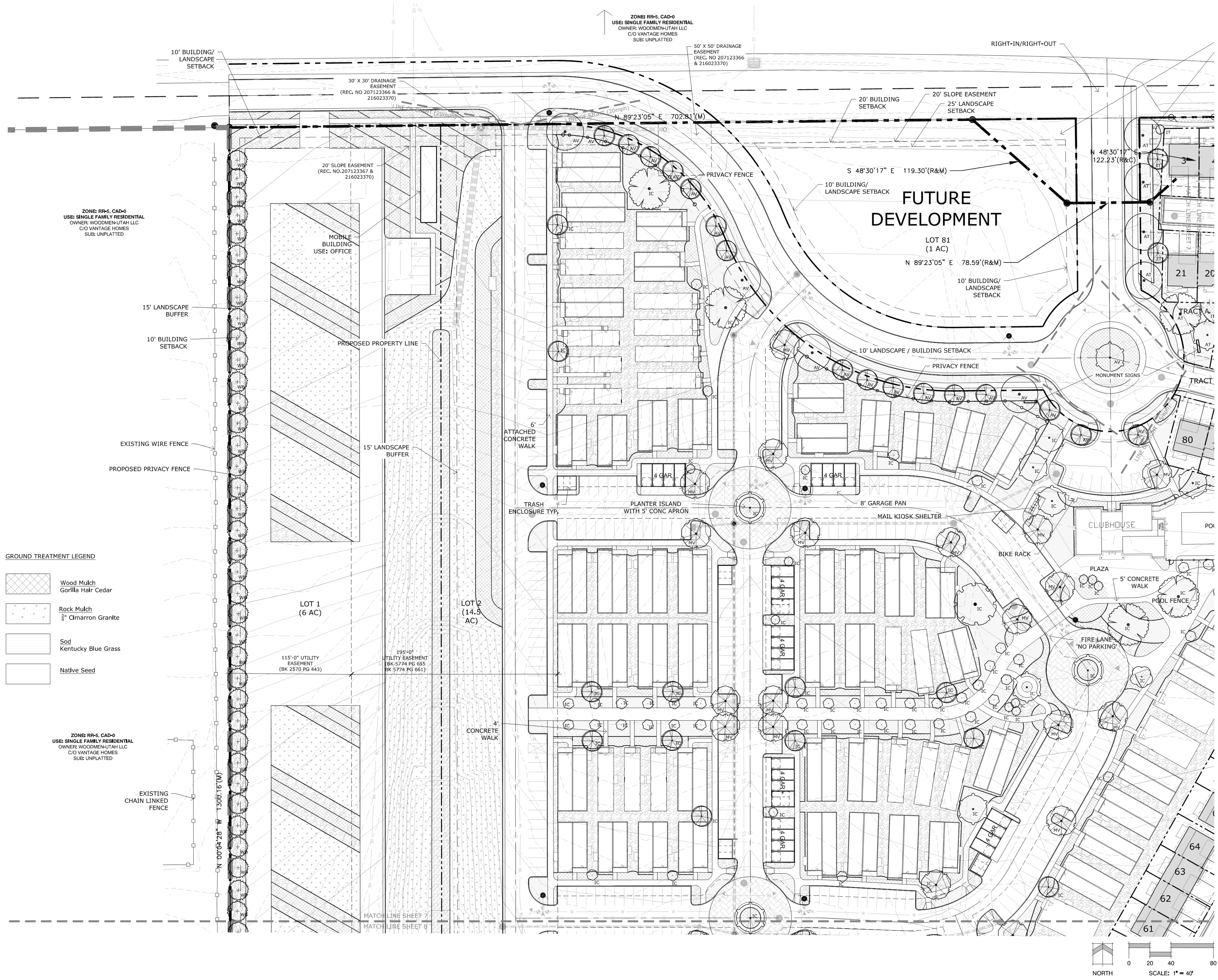
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DATE: 02/26/2020  
PROJECT MGR: K. MARSHALL  
PREPARED BY: B. PERKINS

ENTITLEMENT

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LANDSCAPE PLAN

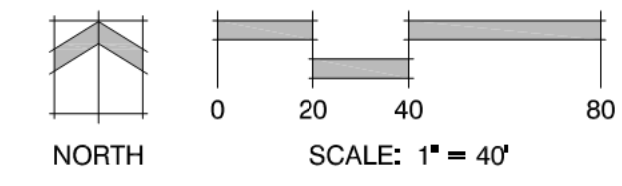
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7 OF 24

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**GROUND TREATMENT LEGEND**

- Wood Mulch
- Gorilla Hair Cedar
- Rock Mulch
- 3/4\"/> Cimarron Granite
- Sod
- Kentucky Blue Grass
- Native Seed



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**COTTAGES AT  
WOODMEN  
HEIGHTS**  
DEVELOPMENT PLAN

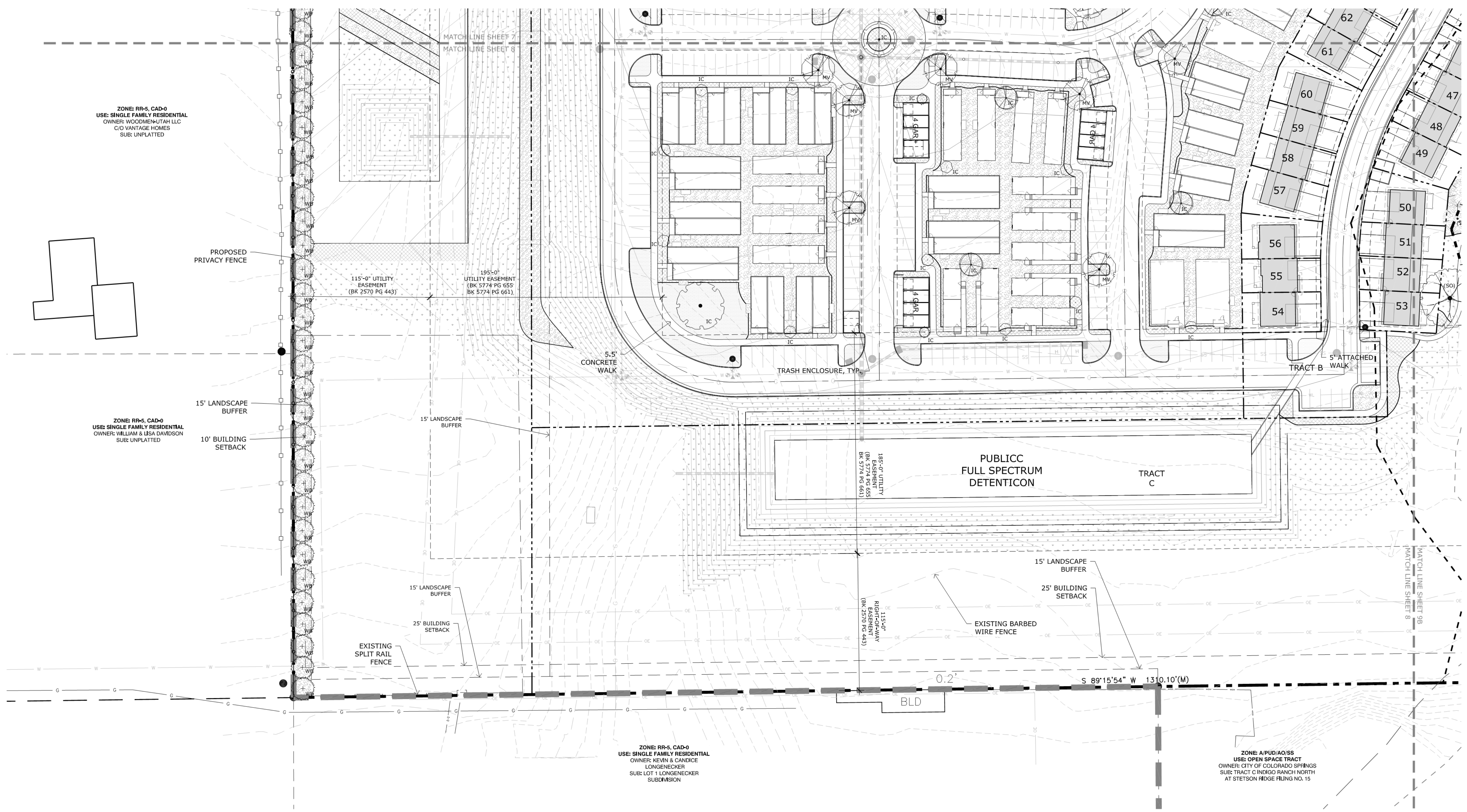
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PROJECT MGR: K. MARSHALL  
PREPARED BY: B. PERKINS

**ENTITLEMENT**

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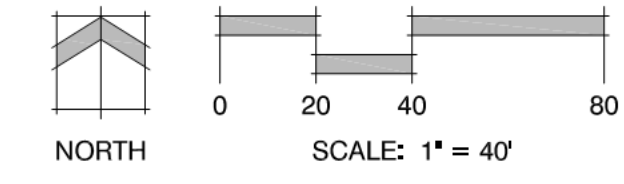
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8 OF 24  
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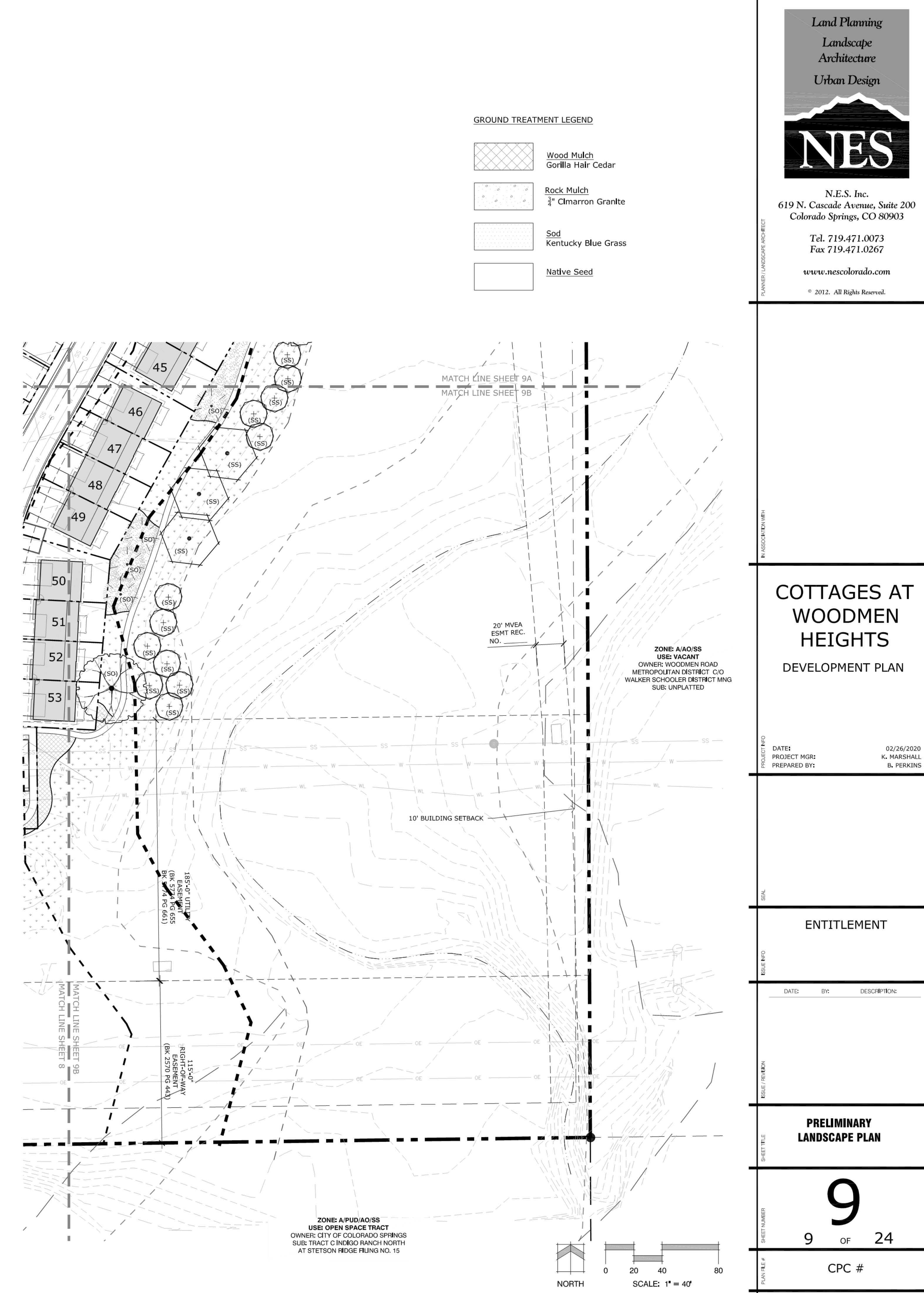
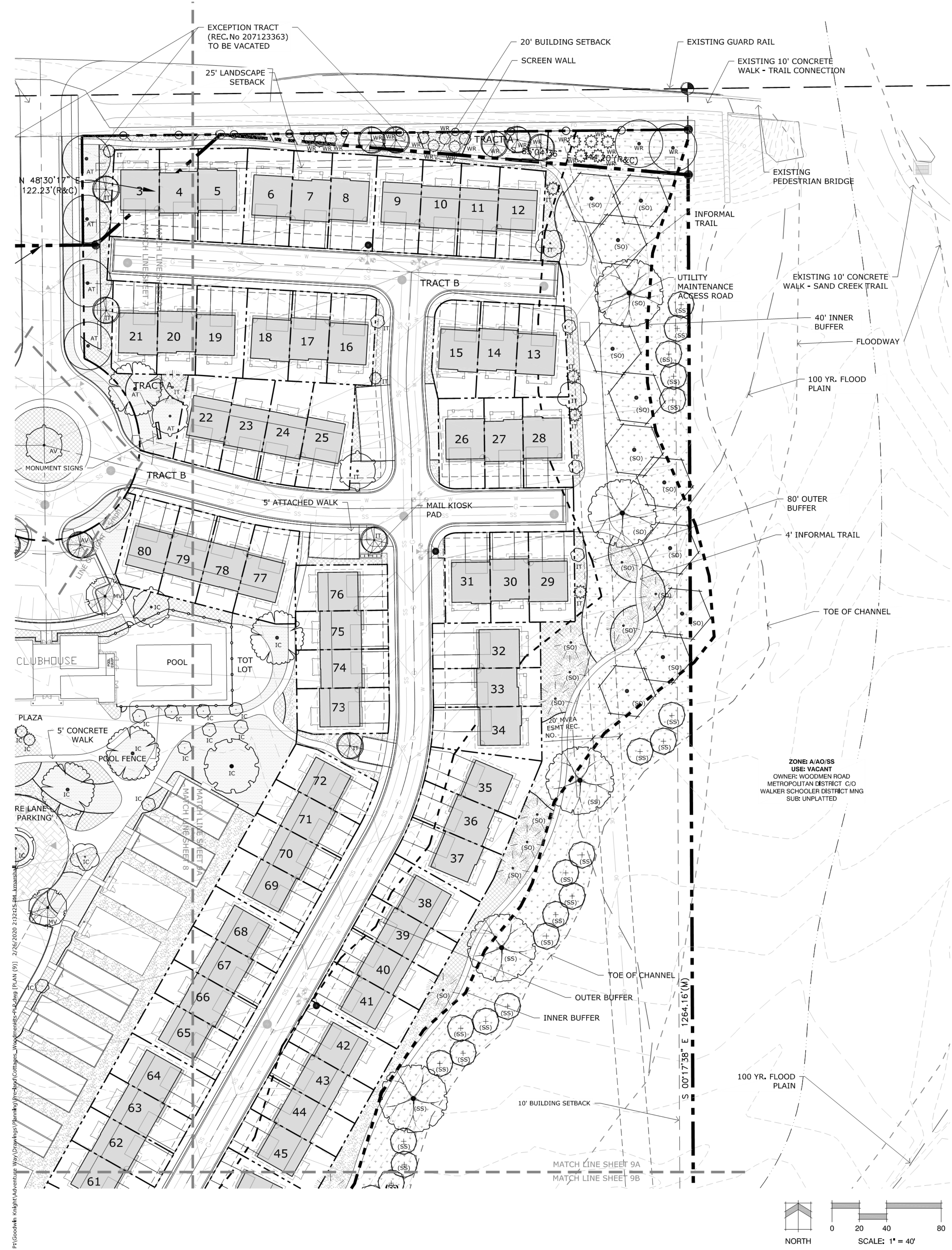
**GROUND TREATMENT LEGEND**

	Wood Mulch
	Gorilla Hair Cedar
	Rock Mulch
	3/4\"/>
	Sod
	Kentucky Blue Grass
	Native Seed



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**GROUND TREATMENT LEGEND**

	Wood Mulch
	Gorilla Hair Cedar
	Rock Mulch
	3/4\" Clmarron Granite
	Sod
	Kentucky Blue Grass
	Native Seed

**COTTAGES AT  
WOODMEN  
HEIGHTS  
DEVELOPMENT PLAN**

DATE: 02/26/2020  
PROJECT MGR: K. MARSHALL  
PREPARED BY: B. PERKINS

ENTITLEMENT

DATE: BY: DESCRIPTION:

**PRELIMINARY  
LANDSCAPE PLAN**

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CPC #

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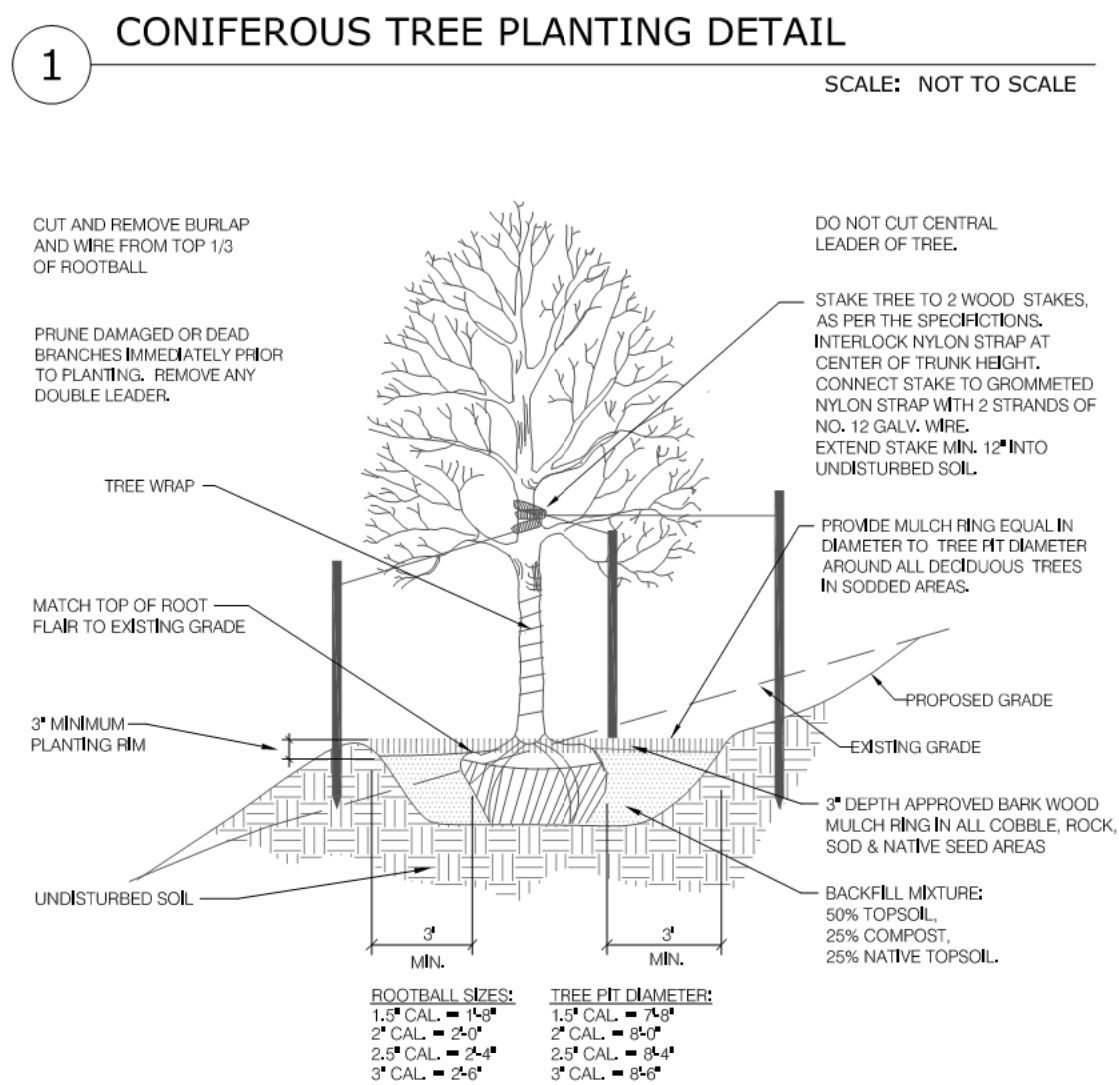
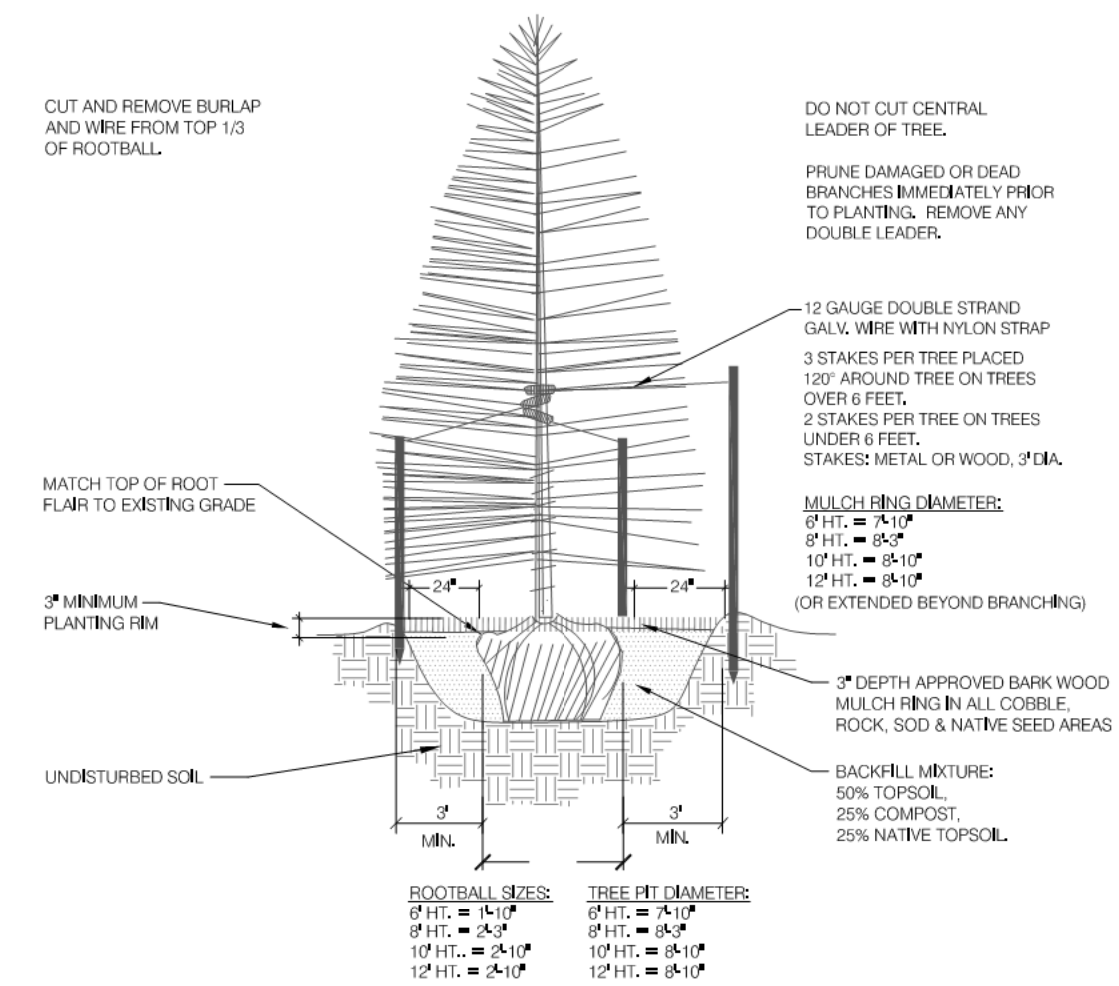


## LANDSCAPE NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
  - RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:  
TRI-MIX III as supplied by C&C Sand  
-To be applied as backfill in planting pits
  - FERTILIZER REQUIREMENTS BELOW ARE TO BE BASED ON SOIL ANALYSIS
- |                   | SOD          | SEED         | SHRUB        |
|-------------------|--------------|--------------|--------------|
| NITROGEN          | 0 LBS/1000SF | 0 LBS/1000SF | 0 LBS/1000SF |
| PHOSPHORUS (P205) | 0 LBS/1000SF | 0 LBS/1000SF | 0 LBS/1000SF |
| POTASSIUM (K2O)   | 0 LBS/1000SF | 0 LBS/1000SF | 0 LBS/1000SF |
| SULFUR (S04--S)   | 0 LBS/1000SF | 0 LBS/1000SF | 0 LBS/1000SF |
- \*NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED, APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
  - A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
  - FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
  - FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
  - A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
  - NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED AREAS SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
  - EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
  - ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
  - SOD SHALL BE KENTUCKY BLUEGRASS BLEND.
  - ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
  - ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8' USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
  - ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
  - ROCK COBBLE: 18 - 24" BAND TO BE INSTALLED AT THE PERIMETER OF ALL BUILDINGS.
  - ROCK COBBLE TO BE 3- 4" BLUE GRAY RIVER ROCK. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
  - WOOD MULCH: GORILLA HAIR CEDAR WOOD MULCH SHALL BE USED IN SHRUB BEDS AS INDICATED ON PLAN.
  - A FINAL LANDSCAPE PLAN AND AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
  - ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
  - A 3' CLEAR SPACE SHALL BE MAINTAINED ADJACENT TO THE FIRE APPARATUS ACCESS PAD.
  - ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.

## PLANT SCHEDULE

DECIDUOUS TREE	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Agr	3	Acer grandidentatum / Bigtooth Maple	30'	30'	3" Cal.	B&B	7S
	Ap	6	Acer platanoides / Norway Maple	40'	40'	2" Cal.	B&B	4S
	Aa	25	Acer x freemanii 'Jeffersred' TM / Autumn Blaze Maple	40'	30'	2" Cal.	B&B	S
	Gtr	3	Gleditsia triacanthos / Honey Locust	60'	40'	2.5" Cal.	B&B	4SA
	Kp	12	Koeleruteria paniculata / Golden Rain Tree	30'	30'	2" Cal.	B&B	S
	Pn	40	Prunus cerasifera 'Newport' / Newport Flowering Plum	20'	15'	2" Cal.	B&B	
	Pc	63	Pyrus calleryana 'Capital' / Capital Callery Pear	20'	10'	2" Cal.	B&B	A
	Tco	10	Tilia cordata / Littleleaf Linden	50'	35'	2.5" Cal.	B&B	4S
EVERGREEN TREE	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Jsc	65	Juniperus scopulorum / Rocky Mountain Juniper	40'	20'	6" HT	B&B	125678D
	Pbb	23	Picea pungens glauca 'Baby Blueeyes' / Baby Blueeyes Colorado Blue Spruce	20'	10'	6" HT	B&B	678S
	Pmu	9	Pinus mugo / Mugo Pine	20'	20'	6" HT	B&B	1256D
STREAMSIDE OVERLAY TREE	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Ac	15	Abies concolor / White Fir	50'	25'	6" HT	B&B	45678SA
	Co	6	Celtis occidentalis / Common Hackberry	50'	50'	2" Cal.	B&B	3457 DA
	Pa	14	Populus angustifolia / Narrowleaf Poplar	50'	40'	2" Cal.	B&B	4578A
	Sa	30	Salix amygdaliodes / Peach Leaf Willow	35'	25'	2" Cal.	B&B	47W



## LANDSCAPE NOTES

### Landscape Setbacks

Lot	Street Name or Zone Boundary	Street Classification	Width (In Ft.) Req./Prov.	Linear Footage	Tree/Feet Required	No. of Trees Req./ Prov.	Shrub Substitutes Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided
Townhomes Tract A	East Woodmen Road	Expressway	25' / 25' average	445'	1 / 20'	23 / 20	30 / per FLP	WR	75% / 75%
Future Lot 81	East Woodmen Road	Expressway	25' / 25' average	338'	1 / 20'	17 / --	-- / --	--per Future DP--	75% / --
Lot 1 (Drive School)	Adventure Way	Collector	10' / 10'	200' (0)'	1 / 30'	7 / 0'	70 / per FLP	per FLP	75% / 75%
Lot 2 (Cottages)	Adventure Way	Collector	10' / 10'	820' (710)'	1 / 30'	28 / 21'	70 / per FLP	AV	75% / 75%
Townhomes Tract A	Adventure Way	Collector	10' / 10'	242'	1 / 30'	8 / 6	20 / per FLP	AT	75% / 75%
Future Lot 81	Adventure Way	Collector	10' / 10'	607'	1 / 30'	21 / --	-- / --	--per Future DP--	75% / 75%
Tract C	East Zone Boundary	A (Vacant)	-- / 85' +	1264'	1 / 30'	43 / 0 **	33 / 0 **		75% / 75%
Tract C	South Boundary	PUD (Open Space)	-- / 120' +	585'	N/A - Same Use/Zone				75% / 75%

### Internal Landscaping

Lot	Net Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (1/500 SF) Required / Provided	Shrub Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
Lot 1 (Drive School)	259,969 S.F.	5%	12,998 / 194,400	26 / 0*	260 / per FLP	per FLP	75% / 75%
Lot 2 (Cottages)	631,943 S.F.	15%	94,792 / 260,364	190 / 108	820 / per FLP	IC	75% / 75%
Townhomes Tracts A & B	76,686 S.F.	15%	11,503 / 19,743	23 / 18	50 / per FLP	IT	75% / 75%
Future Lot 81	51,172 S.F.	5%	2,559 / --	24 / --	-- / --	--per Future DP--	75% / --

### Motor Vehicle Lots

Lot	No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required / Provided	Motor Vehicle Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
Lot 2 (Cottages)	359	24 / 24	MV	75% / 75%

### Landscape Buffer & Screens

Lot	Street Name or Property Line	Width (In Ft.) Req. Prov.	Linear Footage	Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (50%) / Prov.	Length of 6' Opaque Structure Req./Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
Lot 1 (Drive School)	West buffer	15' / 15'	1300'	65 / 65***	33 / 65***	1300' / 1300'	WB	75% / 25%
Lot 1 (Drive School)	South buffer	15' / 300'	200'	10 / 0 **	5 / 0 **	200' / --**	WB	75% / 100%
Lot 2 (Cottages)	West buffer	15' / 50'	1075'	54 / 0*	27 / shrubs per FLP**	1075' / --**	WB	75% / 100%
Tract C	South buffer	15' / 120'	525'	54 / 0*	27 / shrubs per FLP**	525' / --**	WB	75% / 100%

\* Shrub substitution maximum of 25% is not applied to 300' extent within utility easements on south and west sides of property  
 \*\* Alternative Compliance Requested  
 \*\*\* Only with permission by CSU within Utility Easement

## COTTAGES AT WOODMEN HEIGHTS DEVELOPMENT PLAN

PROJECT ADDRESS

DATE: 02/21/2020  
PROJECT MGR: K. MARSHALL  
PREPARED BY: B. PERKINS

## SCHEMATIC LANDSCAPE DIAGRAM

Name of Project: Cottages at Woodmen Heights Date: 02/20/2020  
Climate Zone: FootHills FootHills & Plains Plains

Plant Communities	Hydrozones
-to be labeled by numbers on diagram	- to be labeled by letters on diagram
1--Semi-arid Shrublands	V-- Very Low (0 to 7 Inches per year)
2--Pinnon-Juniper Woodlands	L-- Low (7 to 15 Inches per year)
3--Prairie	M-- Moderate (15 to 25 Inches per year)
4--Lower Elevation Riparian	H-- High (more than 25 Inches per year)
5--FootHill Shrublands	
6--Ponderosa Pine Forest	
7--Upper Elevation Riparian	
8--Douglas-Fir Forest	



## ENTITLEMENT

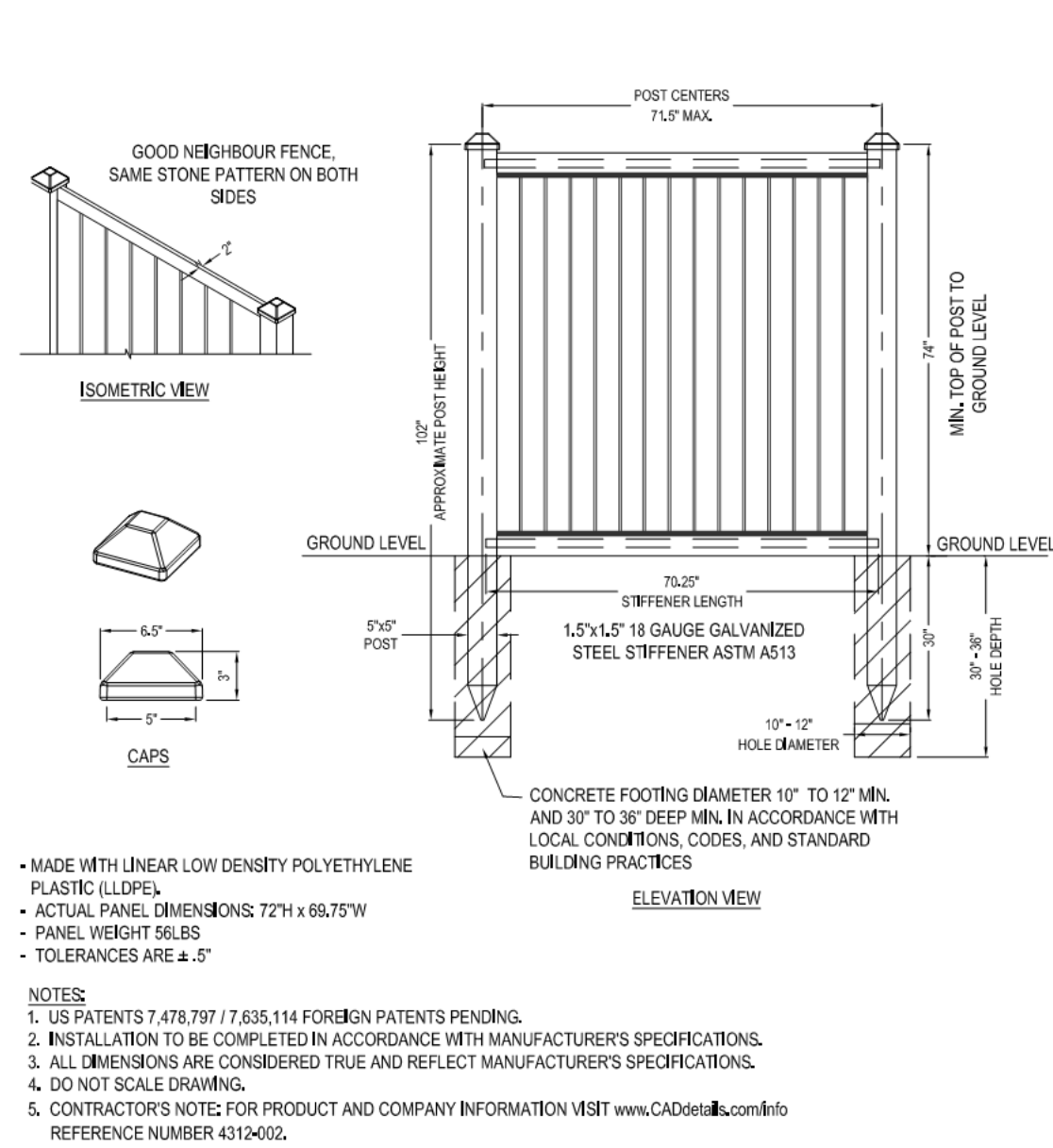
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## PRELIMINARY LANDSCAPE NOTES & DETAILS

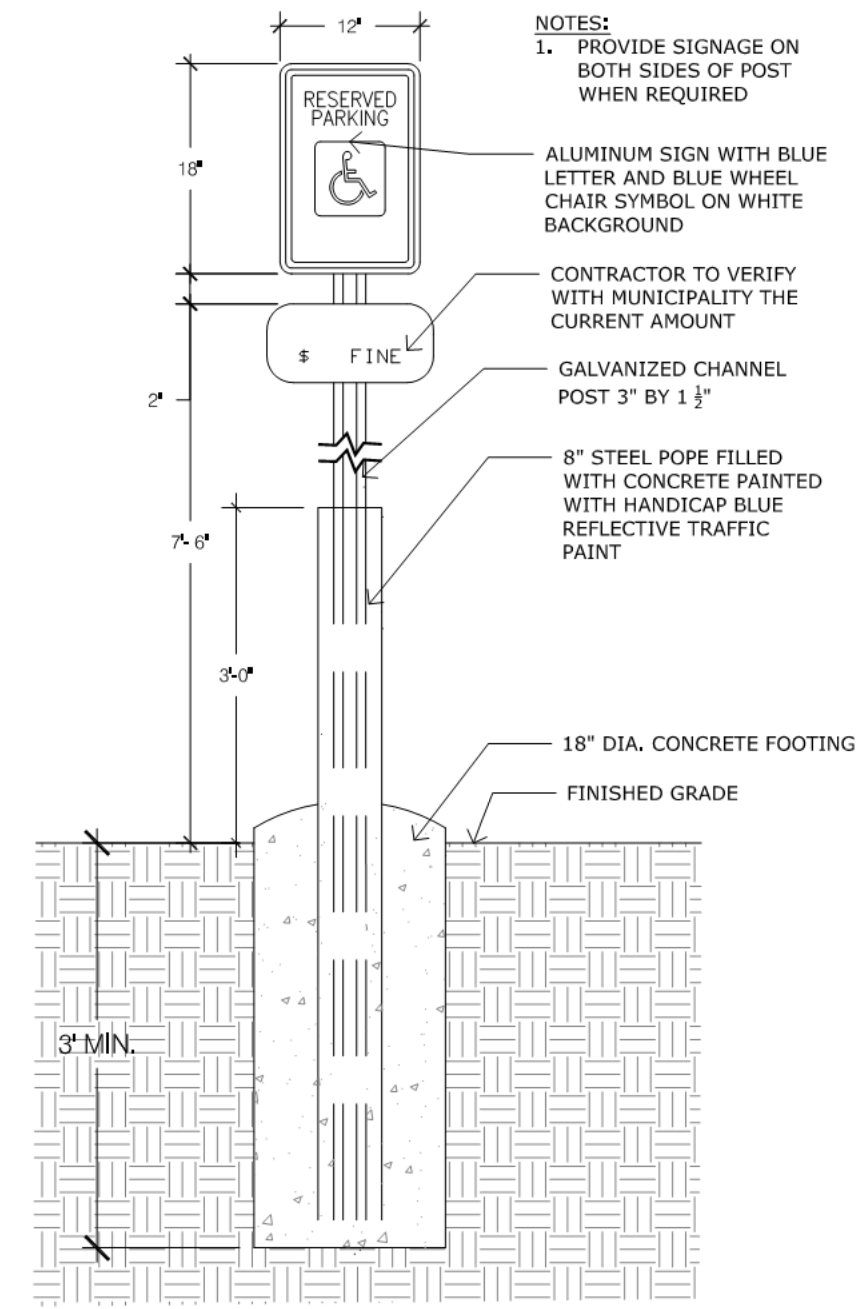
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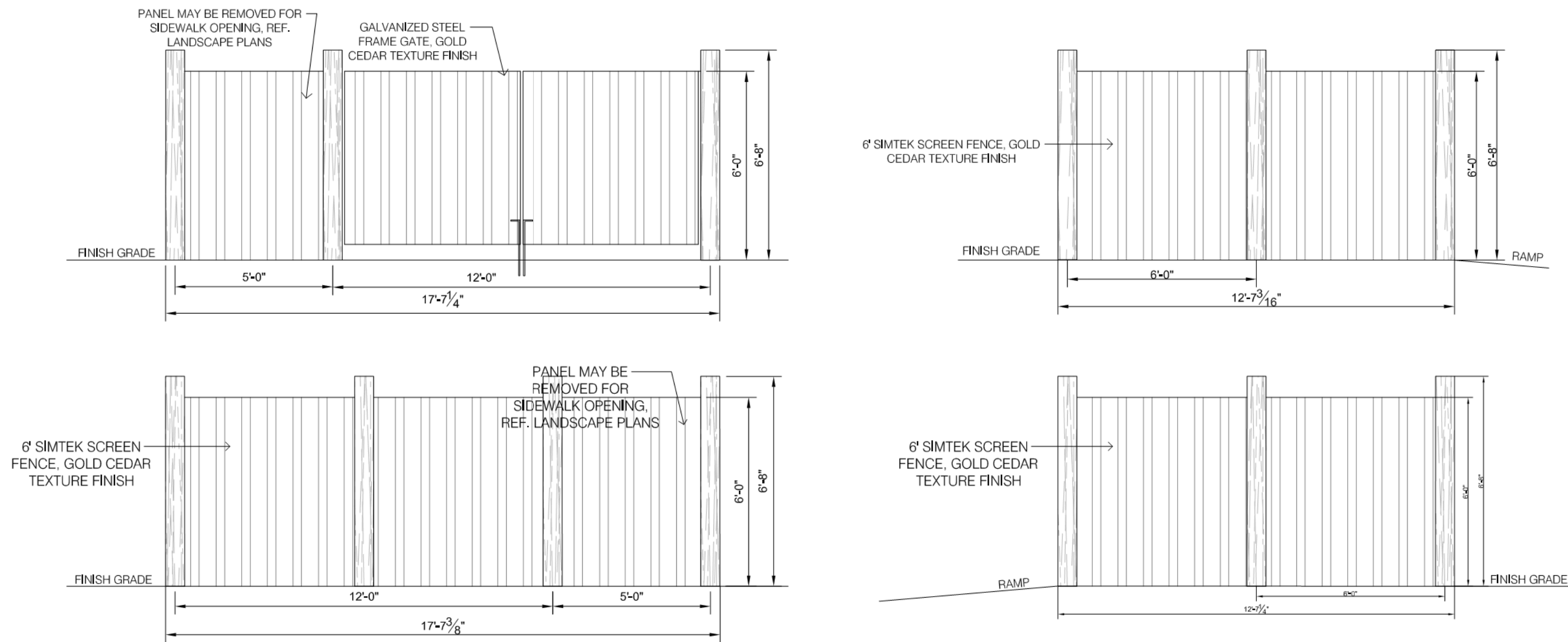
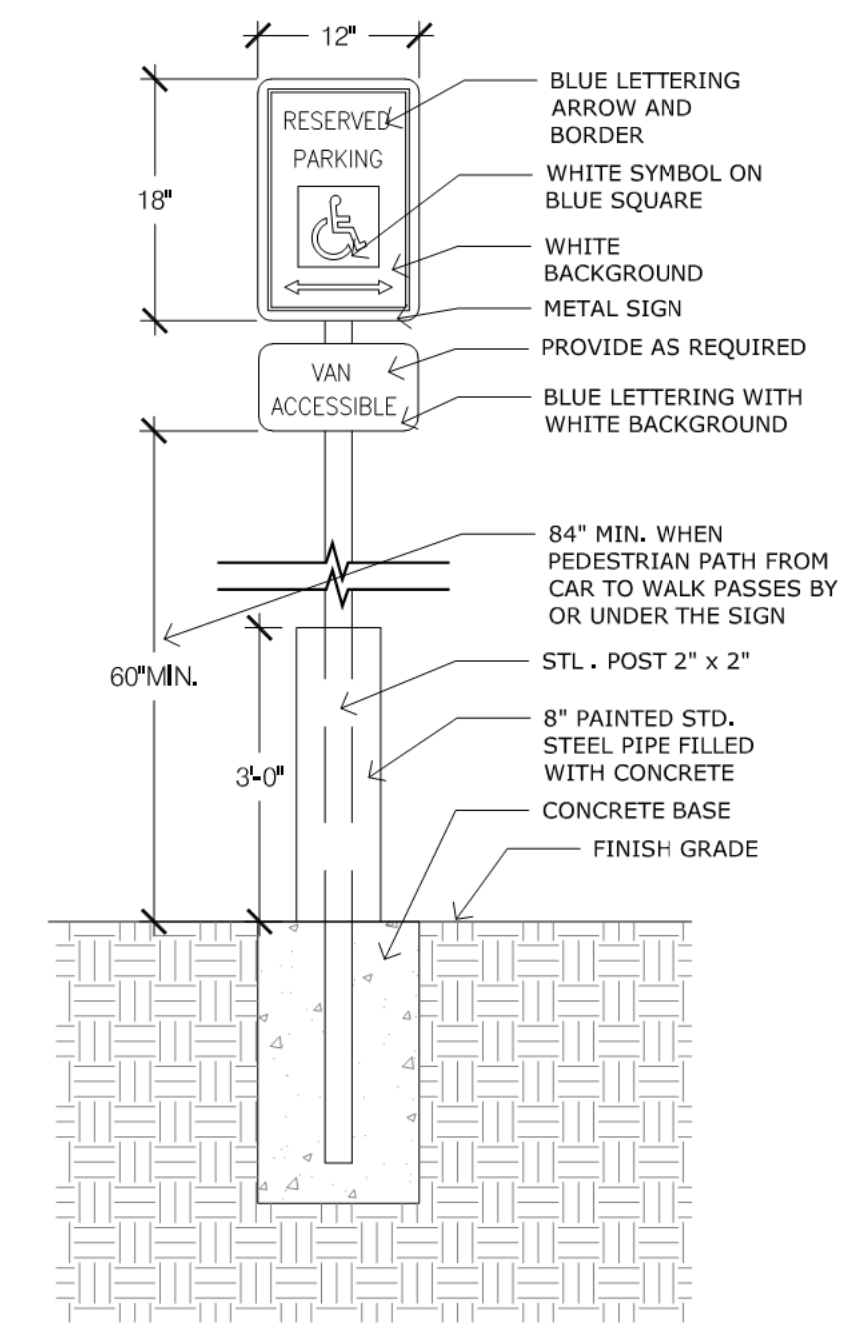




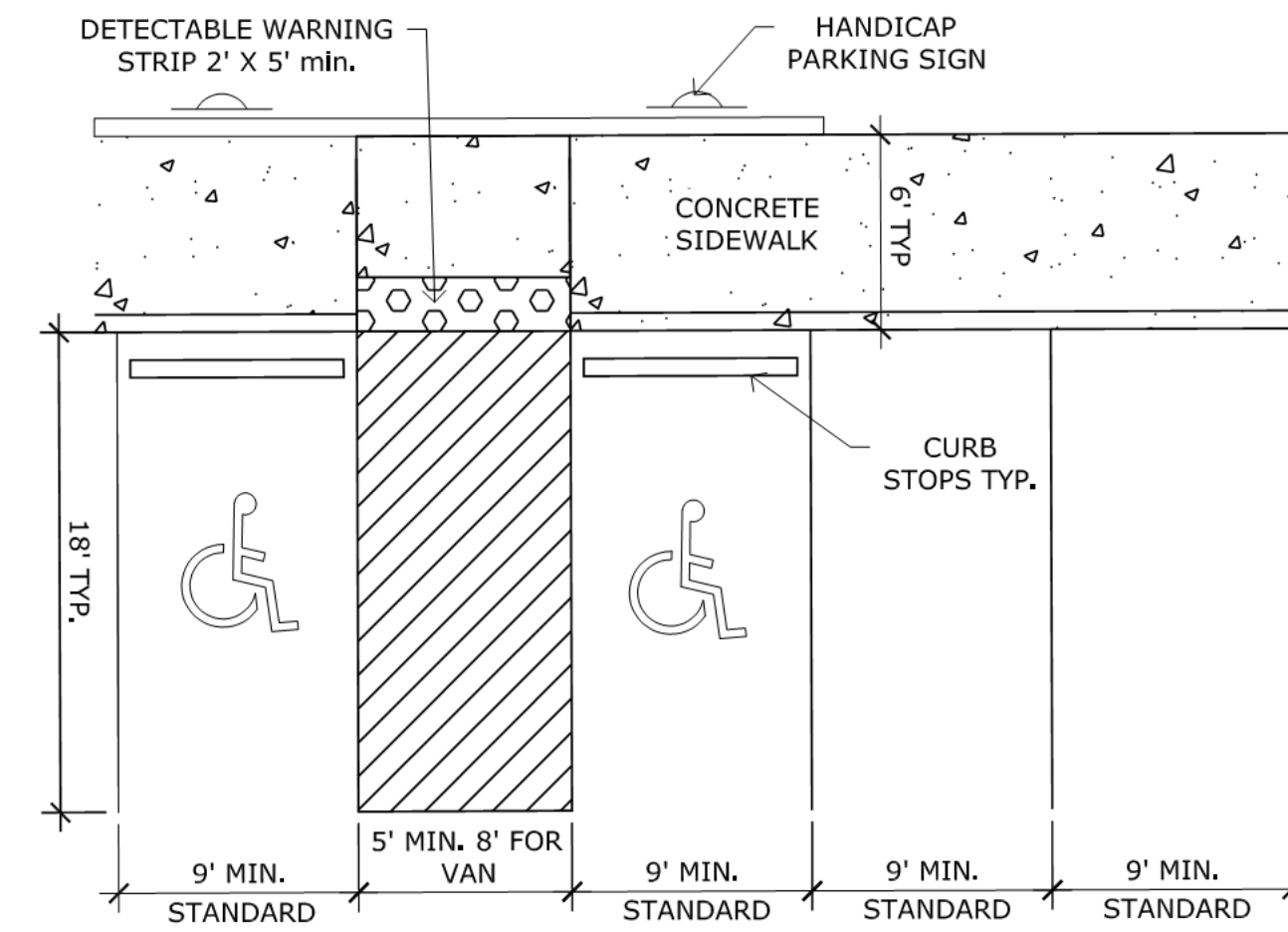
**1 6' OPAQUE LANDSCAPE FENCE**  
SCALE: NOT TO SCALE



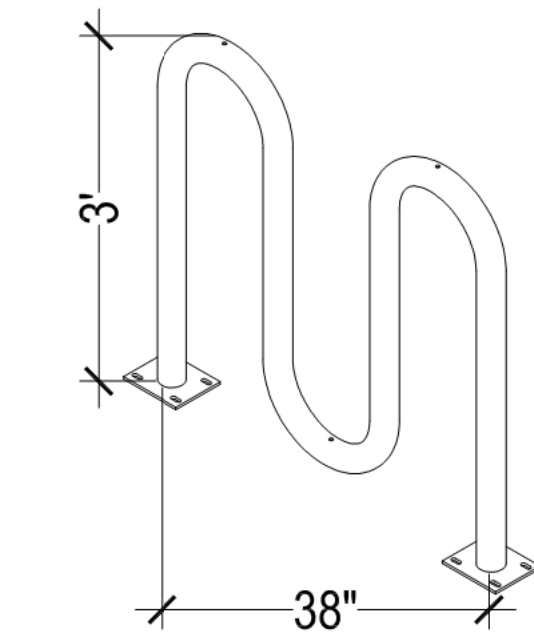
**2 ADA SIGN**  
SCALE: NOT TO SCALE



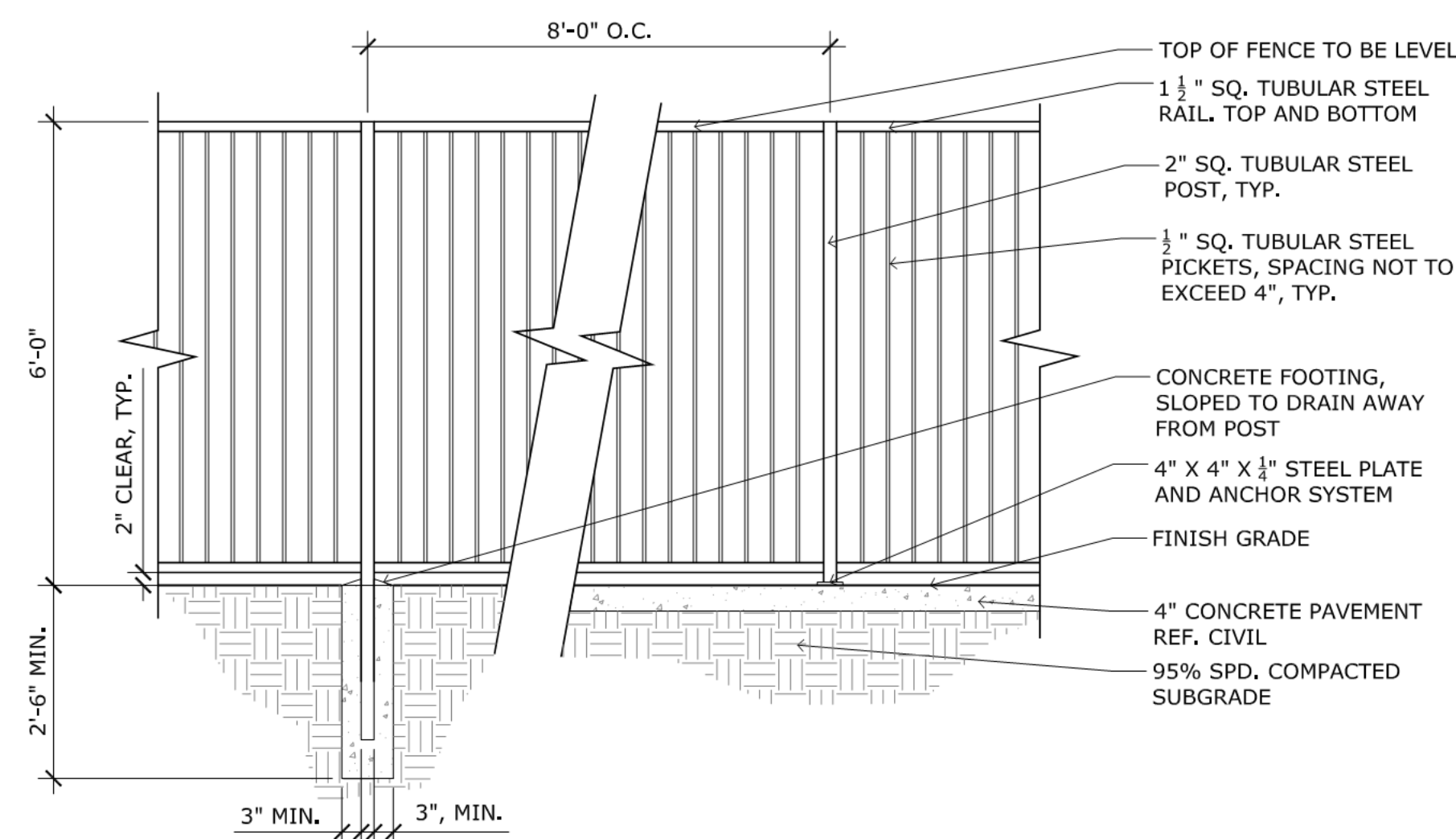
**3 TRASH ENCLOSURE**  
SCALE: NOT TO SCALE



**4 ADA & STANDARD PARKING STALL LAYOUT**  
SCALE: NOT TO SCALE

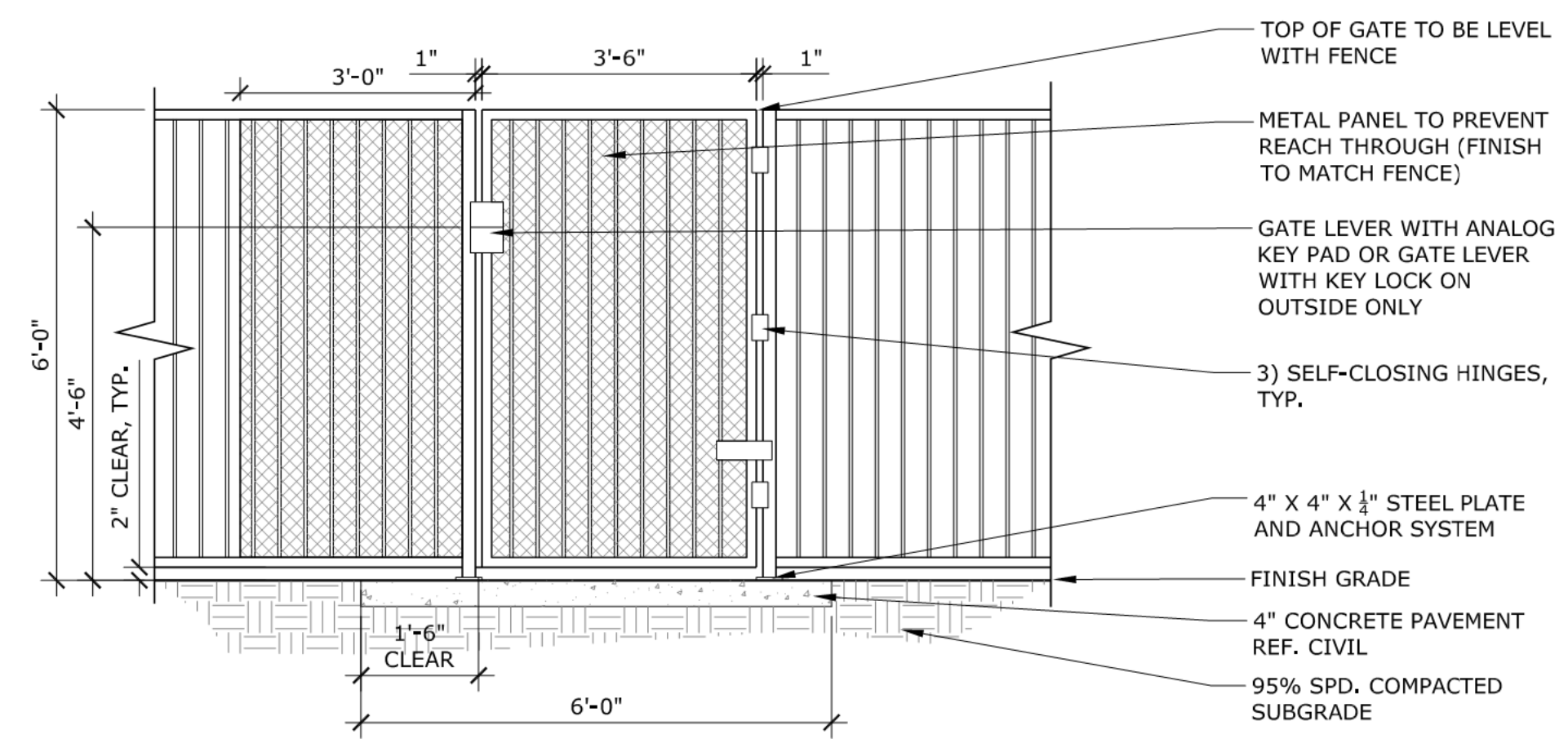


**5 BIKE RACK**  
SCALE: NOT TO SCALE



- NOTES:
- GRIND ALL ENDS SMOOTH
  - STEEL PLATES TO BE WELDED TO THE POST WITH A CONTINUOUS 1/4" WELD GROUND SMOOTH AND ALL PRIMED / PAINTED TO MATCH THE FENCE.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL- FIELD VERIFY ALL DIMENSIONS

**6 POOL FENCE**  
SCALE: NOT TO SCALE



**7 POOL GATE**  
SCALE: NOT TO SCALE

**COTTAGES AT WOODMEN HEIGHTS**

ADVENTURE WAY  
COLORADO SPRINGS,  
CO 80923

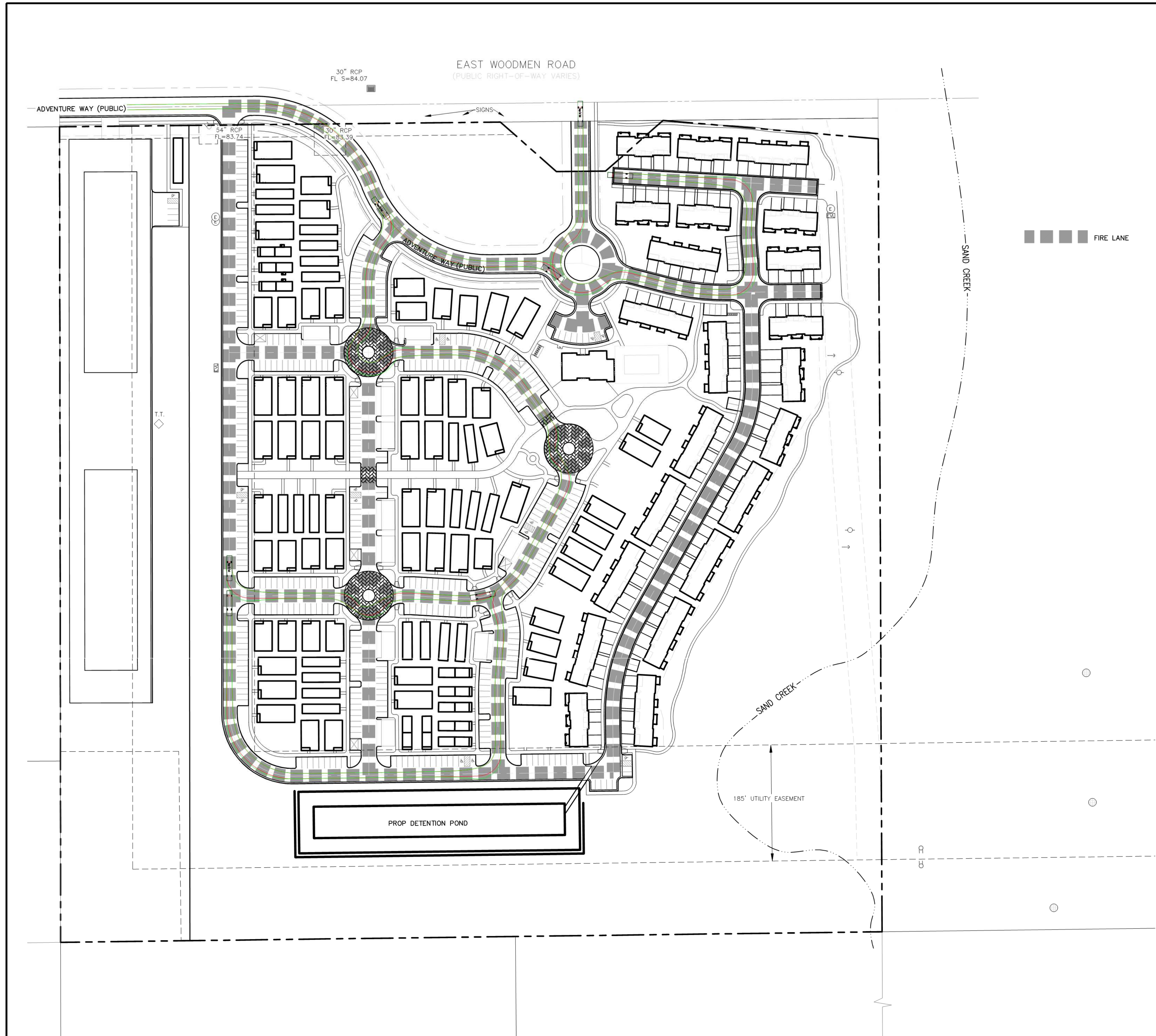
DATE: 02-26-2020  
PROJECT MGR: A. BARLOW  
PREPARED BY: K. MARSHALL

**ENTITLEMENT**

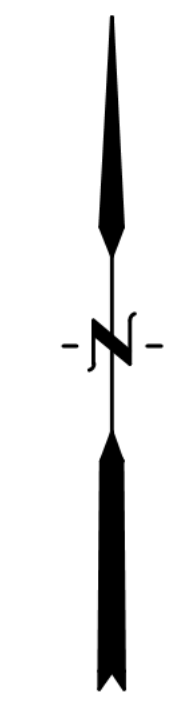
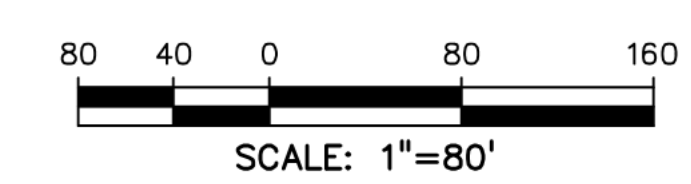
DATE:	BY:	DESCRIPTION:

**SITE DETAILS**



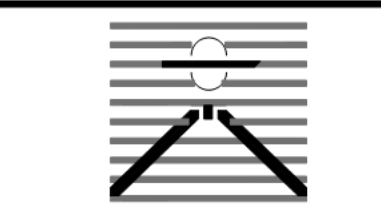


■ ■ ■ ■ ■ FIRE LANE



**811** Know what's below.  
Call before you dig.  
CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

PREPARED BY:



DREXEL, BARRELL & CO.  
Engineers • Surveyors  
3 SOUTH 7TH STREET  
COLORADO SPGS, COLORADO 80905  
CONTACT: TIM D. McCONNELL, P.E.  
(719)264-0887  
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

**GOODWIN KNIGHT**  
8605 EXPLORER DRIVE, SUITE 250  
COLORADO SPRINGS,  
COLORADO 80920  
(719)-598-5192

DEVELOPMENT PLAN  
**COTTAGES @  
WOODMEN HEIGHTS**  
7725 ADVENTURE WAY  
COLORADO SPRINGS, COLORADO

ISSUE	DATE
INITIAL ISSUE	02-06-20
LATEST ISSUE	
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21369-00AT1

DRAWING SCALE:  
HORIZONTAL: 1" = 80'  
VERTICAL: N/A

FIRE TRUCK  
TURNING PATHS

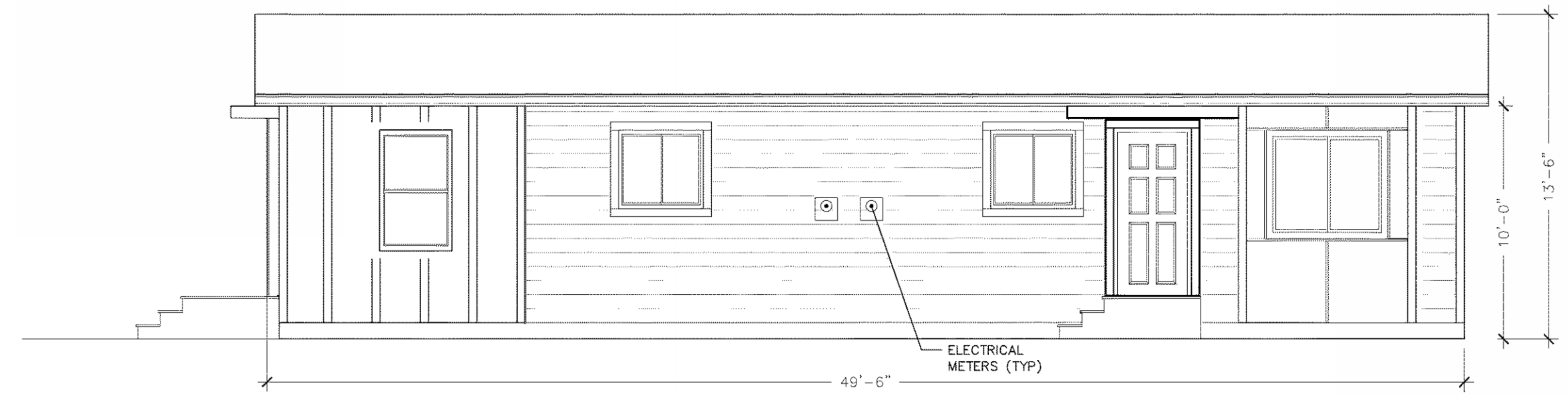
PROJECT NO. 21369-00CSCV  
DRAWING NO.

**AT01**

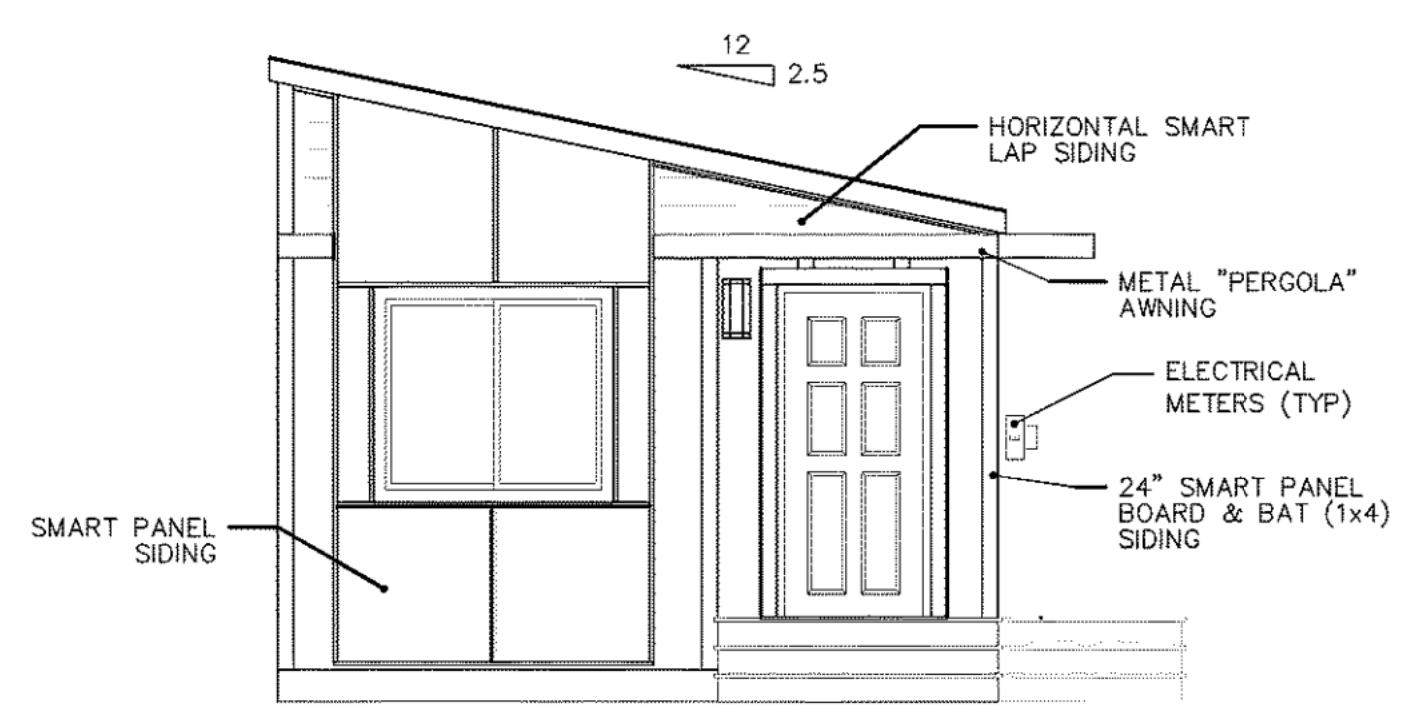
SHEET: 12 OF 24



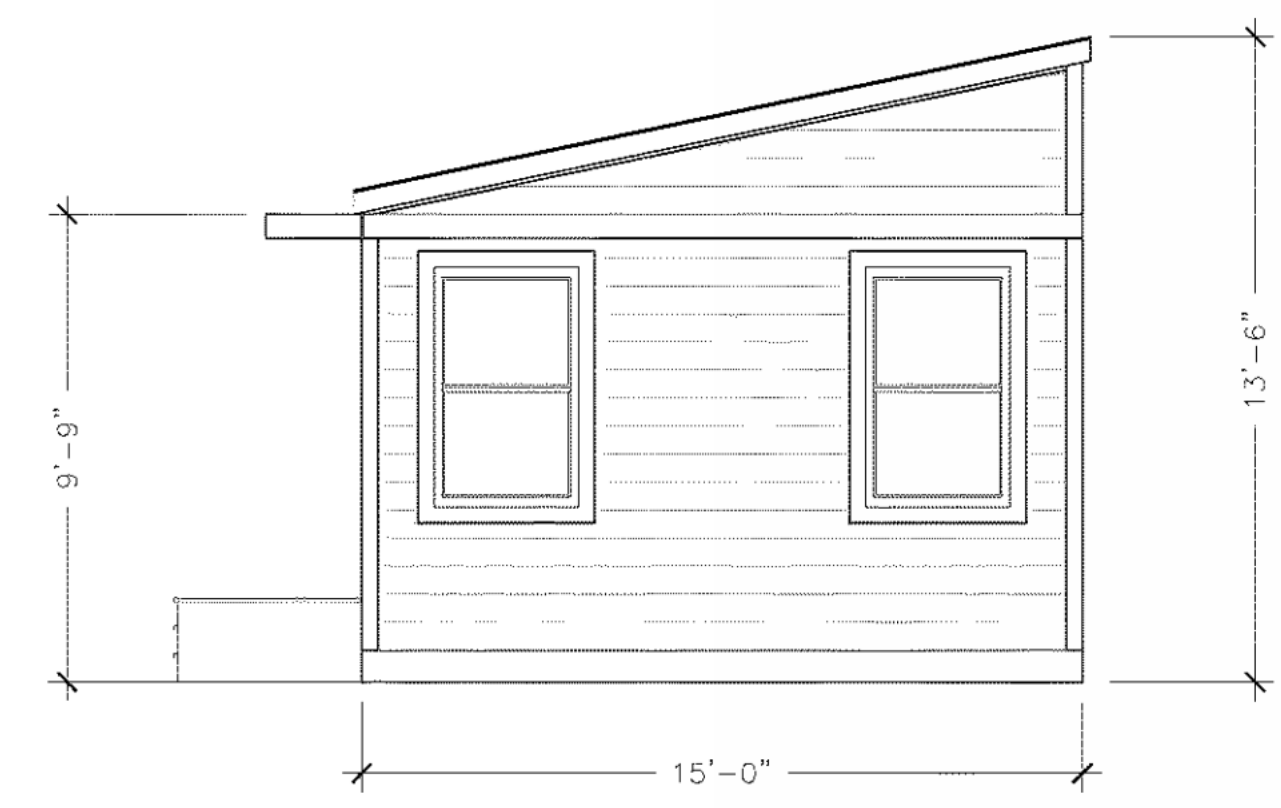
ELEVATIONS SHOWN ARE CONCEPTUAL ONLY AND ARE PROVIDED TO ILLUSTRATE EXTERIOR MATERIALS AND GENERAL BUILDING WIDTH, DEPTH AND HEIGHTS. BUILDER RESERVES THE RIGHT TO MODIFY THE ELEVATIONS AND UNIT TYPES WITHOUT THE NEED TO RESUBMIT A DEVELOPMENT PLAN.



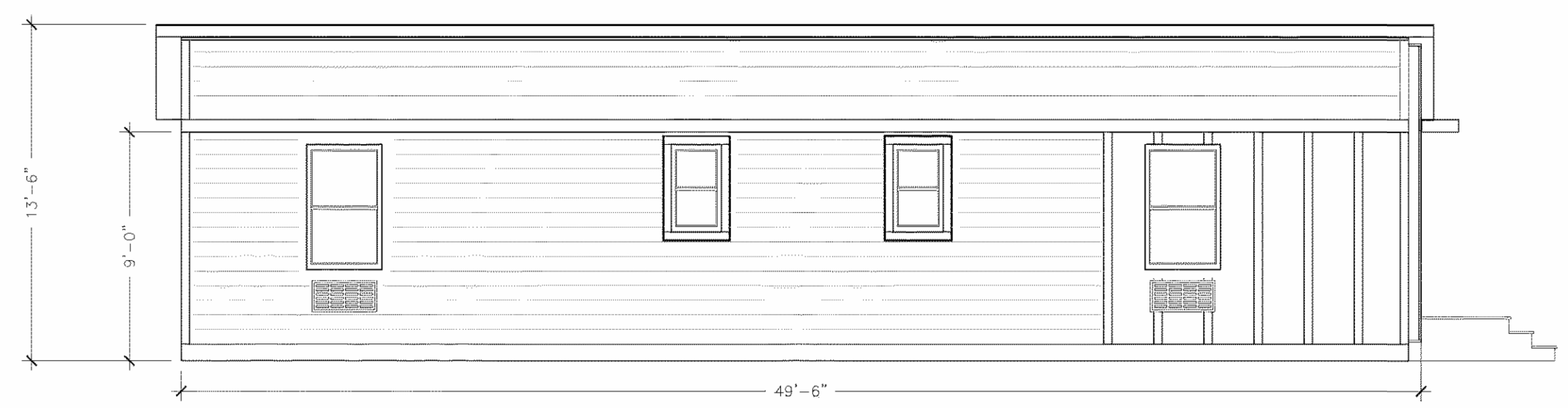
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

MANUFACTURER:

319 LOCKHEED STREET  
**KEY** PUEBLO MEMORIAL AIRPORT  
 INDUSTRIAL PARK  
 PUEBLO, CO 81011

PROJECT:

PROJECT:  
 KEY STRUCTURES  
 DUPLEX MODEL TYPE 1

CONSULTANTS:

DRAWN BY: KEY

DATE: 10.14.19

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	1.30.20	ADD DOOR

APPROVAL STAMPS:

QUOTE # X

SERIAL # X

SHEET TITLE  
 ELEVATIONS

DRAWING NUMBER  
 13 of 24

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF KEY STRUCTURES AND MAY NOT BE REPRODUCED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF KEY STRUCTURES.



**ATTENTION LOCAL INSPECTIONS DEPARTMENT:**

THE SET-UP INSTRUCTIONS FOR THIS MODULAR BUILDING SHOULD BE PROVIDED BY THE BUILDING MANUFACTURER AND ATTACHED TO THESE PLANS. ANY PLAN SET WHICH DOES NOT INCLUDE AN ATTACHMENT ENTITLED SET-UP INSTRUCTIONS IS INCOMPLETE. IN ADDITION TO THE SET-UP THE FOLLOWING INSTRUCTIONS AND/OR INSTALLATIONS ARE SPECIFIED AND/OR REQUIRED IF APPLICABLE TO PROPERLY INSTALL THE BUILDING.

1. ON-SITE RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
2. THE COMPLETED FOUNDATION SUPPORT SYSTEM, TIEDOWNS, AND/OR ANCHORAGE SYSTEMS.
3. ON-SITE FASTENINGS AT THE FLOOR AND ROOF RIDGE AT MATE LINES.
4. ON-SITE INSTALLATION OF INSULATION AT MATE LINES FOR FLOORS, CEILINGS AND ENDWALLS.
5. ALL EXPOSED ON-SITE PLUMBING (IE: CRAWL SPACE) SHOULD BE INSULATED TO PROTECT FROM FREEZING.
6. ATTIC VENTILATION (MIN. 1/150) ACHIEVED BY RIDGE AND GABLE VENTS (SITE INSTALLED). VENTILATION OF THE LOWER 1/2 OF ATTIC SPACE WILL BE MET THROUGH GABLE VENTS.
7. ON-SITE ELECTRICAL, PLUMBING, AND GAS INTERMODULE CONNECTIONS.
8. BUILDING DRAINS, CLEANOUTS, HOOK-UPS TO ON-SITE PLUMBING SYSTEMS.
9. ON-SITE HVAC INTERMODULE DUCT AND SYSTEM CONNECTIONS.
10. ON-SITE COMPLETION OF ROOF.
11. ON-SITE CONSTRUCTION OF COVERED PORCHES).
12. IF GUTTERS ARE INSTALLED BY MFG. OR SITE INSTALLED THEY SHALL ALSO HAVE GUTTER COVERS INSTALLED.
13. ON-SITE COMPLETION OF STAIRS IF APPLICABLE

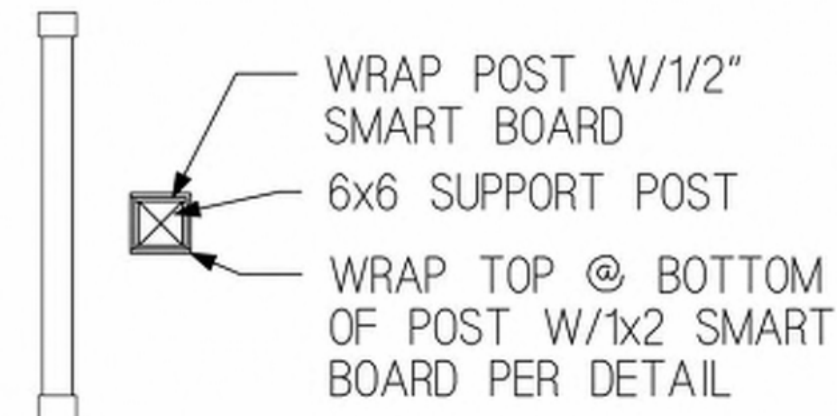
**ELEVATION NOTES:**

IF APPLICABLE, HANDICAP RAMPS(S), STAIR(S), AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL CODES. THIS STRUCTURE IS A MODULAR (FACTORY BUILT) BUILDING WHICH IS TO BE CONSTRUCTED AND INSPECTED IN ACCORDANCE WITH AN APPROVED THIRD PARTY QUALITY ASSURANCE PROGRAM TO INSURE COMPLIANCE WITH THE REFERENCED CODES.

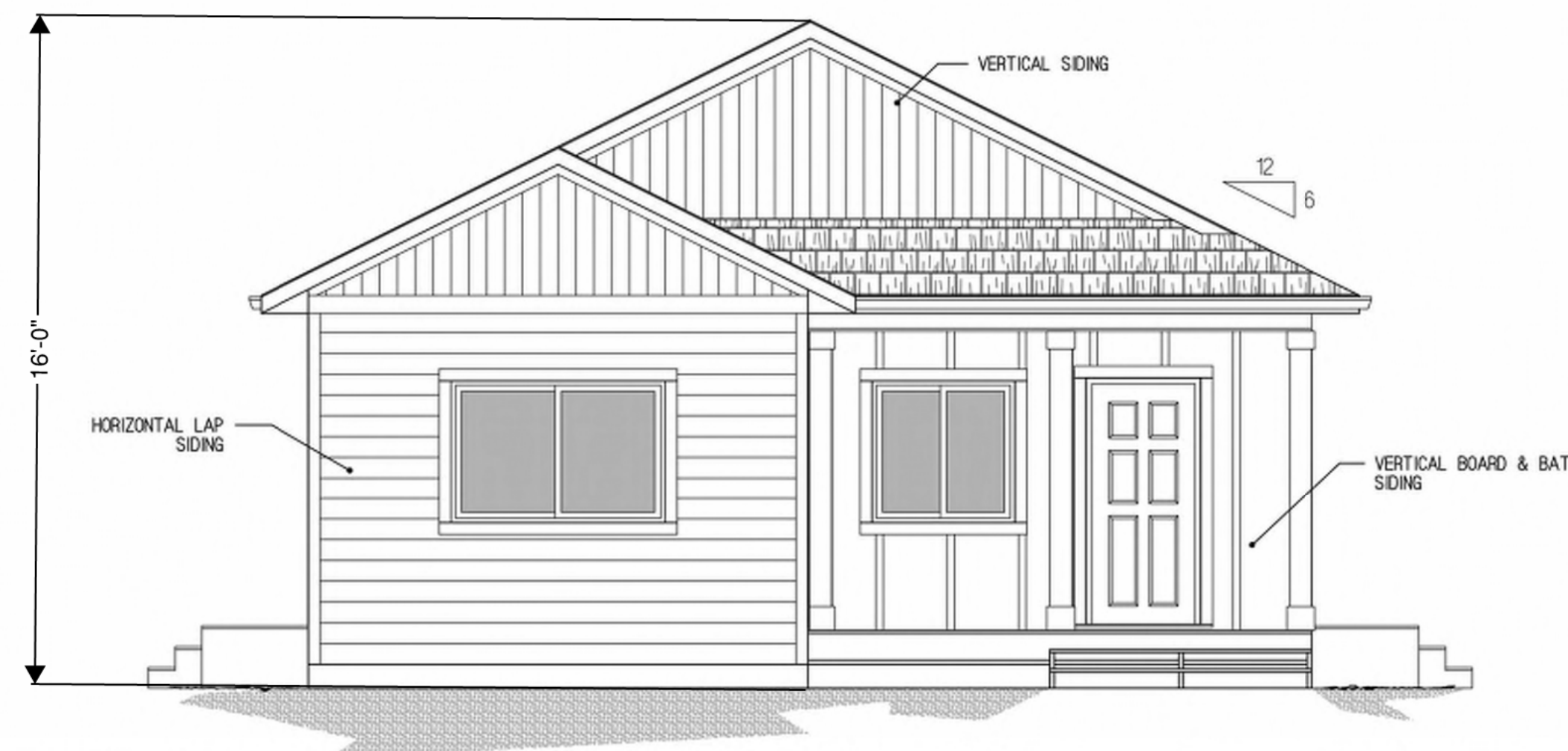
ALL ROOFING, VENTILATION, SOFFIT, EAVES AND DECKING THAT WILL BE SITE INSTALLED WILL MEET ALL FIRE RATING REQUIREMENTS.

HCD GIVES AUTHORITY TO THE APPROVED THIRD PARTY INSPECTOR TO HAVE JURISDICTION OVER PLAN APPROVALS AND PLAN INSPECTORS. THIRD PARTY STAMPED PLANS ARE FINAL AND CANNOT BE SUBJECT TO CHANGE BY OTHER AGENCIES.

ELEVATIONS SHOWN ARE CONCEPTUAL ONLY AND ARE PROVIDED TO ILLUSTRATE EXTERIOR MATERIALS AND GENERAL BUILDING WIDTH, DEPTH AND HEIGHTS. BUILDER RESERVES THE RIGHT TO MODIFY THE ELEVATIONS AND UNIT TYPES WITHOUT THE NEED TO RESUBMIT A DEVELOPMENT PLAN.

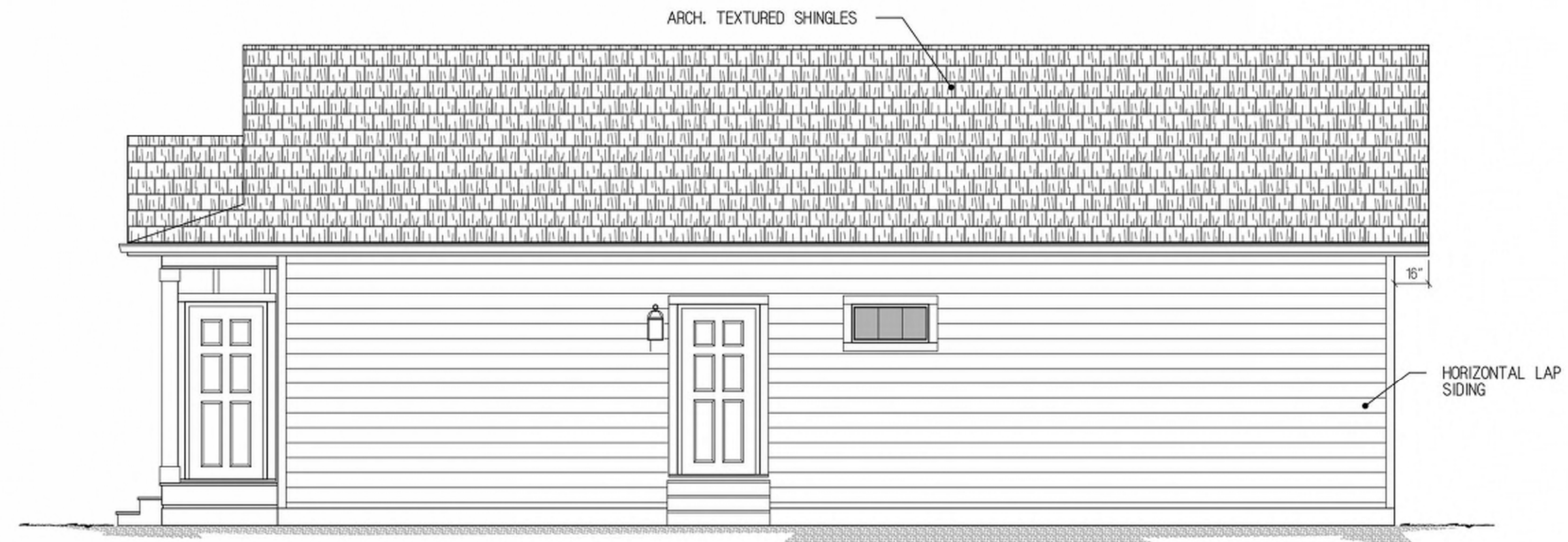


POST DETAIL



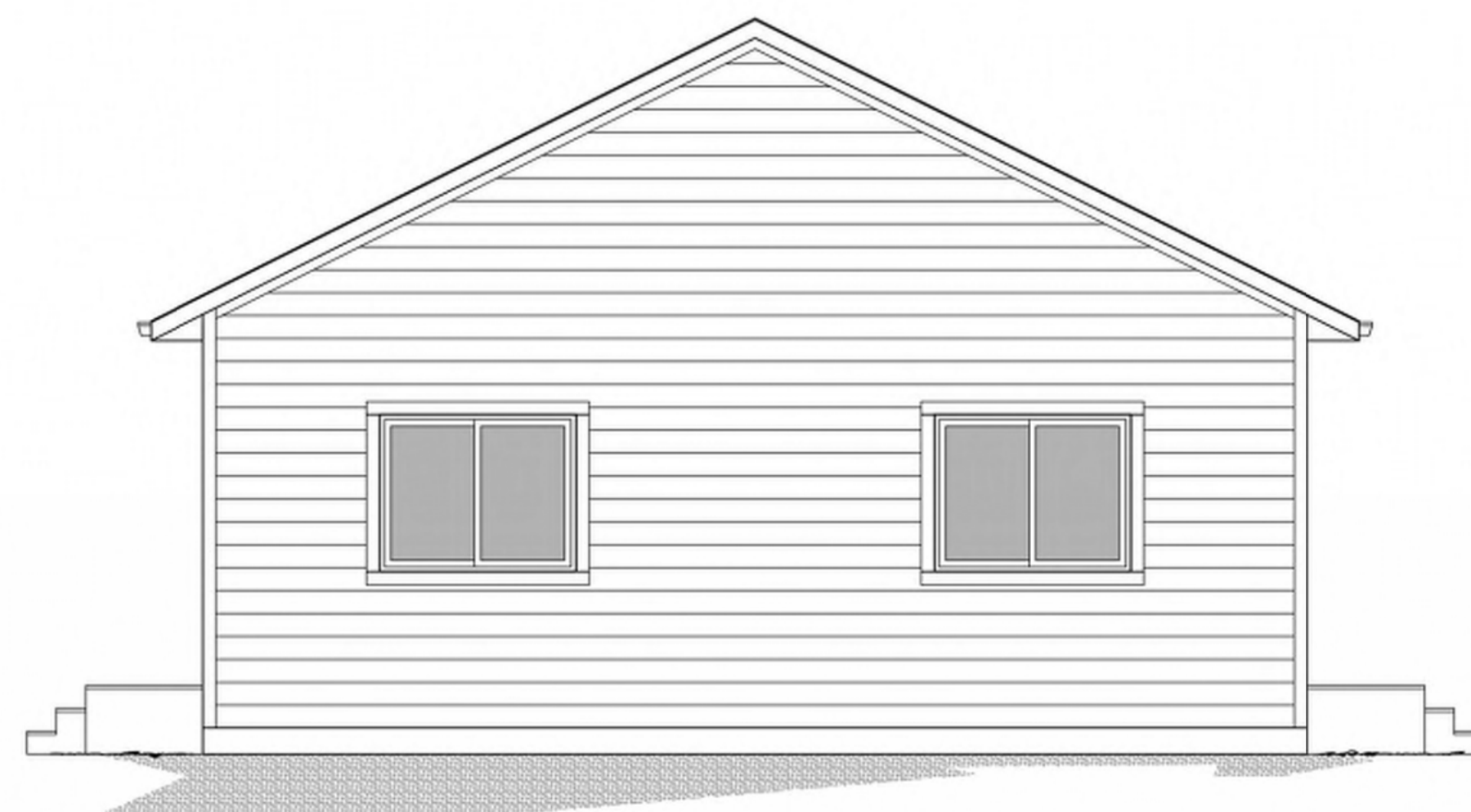
FRONT ELEVATION

F-1



RIGHT ELEVATION

RT-1



REAR ELEVATION

R-1



LEFT ELEVATION

L-1

MANUFACTURER:

319 LOCKHEED STREET  
PUEBLO MEMORIAL AIRPORT  
INDUSTRIAL PARK  
PUEBLO, CO 81011

PROJECT:

PROJECT:  
KEY STRUCTURES  
DUPLEX MODEL TYPE 1

CONSULTANTS:

DRAWN BY: KEY

DATE: 10.14.19

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	1.30.20	ADD DOOR

APPROVAL STAMPS:

QUOTE # X

SERIAL # X

SHEET TITLE

ELEVATIONS

DRAWING NUMBER

14 of 24

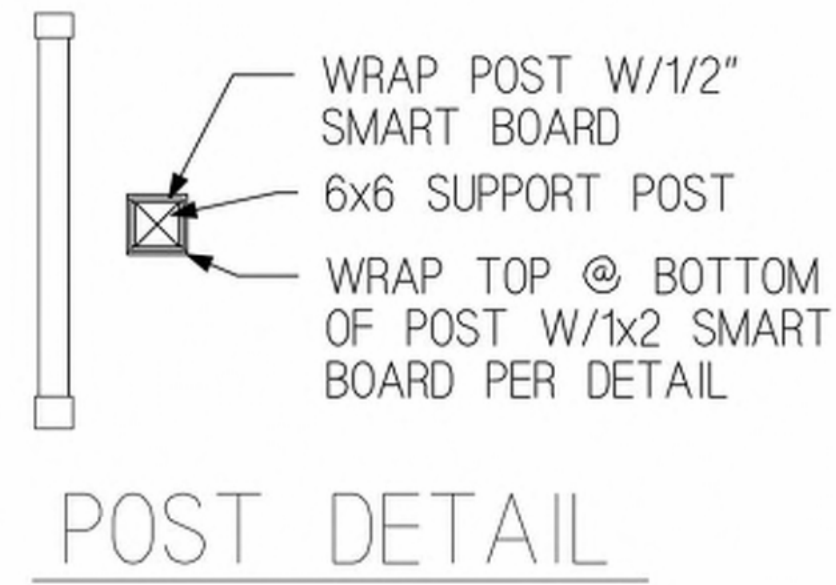
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4. ON-SITE INSTALLATION OF INSULATION AT MATE LINES FOR FLOORS, CEILINGS AND ENDWALLS.
5. ALL EXPOSED ON-SITE PLUMBING (IE: CRAWL SPACE) SHOULD BE INSULATED TO PROTECT FROM FREEZING.
6. ATTIC VENTILATION (MIN. 1/50) ACHIEVED BY RIDGE AND GABLE VENTS (SITE INSTALLED). VENTILATION OF THE LOWER 1/2 OF ATTIC SPACE WILL BE MET THROUGH GABLE VENTS.
7. ON-SITE ELECTRICAL, PLUMBING, AND GAS INTERMODULE CONNECTIONS.
8. BUILDING DRAINS, CLEANOUTS, HOOK-UPS TO ON-SITE PLUMBING SYSTEMS.
9. ON-SITE HVAC INTERMODULE DUCT AND SYSTEM CONNECTIONS.
10. ON-SITE COMPLETION OF ROOF.
11. ON-SITE CONSTRUCTION OF COVERED PORCHES.
12. IF GUTTERS ARE INSTALLED BY MFG. OR SITE INSTALLED THEY SHALL ALSO HAVE GUTTER COVERS INSTALLED.
13. ON-SITE COMPLETION OF STAIRS IF APPLICABLE



**ELEVATION NOTES:**

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ELEVATIONS SHOWN ARE CONCEPTUAL ONLY AND ARE PROVIDED TO ILLUSTRATE EXTERIOR MATERIALS AND GENERAL BUILDING WIDTH, DEPTH AND HEIGHTS. BUILDER RESERVES THE RIGHT TO MODIFY THE ELEVATIONS AND UNIT TYPES WITHOUT THE NEED TO RESUBMIT A DEVELOPMENT PLAN.

MANUFACTURER:  
**KEY** 319 LOCKHEED STREET  
PUEBLO MEMORIAL AIRPORT  
INDUSTRIAL PARK  
PUEBLO, CO 81011

PROJECT:  
KEY STRUCTURES  
DUPLEX MODEL TYPE 2

CONSULTANTS:

---

DRAWN BY: KEY  
DATE: 10.14.19  
SCALE: 1/4" = 1'-0"

REVISIONS:

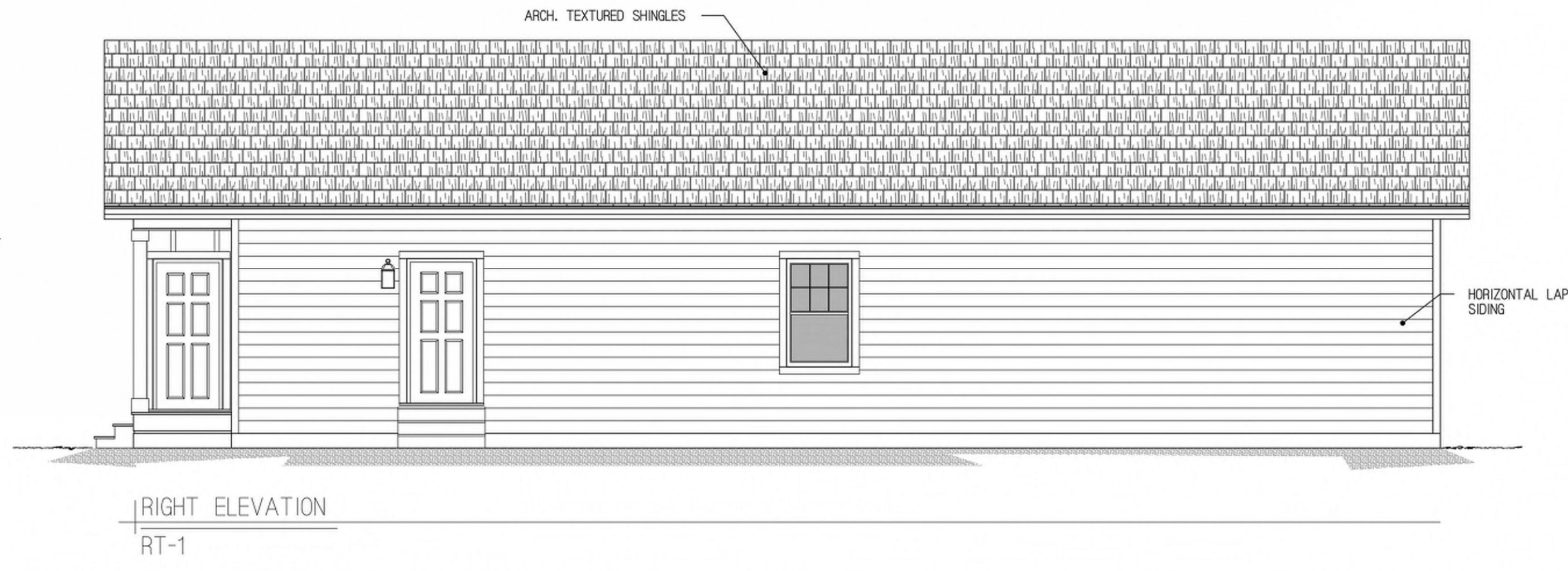
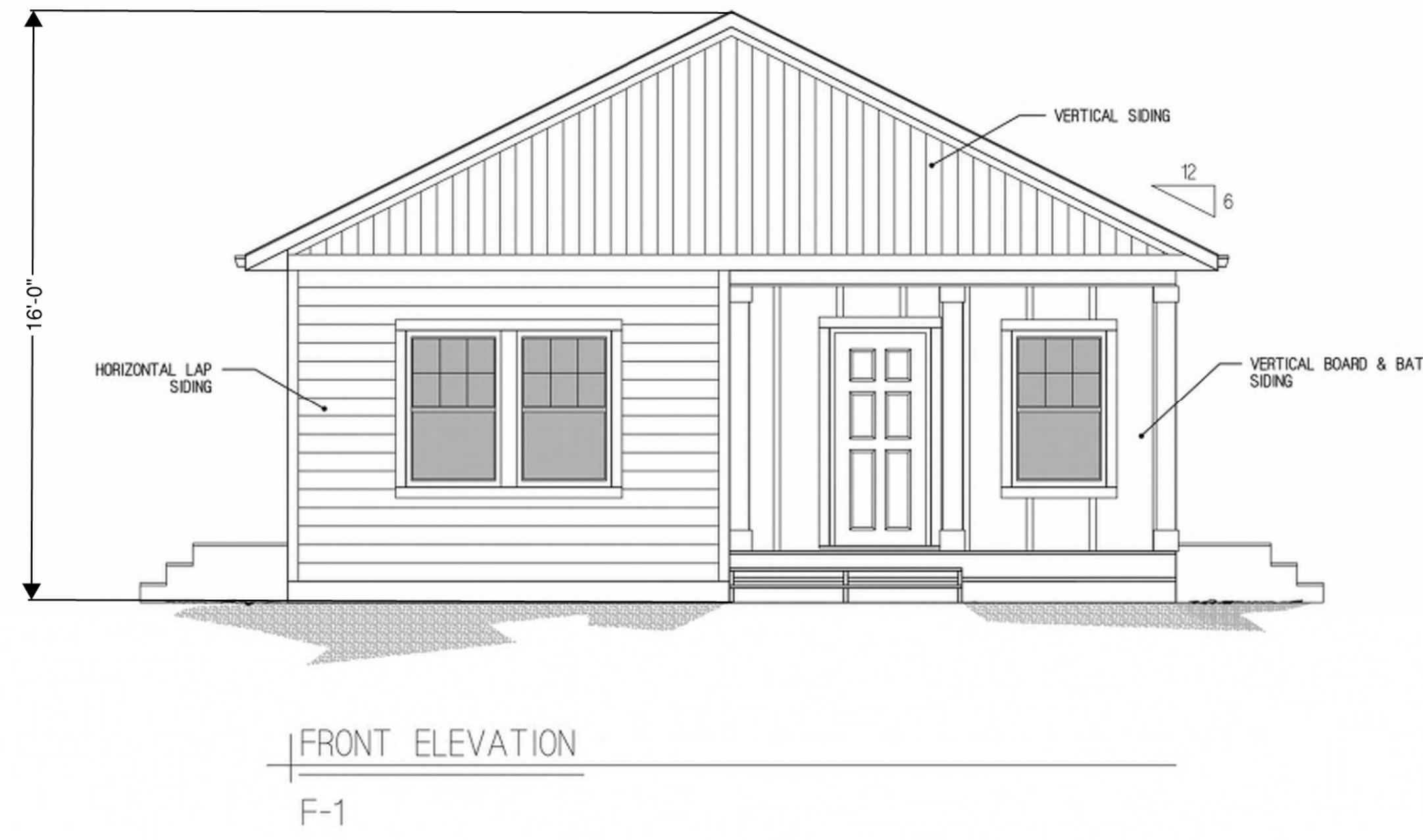
NO:	DATE:	DESCRIPTION:
1.	2.3.20	ADD DOORS

APPROVAL STAMPS:

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QUOTE \* X  
SERIAL \* X  
SHEET TITLE  
**ELEVATIONS**  
DRAWING NUMBER  
**15 of 24**

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MANUFACTURER:  
**KEY** STRUCTURES  
 319 LOCKHEED STREET  
 PUEBLO MEMORIAL AIRPORT  
 INDUSTRIAL PARK  
 PUEBLO, CO 81011

PROJECT:  
 KEY STRUCTURES  
 CUSTOM SINGLE WIDE 2 STORY  
 PIKEVIEW DUPLEX  
 PIKEVIEW RESIDENTIAL COMMUNITY  
 0 NORTH CASCADE AVE.  
 COLORADO SPRINGS, CO 80907

CONSULTANTS:

DRAWN BY: LCL

DATE: 11.2.18

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	11.27.18	NEW VERSIONS
2.	11.28.18	REDLINES
3.	1.30.20	DOOR ADD

APPROVAL STAMPS:

QUOTE \* X  
 SERIAL \* X

SHEET TITLE

ELEVATIONS

DRAWING NUMBER

16 of 24

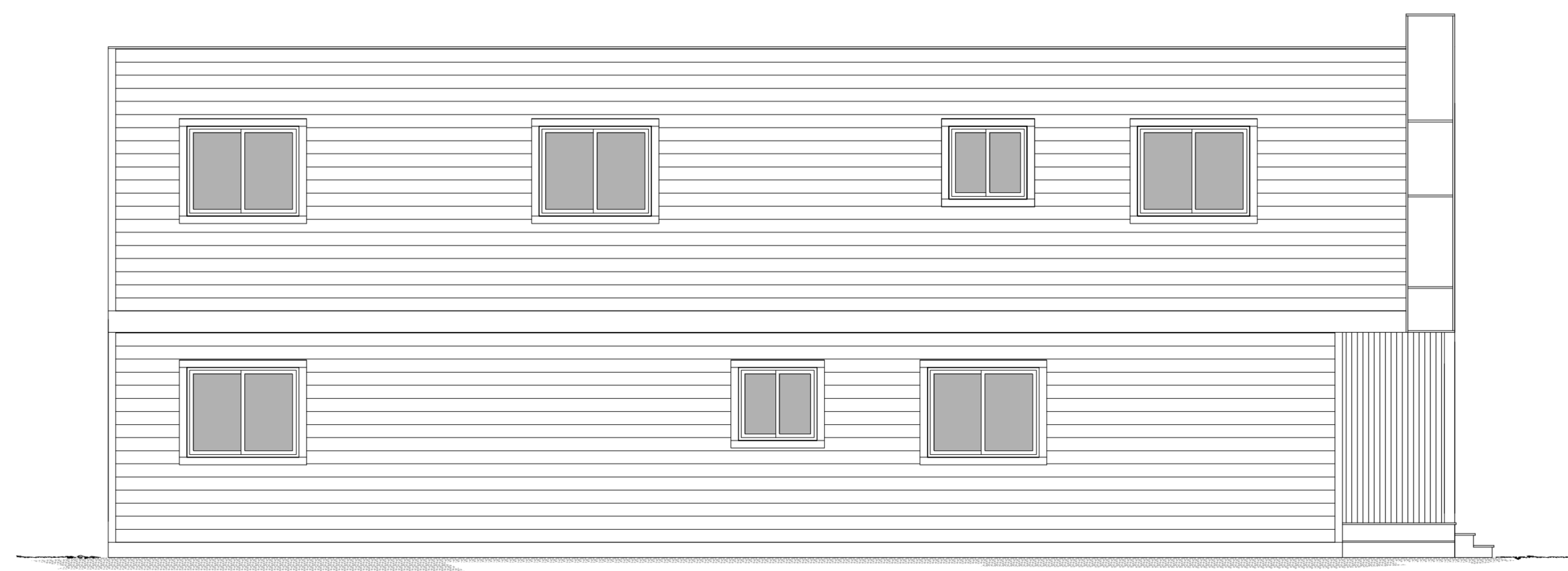
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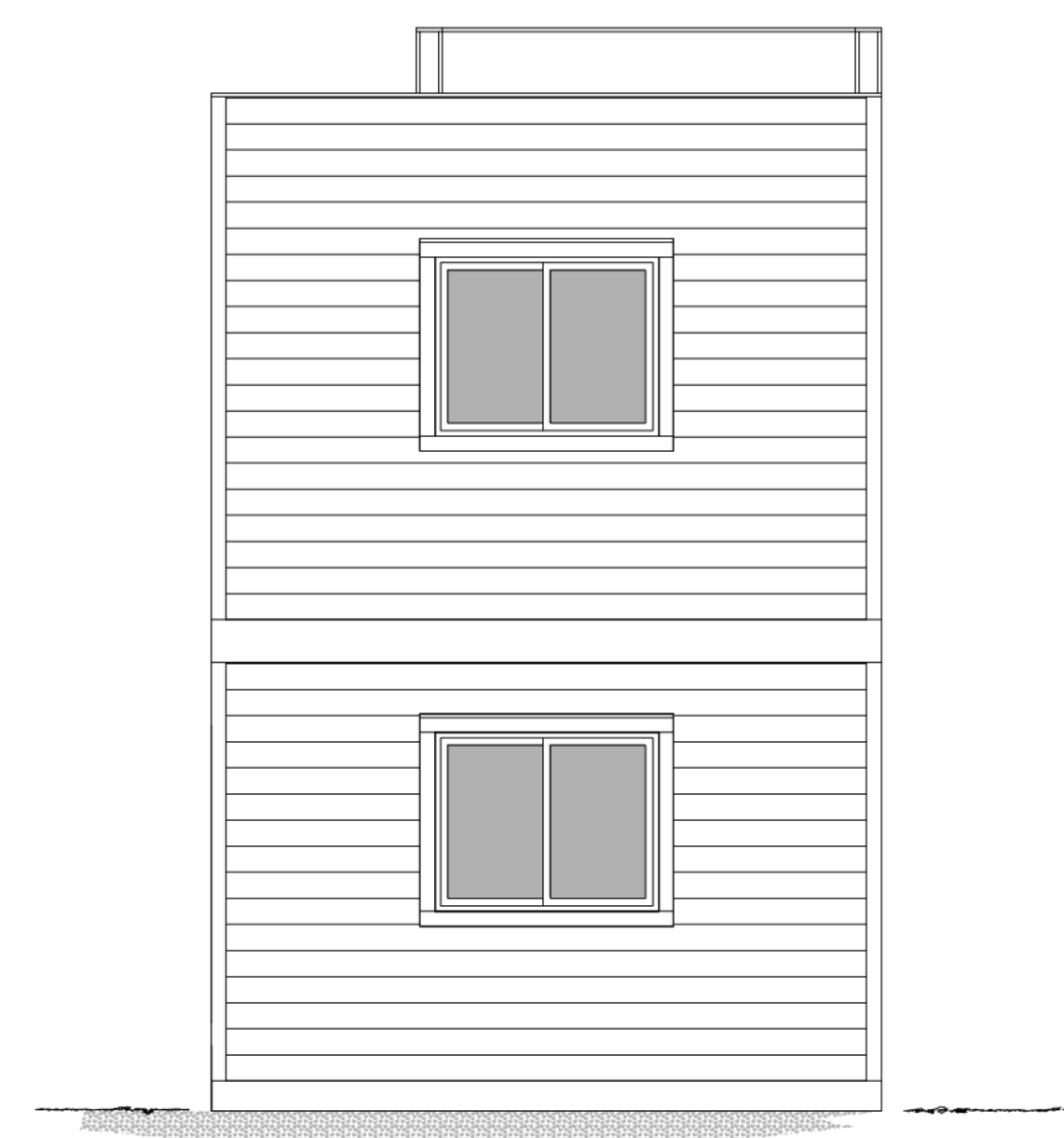
FRONT ELEVATION  
 OPTION 1



RIGHT ELEVATION  
 OPTION 1



LEFT ELEVATION  
 OPTION 1



REAR ELEVATION  
 OPTION 1



ELEVATIONS SHOWN ARE CONCEPTUAL ONLY AND ARE PROVIDED TO ILLUSTRATE EXTERIOR MATERIALS AND GENERAL BUILDING WIDTH, DEPTH AND HEIGHTS. BUILDER RESERVES THE RIGHT TO MODIFY THE ELEVATIONS AND UNIT TYPES WITHOUT THE NEED TO RESUBMIT A DEVELOPMENT PLAN.

MANUFACTURER:  
**KEY** STRUCTURES  
 319 LOCKHEED STREET  
 PUEBLO MEMORIAL AIRPORT  
 INDUSTRIAL PARK  
 PUEBLO, CO 81011

PROJECT:  
 KEY STRUCTURES  
 CUSTOM SINGLE WIDE 2 STORY  
 PIKEVIEW DUPLEX  
 PIKEVIEW RESIDENTIAL COMMUNITY  
 0 NORTH CASCADE AVE.  
 COLORADO SPRINGS, CO 80907

CONSULTANTS:

DRAWN BY: LCL  
 DATE: 12.13.18  
 SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	1.30.20	DOOR ADD

APPROVAL STAMPS:

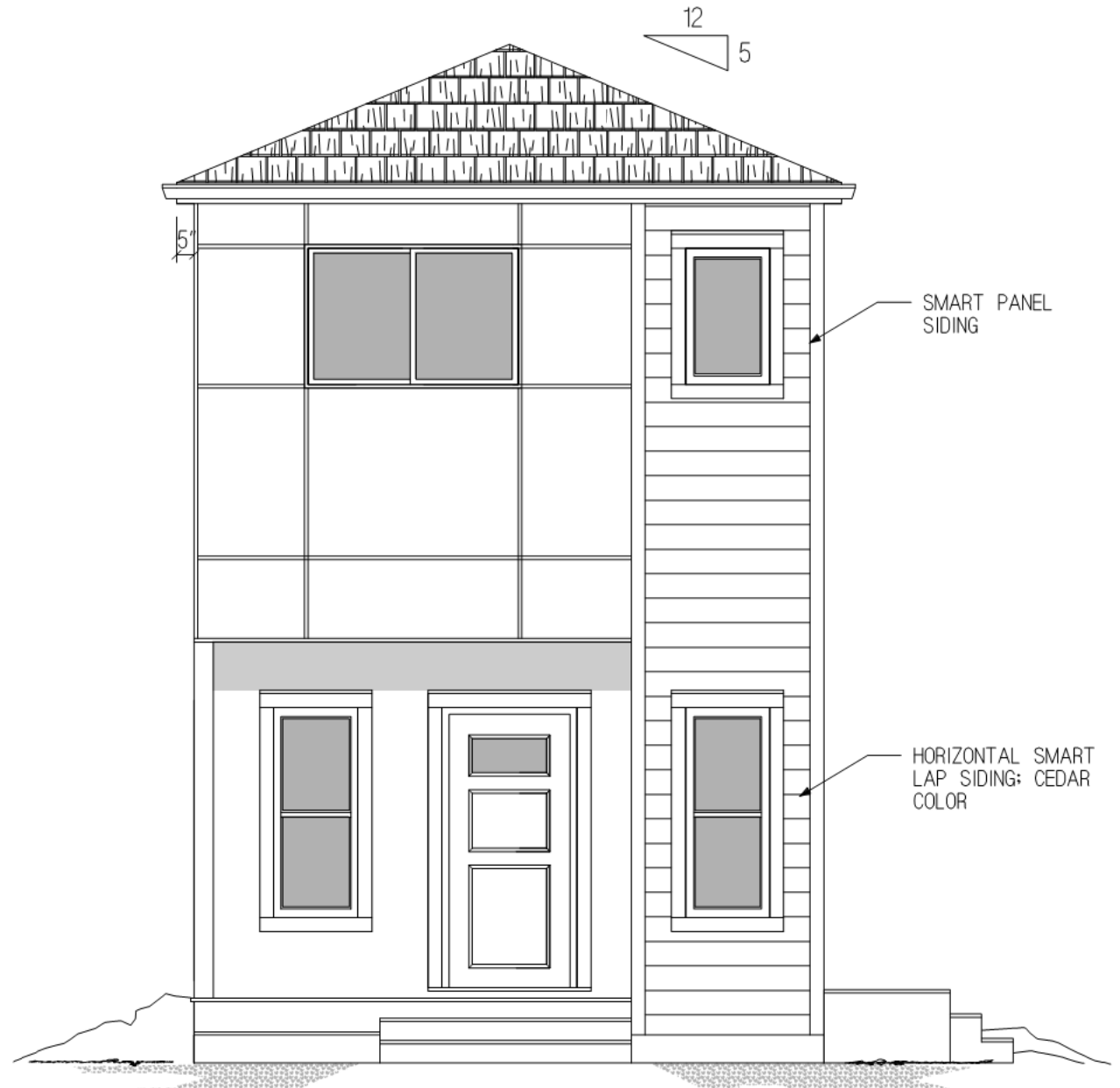
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 SERIAL \* X

SHEET TITLE

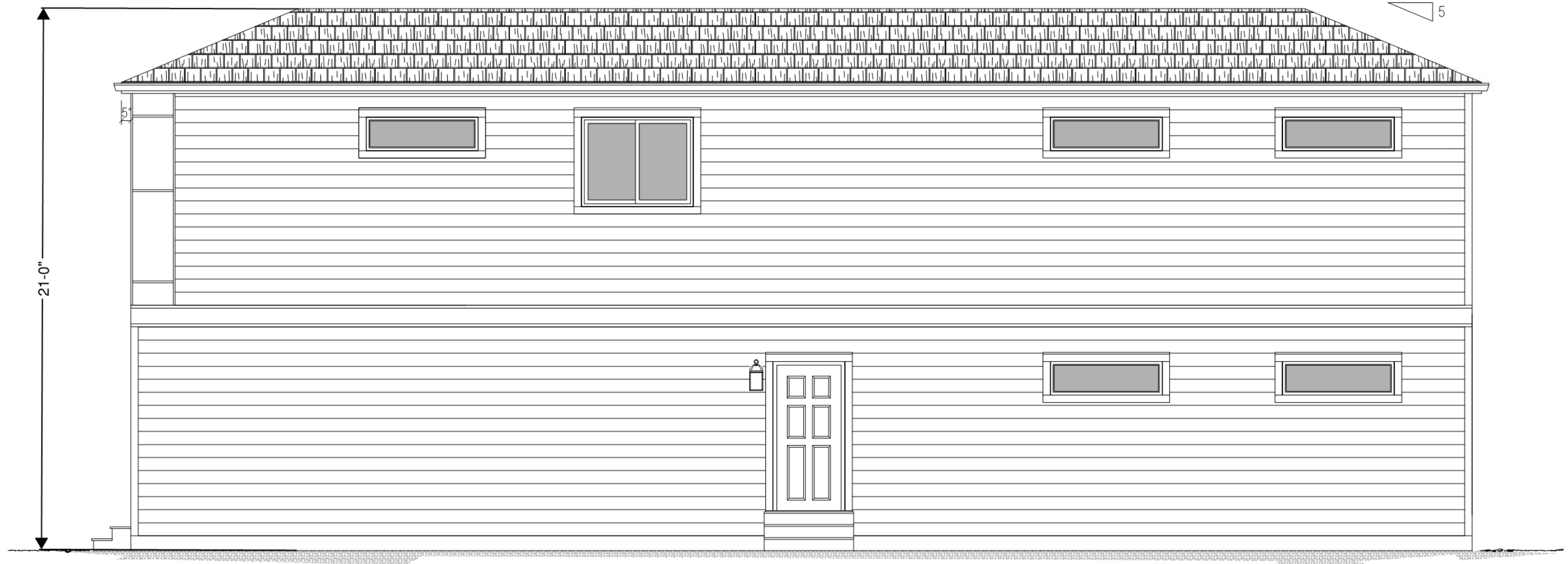
ELEVATIONS

DRAWING NUMBER  
**17 of 24**

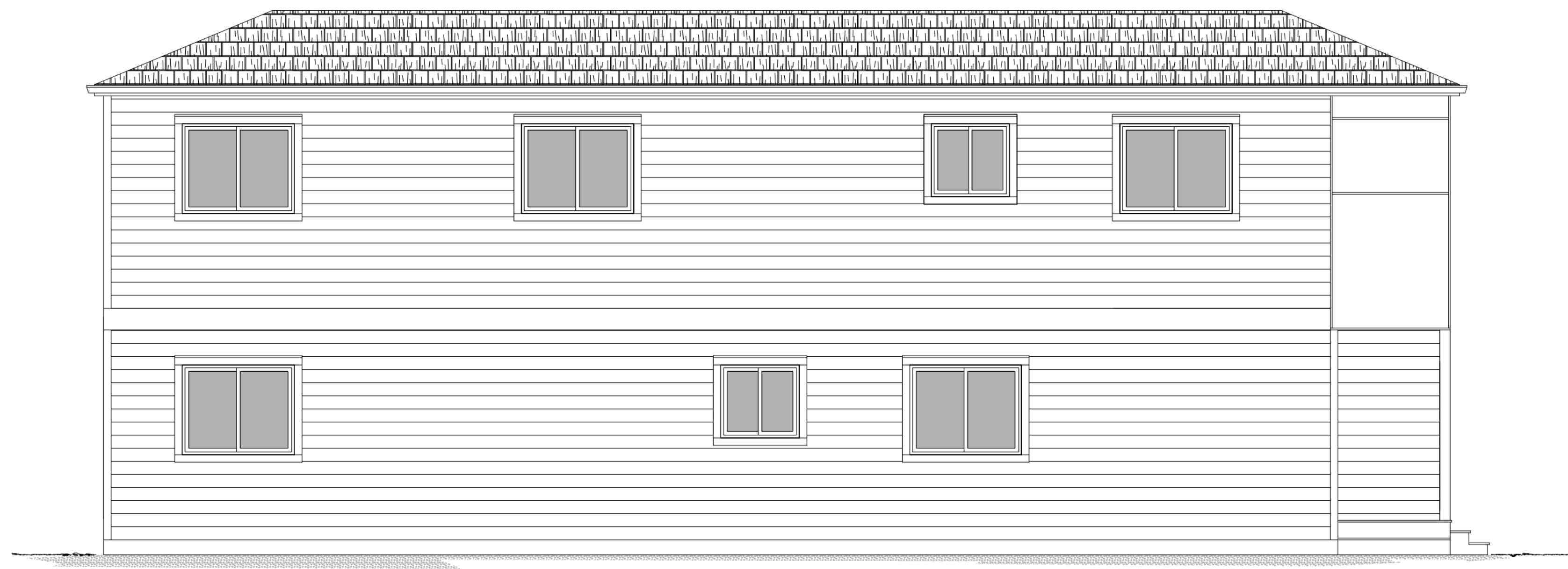
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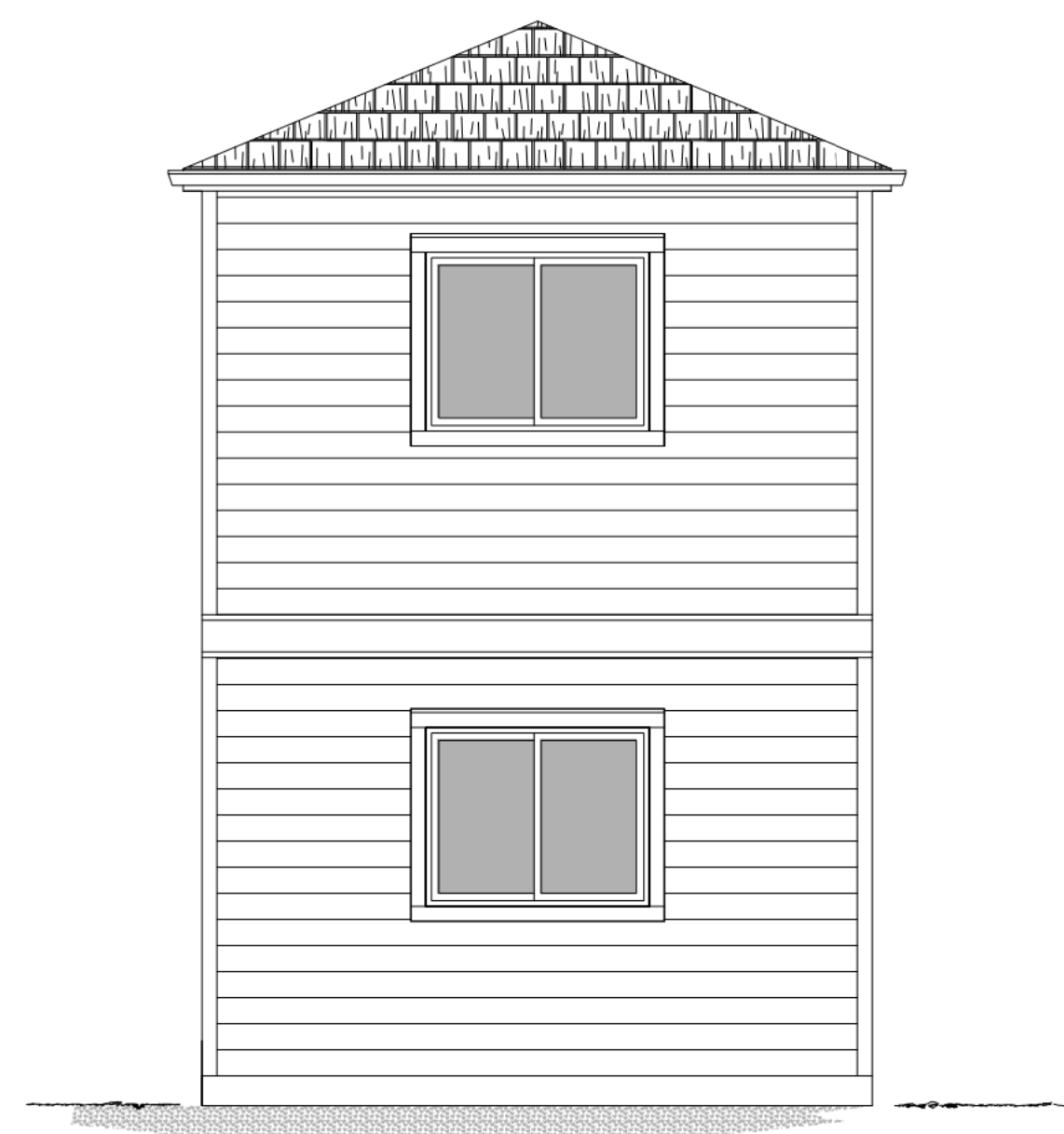
FRONT ELEVATION  
 OPTION 3



RIGHT ELEVATION  
 OPTION 3



LEFT ELEVATION  
 OPTION 3



REAR ELEVATION  
 OPTION 3



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8605 EXPLORER DRIVE, SUITE 250  
 COLORADO SPRINGS, CO 80920  
 T 719.598.5192

PROJECT:  
 CUSTOM MODEL  
 CHELTON DUPLEX  
 TYPE 3 TRADITIONAL

CONSULTANTS:

DRAWN BY: LCL

DATE: 6.11.18

SCALE: 1/4" = 1'-0"

REVISIONS:

NO:	DATE:	DESCRIPTION:
1.	7.5.18	BAND BOARD

APPROVAL STAMPS:

QUOTE *	X
SERIAL *	X

SHEET TITLE

ELEVATIONS

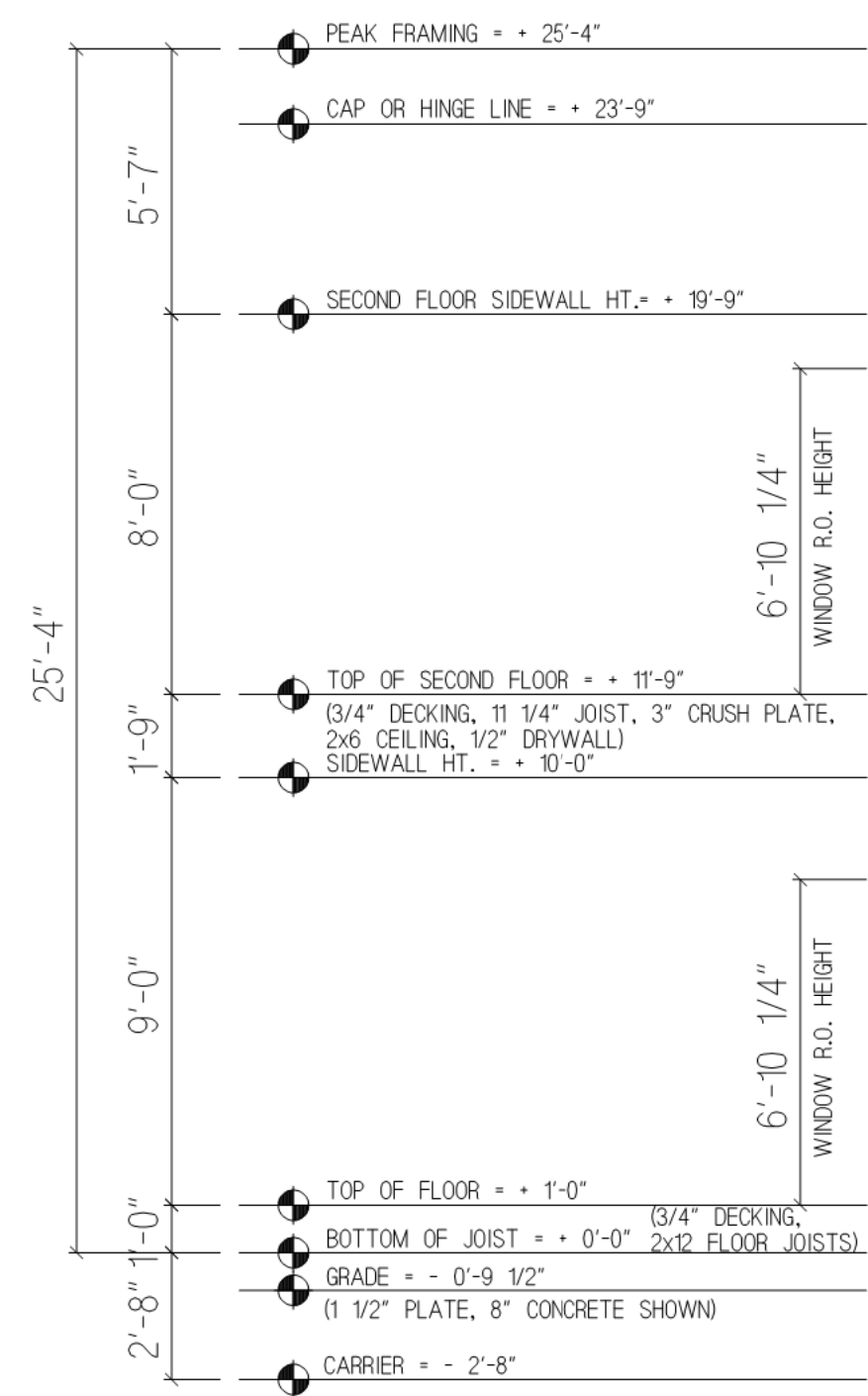
DRAWING NUMBER

18 of 24

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FRONT ELEVATION



RIGHT ELEVATION



ELEVATIONS SHOWN ARE CONCEPTUAL ONLY AND ARE PROVIDED TO ILLUSTRATE EXTERIOR MATERIALS AND GENERAL BUILDING WIDTH, DEPTH AND HEIGHTS. BUILDER RESERVES THE RIGHT TO MODIFY THE ELEVATIONS AND UNIT TYPES WITHOUT THE NEED TO RESUBMIT A DEVELOPMENT PLAN.

**GK**  
**GOODWIN**  
 KNIGHT

8605 EXPLORER DRIVE, SUITE 250  
 COLORADO SPRINGS, CO 80920  
 T 719.598.5192

PROJECT:  
 CUSTOM MODEL  
 CHELTON DUPLEX  
 TYPE 3 TRADITIONAL

CONSULTANTS:

DRAWN BY: LCL  
 DATE: 6.11.18  
 SCALE: 1/4" = 1'-0"

REVISIONS:

NO.	DATE:	DESCRIPTION:
1.		

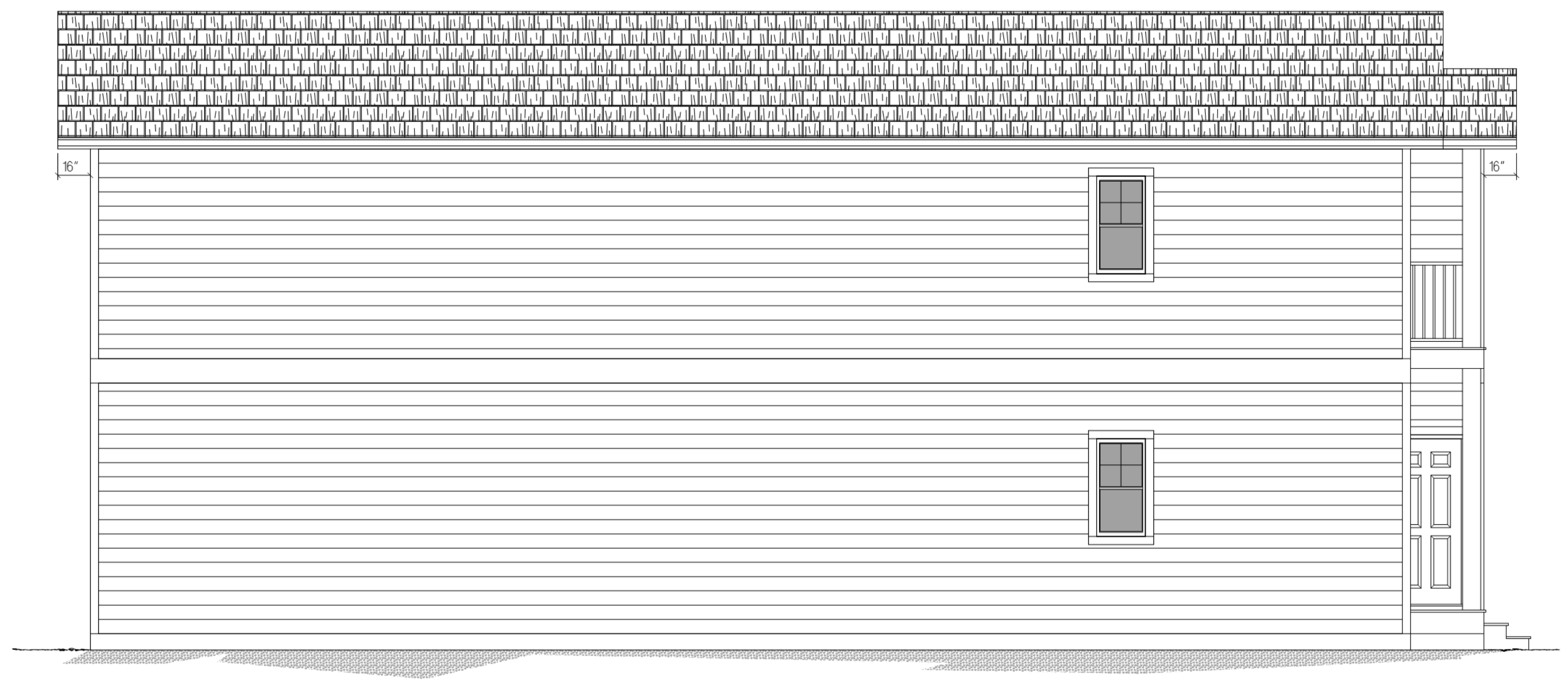
APPROVAL STAMPS:

QUOTE \* X  
 SERIAL \* X

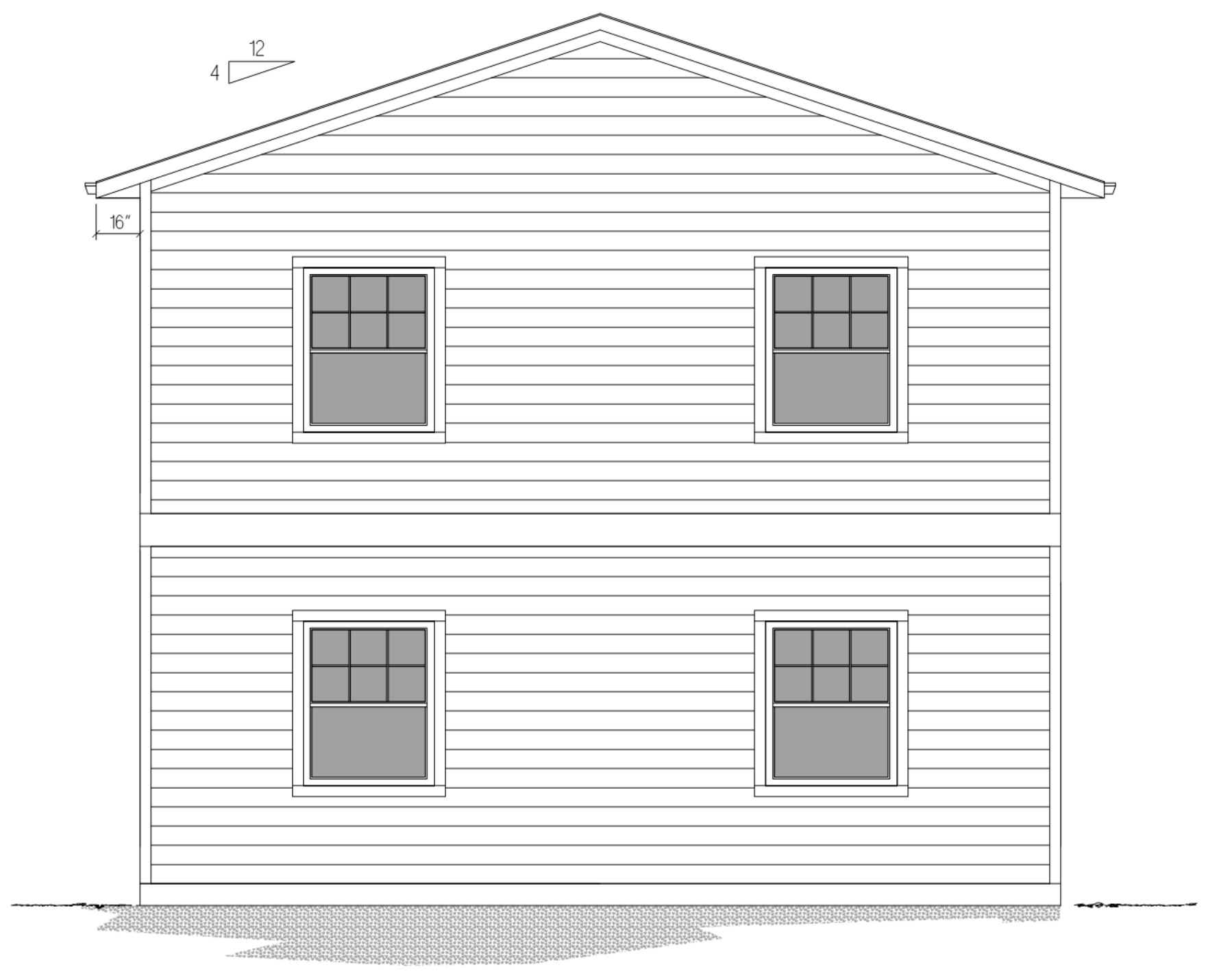
SHEET TITLE  
 ELEVATIONS

DRAWING NUMBER  
 19 of 24

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LEFT ELEVATION



REAR ELEVATION



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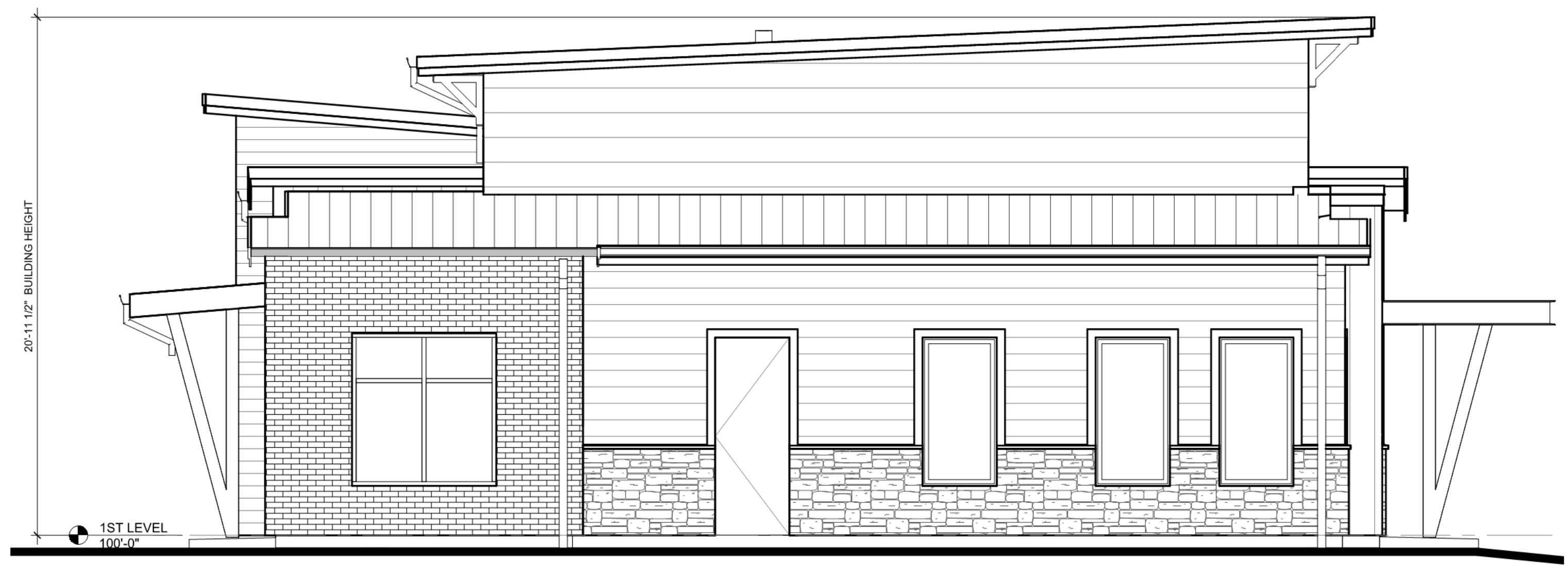
**Godden|Sudik**  
ARCHITECTS  
SEE WHAT COULD BE  
303.455.4437  
www.goddensudik.com

5975 S. Quebec Street  
Suite 250  
Centennial, CO 80111

NOT FOR CONSTRUCTION



4 REAR ELEVATION  
1/4" = 1'-0"



3 SIDE ELEVATION  
1/4" = 1'-0"



2 SIDE ELEVATION  
1/4" = 1'-0"



1 FRONT ELEVATION  
1/4" = 1'-0"

WOODMEN HEIGHTS

CLUBHOUSE

DRAWN BY:  
CW  
CHECKED BY:  
CW  
ISSUE DATE:  
02/06/2020

REVISIONS:


CLUBHOUSE ELEVATIONS



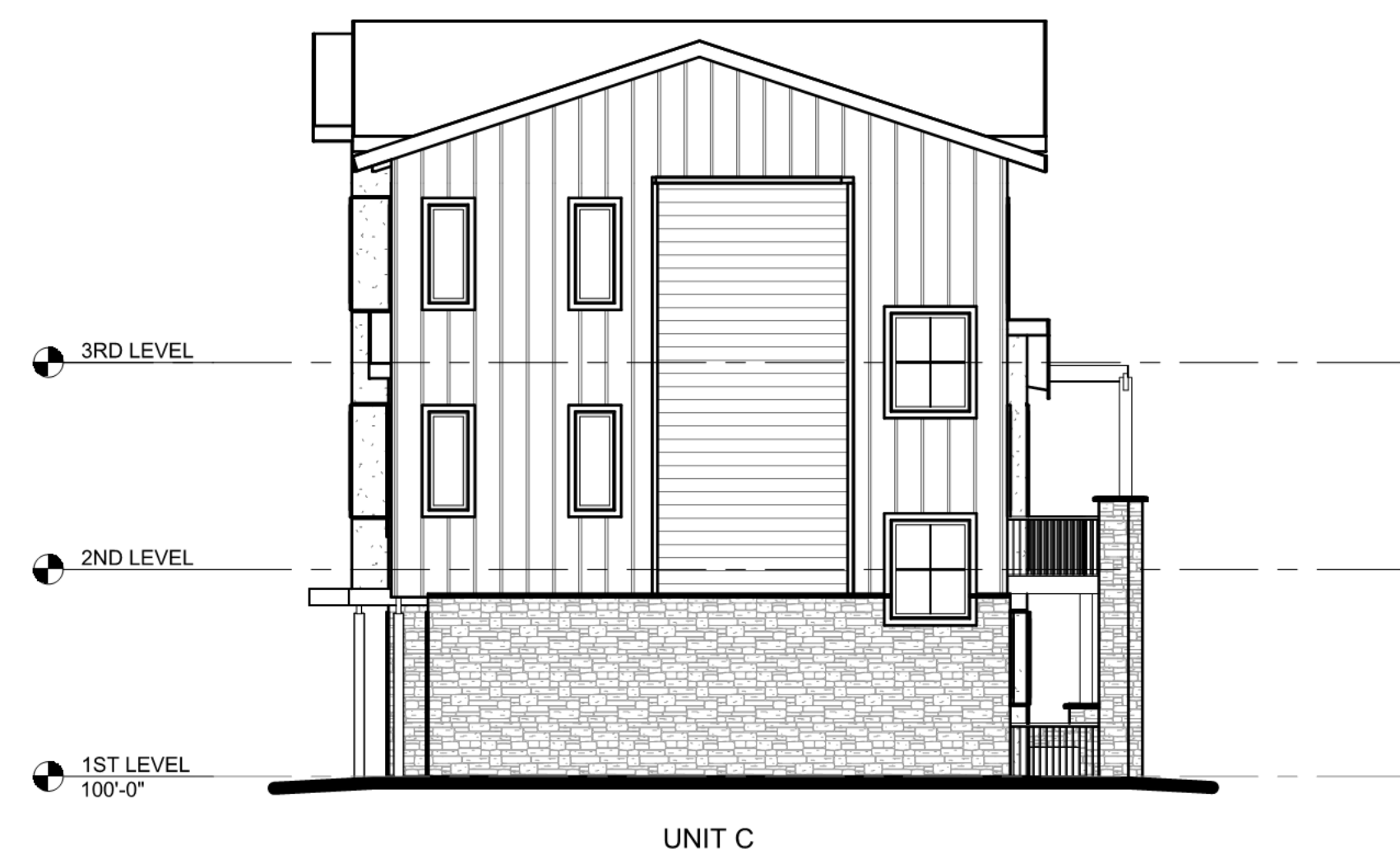


**Godden|Sudik**  
ARCHITECTS  
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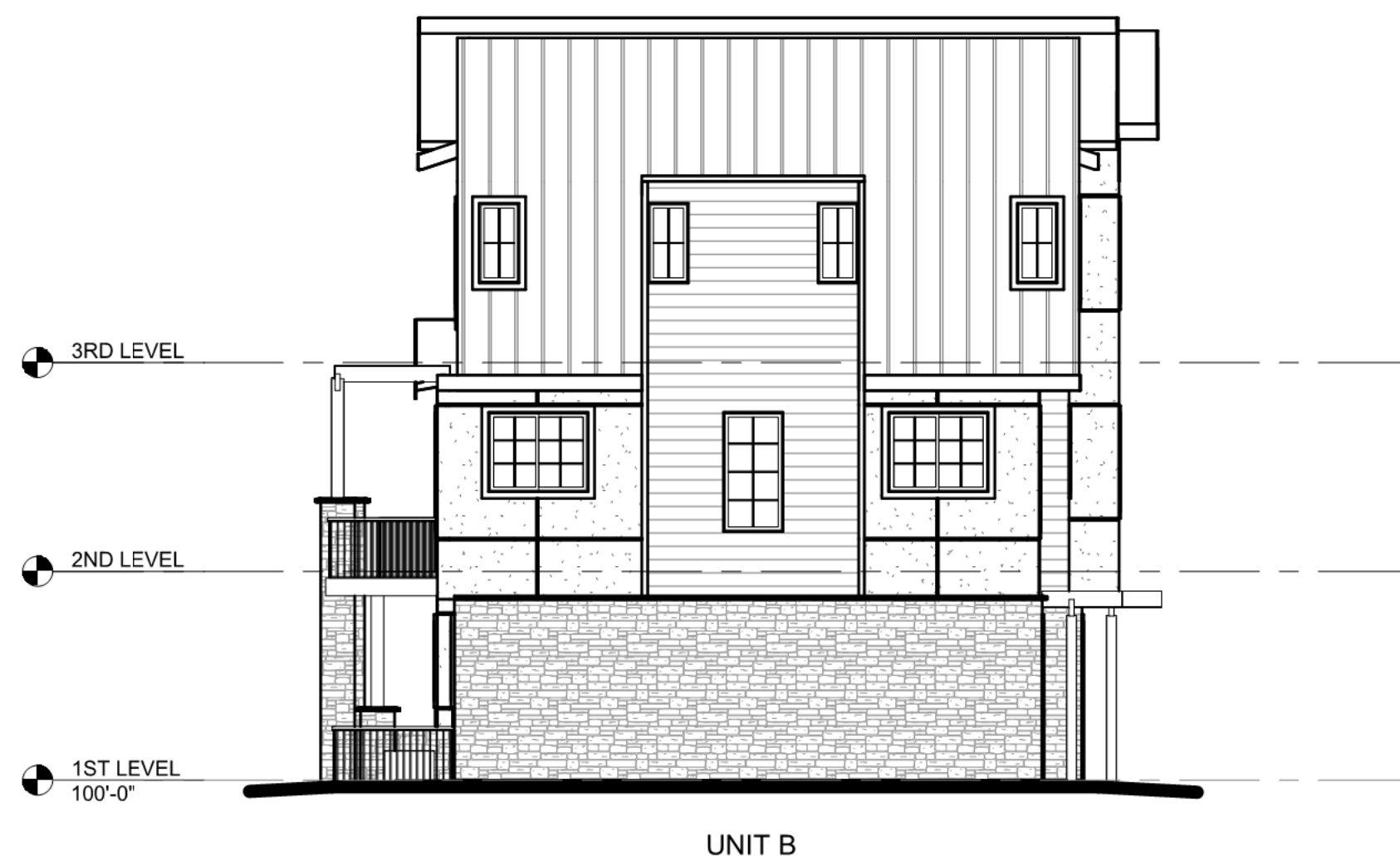
ELEVATIONS SHOWN ARE CONCEPTUAL ONLY AND ARE PROVIDED TO ILLUSTRATE EXTERIOR MATERIALS AND GENERAL BUILDING WIDTH, DEPTH AND HEIGHTS. BUILDER RESERVES THE RIGHT TO MODIFY THE ELEVATIONS AND UNIT TYPES WITHOUT THE NEED TO RESUBMIT A DEVELOPMENT PLAN.



4 RIGHT SIDE ELEVATION  
1/8" = 1'-0"



3 REAR ELEVATION  
1/8" = 1'-0"



2 LEFT SIDE ELEVATION  
1/8" = 1'-0"



1 FRONT ELEVATION  
1/8" = 1'-0"

WOODMEN HEIGHTS  
TOWNHOMES

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3-PLEX -  
ELEVATIONS



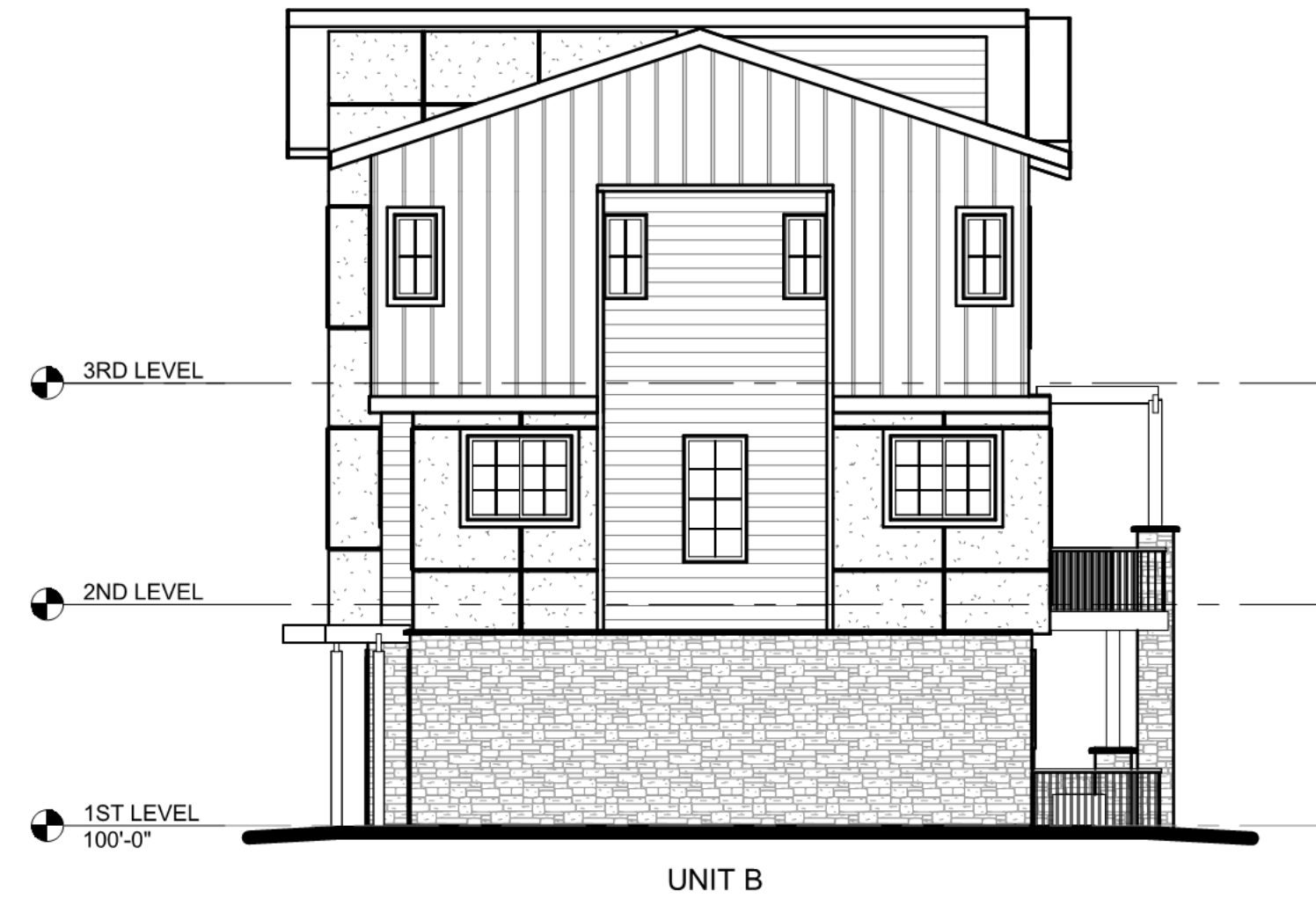
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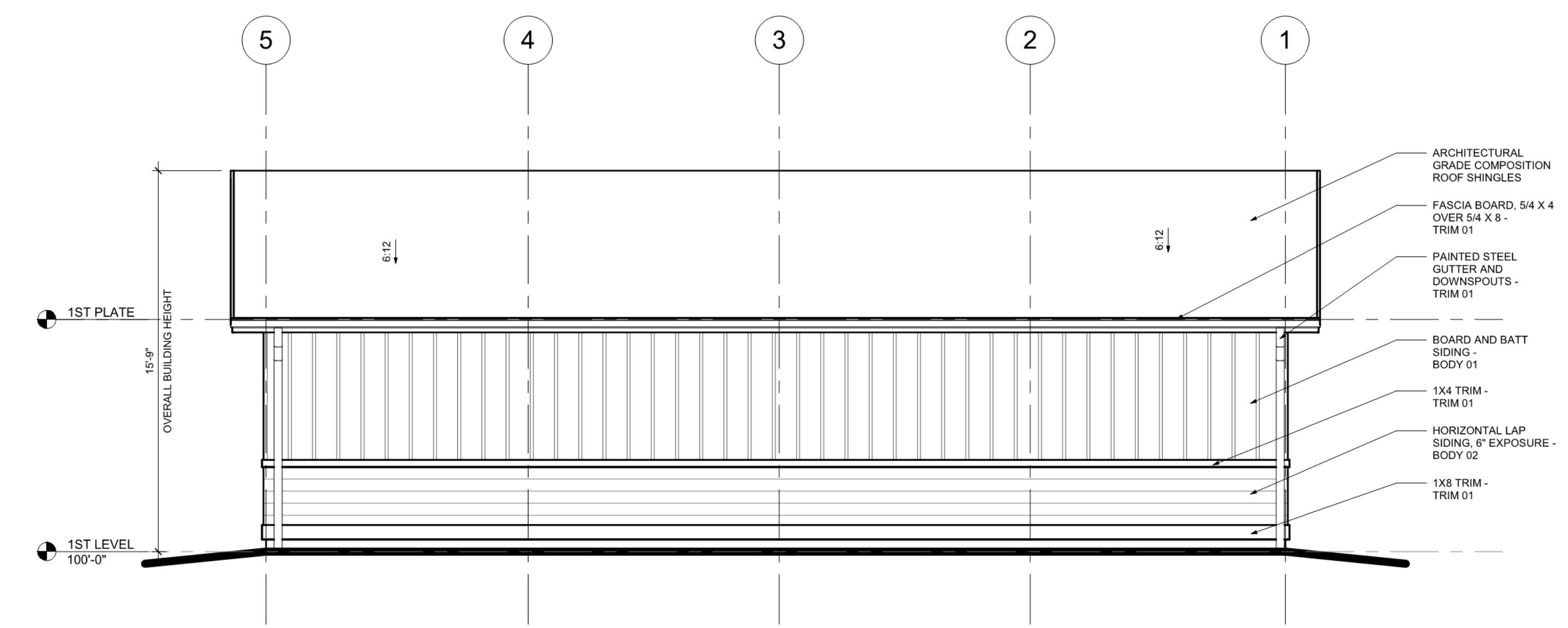

4-PLEX - ELEVATIONS



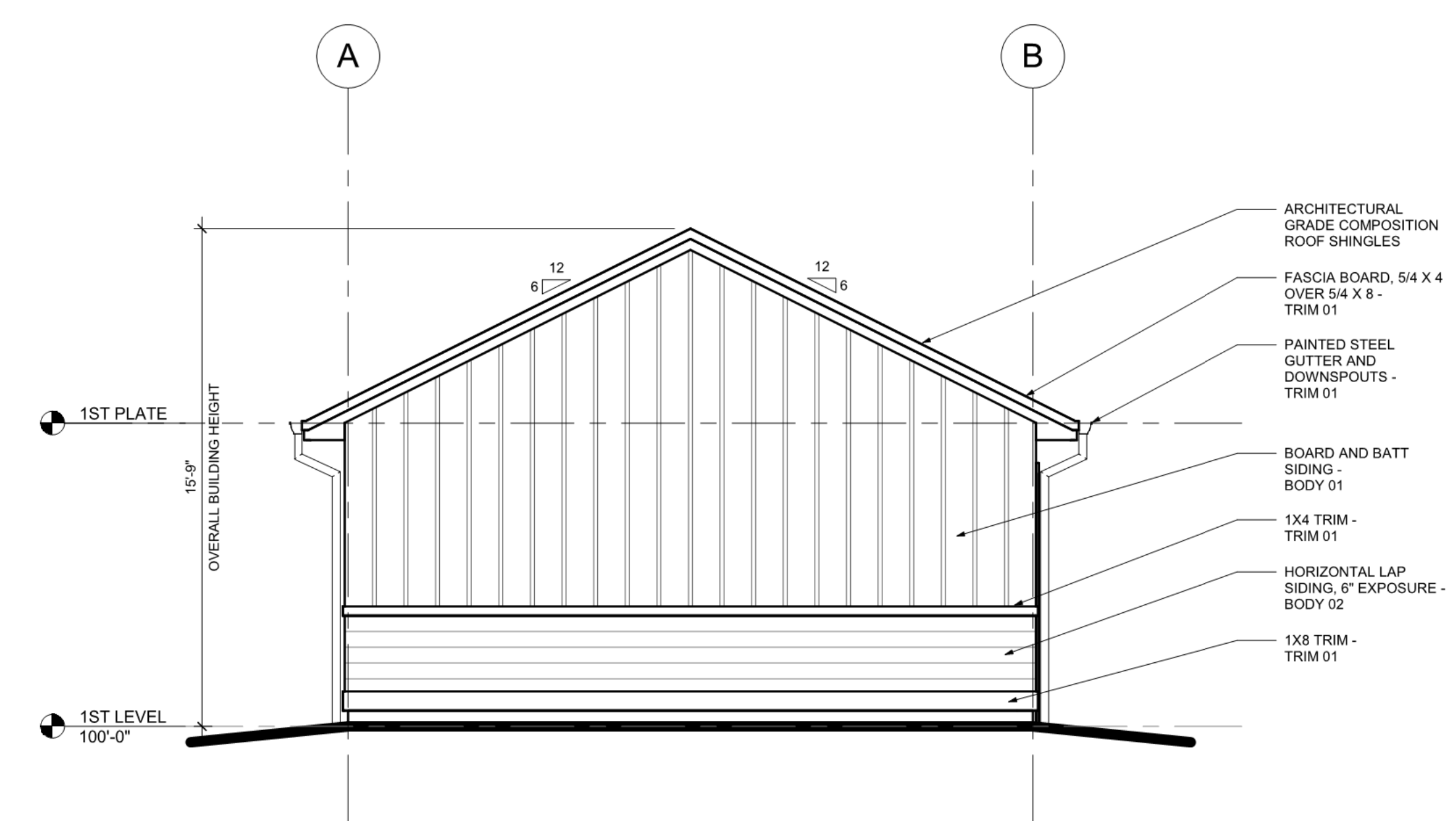


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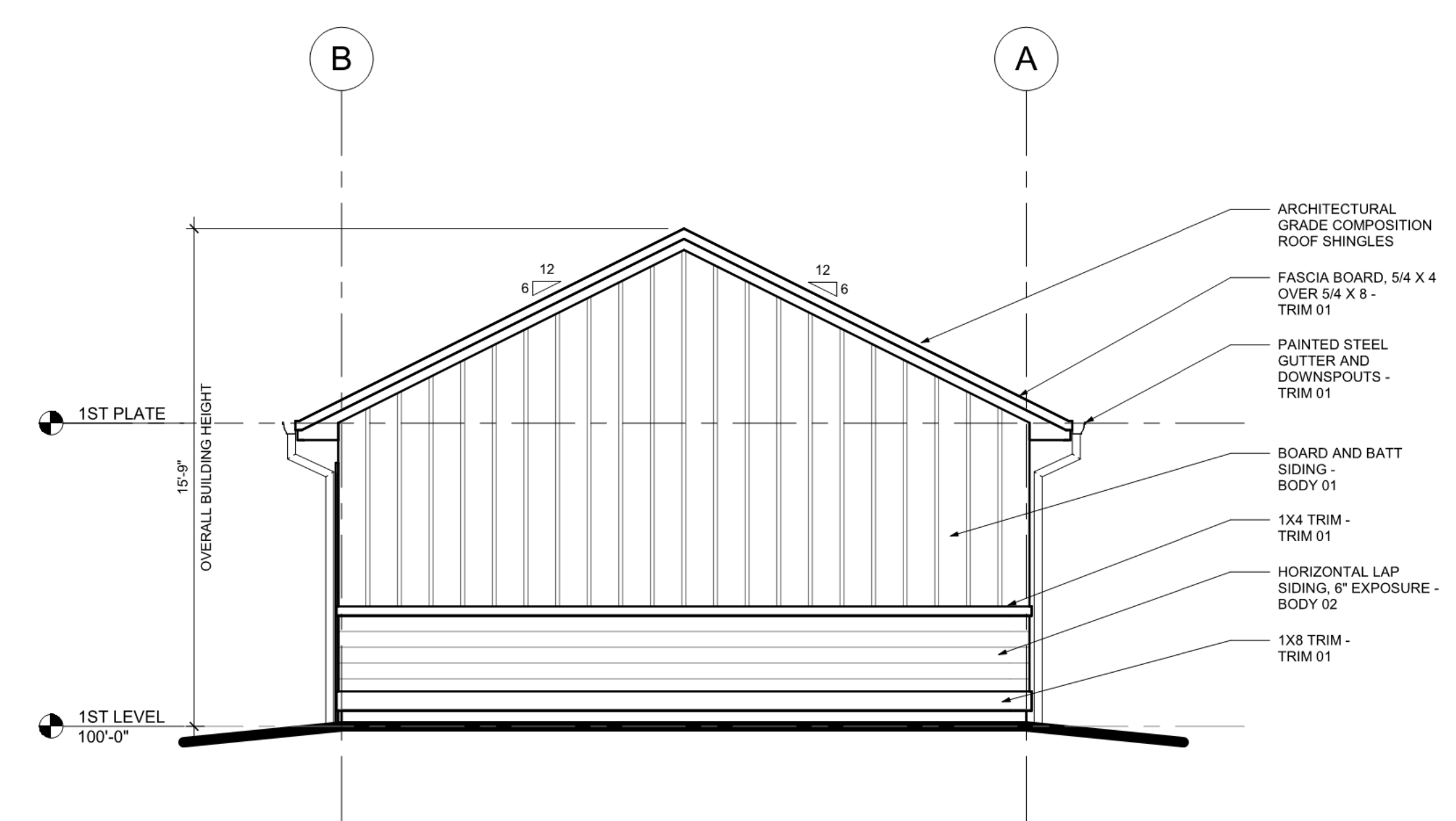
GOODWIN KNIGHT 4-BAY  
DETACHED GARAGE



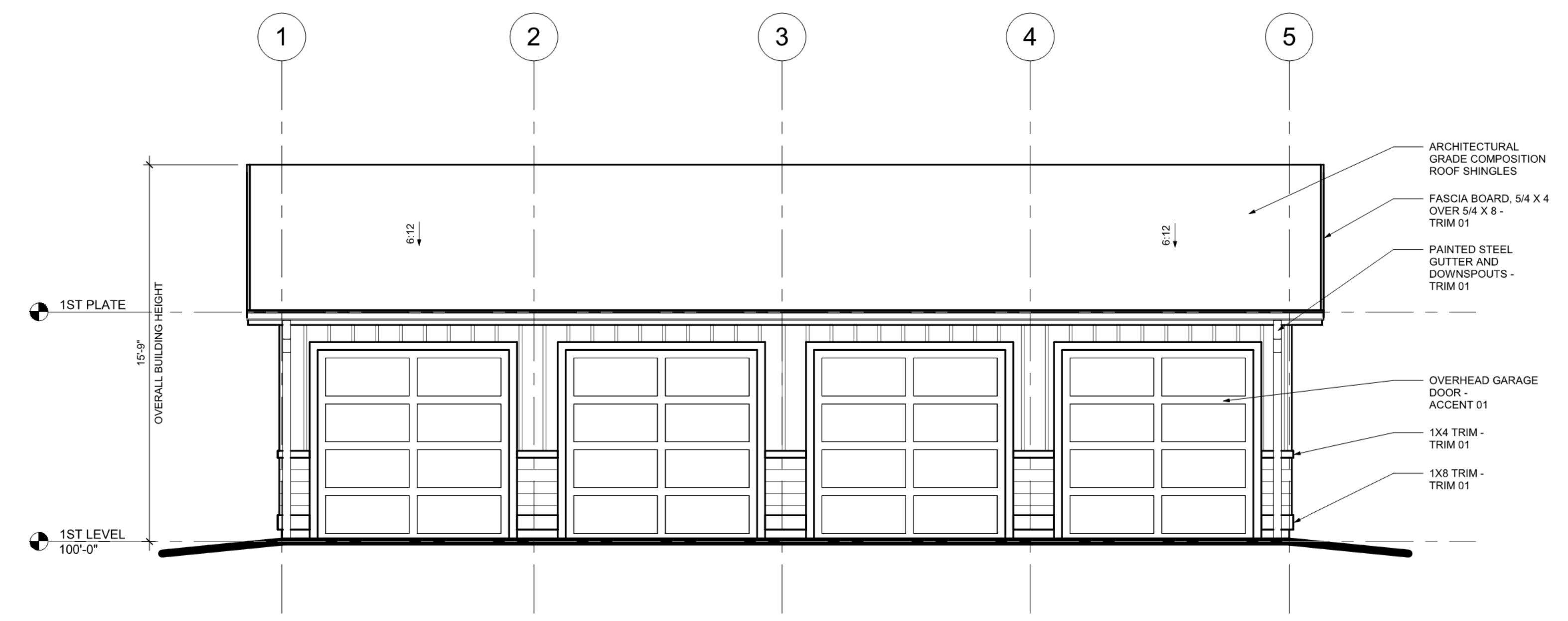
4 REAR ELEVATION - STANDARD  
1/4" = 1'-0"



3 LEFT SIDE ELEVATION - STANDARD  
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION - STANDARD  
1/4" = 1'-0"



1 FRONT ELEVATION - STANDARD  
1/4" = 1'-0"

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CW  
ISSUE DATE:  
01/12/2020

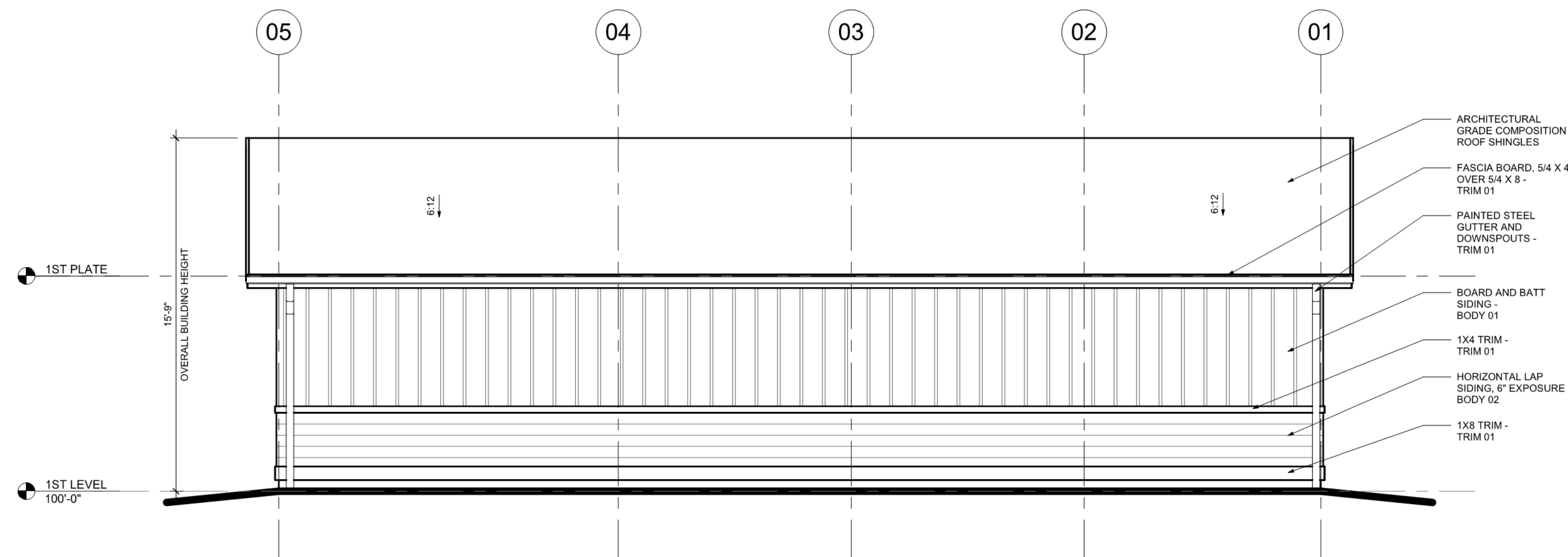
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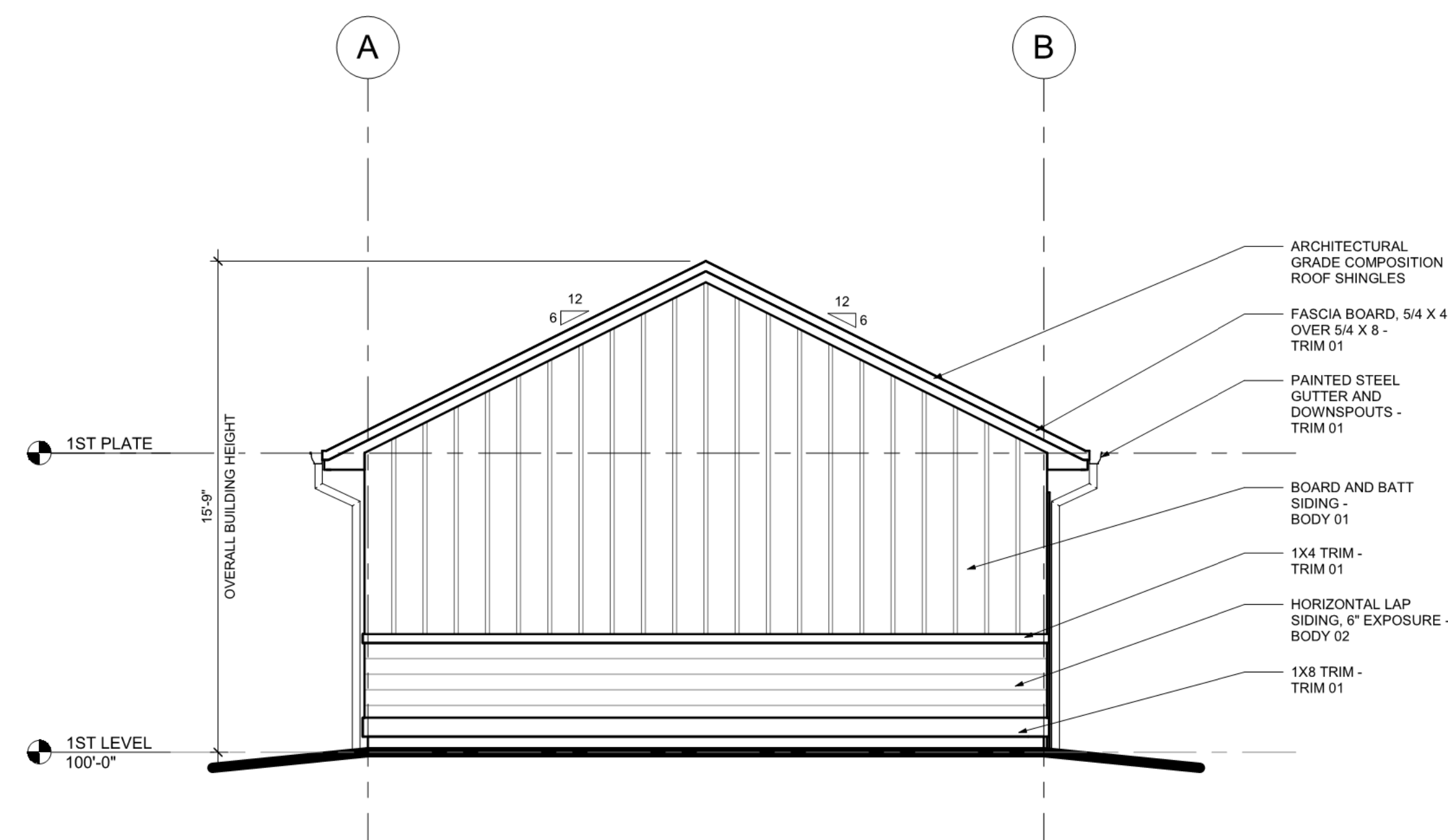



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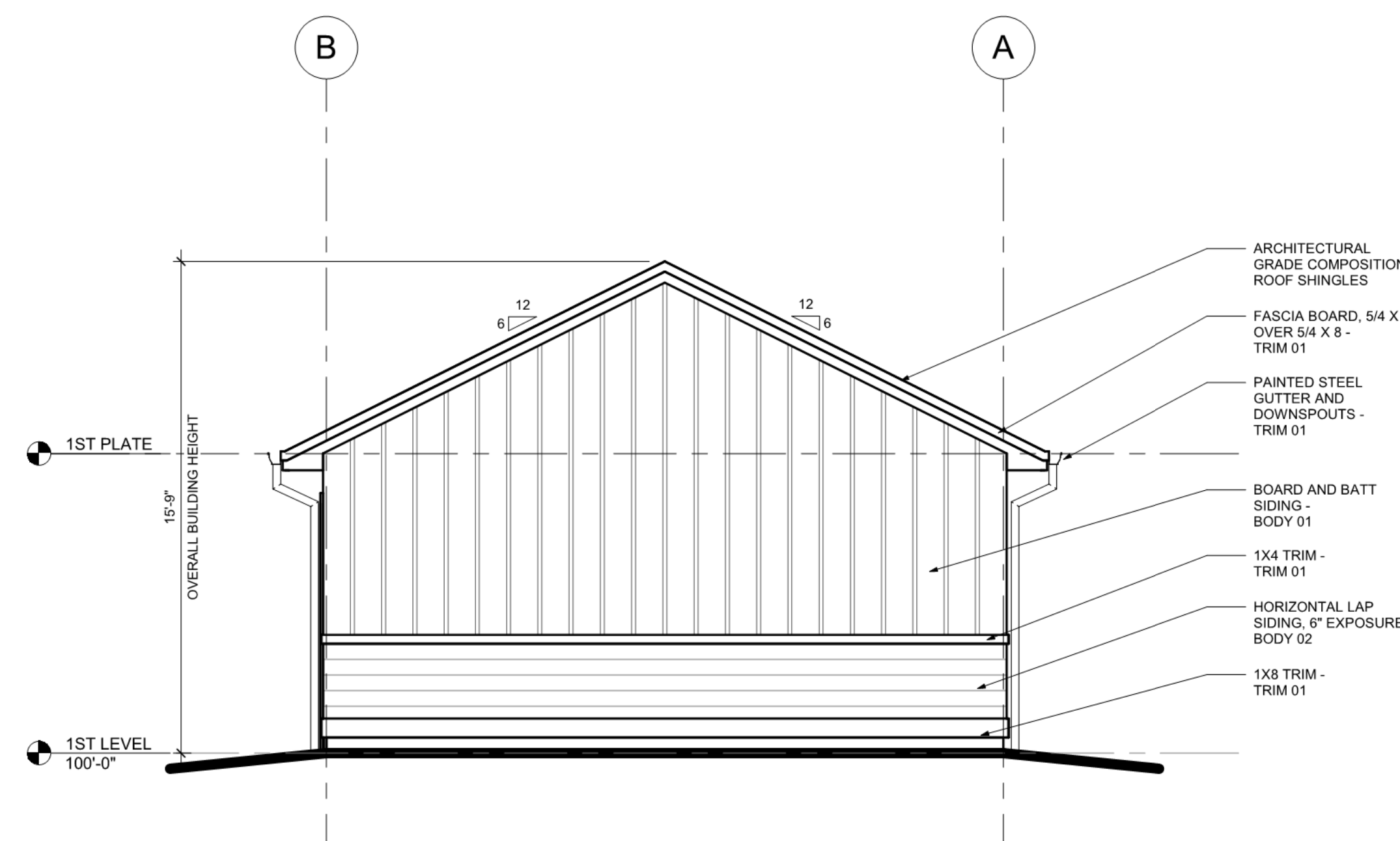
GOODWIN KNIGHT 4-BAY  
DETACHED GARAGE



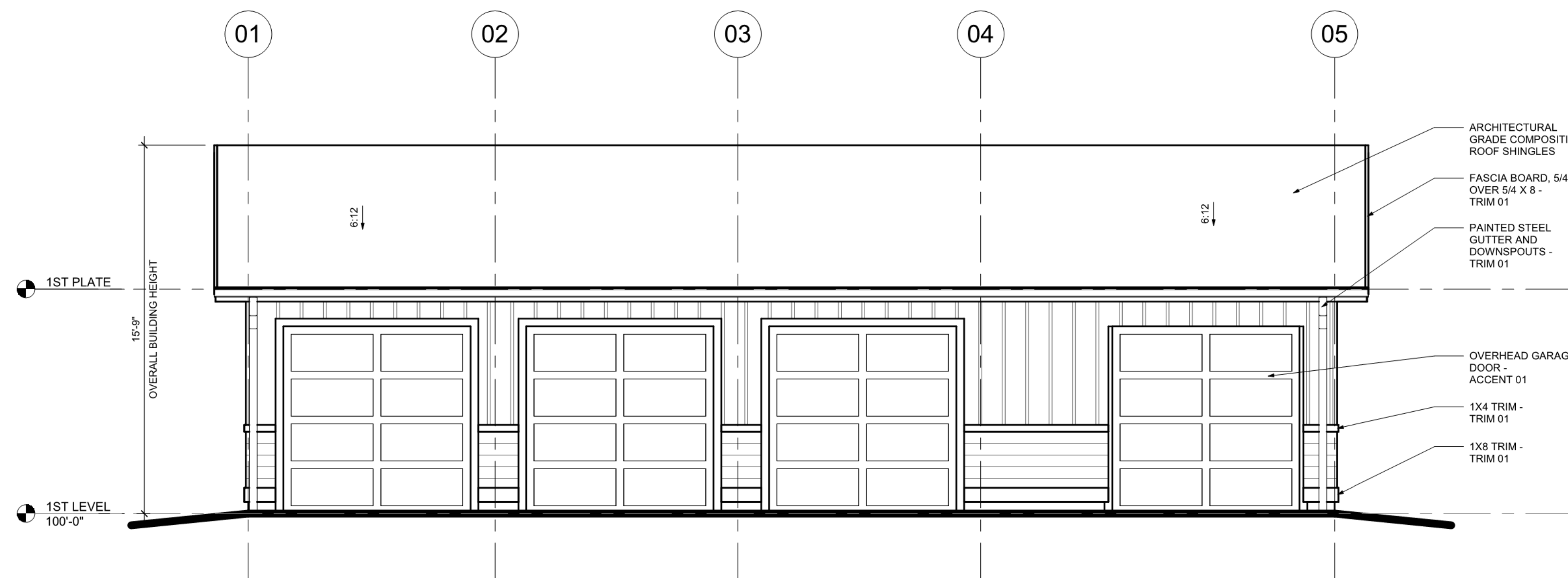
4 REAR ELEVATION - HC  
1/4" = 1'-0"



3 LEFT SIDE ELEVATION - HC  
1/4" = 1'-0"



2 RIGHT SIDE ELEVATION - HC  
1/4" = 1'-0"



1 FRONT ELEVATION - HC  
1/4" = 1'-0"

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CW  
ISSUE DATE:  
01/12/2020

REVISIONS:


HANDICAP  
GARAGE  
ELEVATIONS