

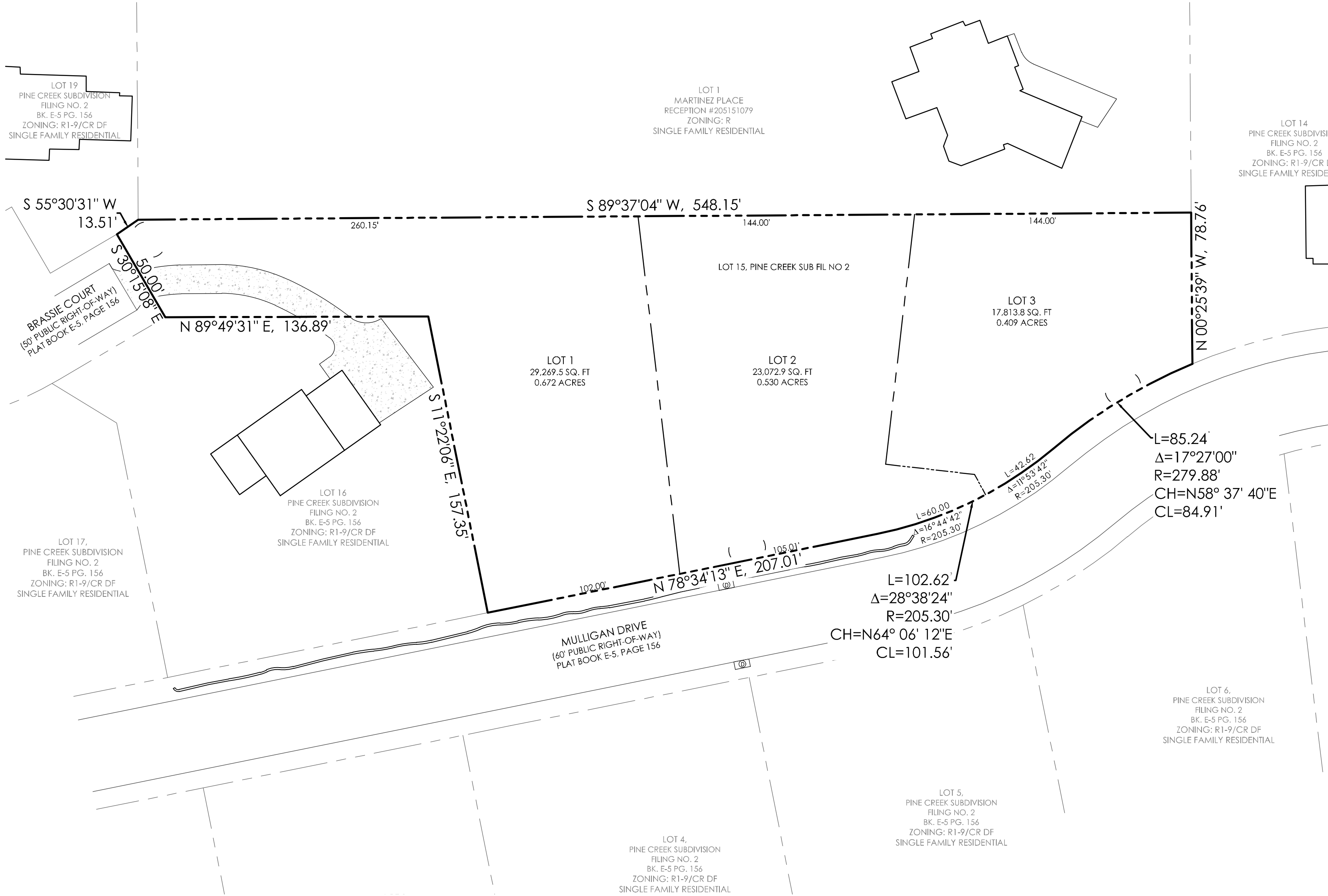
DEVELOPMENT PLAN

FOR

MULLIGAN PINES SUBDIVISION

LEGEND

	CONCRETE AREA
	PROPERTY LINE
	EASEMENT LINE
	LOT LINE
	BUILDING SETBACK LINE
	ADJACENT PROPERTY LINE
BLDG	BUILDING
CONC	CONCRETE
C&G	CURB AND GUTTER
DRNG	DRAINAGE
ESMT	EASEMENT
MIN.	MINIMUM
BK.,	PG. PLAT BOOK, PAGE
P.U.E.	PUBLIC UTILITY EASEMENT
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
STBK	SETBACK
REC. NO.	RECEPTION NUMBER
RET. WALL	RETAINING WALL



SITE DATA

OWNER

LOT NUMBER 2150, LLC
630 SOUTHPOINTE CT STE 200
COLORADO SPRINGS, CO 80906

DEVELOPER

CASCADE FINANCIAL INTERNATIONAL, LLC
9735 BRASSIE COURT
COLORADO SPRINGS, CO 80920
PH (719)-510-9222
BARRY FARAH
BARRYFARAH@GMAIL.COM

APPLICANT

M.V.E., INC.
1903 LELARAY STREET
COLORADO SPRINGS, CO 80909
Ph (719) 635-5736
Fax (719) 635-5450
DAVID GORMAN
DAVEG@MVECIVIL.COM

TAX SCHEDULE NO.

6228305004

CURRENT ADDRESS

2150 MULLIGAN DR

LAND USE

CURRENT: VACANT RESIDENTIAL
PROPOSED: SINGLE FAMILY
RESIDENTIAL HOUSING

ACREAGE

1.61 ± ACRES

ZONING

R1-9/CR DF

SETBACKS

FRONT SETBACK = 25 FT
REAR SETBACK = 25 FT
SIDE SETBACK = 10 FT

MAX BUILDING HEIGHT

MAX = 30 FT

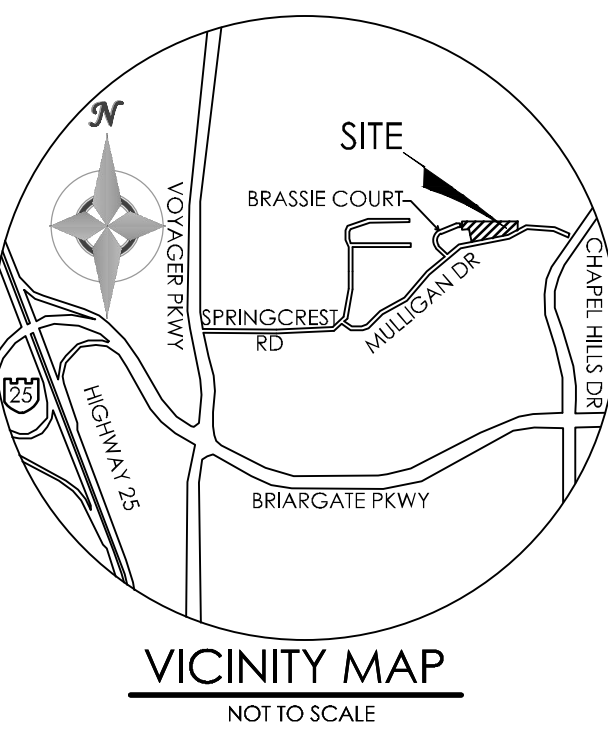
LOT COVERAGE

MAX = 25%

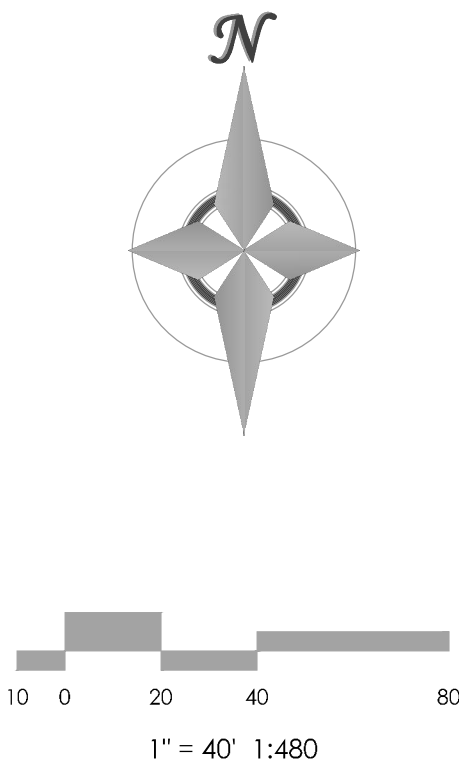
SCHEDULE

FALL 2020 TO SUMMER 2021

LOT DATA:
HOUSING TYPES:
SINGLE FAMILY RESIDENTIAL
NO. UNITS: 3



BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE
CSU FIMS 2011 CONTOURS (NAVDB88).



REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

MULLIGAN PINES
SUBDIVISION

DEVELOPMENT PLAN
COVER SHEET

DP-1 MVE PROJECT 51478
-DEV-CS
MVE DRAWING

JULY 28, 2020
SHEET 1 OF 4

**NOT A
CONSTRUCTION DOCUMENT**
THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION
PURPOSES. IT IS PREPARED FOR THE CITY OF COLORADO
SPRINGS DEVELOPMENT PLAN APPROVAL PROCESS ONLY.
IT IS REQUIRED THAT ANY SUBSEQUENT CONSTRUCTION
PLANS ADHERE TO THE APPROVED DEVELOPMENT PLAN.

LEGAL DESCRIPTION

LOT 15, PINE CREEK SUBDIVISION FILING NO. 2, AS RECORDED AT PLAT BOOK E-5, PAGE 156,
OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.

MAP NOTES

1. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS TAKEN FROM CSU FIMS MAPPING (NAVDB88).
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE
LOCATION MAPS OBTAINED FROM COLORADO SPRINGS UTILITIES. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL
UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.
3. THIS PROPERTY IS SUBJECT TO THE FINDINGS SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD REPORT PREPARED BY
AMERICAN GEOSERVICES, INC., DATED JULY 22, 2020, WHICH IDENTIFIED THE FOLLOWING SPECIFIC GEOLOGIC HAZARD ON THE
PROPERTY: "POTENTIAL COLLAPSIBLE SOILS AND POSSIBLE SURFICIAL EROSION HAZARD. A COPY OF SAID REPORT HAS BEEN PLACED
WITHIN FILE # _____ OR WITHIN THE SUBDIVISION FILE MULLIGAN PINES SUBDIVISION OF THE CITY OF COLORADO SPRINGS
PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVENUE, SUITE 105,
COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID REPORT.

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND
SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS
AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES
NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH
RESPECT TO SUCH LAWS.

FLOODPLAIN STATEMENT

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA. THE PROPERTY IS DETERMINED
TO BE OUTSIDE THE 100-YEAR FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY,
COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0506G, EFFECTIVE DECEMBER 7, 2018.

EASEMENT STATEMENT

EASEMENTS ARE AS SHOWN. THE SOLE RESPONSIBILITY OF MAINTENANCE BEING VESTED WITH THE PROPERTY OWNER. ALL OTHER
EASEMENTS OR INTEREST OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND
SHALL REMAIN IN FULL FORCE AND EFFECT.

SHEET INDEX

DP-1 (SHEET 1 OF 4) COVER SHEET	51478-DEV-CS
DP-2 (SHEET 2 OF 4) SITE PLAN	51478-DEV-SP
DP-3 (SHEET 3 OF 4) PRELIMINARY GRADING PLAN	51478-DEV-PG
DP-4 (SHEET 4 OF 4) PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN	51478-DEV-PU

AR DP _____

ABBREVIATIONS

BLDG	BUILDING
CONC	CONCRETE
C&G	CURB AND GUTTER
DRNG	DRAINAGE
ESMT	EASEMENT
MIN.	MINIMUM
BK., PG.	PLAT BOOK, PAGE
P.U.E.	PUBLIC UTILITY EASEMENT
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
STBK	SETBACK
REC. NO	RECEPTION NUMBER
RET. WALL	RETAINING WALL

EXISTING

---	5985---	INDEX CONTOUR
---	84---	INTERMEDIATE CONTOUR
		CONCRETE AREA
		CURB AND GUTTER
		BUILDING/ BUILDING OVERHANG
		BARBED WIRE FENCE
		PROPERTY LINE
		EASEMENT LINE
		LOT LINE
		BUILDING SETBACK LINE
		ADJACENT PROPERTY LINE

PROPOSED

---	5985---	INDEX CONTOUR
---	84---	INTERMEDIATE CONTOUR
		CONCRETE AREA
		CURB AND GUTTER
		BUILDING/ BUILDING OVERHANG

ADA NOTE

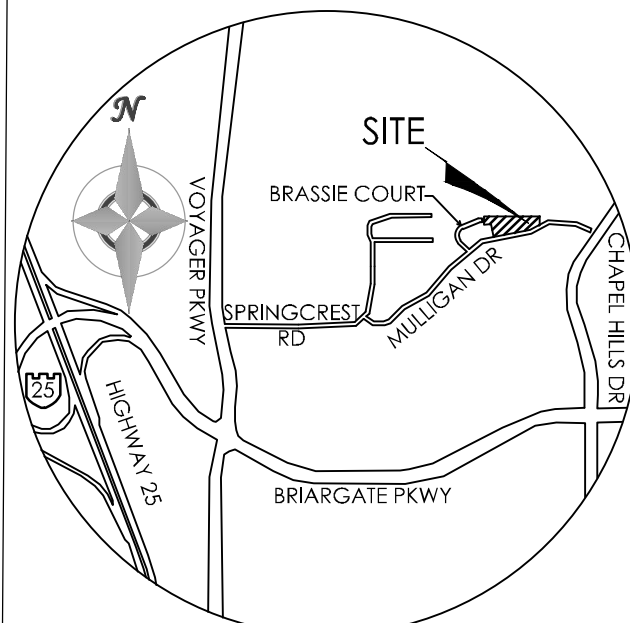
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MAP NOTES

- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE, INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. (FIRDS DATUM)
- NO RESIDENTIAL STRUCTURES ARE PERMITTED OUTSIDE OF THE DESIGNATED BUILDING ENVELOPES.
- ACCESS TO LOT 1 IS FROM BRASSIE COURT USING THE EXISTING DRIVE ACCESS TO ADJACENT LOT 16 PINE CREEK SUBDIVISION FILING NO. 2, CONTAINED WITHIN THE COMMON ACCESS EASEMENT AS RECORDED IN PLAT BOOK E-5, AT PAGE 156 OF THE PUBLIC RECORDS OF EL PASO COUNTY, COLORADO.
- ACCESS TO LOT 2 AND LOT 3 IS FROM MULLIGAN DRIVE.

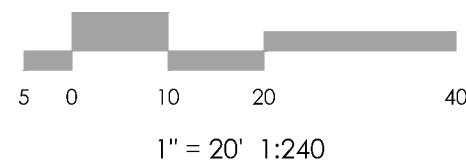
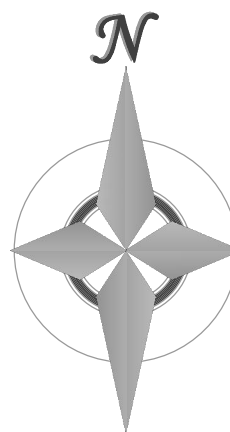
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VICINITY MAP
NOT TO SCALE

BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE
CSU FIMS 2011 CONTOURS (NAVD88).



REVISIONS

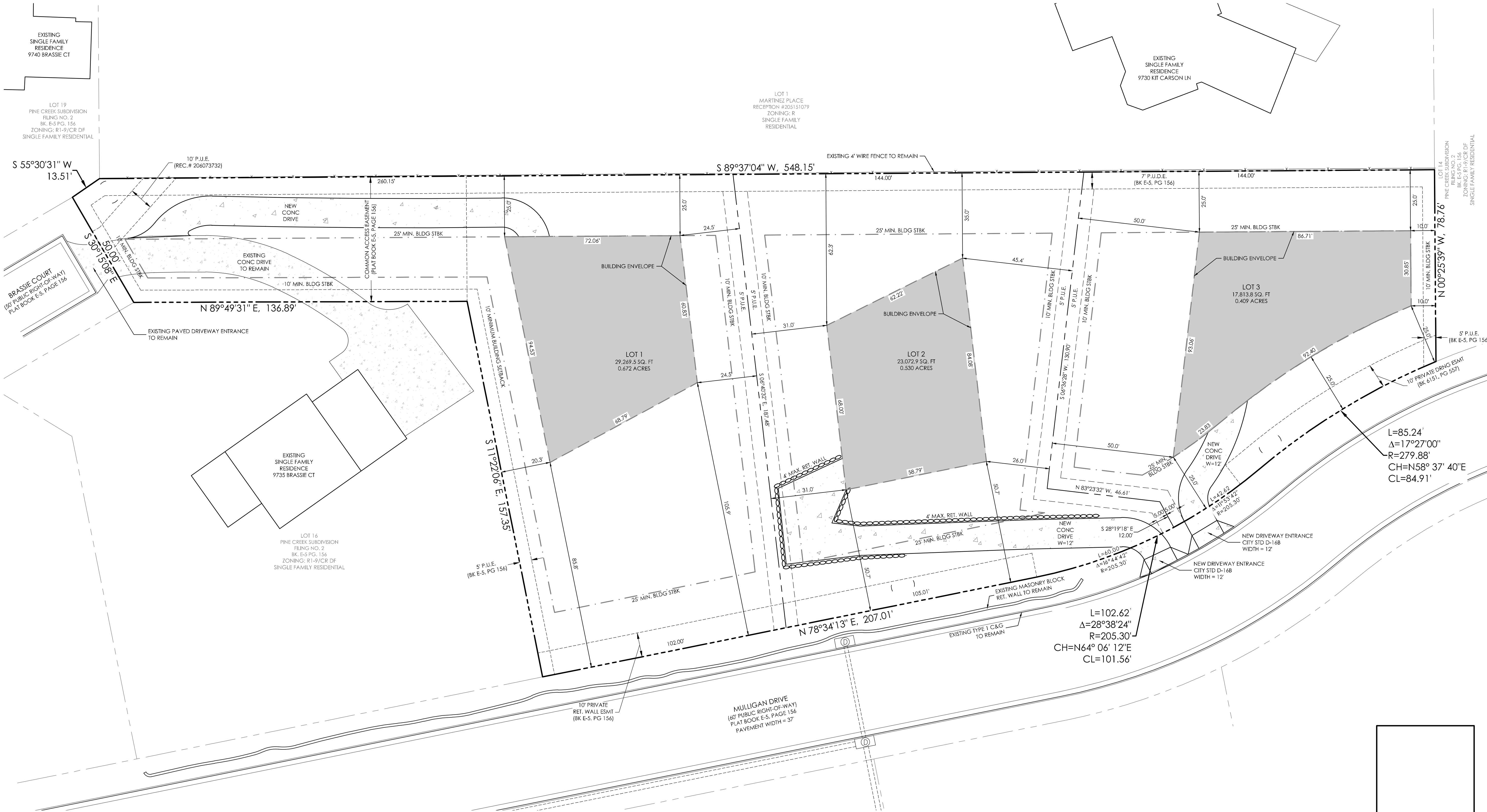
DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

MULLIGAN PINES
SUBDIVISION

DEVELOPMENT PLAN
SITE PLAN

DP-2 MVE PROJECT 51478
MVE DRAWING -DEV-SP

JULY 28, 2020
SHEET 2 OF 4



AR DP

LEGEND

---	PROPERTY LINE
- - - -	EASEMENT LINE
---	LOT LINE
- . - . -	BUILDING SETBACK LINE
---	ADJACENT PROPERTY LINE
P.U.E.	PUBLIC UTILITY EASEMENT
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
BLDG	BUILDING
C&G	CURB AND GUTTER
DRNG	DRAINAGE
ESMT	EASEMENT
STBK	SETBACK
CONC	CONCRETE
BK., PG.	PLAT BOOK, PAGE
REC. NO.	RECEPTION NUMBER
RET. WALL	RETAINING WALL

EXISTING	PROPOSED
---	5985 INDEX CONTOUR
- - - -	84' INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA
[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG
X	BARBED WIRE FENCE

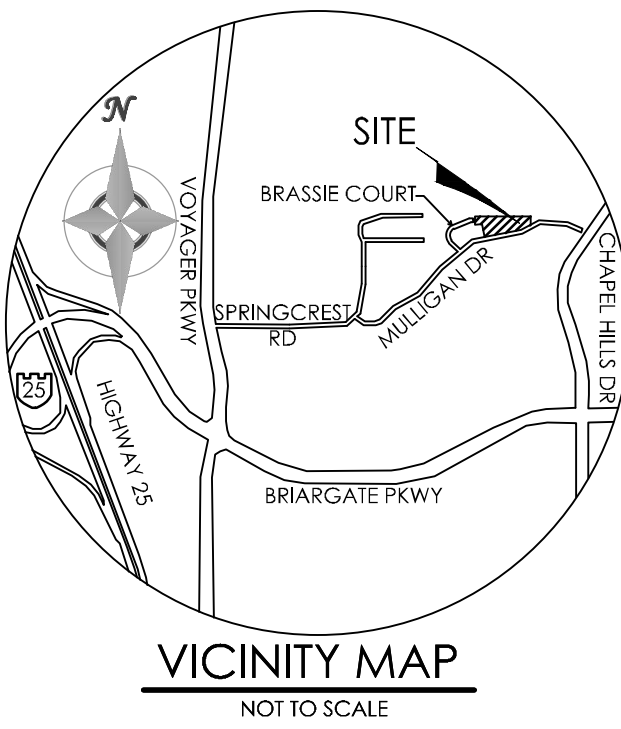
PROPOSED	EXISTING
---	5985 INDEX CONTOUR
- - - -	84' INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA
[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG
---	BUILDING OVERHANG

MAP NOTES

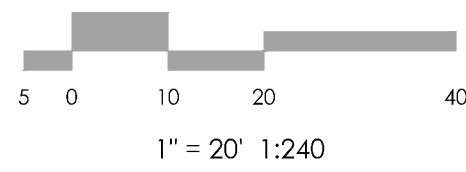
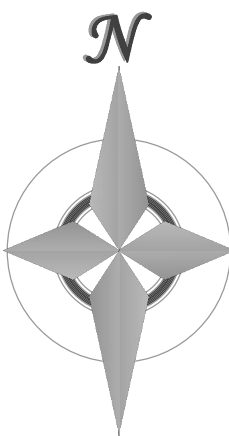
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BENCHMARK
ELEVATIONS SHOWN ON THIS DRAWING ARE
CSU FIMS 2011 CONTOURS (NAVDB88).



REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILT BY
CHECKED BY

MULLIGAN PINES
SUBDIVISION

DEVELOPMENT PLAN
PRELIMINARY GRADING
PLAN

DP-3 MVE PROJECT 51478
MVE DRAWING -DEV-GP

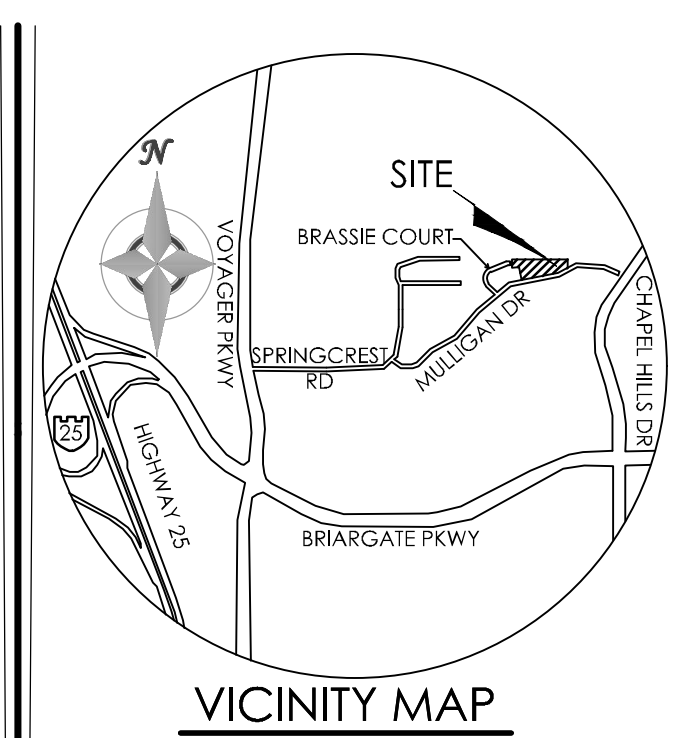
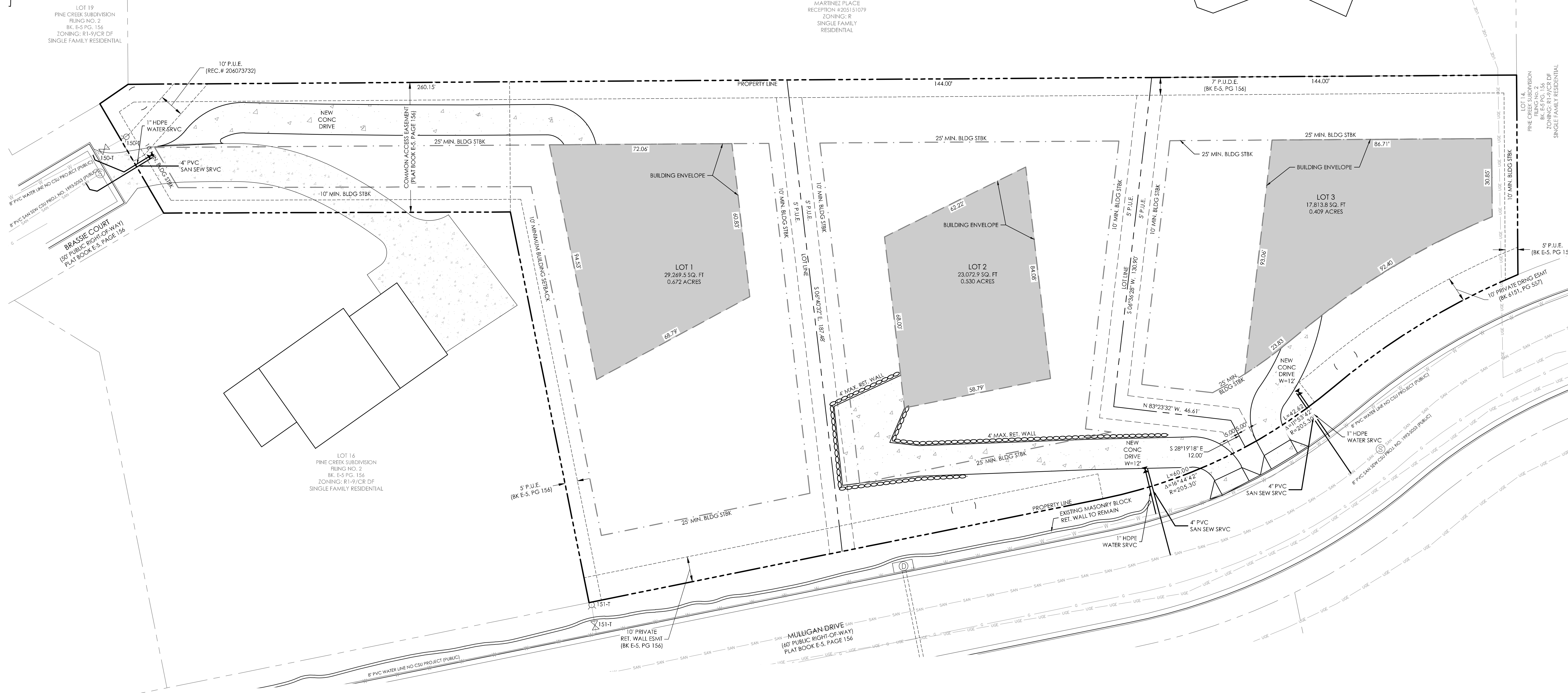
JULY 28, 2020
SHEET 3 OF 4

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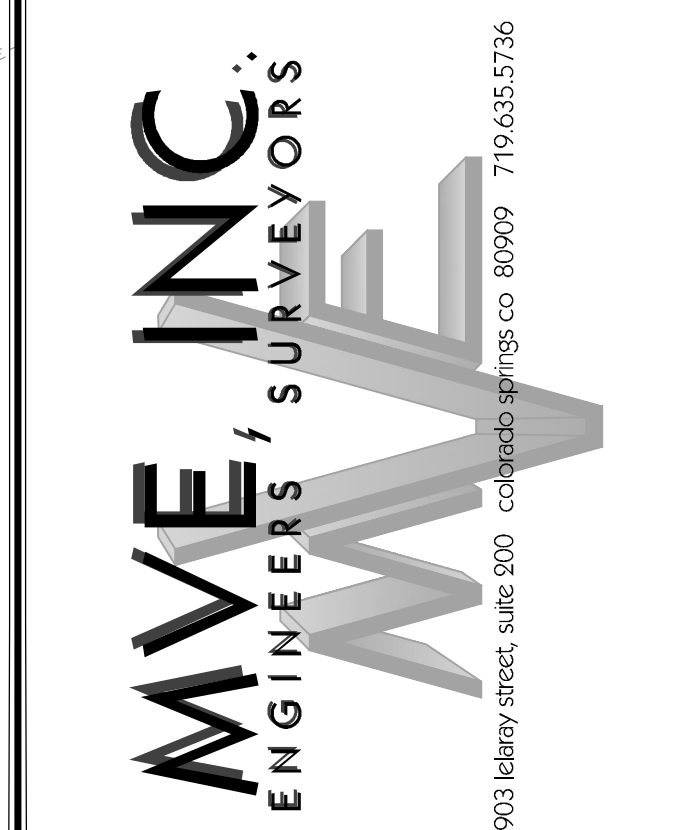
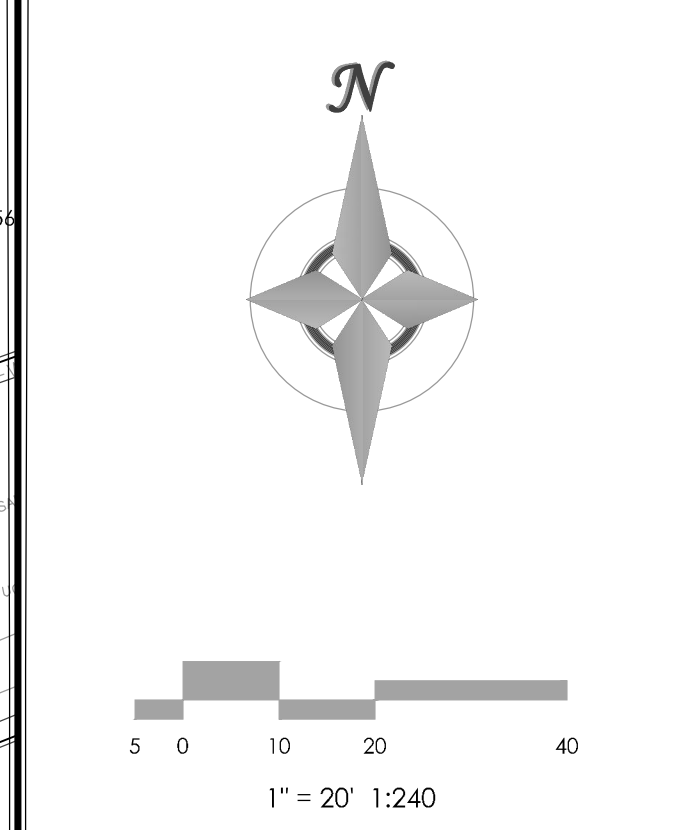
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BENCHMARK ELEVATIONS SHOWN ON THIS DRAWING ARE CSU FIMS 2011 CONTOURS (NAVD88).



DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILT BY
CHECKED BY

LEGEND

---	PROPERTY LINE	12" PVC WATER MAIN (PUBLIC)	WATER MAIN	BLDG	BUILDING
---	EASEMENT LINE	1" HDPE WATER SERVICE	WATER SERVICE LINE	CONC	CONCRETE
---	LOT LINE			C&G	CURB AND GUTTER
-.-.-	BUILDING SETBACK LINE			DRNG	DRAINAGE
---	ADJACENT PROPERTY LINE			ESMT	EASEMENT
12" W (PVC) (PUBLIC)	WATER MAIN			MIN.	MINIMUM
W	WATER SERVICE LINE			BK., PG.	PLAT BOOK, PAGE
W	WATER VALVE			P.U.E.	PUBLIC UTILITY EASEMENT
W	FIRE HYDRANT			P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
10" SAN (PVC) (PUBLIC)	SANITARY SEWER MAIN			STBK	SETBACK
SAN	SANITARY SEWER SERVICE LINE			REC. NO.	RECEPTION NUMBER
SAN	SANITARY SEWER MANHOLE			RET. WALL	RETAINING WALL
SAN	SANITARY SEWER CLEANOUT				
2" GAS (PLASTIC) (PUBLIC)	GAS MAIN				
OHE	OVERHEAD ELECTRIC LINE				

**COLORADO SPRINGS UTILITIES
GENERAL NOTES FOR ALL PRELIMINARY UTILITY PLANS**

- PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:
- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
 - PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS, AND POLICIES, AND PIKES PEAK REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
 - OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
 - SPRINGS UTILITIES' UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
 - THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENT PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
 - OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
 - THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES' CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES' LINE EXTENSION AND SERVICE STANDARDS).
 - OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN SPRINGS UTILITIES' WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGE RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO INCUR IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY BE REQUIRED TO SUBMIT A WATER-QUALITY PLAN FOR THE PROJECT.
 - OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
 - IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS-OF-WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NESC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
 - SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS, AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR THE SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES, RULES, REGULATIONS AND POLICIES OF SPRINGS UTILITIES.

MAP NOTES

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- ACCESS TO LOT 2 AND LOT 3 IS FROM MULLIGAN DRIVE.

PRELIMINARY FIRE FLOW REQUIREMENTS

PROPOSED BUILDING - RESIDENTIAL SINGLE-FAMILY HOUSING
GROSS BUILDING AREA = 4,800 SF
IBC BUILDING CONSTRUCTION TYPE = V-B

FIRE FLOW REQUIREMENTS:
REQ. FIRE FLOW = 1,750 GPM
REQ. NO. OF HYDRANTS = 1
REQ. AVG. HYDRANT SPACING = 500 FT
MAX. HOSE LAY DISTANCE = 250 FT

**MULLIGAN PINES
SUBDIVISION**

**DEVELOPMENT PLAN
PRELIMINARY UTILITY &
PUBLIC FACILITIES PLAN**

DP-4 MVE PROJECT 51478
MVE DRAWING -DEV-PU

JULY 28, 2020
SHEET 4 OF 4

AR DP