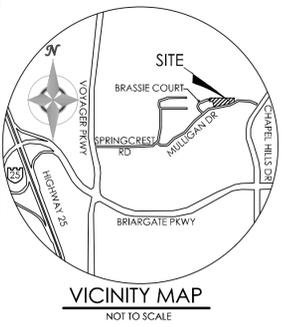
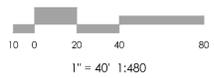


# DEVELOPMENT PLAN FOR MULLIGAN PINES SUBDIVISION

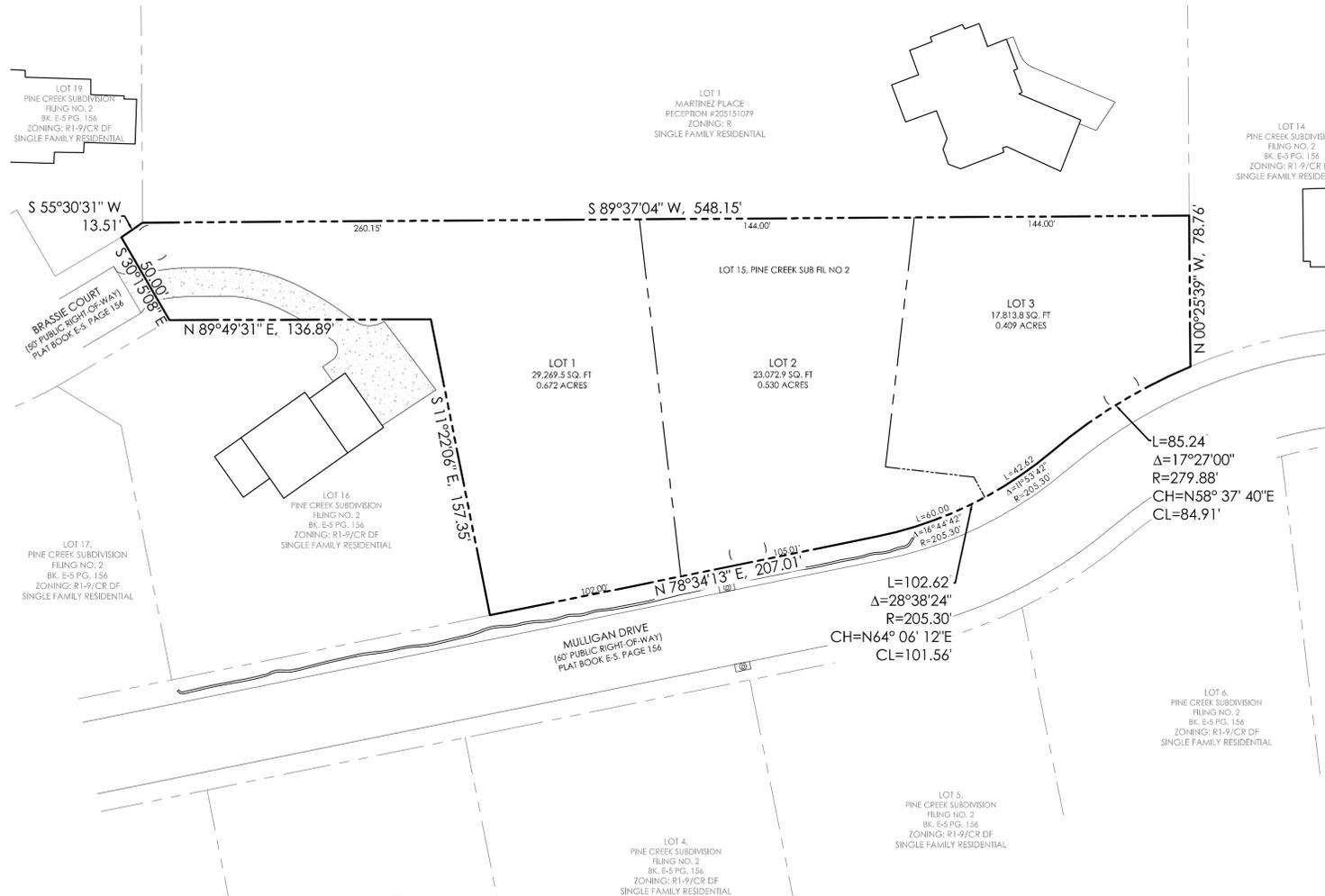


BENCHMARK  
ELEVATIONS SHOWN ON THIS DRAWING ARE  
CSU FIMS 2011 CONTOURS (NAVDB8).



## LEGEND

	CONCRETE AREA
	PROPERTY LINE
	EASEMENT LINE
	LOT LINE
	BUILDING SETBACK LINE
	ADJACENT PROPERTY LINE
BLDG	BUILDING
CONC	CONCRETE
C&G	CURB AND GUTTER
DRNG	DRAINAGE
ESMT	EASEMENT
MIN.	MINIMUM
BK.,	PG. PLAT BOOK, PAGE
P.U.E.	PUBLIC UTILITY EASEMENT
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
STBK	SETBACK
REC. NO.	RECEPTION NUMBER
RET. WALL	RETAINING WALL



## OWNER

LOT NUMBER 2150, LLC  
630 SOUTHPOINTE CT STE 200  
COLORADO SPRINGS, CO 80906

## DEVELOPER

CASCADE FINANCIAL INTERNATIONAL, LLC  
9735 BRASSIE COURT  
COLORADO SPRINGS, CO 80920  
PH (719)-510-9222  
BARRY FARAH  
BARRYFARAH@GMAIL.COM

## APPLICANT

M.V.E., INC.  
1903 LELARAY STREET  
COLORADO SPRINGS, CO 80909  
PH: (719) 635-5736  
Fax: (719) 635-5450  
DAVID GORMAN  
DAVEG@MVCEVIL.COM

## TAX SCHEDULE NO.

6228305004

## CURRENT ADDRESS

2150 MULLIGAN DR

## LAND USE

CURRENT: VACANT RESIDENTIAL  
PROPOSED: SINGLE FAMILY  
RESIDENTIAL HOUSING

## ACREAGE

1.61 ± ACRES

## SITE DATA

### ZONING

R1-9/CR DF

### SETBACKS

FRONT SETBACK = 25 FT  
REAR SETBACK = 25 FT  
SIDE SETBACK = 10 FT

### MAX BUILDING HEIGHT

MAX = 30 FT

### LOT COVERAGE

MAX = 25%

### SCHEDULE

FALL 2020 TO SUMMER 2021

### LOT DATA:

HOUSING TYPES:  
SINGLE FAMILY RESIDENTIAL  
NO. UNITS: 3

## LEGAL DESCRIPTION

LOT 15, PINE CREEK SUBDIVISION FILING NO. 2, AS RECORDED AT PLAT BOOK E-5, PAGE 156, OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

## MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM CSU FIMS MAPPING (NAVDB8).
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.
3. THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY AMERICAN GEOSERVICES, INC., DATED JULY 22, 2020, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD ON THE PROPERTY: "POTENTIAL COLLAPSIBLE SOILS AND POSSIBLE SURFICIAL EROSION HAZARD. A COPY OF SAID REPORT HAS BEEN PLACED WITHIN FILE # \_\_\_\_\_ OR WITHIN THE SUBDIVISION FILE MULLIGAN PINES SUBDIVISION OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 105, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID REPORT.

## ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

## FLOODPLAIN STATEMENT

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA. THE PROPERTY IS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0306G, EFFECTIVE DECEMBER 7, 2018.

## EASEMENT STATEMENT

EASEMENTS ARE AS SHOWN. THE SOLE RESPONSIBILITY OF MAINTENANCE BEING VESTED WITH THE PROPERTY OWNER. ALL OTHER EASEMENTS OR INTEREST OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.

## SHEET INDEX

DP-1 (SHEET 1 OF 4) COVER SHEET	51478-DEV-CS
DP-2 (SHEET 2 OF 4) SITE PLAN	51478-DEV-SP
DP-3 (SHEET 3 OF 4) PRELIMINARY GRADING PLAN	51478-DEV-PG
DP-4 (SHEET 4 OF 4) PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN	51478-DEV-PU

## NOT A CONSTRUCTION DOCUMENT

THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY. IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

AR DP \_\_\_\_\_

DESIGNED BY \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
AS-BUILTS BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_

MULLIGAN PINES  
SUBDIVISION

DEVELOPMENT PLAN  
COVER SHEET

DP-1 MVE PROJECT 51478  
-DEV-CS  
MVE DRAWING

JULY 28, 2020  
SHEET 1 OF 4



**LEGEND**

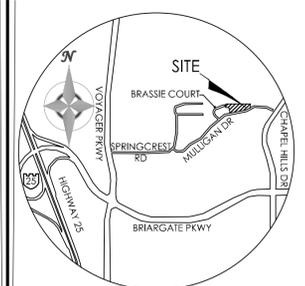
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---	EASEMENT LINE	---	84	---	INTERMEDIATE CONTOUR	---	84	---	INTERMEDIATE CONTOUR
---	LOT LINE	▭		▭	CONCRETE AREA	▭		▭	CONCRETE AREA
---	BUILDING SETBACK LINE	▬▬▬		▬▬▬	CURB AND GUTTER	▬▬▬		▬▬▬	CURB AND GUTTER
---	ADJACENT PROPERTY LINE	▬▬▬		▬▬▬	BUILDING/ BUILDING OVERHANG	▬▬▬		▬▬▬	BUILDING/ BUILDING OVERHANG
P.U.E.	PUBLIC UTILITY EASEMENT	---	X	---	BARBED WIRE FENCE				
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT								
BLDG	BUILDING								
C&G	CURB AND GUTTER								
DRNG	DRAINAGE								
ESMT	EASEMENT								
STBK	SETBACK								
CONC	CONCRETE								
BK., PG.	PLAT BOOK, PAGE								
REC. NO.	RECEPTION NUMBER								
RET. WALL	RETAINING WALL								

**MAP NOTES**

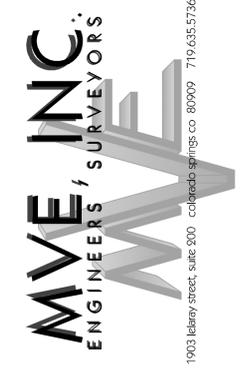
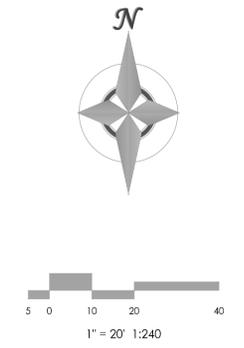
1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. (FIRDS DATUM)
2. NO RESIDENTIAL STRUCTURES ARE PERMITTED OUTSIDE OF THE DESIGNATED BUILDING ENVELOPES.
3. ACCESS TO LOT 1 IS FROM BRASSIE COURT USING THE EXISTING DRIVE ACCESS TO ADJACENT LOT 16 PINE CREEK SUBDIVISION FILING NO. 2, CONTAINED WITHIN THE COMMON ACCESS EASEMENT AS RECORDED IN PLAT BOOK E-5, AT PAGE 156 OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
4. ACCESS TO LOT 2 AND LOT 3 IS FROM MULLIGAN DRIVE.

**FLOODPLAIN STATEMENT**

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA. THE PROPERTY IS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0504G, EFFECTIVE DECEMBER 7, 2018.



BENCHMARK ELEVATIONS SHOWN ON THIS DRAWING ARE CSU FIMS 2011 CONTOURS (NAVDB88).



REVISIONS

DESIGNED BY  
DRAWN BY  
CHECKED BY  
AS-BUILTS BY  
CHECKED BY

**MULLIGAN PINES  
SUBDIVISION**

**DEVELOPMENT PLAN  
PRELIMINARY GRADING  
PLAN**

**DP-3** MVE PROJECT 51478  
MVE DRAWING -DEV-GP

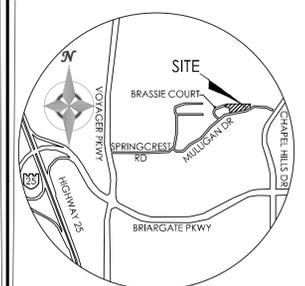
JULY 28, 2020  
**SHEET 3 OF 4**

**NOT A  
CONSTRUCTION DOCUMENT**  
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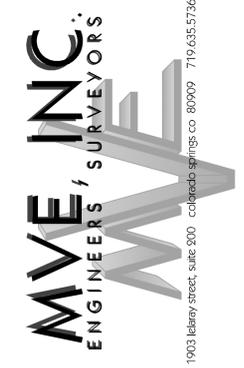
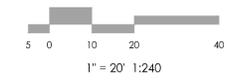
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LOT 1  
 MARINEZ PLACE  
 RECEPTION #205151079  
 ZONING: R  
 SINGLE FAMILY RESIDENTIAL



VICINITY MAP  
 NOT TO SCALE

BENCHMARK  
 ELEVATIONS SHOWN ON THIS DRAWING ARE  
 CSU FIMS 2011 CONTOURS (NAVD88).



REVISIONS

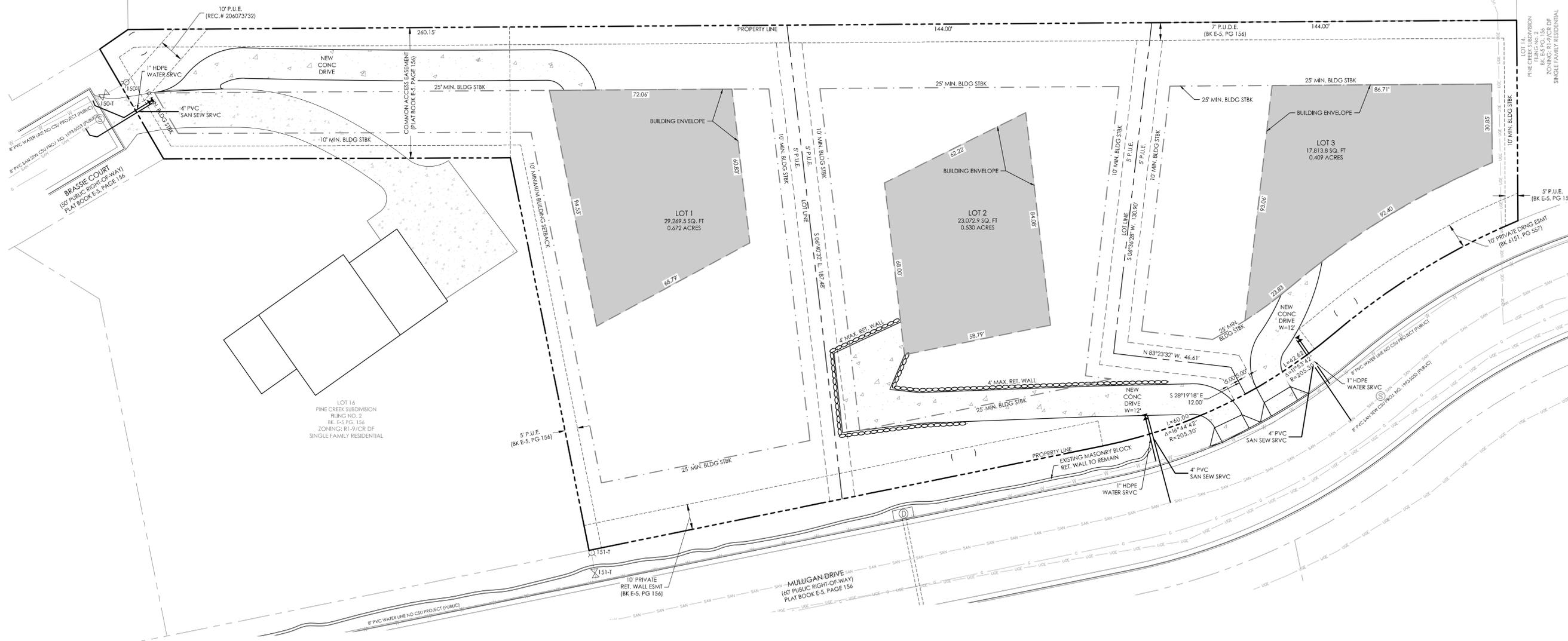
DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 AS-BUILTS BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**MULLIGAN PINES SUBDIVISION**

**DEVELOPMENT PLAN PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN**

**DP-4** MVE PROJECT 51478  
 MVE DRAWING -DEV-PU

JULY 28, 2020  
 SHEET 4 OF 4



**LEGEND**

---	PROPERTY LINE	---	12" PVC WATER MAIN (PUBLIC)	---	WATER MAIN
---	EASEMENT LINE	---	1" HDPE WATER SERVICE	---	WATER SERVICE LINE
---	LOT LINE	---	---	---	WATER VALVE
---	BUILDING SETBACK LINE	---	---	---	FIRE HYDRANT
---	ADJACENT PROPERTY LINE	---	10" PVC SANITARY SEWER (PUBLIC)	---	SANITARY SEWER MAIN
---	12" W (PVC) (PUBLIC)	---	4" PVC SAN SEWER SERVICE	---	SANITARY SEWER SERVICE LINE
---	W	---	---	---	MH-1
---	WATER SERVICE LINE	---	---	---	SANITARY SEWER MANHOLE
---	W	---	---	---	SANITARY SEWER CLEANOUT/ DOUBLE CLEANOUT
---	WATER VALVE	---	---	---	WATER METER PIT
---	16544	---	---	---	ELECTRIC METER & SERVICE LINE
---	FIRE HYDRANT	---	---	---	GAS METER & SERVICE LINE
---	859-B	---	---	---	UNDERGROUND ELECTRIC LINE/ MANHOLE
---	10" SAN (PVC) (PUBLIC)	---	---	---	---
---	SAN	---	---	---	---
---	SANITARY SEWER MAIN	---	---	---	---
---	SAN	---	---	---	---
---	SANITARY SEWER SERVICE LINE	---	---	---	---
---	SAN	---	---	---	---
---	SANITARY SEWER MANHOLE	---	---	---	---
---	SAN	---	---	---	---
---	SANITARY SEWER CLEANOUT	---	---	---	---
---	2" GAS (PLASTIC) (PUBLIC)	---	---	---	---
---	OVERHEAD ELECTRIC LINE	---	---	---	---

**ABBREVIATIONS**

BLDG	BUILDING
CONC	CONCRETE
C&G	CURB AND GUTTER
DRNG	DRAINAGE
ESMT	EASEMENT
MIN.	MINIMUM
BK., PG.	PLAT BOOK, PAGE
P.U.E.	PUBLIC UTILITY EASEMENT
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
STBK	SETBACK
REC. NO.	RECEPTION NUMBER
RET. WALL	RETAINING WALL

**COLORADO SPRINGS UTILITIES GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS**

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
  - COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
  - PROPERTY OWNER(S) (OWNER) ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
  - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
  - SPRINGS UTILITIES' UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
  - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
  - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
  - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES' CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS).
  - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN SPRINGS UTILITIES' WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO INCUR IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER-QUALITY PLAN FOR THE PROJECT.
  - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5544).
  - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
  - SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR THE SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RULES, REGULATIONS AND POLICIES OF SPRINGS UTILITIES.

**MAP NOTES**

- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. (NRDS DATUM)
- NO RESIDENTIAL STRUCTURES ARE PERMITTED OUTSIDE OF THE DESIGNATED BUILDING ENVELOPE.
- ACCESS TO LOT 1 IS FROM BRASSIE COURT USING THE EXISTING DRIVE ACCESS TO ADJACENT LOT 16 PINE CREEK SUBDIVISION FILING NO. 2, CONTAINED WITHIN THE COMMON ACCESS EASEMENT AS RECORDED IN PLAT BOOK E-5, AT PAGE 156 OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- ACCESS TO LOT 2 AND LOT 3 IS FROM MULLIGAN DRIVE.

**PRELIMINARY FIRE FLOW REQUIREMENTS**

PROPOSED BUILDING - RESIDENTIAL SINGLE-FAMILY HOUSING  
 GROSS BUILDING AREA = 4,800 SF  
 IBC BUILDING CONSTRUCTION TYPE = V-B

FIRE FLOW REQUIREMENTS:  
 REQ. FIRE FLOW = 1,750 GPM  
 REQ. NO. OF HYDRANTS = 1  
 REQ. AVG. HYDRANT SPACING = 500 FT  
 MAX. HOSE LAY DISTANCE = 250 FT

AR DP