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705 W. BAPTIST RD. FINAL PD SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,

TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO

705 WEST BAPTIST ROAD



VICINITY MAP
1" = 1000'

OWNERSHIP CERTIFICATION:

KNOW ALL MEN BY THESE PRESENTS, THAT WDG BAPTIST LLC BEING THE OWNER, OF THE FOLLOWING DESCRIBED TRACT OF LAND:

LOT 5B, MONUMENT RIDGE REPLAT NO. 4, A REPLAT OF LOT 5 MONUMENT RIDGE FINAL PLAT

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS KNOWN AS WDG DEVELOPMENT IN THE TOWN OF MONUMENT.

OWNER(S) SIGNATURE(S) (NOTARIZED):

STATE OF COLORADO)
COUNTY OF EL PASO)

SIGNED THIS ___ DAY OF _____, 20___, COUNTY _____,
STATE _____

NOTARIZED SIGNATURE

MY COMMISSION EXPIRES

LIENHOLDER SUBORDINATION CERTIFICATE:

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS THE _____ IN THE TOWN OF MONUMENT.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON _____ IN BOOK _____ AT PAGE _____ EL PASO COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

MORTGAGEE/LIENHOLDER (NOTARIZED SIGNATURE)

SIGNED THIS ___ DAY OF _____, 20___

STATE OF COLORADO)
COUNTY OF EL PASO)

SIGNED THIS ___ DAY OF _____, 20___, COUNTY _____,
STATE _____

NOTARIZED SIGNATURE

MY COMMISSION EXPIRES

TITLE CERTIFICATION:

I, _____ AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES, AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATION OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATION.

AUTHORIZED SIGNATURE (NOTARIZED SIGNATURE)

SIGNED THIS ___ DAY OF _____, 20___

STATE OF COLORADO)
COUNTY OF EL PASO)

SIGNED THIS ___ DAY OF _____, 20___, COUNTY _____,
STATE _____

NOTARIZED SIGNATURE

MY COMMISSION EXPIRES

TOWN CERTIFICATION:

THE FINAL PUD FOR THE _____ PLAN UNIT DEVELOPMENT IS APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF MONUMENT, COLORADO, ON THIS ___ DAY OF _____, 20___.

STATE OF COLORADO)
COUNTY OF EL PASO)

SIGNED THIS ___ DAY OF _____, 20___, COUNTY _____, STATE _____

MAYOR _____ DATE _____

ATTEST:

TOWN CLERK _____ DATE _____

PROJECT DATA

ZONING	PD
LAND USE	COMMERCIAL
ADDRESS OF SITE	705 W. BAPTIST RD.
TOTAL ACREAGE OF SITE	0.730 AC
PERVIOUS AREA	
LANDSCAPE AREA	6,006 S.F. (18.9%)
OPEN SPACE AREA	3,928 S.F. (12.3%)
TOTAL PERVIOUS AREA	9,934 S.F. (31.2%)
IMPERVIOUS AREA	
BUILDING FOOTPRINT	4,500 S.F. (14.1%)
PARKING LOT	14,753 S.F. (46.4%)
SIDEWALKS	2,623 S.F. (8.2%)
TOTAL IMPERVIOUS AREA	21,876 S.F. (68.7%)
NET FLOOR AREA OF BUILDING	4,500 S.F.
PARKING SPACES REQUIRED	23
PARKING SPACES PROVIDED	26
MAX. HEIGHT OF BUILDINGS	35'

Sheet List Table

Sheet Number	Sheet Title
1	COVER SHEET
2	SITE PLAN
3	SITE DETAILS
4	GESC PLAN
5	GESC DETAILS
6	UTILITY PLAN
7	GRADING PLAN
L1.01	LANDSCAPE PLAN
L1.02	PLANTING SCHEDULE & NOTES
L1.03	LANDSCAPE DETAILS
L2.01	IRRIGATION PLAN
L2.02	IRRIGATION NOTES
L2.03	IRRIGATION DETAILS
EP-100	PHOTOMETRIC PLAN
EP-101	PHOTOMETRIC CUT SHEETS
A1	SCHEMATIC FLOOR PLAN & ELEVATIONS
A2	TRASH ENCLOSURE

APPLICANT/OWNER

WDG BAPTIST, LLC
4201 E. YALE AVE., SUITE 140
DENVER, CO 80222
ATTN: CORIE FRAKER
P: (720) 907-9010
EMAIL: CFRAKER@WALLDEVGROUP.COM

ARCHITECT

LINGLE DESIGN
1764 BLAKE ST.
DENVER, CO 80202
ATTN: MICHAEL PUCKETT
P: (303) 974-5873
EMAIL: MPUCKETT@LINGLEDESIGN.COM

LANDSCAPE ARCHITECT

VALERIAN
970 YUMA ST., SUITE #130
DENVER, CO 80204
ATTN: BRENT KASLON
P: (303) 856-8934
EMAIL: BRENT@VALERIANLLC.COM

CIVIL ENGINEER

ENTITLEMENT & ENGINEERING SOLUTIONS, LLC
501 S. CHERRY ST., SUITE 300
DENVER, CO 80246
ATTN: MICHAEL S. GOODHUE
P: (617) 818-7119
EMAIL: MICHAEL.GOODHUE@EES.US.COM

ZONING REGULATIONS:

GENERAL PROVISIONS

- ADOPTION/AUTHORIZATION.** THE BOARD OF TRUSTEES HAS ADOPTED 705 W. BAPTIST FINAL PD SITE PLAN AND ZONING REGULATIONS PURSUANT TO THIS CHAPTER OF MONUMENT MUNICIPAL CODE AFTER APPROPRIATE PUBLIC NOTICE AND HEARING.
- APPLICABILITY.** 705 W. BAPTIST FINAL PD SITE PLAN AND ZONING REGULATIONS SHALL RUN WITH THE LAND AND BIND ALL LANDOWNERS OF RECORD, THEIR SUCCESSORS, HEIRS, OR ASSIGNS OF THE LAND AS APPROVED BY THE MONUMENT BOARD OF TRUSTEES.
- MAXIMUM LEVEL OF DEVELOPMENT.** THE COMMERCIAL, INDUSTRIAL OR OTHER NONRESIDENTIAL FLOOR AREA APPROVED FOR DEVELOPMENT WITHIN THE ESTABLISHMENT USE AREAS IS THE MAXIMUM ALLOWED FOR PLATTING AND DEVELOPMENT.
- RELATIONSHIP TO TOWN REGULATIONS.** THE PROVISIONS OF THIS FINAL PD SITE PLAN AND THESE ZONING REGULATIONS SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF THE PROJECT; PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS FINAL PD SITE PLAN AND THESE ZONING REGULATIONS DO NOT ADDRESS A PARTICULAR SUBJECT, THE PRELIMINARY MONUMENT RIDGE PD SITE PLAN SHALL GOVERN. FINALLY, IF THE PRELIMINARY AND FINAL PD SITE PLANS DO NOT ADDRESS A SPECIFIC ISSUE, THE TOWN OF MONUMENT ZONING ORDINANCE, AS AMENDED, SHALL GOVERN THE DEVELOPMENT OF THE PROJECT.
- SEVERABILITY OF PROVISIONS.** IN THE EVENT THAT ANY PROVISION HERE SHALL BE DETERMINED TO BE ILLEGAL OR VOID BY THE FINAL ORDER OF ANY COURT OF COMPETENT JURISDICTION, THE REMAINING PROVISIONS SHALL REMAIN IN FULL FORCE AND EFFECT.
- DEVELOPMENT AGREEMENT.** IN ADDITION TO THESE REGULATIONS, CERTAIN PROVISIONS OF THE DEVELOPMENT OF THIS PD PROPERTY ARE CONTROLLED BY AN AGREEMENT BETWEEN THE TOWN AND THE PROPERTY OWNERS.

THIS AGREEMENT, ENTITLED MONUMENT RIDGE PRELIMINARY PD SITE PLAN, WAS ADOPTED BY THE TOWN ON THE 13TH DAY OF DECEMBER, 2006, BY ORDINANCE NO. 3-2007.
- DEFINITIONS.** IN ADDITION TO THE STANDARD DEFINITIONS FOUND IN THE TOWN ZONING ORDINANCE, THE FOLLOWING DEFINITIONS OF TERMS SHALL APPLY TO THIS DEVELOPMENT: NA.
- OVERALL PROJECT STANDARDS.** THE STANDARD ZONING REQUIREMENTS OF THE TOWN ZONING ORDINANCE INCLUDING OFF-STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, AND USE BY SPECIAL REVIEW AND VARIANCE PROCESSES SHALL APPLY TO THIS PD, EXCEPT AS MODIFIED BY THE FOLLOWING:
 - APPROVED MONUMENT RIDGE SKETCH PLAN, OR AMENDMENTS TO;
 - APPROVED MONUMENT RIDGE PRELIMINARY PD SITE PLAN OR AMENDMENTS TO;

USE AREA CATEGORIES AND DENSITY CAPS

USE	GROSS ACREAGE	% OF SITE	F.A.R.
BUILDING	4,500 S.F.	14.1%	0.1410
PARKING/DRIVES	14,753 S.F.	46.4%	N/A
SIDEWALK	2,623 S.F.	8.2%	N/A
OPEN SPACE	3,928 S.F.	12.3%	N/A
LANDSCAPE	6,006 S.F.	18.9%	N/A

USE AREA CATEGORIES REGULATIONS

- USES PERMITTED BY RIGHT: RETAIL
- USES PERMITTED BY SPECIAL REVIEW: N/A
- MAXIMUM GROSS DENSITY: N/A
- MAXIMUM LOT DENSITY: N/A
- MAXIMUM FAR (FLOOR AREA RATIO): NOT TO EXCEED .25
- MINIMUM SETBACKS:
 - BUILDING SETBACK: 20' FROM PROPERTY LINE
 - LANDSCAPE SETBACK: 10' FROM PROPERTY LINE
- MAXIMUM BUILDING HEIGHT: 35'
- MAXIMUM BUILDING COVERAGE: NOT TO EXCEED 25% OF LOT AREA
- OTHER DEVELOPMENT STANDARDS:
 - MONUMENT RIDGE PRELIMINARY/FINAL PD SITE PLAN
 - MONUMENT RIDGE DESIGN GUIDELINES
 - TOWN OF MONUMENT ZONING STANDARDS

GENERAL NOTES:

- ALL DRIVES AND PARKING TO BE PAVED WITH ASPHALT PER GEO-TECHNICAL REPORT.
- CONSTRUCTION TO BEGIN IN 2022 AND BE CONSTRUCTED IN ONE PHASE.
- THE 705 WEST BAPTIST FINAL PD SITE PLAN SHALL GOVERN THE CONDITIONS OF THE DEVELOPMENT OF THIS SITE. THE TOWN OF MONUMENT ZONING CODE SHALL GOVERN IF A CONDITION OF DEVELOPMENT IS NOT ADDRESSED IN THE PRELIMINARY OR FINAL PD SITE PLAN.
- DURING CONSTRUCTION, THE OWNER/DEVELOPER OF LOT SHALL CONTROL NOXIOUS WEEDS AND FUGITIVE DUST, AND SHALL KEEP ADJACENT PROPERTIES, STREETS AND ROADS FREE FROM ACCUMULATIONS OF MUD, DIRT, AND DEBRIS ORIGINATING ON THE PROPERTY.
- NO TOXIC MATERIALS SHALL BE PRODUCED ON THE SITE.
- THE PROPERTY IS LOCATED IN THE FLOOD "X" AS SHOWN ON THE NATIONAL INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR EL PASO COUNTY, MAP NUMBER 08041C0287G DATED DECEMBER 7, 2018.
- ALTHOUGH SOME EXISTING SCRUB OAK PATCHES ARE FOUND ON SITE, NO EXISTING VEGETATION TO BE PRESERVED DUE TO THE EXTENSIVE GRADING ON SITE.
- ALL MECHANICAL EQUIPMENT, TRASH ENCLOSURES, SERVICE AREAS AND OUTDOOR STORAGE AREAS SHALL BE SCREENED WITH VEGETATION OR OTHER MATERIALS WHICH COMPLIMENT THE BUILDINGS ARCHITECTURE.
- A SEPARATE SIGNAGE PACKAGE WILL BE SUBMITTED TO THE TOWN OF MONUMENT PRIOR TO ANY CONSTRUCTION OF A SIGN. THE SIGN SHAPES, BUILDING MATERIALS, COLORS AND SIZES SHALL BE IDENTIFIED IN THAT APPLICATION PACKAGES AND WILL COMPLY TO THE DESIGN GUIDELINES.
- THE SITE AND STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2015 INTERNATIONAL FIRE CODE AS AMENDED LOCALLY BY DONALD WESCOTT FIRE PROTECTION DISTRICT
- ALL PROPOSED SIDEWALKS AND PED RAMPS SHALL BE INSTALLED BY THE 705 W. BAPTIST DEVELOPMENT IN ACCORDANCE WITH ADA AND STATE REQUIREMENTS.
- THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT BOTH IN THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND AS NOTED ON THE RECORDER PLAY.

TRIVIEW METROPOLITAN DISTRICT

NOT FOR CONSTRUCTION

DATE: _____ BY: _____

THESE PLANS HAVE BEEN REVIEWED ONLY FOR GENERAL CONFORMANCE WITH THE RULES, REGULATIONS, AND POLICIES OF THE TRIVIEW METROPOLITAN DISTRICT. APPROVAL OF THIS PLANNING DOCUMENT DOES NOT CONSTITUTE AS AN APPROVAL FOR ALTERATION, EXTENSION, OR CONNECTION TO ANY TRIVIEW METROPOLITAN DISTRICT WATER OR SEWER INFRASTRUCTURE.

SURVEYOR'S CERTIFICATE:

I, _____, PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE _____ PUD WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THIS PUD ACCURATELY REPRESENTS THAT SURVEY.

PROFESSIONAL LAND SURVEYOR

RECORDING STAMP



Know what's below.
Call before you dig.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

REVISION	NO.	DESCRIPTION	DATE
1ST PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT	1		22/02/25
2ND PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT	2		22/05/11

PRELIMINARY
NOT FOR
CONSTRUCTION

EES
ENTITLEMENT AND
ENGINEERING
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

WALL DEVELOPMENT GROUP

FINAL PUD PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
COVER SHEET

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS

DATE: 02/25/2022

705 W. BAPTIST RD. FINAL PD SITE PLAN

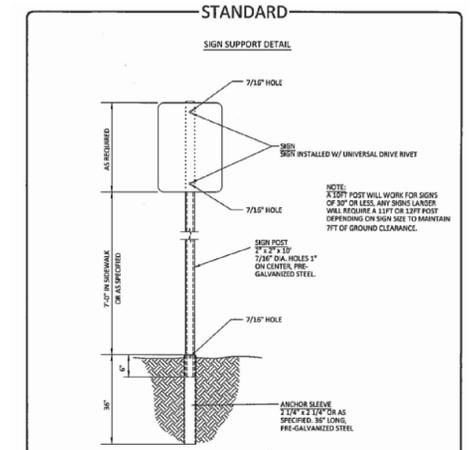
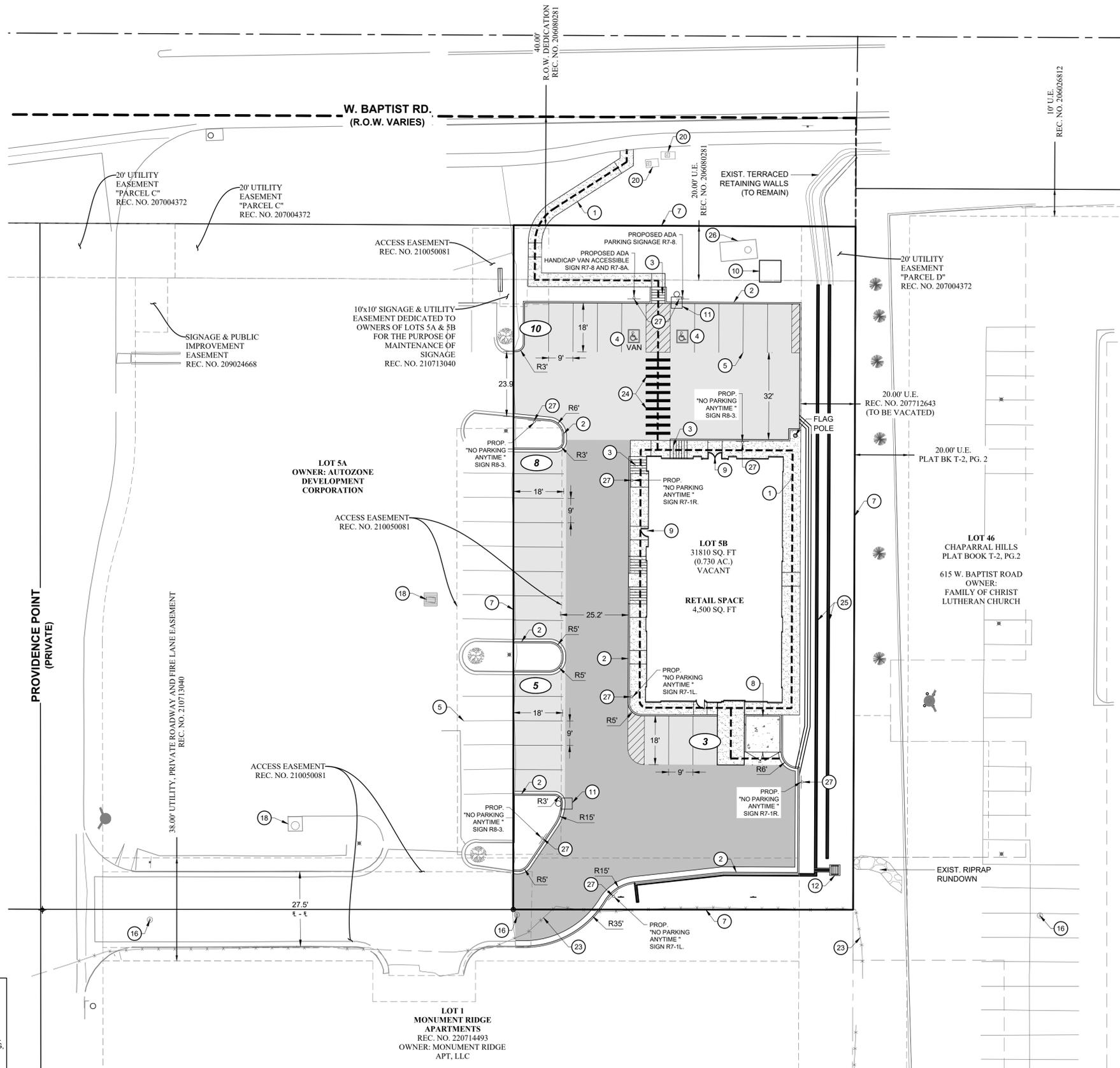
LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,

TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO

705 WEST BAPTIST ROAD

SITE SCHEDULE

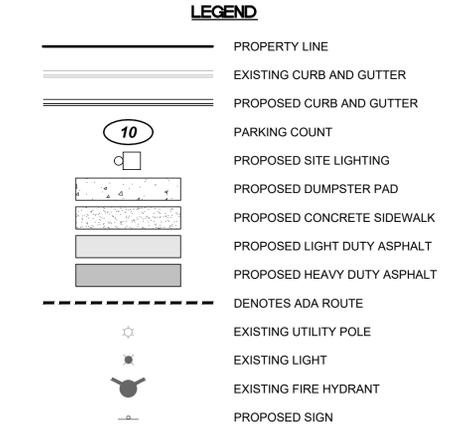
- 1 CONCRETE SIDEWALK.
- 2 CURB AND GUTTER.
- 3 HANDICAP RAMP
- 4 HANDICAP PARKING
- 5 PARKING STRIPE (TYP).
- 6 PEDESTRIAN ADA ROUTE.
- 7 PROPERTY LINE.
- 8 TRASH ENCLOSURE (SEE ARCHITECTURAL FOR SCREENING).
- 9 BUILDING ENTRANCE.
- 10 ELECTRICAL TRANSFORMER.
- 11 SITE LIGHTING.
- 12 STORM INLET/MANHOLE
- 13 NOT USED.
- 14 NOT USED.
- 15 NOT USED.
- 16 EXISTING SANITARY MANHOLE.
- 17 NOT USED.
- 18 EXISTING STORM INLET.
- 19 NOT USED.
- 20 EXISTING TELECOMM BOX.
- 21 EXISTING TREE.
- 22 EXISTING UTILITY POLE.
- 23 EXISTING FENCE
- 24 PROPOSED CROSSWALK BARS (STD. DT 33)
- 25 PROPOSED TERRACED RETAINING WALLS
- 26 EXISTING UNDERGROUND ELECTRIC VAULT
- 27 PROPOSED SIGN



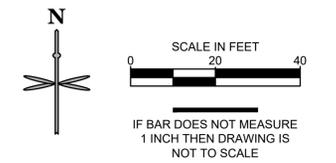
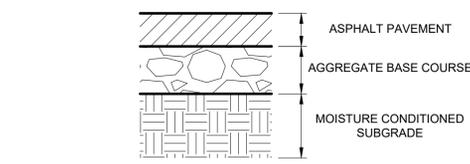
SIGN POST INSTALLATION
SPECIFIC TO THE SUBSEQUENT CONDITIONS AND THESE SPECIFICATIONS:

- DRIVE ANCHOR SLEEVE INTO THE GROUND, LEAVING FOUR HOLES EXPOSED FOR BOLT CONNECTION. FOR HARD INSTALLATION, DRIVE CAP OF PROPER SIZE SHALL BE USED TO PREVENT DAMAGE TO TUBING. SIDEWALK OR MEDIAN SHALL BE POURED AROUND PVC SLEEVE OR EXISTING SIDEWALK OR MEDIAN SHALL BE CORE DRILLED MINIMUM 4" CORE PVC SLEEVE.
- INSERT SIGN POST INTO ANCHOR SLEEVE APPROXIMATELY 8" AND BOLT IN PLACE.
- INSTALL SIGN AND POST SHALL BE PLUMB AND FREE OF VERTICAL AND LATERAL MOVEMENT.

10/14/2016	DATE	STEEL SIGN TUBING INSTALLATION	TE-11.0
10/14/2016	DATE		



Traffic Area	Moisture Conditioned Subgrade Thickness	Alternative	Recommended Pavement Section Thickness (inches)			Total
			Aggregate Base Course	Plant Mixed Bituminous Pavement	Portland Cement Concrete Pavement	
Light Duty	24 inches	A	6.0 in.	5.0 in.	4.0 in.	5.0 in.
	24 inches	B	6.0 in.	4.0 in.	4.0 in.	8.0 in.
	24 inches	C	6.0 in.	4.0 in.	4.5 in.	4.5 in.
	24 inches	D	6.0 in.	5.5 in.	4.0 in.	5.5 in.
Medium Duty	24 inches	E	6.0 in.	4.0 in.	5.0 in.	10.0 in.
	24 inches	F	6.0 in.	6.0 in.	5.0 in.	5.0 in.
Heavy Duty	24 inches	G	6.0 in.	6.0 in.	6.0 in.	6.0 in.
	24 inches	H	6.0 in.	5.0 in.	6.0 in.	11.0 in.
Sidewalks	12 inches	I	6.0 in.	4.0 in.	4.0 in.	5.5 in.
Loading Docks and Dumpster Pads	36 inches				7.0 in.	7.0 in.



811
Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE
1	1ST PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT	MSG	22/02/25
2	2ND PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT	MSG	22/05/11

**PRELIMINARY
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ENTITLEMENT AND DESIGN SOLUTIONS, INC.
501 S Cherry St. Suite 300
Denver, CO 80246
303-572-7997 www.ees.us.com

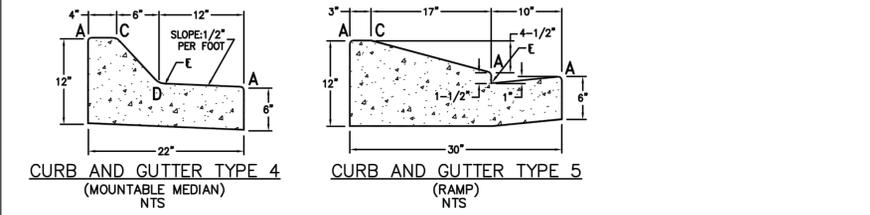
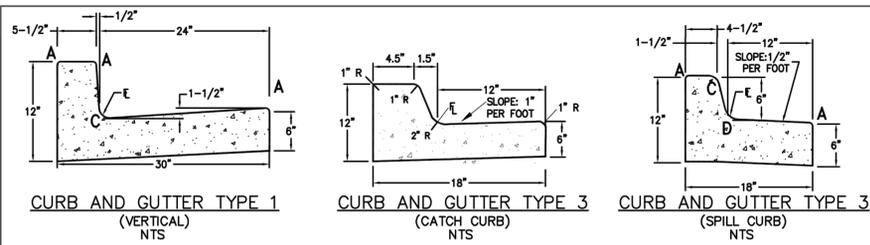
WALL DEVELOPMENT GROUP

FINAL PUD PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO

SITE PLAN

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 02/25/2022

2 OF 7



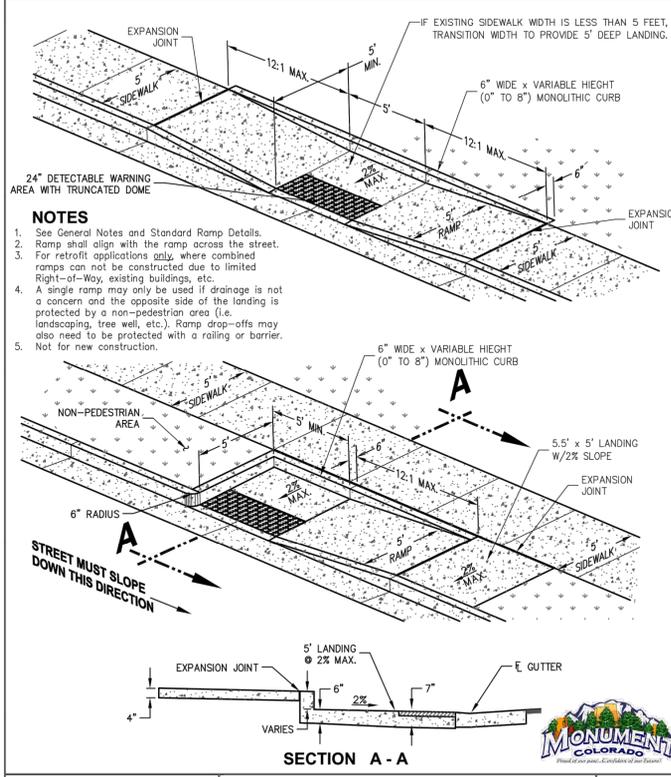
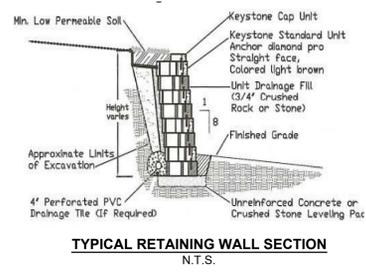
LENGTH FOR RADII

A	= 1/2"
C	= 1-1/2"
D	= 1-1/2" TO 2"

NOLTE BEYOND ENGINEERING
 1975 RESEARCH PARKWAY, SUITE 105, COLORADO SPRINGS, CO 80909
 719.268.8900 TEL 719.268.9205 FAX WWW.NOLTE.CO

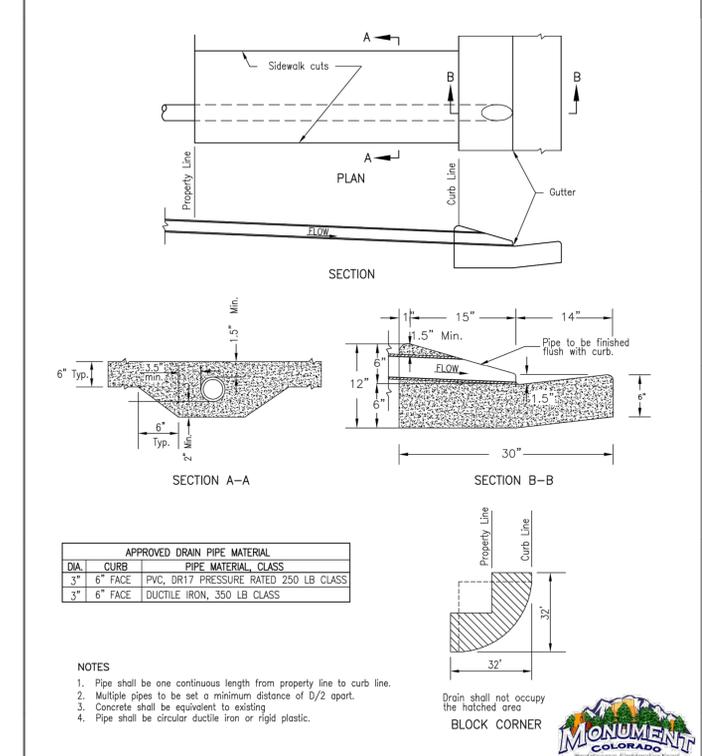
MONUMENT COLORADO
 Proud of our past. Committed to our future.

STANDARD CURB AND GUTTER TYPE 1, 3, 4 AND 5 DT 01
 PREPARED FOR: TOWN OF MONUMENT DATE SUBMITTED: MARCH 2009 JOB NUMBER: CSB040003



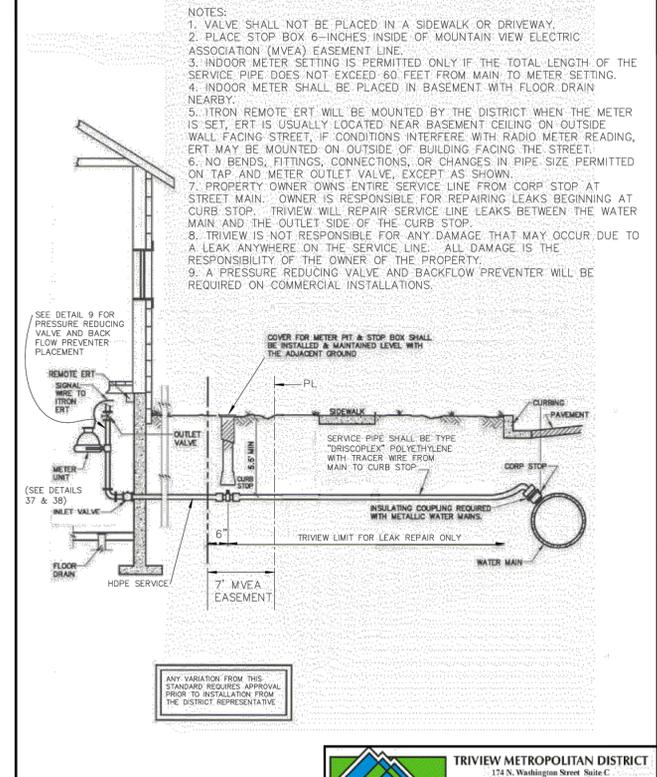
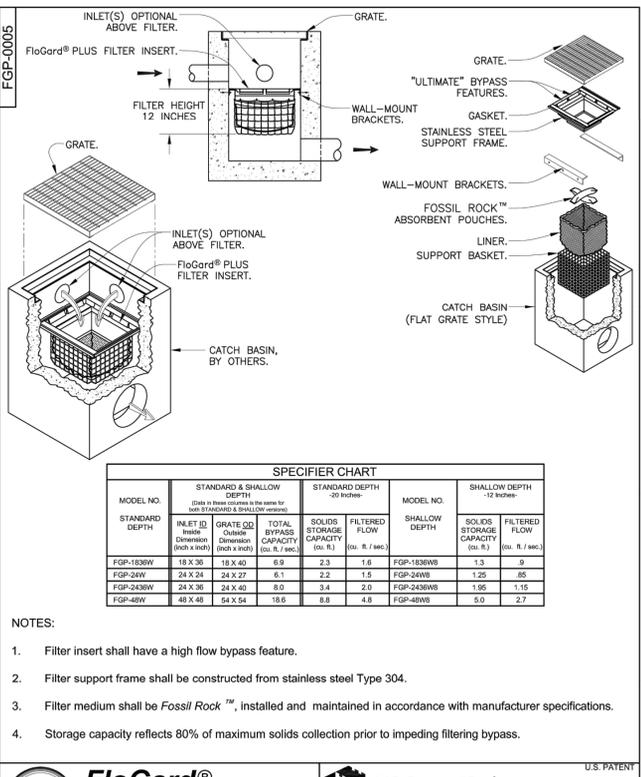
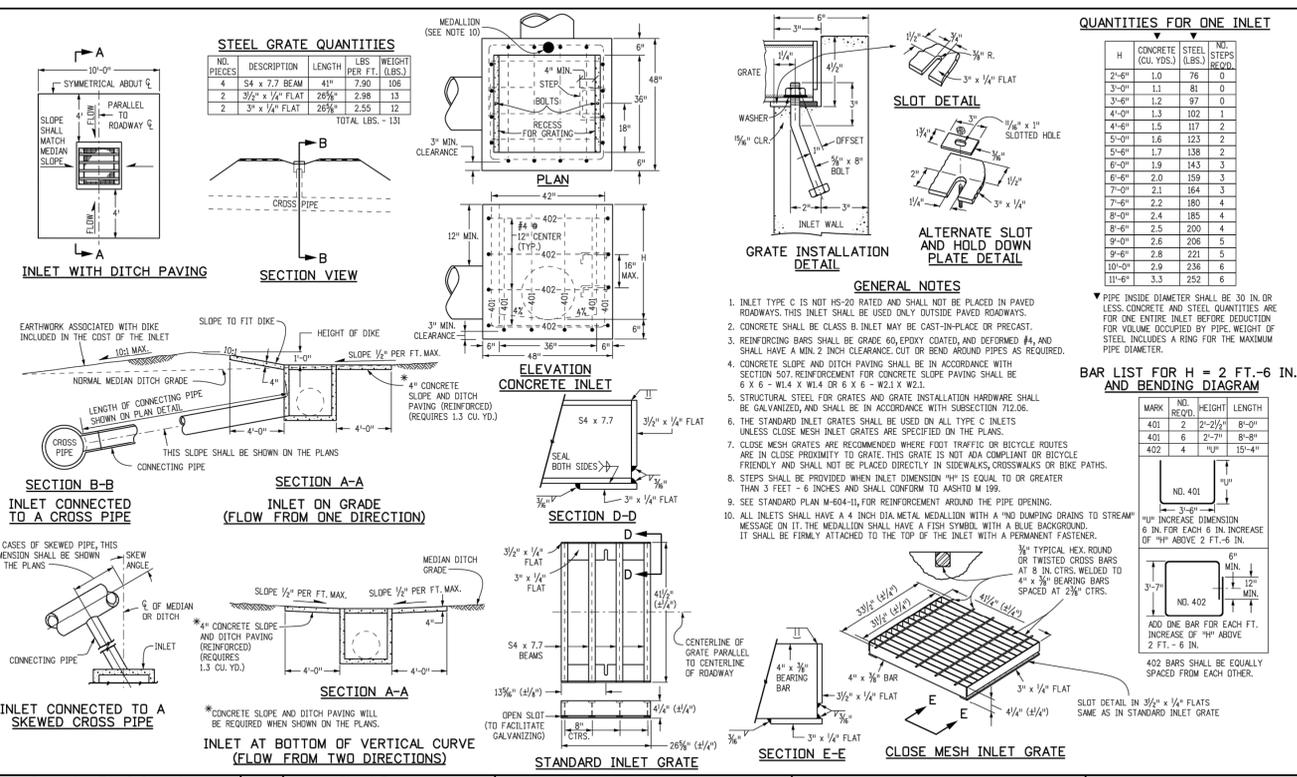
NOLTE BEYOND ENGINEERING
 1975 RESEARCH PARKWAY, SUITE 105, COLORADO SPRINGS, CO 80909
 719.268.8900 TEL 719.268.9205 FAX WWW.NOLTE.CO

FOR RETROFIT APPLICATIONS
ALTERNATE PARALLEL PEDESTRIAN RAMP DETAILS-MID-BLOCK OR 'T' INTERSECTION DT 15
 PREPARED FOR: TOWN OF MONUMENT DATE SUBMITTED: AUG. 2009 JOB NUMBER: CSB040003



NOLTE BEYOND ENGINEERING
 1975 RESEARCH PARKWAY, SUITE 105, COLORADO SPRINGS, CO 80909
 719.268.8900 TEL 719.268.9205 FAX WWW.NOLTE.CO

SIDEWALK DRAIN PIPE DT 20
 PREPARED FOR: TOWN OF MONUMENT DATE SUBMITTED: AUG. 2009 JOB NUMBER: CSB040003



Computer File Information

Creation Date:	07/31/19
Designer Initials:	JBK
Last Modification Date:	07/31/19
Detailer Initials:	LTA
CAD Ver:	MicroStation V8
Scale:	Not to Scale
Units:	English

Sheet Revisions

Date:	Comments

Colorado Department of Transportation
 2829 West Howard Place
 CDOT HQ, 3rd Floor
 Denver, CO 80204
 Phone: 303-757-9021 FAX: 303-757-9868

Project Development Branch **JBK**

INLET, TYPE C
 STANDARD PLAN NO. M-604-10
 Standard Sheet No. 1 of 1
 Project Sheet Number:

FloGard® Catch Basin Insert Filter
 Wall Mount Style

Oldcastle® Stormwater Solutions
 1721 Southpark Plaza, Suite 200 | Littleton, CO 80120 | PH: 800.878.8819 | oldcastlestormwater.com
 1721 Southpark Plaza, Suite 200 | Littleton, CO 80120 | PH: 800.878.8819 | oldcastlestormwater.com
 THE COMPANY IS THE PROPERTY OF OLDCASTLE PRODUCTS, INC. THIS DOCUMENT IS FOR REFERENCE PURPOSES ONLY AND DOES NOT REPRESENT AN OFFER OF PRODUCTS OR SERVICES. CONTACT YOUR LOCAL SALES REPRESENTATIVE FOR MORE INFORMATION.
 DRAWING NO. EOO-0142 DATE: APR 7/13/16

TRIVIEW METROPOLITAN DISTRICT
 174 N. Washington Street Suite C
 P.O. Box 649
 Monument, CO 80132-0849
 (719) 488-6068 FAX: (719) 488-6965

2005 MODIFIED DRAWING FROM DENVER WATER (SHEET 50)

SERVICE LINE, STOP BOX, & INSIDE INSTALLATION FOR 3/4" & 1" METER DETAIL 8

DATE	BY	REVISION
22/02/25	MSG	1ST PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT
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WALL DEVELOPMENT GROUP

FINAL PUD PLAN
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SITE DETAILS

PROJECT NO: WDV004.01
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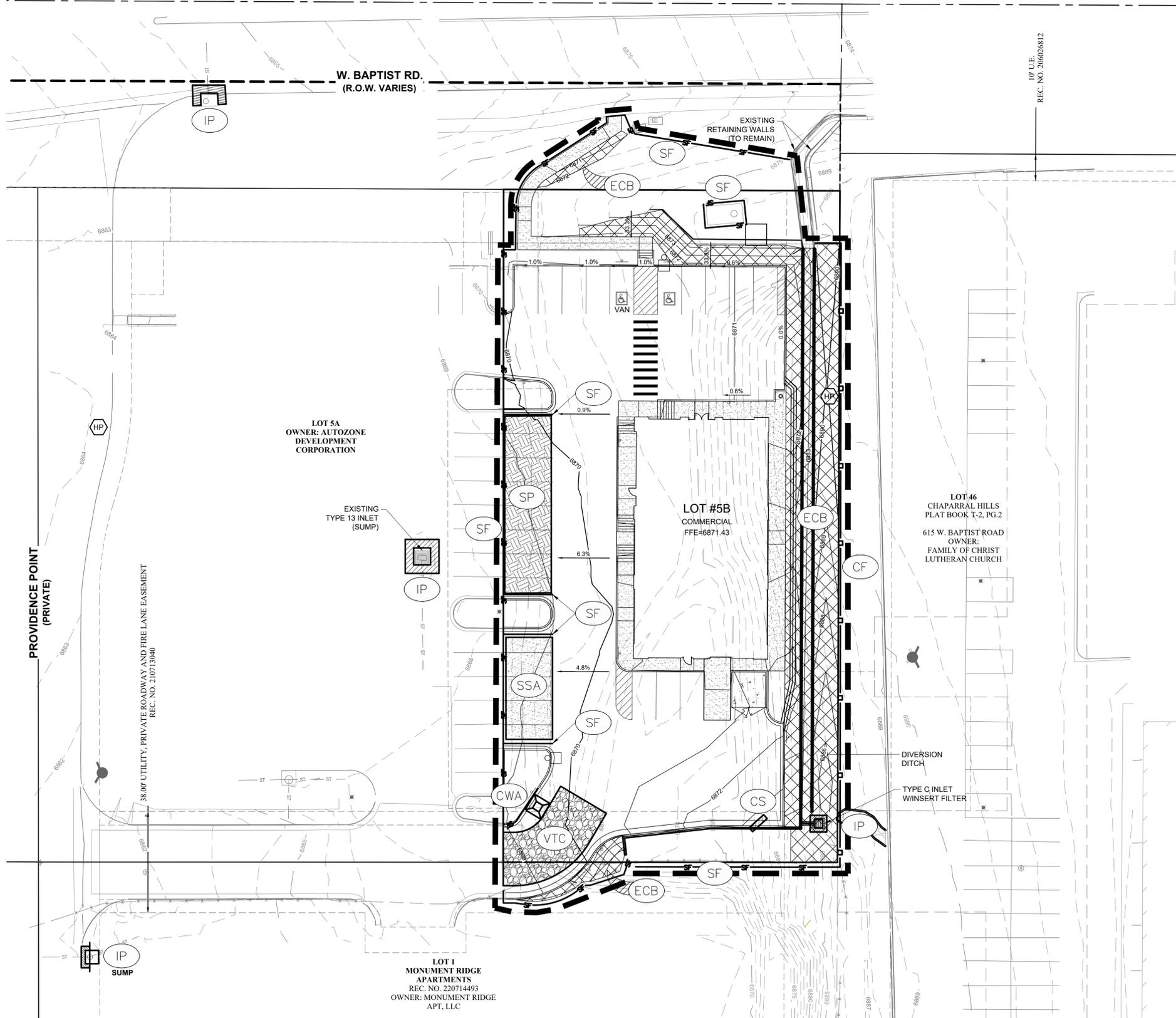
3 OF 7

705 W. BAPTIST RD. FINAL PD SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD

- LEGEND**
- PROPERTY LINE
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - PARKING COUNT
 - PROPOSED SITE LIGHTING
 - PROPOSED CONCRETE DRIVE/PARKING
 - PROPOSED CONCRETE WALK
 - DENOTES ADA ROUTE
 - EXISTING UTILITY POLE
 - EXISTING LIGHT
 - EXISTING FIRE HYDRANT
 - PROPOSED SIGN

- BMP LEGEND**
- CWA CONCRETE WASHOUT AREA
 - CF CONSTRUCTION FENCE
 - IP INLET PROTECTION
 - SF SILT FENCE
 - SP STOCKPILE AREA
 - SSA STABILIZED STAGING AREA
 - VTC VEHICLE TRACKING CONTROL
 - LOC LIMITS OF CONSTRUCTION
 - CS CURB SOCK
 - ECB EROSION CONTROL BLANKET



SCALE IN FEET
0 20 40
IF BAR DOES NOT MEASURE
1 INCH THEN DRAWING IS
NOT TO SCALE

811
Know what's below.
Call before you dig.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL
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2	2ND PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT	MSG	22/05/11

**PRELIMINARY
NOT FOR
CONSTRUCTION**

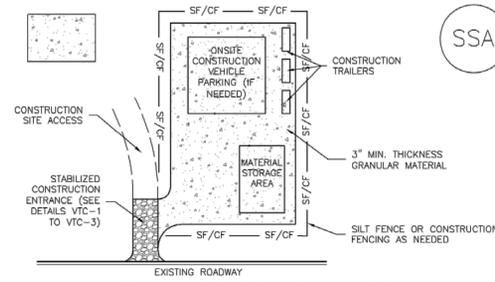
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WALL DEVELOPMENT GROUP

FINAL PUD PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
GESC PLAN

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 02/25/2022

Stabilized Staging Area (SSA) SM-6



SSA-1. STABILIZED STAGING AREA

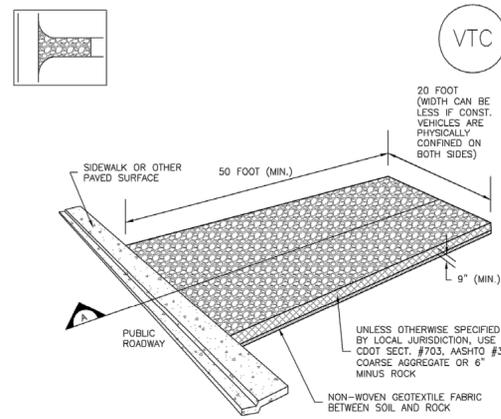
STABILIZED STAGING AREA INSTALLATION NOTES
1. SEE PLAN VIEW FOR:
-LOCATION OF STAGING AREA(S).
-CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.

- 2. STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- 3. STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- 4. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- 5. UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

- STABILIZED STAGING AREA MAINTENANCE NOTES
- 1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - 2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - 3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - 4. ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District SSA-3
Urban Storm Drainage Criteria Manual Volume 3

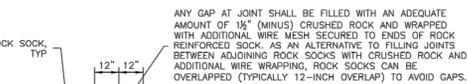
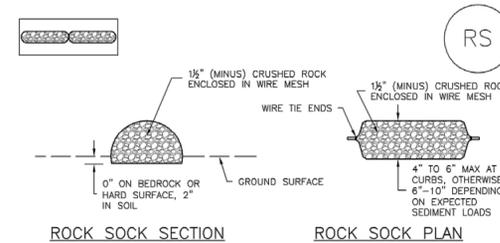
Vehicle Tracking Control (VTC) SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District VTC-3
Urban Storm Drainage Criteria Manual Volume 3

Rock Sock (RS) SC-5



ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR:
-LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1 1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOG RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

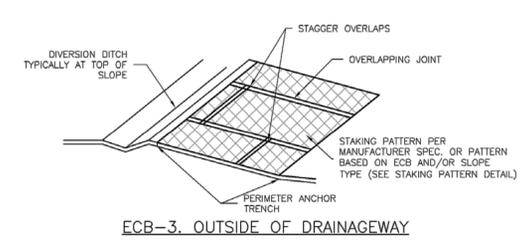
GRADATION TABLE

NO. 4	
SIEVE SIZE	MASS PERCENT PASSING SQUARE SIEVES
2"	100
1 1/2"	90 - 100
1"	20 - 55
3/4"	0 - 15
3/8"	0 - 5

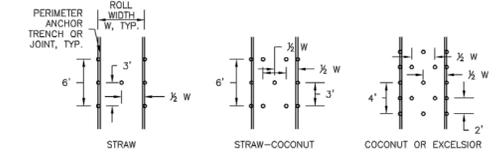
MATCHES SPECIFICATIONS FOR NO. 4 COARSE AGGREGATE FOR CONCRETE PER AASHTO M43. ALL ROCK SHALL BE FRACTURED FACE, ALL SIDES.

RS-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

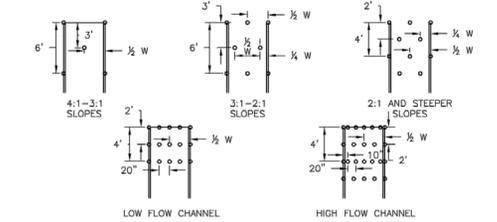
Rolled Erosion Control Products (RECP) EC-6



ECB-3. OUTSIDE OF DRAINAGEWAY



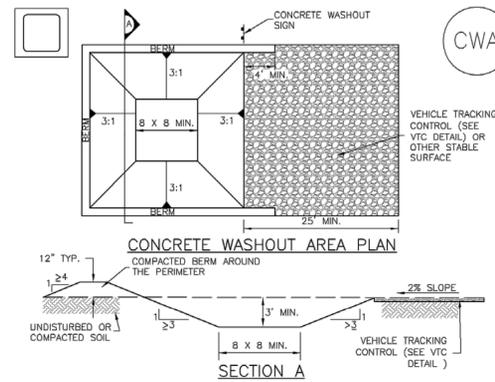
STAKING PATTERNS BY ECB TYPE



STAKING PATTERNS BY SLOPE OR CHANNEL TYPE

November 2010 Urban Drainage and Flood Control District RECP-7
Urban Storm Drainage Criteria Manual Volume 3

Concrete Washout Area (CWA) MM-1

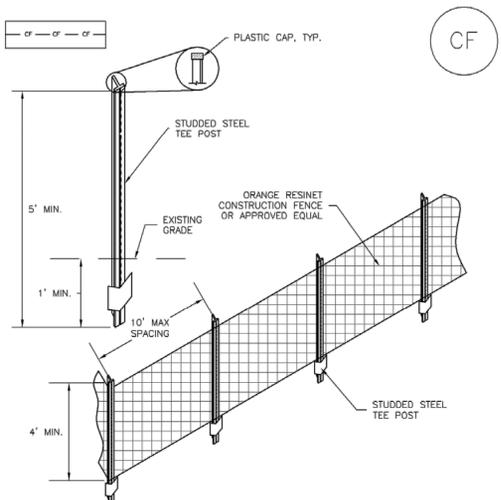


CWA-1. CONCRETE WASHOUT AREA

- CWA INSTALLATION NOTES
- SEE PLAN VIEW FOR:
-CWA INSTALLATION LOCATION.
 - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFESIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
 - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
 - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
 - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
 - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 - USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

November 2010 Urban Drainage and Flood Control District CWA-3
Urban Storm Drainage Criteria Manual Volume 3

Construction Fence (CF) SM-3

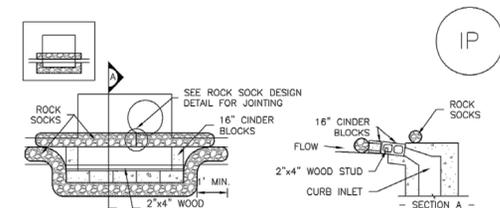


CF-1. PLASTIC MESH CONSTRUCTION FENCE

- CONSTRUCTION FENCE INSTALLATION NOTES
- SEE PLAN VIEW FOR:
-LOCATION OF CONSTRUCTION FENCE.
 - CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 - CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4" HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
 - STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
 - CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

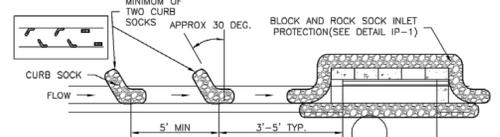
CF-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

Inlet Protection (IP) SC-6



IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION

- BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
 - CONCRETE "CINDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
 - GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.

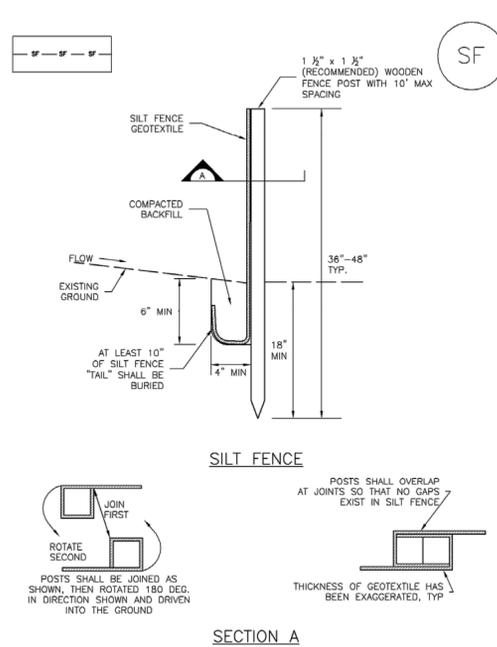


IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION

- CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES
- SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
 - PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
 - SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
 - AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

IP-4 Urban Drainage and Flood Control District August 2013
Urban Storm Drainage Criteria Manual Volume 3

Silt Fence (SF) SC-1



SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District SF-3
Urban Storm Drainage Criteria Manual Volume 3

REVISION

NO.	REVISION	DATE
1	1ST PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT	22/02/25
2	2ND PRELIMINARY SUBMITTAL TO TOWN OF MONUMENT	22/05/11

PRELIMINARY NOT FOR CONSTRUCTION

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WALL DEVELOPMENT GROUP

FINAL PUD PLAN 705 W. BAPTIST RD. GESC PLAN 705 WEST BAPTIST ROAD, MONUMENT CO

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 02/25/2022

705 W. BAPTIST RD. FINAL PD SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD

LEGEND

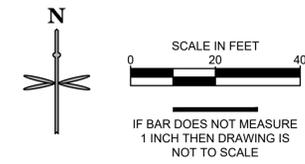
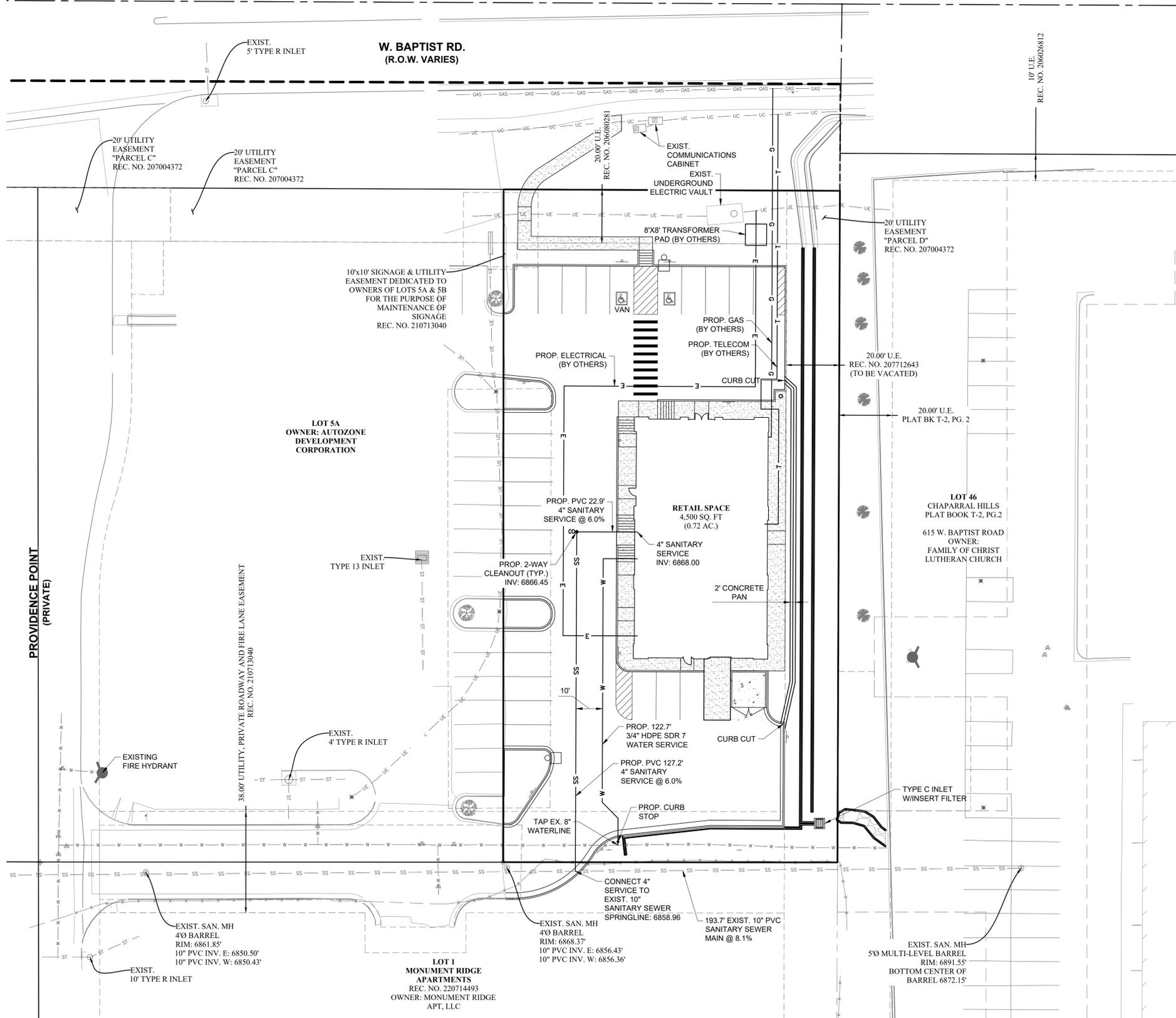
- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PARKING COUNT
- PROPOSED SITE LIGHTING
- PROPOSED CONCRETE DRIVE/PARKING
- PROPOSED CONCRETE WALK
- DENOTES ADA ROUTE
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED SIGN

EXISTING UTILITY LEGEND

- COMMUNICATIONS VAULT
- ELECTRIC MANHOLE
- FIRE HYDRANT
- BURIED WATER WARNING SIGN
- PARKING LIGHT
- SIGN
- SANITARY SEWER MANHOLE
- VALVE BOX
- SANITARY SEWER
- WATER LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND COMMUNICATIONS

PROPOSED UTILITY LEGEND

- SS SANITARY SEWER SERVICE W/CLEANOUT
- W DOMESTIC WATERLINE SERVICE W/METER PIT
- E UNDERGROUND ELECTRIC
- G UNDERGROUND GAS
- T UNDERGROUND COMMUNICATIONS
- STORM SEWER WITH AREA INLET



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Know what's below.
Call before you dig.

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1-800-922-1987 or 811

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WALL DEVELOPMENT GROUP

FINAL PUD PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO

UTILITY PLAN

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 02/25/2022

705 W. BAPTIST RD. FINAL PD SITE PLAN

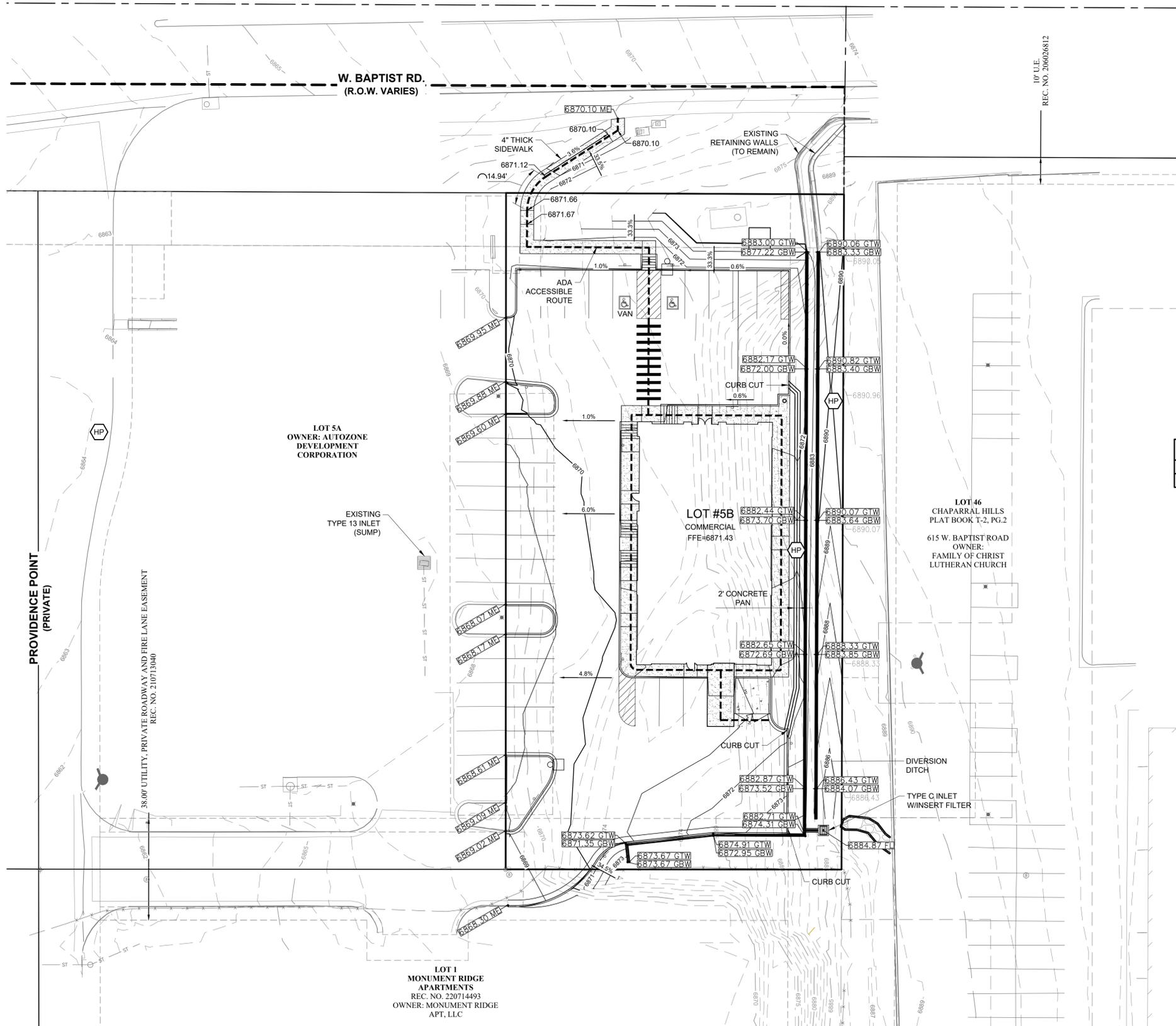
LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD

GRADING LEGEND

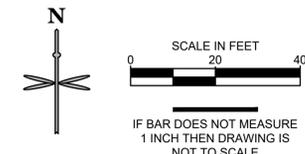
- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- 5256.21 → PROPOSED FLOW LINE ELEVATION
- 5256.21 SW → PROPOSED SIDEWALK ELEVATION
- 5256.21 ME → PROPOSED GRADE TO MATCH EXISTING
- 5256.21 TBC → PROPOSED TOP BACK OF CURB ELEVATION
- 5256.21 FG → PROPOSED FINISHED GRADE ELEVATION
- 5256.21 → PROPOSED EXTERIOR GRADE AT FOUNDATION
- 5256.21 GTW → PROPOSED GRADE AT TOP OF WALL
- 5256.21 GBW → PROPOSED GRADE AT BOTTOM OF WALL
- HIGH POINT

LEGEND

- PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PARKING COUNT
- PROPOSED SITE LIGHTING
- PROPOSED CONCRETE DRIVE/PARKING
- PROPOSED CONCRETE WALK
- DENOTES ADA ROUTE
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING FIRE HYDRANT
- PROPOSED SIGN



EARTHWORK SUMMARY		
CUT (CY)	FILL (CY)	NET (CY)
3,931	40	3,890 (EXPORT)



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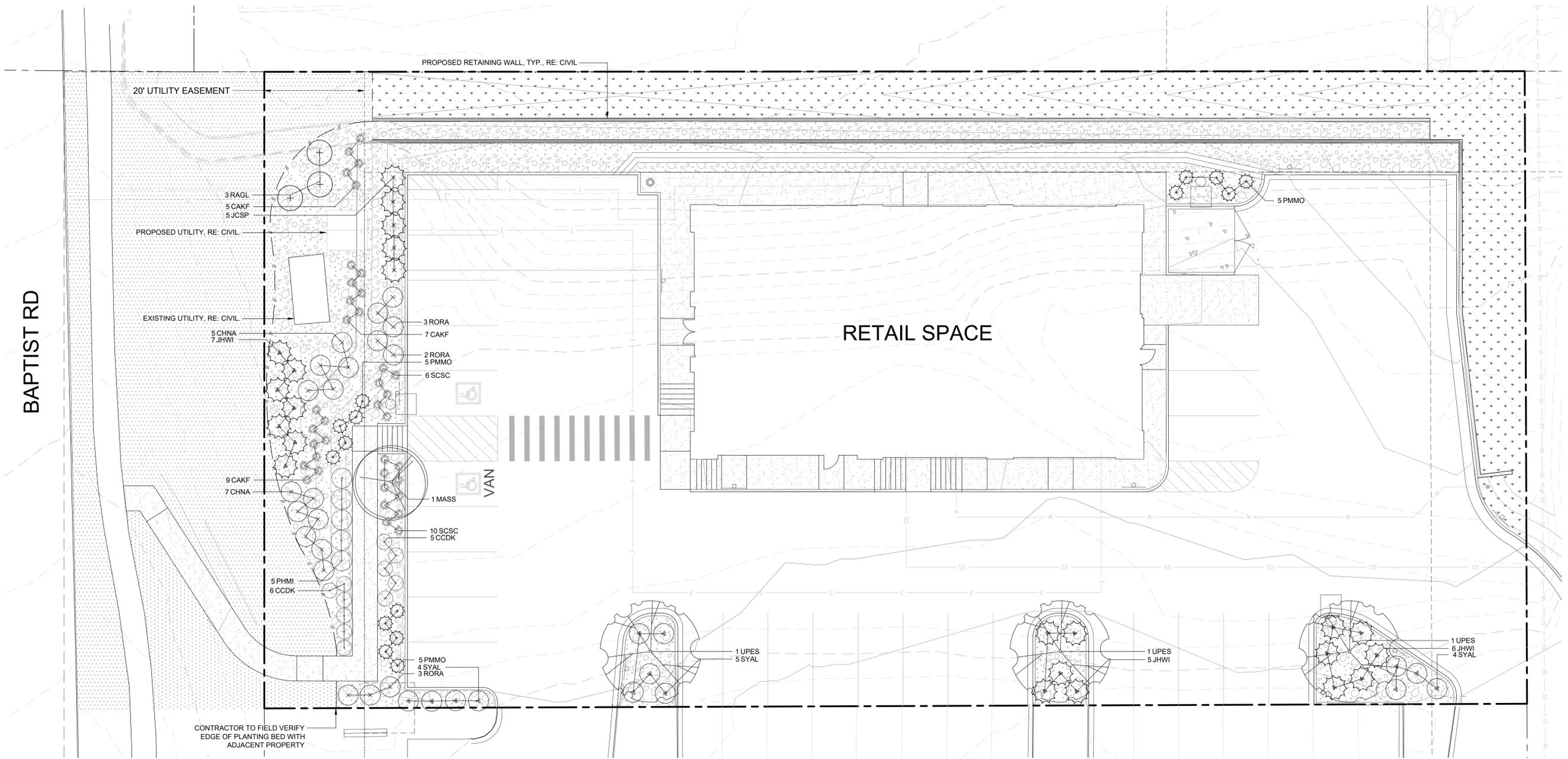
WALL DEVELOPMENT GROUP

FINAL PUD PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
GRADING PLAN

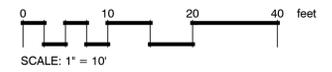
PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 02/25/2022

705 W. BAPTIST RD. PRELIMINARY SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD



1 LANDSCAPE PLAN



LEGEND

- | | | | | | | | |
|-------|------------------|--|-----------------|--|------------------|--|-------------|
| --- | PROPERTY LINE | | DECIDUOUS TREE | | DECIDUOUS SHRUBS | | SOD |
| - - - | UTILITY EASEMENT | | EVERGREEN TREE | | EVERGREEN SHRUBS | | NATIVE SEED |
| - - - | SEED LIMIT LINE | | ORNAMENTAL TREE | | ORNAMENTAL GRASS | | ROCK MULCH |
| ~ ~ ~ | LANDSCAPE EDGER | | PERENNIALS | | | | |

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UNDERGROUND MEMBER UTILITIES.

VALERIAN
Landscape Architecture | Urban Design
Irrigation Design | Planning

970 Yuma Street | Suite 130 | Denver, CO 80204

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SOLUTIONS, INC.

501 S Cherry St, Suite 300
Glendale, CO 80246
303-572-7997 www.ees.us.com

SITE PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
LANDSCAPE PLAN

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 05/11/2022

L1.01

No.	REVISION	BY	DATE

705 W. BAPTIST RD. PRELIMINARY SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,

TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO

705 WEST BAPTIST ROAD

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	REMARKS
UPES	3	ULMUS PROPINQUA 'JFS-BIEBERICH'	EMERALD SUNSHINE ELM	B & B	2" CAL	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	REMARKS
MASS	1	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	B & B	1" CAL	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT		
CCDK	11	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	DARK KNIGHT SPIREA	#5		
CHNA	12	CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH	#5		
PHMI	5	PHILADELPHUS MICROPHYLLUS	LITTLELEAF MOCKORANGE	#5		
RAGL	3	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5		
RORA	8	ROSA X 'RADRAZZ'	KNOCK OUT ROSE	#5		
SYAL	13	SYMPHORICARPOS ALBUS	WHITE SNOWBERRY	#5		
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT		
JCSP	5	JUNIPERUS CHINENSIS 'SPARTAN'	SPARTAN JUNIPER	#5		
JHWI	18	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	#5		
PMMO	15	PINUS MUGO 'MOPS'	MOPS MUGO PINE	#5		
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT		
CAKF	21	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1		
SCSC	16	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#1		
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT @		
	4,854 SF		NATURE'S PRAIRIE SOD	SOD		
	3,086 SF	BOUTELOUA GRACILIS	NATIVE SEED	SEED		

OVERALL SITE LANDSCAPE REQUIREMENTS

NET SITE AREA	LANDSCAPE AREA		TREE REQUIREMENT 1/925 SF		SHRUB/ORNAMENTAL GRASS REQUIREMENT 8/100 SF	
	REQUIRED (10%)	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
31,810 SF	3,181 SF	12,899 SF	4	4	127*	127

NOTE:
*SHRUB/ORNAMENTAL GRASS REQUIREMENT CALCULATION BASED ON MAXIMUM REQUIREMENT OF 50% OF THE TOTAL LANDSCAPE AREA TO BE DEDICATED TO NATIVE GRASS AREA.

PARKING LOT LANDSCAPE REQUIREMENTS

TOTAL PARKING SPACES	TREE REQUIREMENT 1/10 SPACES	
	REQUIRED	PROVIDED
26 SPACES	3	3

GENERAL NOTES:

- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
- COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
- NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
- THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC. SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
- LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
 - ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY. EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
 - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
 - LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
 - PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
- CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/D RIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION.

TURF SOD:

- TURF GRASS SOD SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN FOR CONTINUITY WITH ADJACENT PROPERTY LANDSCAPING. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING TURF GRASS SOD ON ADJACENT PROPERTY.
- KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS RESTORED TO ORIGINAL CONDITIONS.
- ALL SOD SHALL BE NATURE'S PRAIRIE SOD AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOD IS DORMANT OR THE GROUND IS FROZEN.
- ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.

NATIVE SEED

- ALL NATIVE SEED AREAS SHALL BE SEEDED WITH 100% BLUE GRAMA (BOUTELOUA GRACILIS) AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.

MULCH:

- WOOD MULCH, NON-DYED SHREDDED CEDAR MULCH OR APPROVED EQUAL.
- ROCK MULCH, MATCH EXISTING ROCK MULCH ON ADJACENT PROPERTY OR APPROVED EQUAL. INSTALL OVER LANDSCAPE FABRIC, DEPRESSED 2" BELOW SURROUNDING CURBS AND WALKS. PLACE WITH TIGHT JOINTS.
- GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

EDGING:

- ALL EDGING SHALL BE 3/16" X 5 1/2" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURE'S SPECIFICATIONS OR EQUAL.

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SITE PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
PLANTING SCHEDULE & NOTES

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 05/11/2022

L1.02



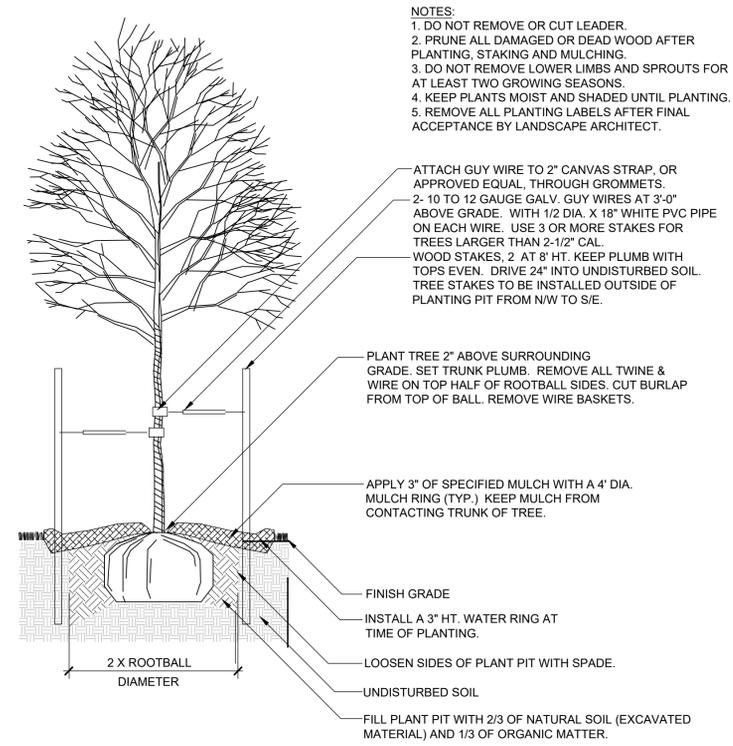
811
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
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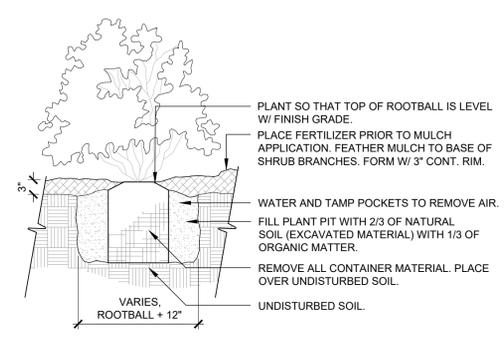
705 W. BAPTIST RD. PRELIMINARY SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD

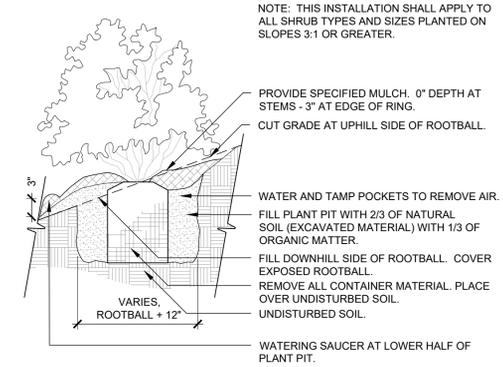


NOTE: ALL TREES LOCATED WITHIN SIGHT TRIANGLES OR WITHIN 100' APPROACHING A STOP SIGN ARE TO BE LIMBED TO 8'. AT ONSET OF WINTER FOR THE FIRST YEAR OF INSTALLATION, WRAP ENTIRE SURFACE OF TRUNK UP TO BRANCHES. SECURE AT TOP AND BOTTOM WITH DUCT TAPE. AT ONSET OF SPRING REMOVE ALL WRAPPING.

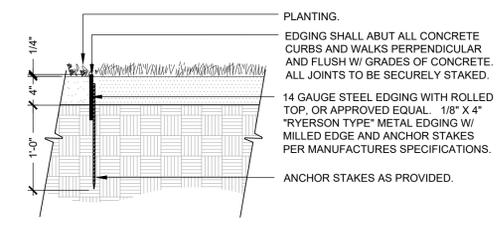
1 DECIDUOUS TREE PLANTING
1" = 1'-0" BLCC-03



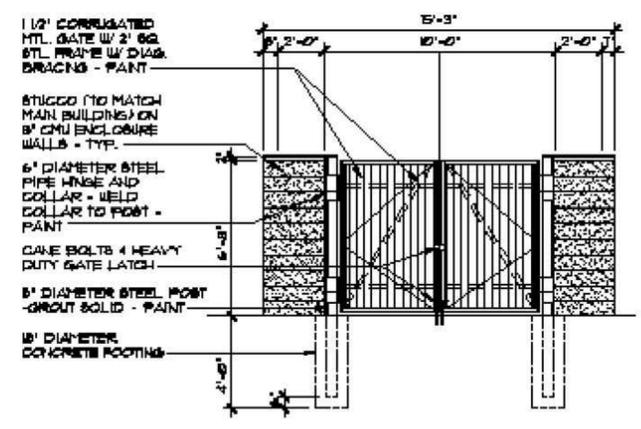
2 SHRUB PLANTING
1 1/2" = 1'-0" 329333.13-10



3 SHRUB PLANTING ON SLOPE
1 1/2" = 1'-0" 329333.13-15



4 STEEL EDGING
1" = 1'-0" 329413.23-01



5 TRASH ENCLOSURE - TOWN OF MONUMENT
NTS

811
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1-800-922-1987 or 811
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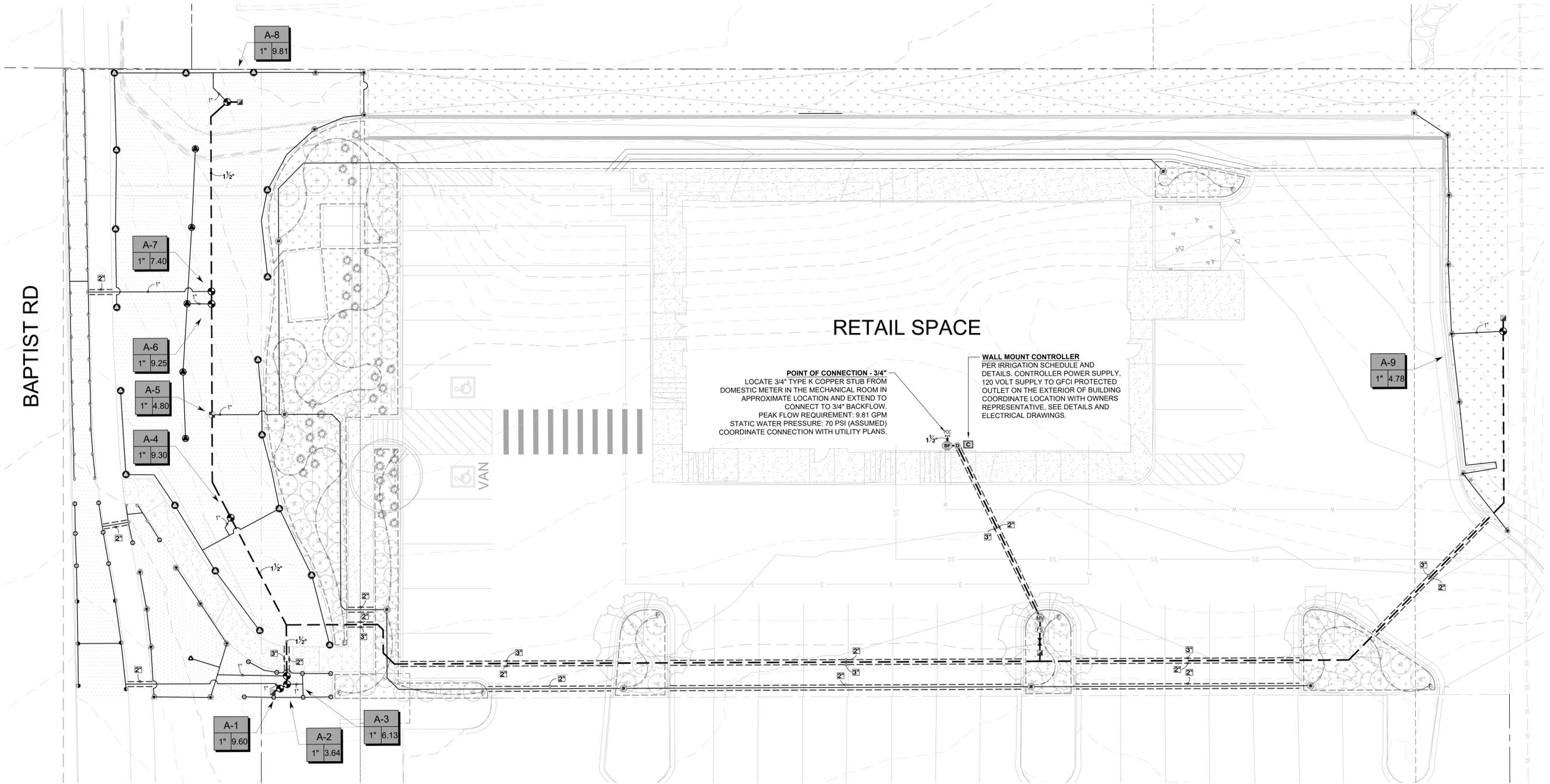
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SITE PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
LANDSCAPE DETAILS

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 05/11/2022
L1.03

705 W. BAPTIST RD. PRELIMINARY SITE PLAN

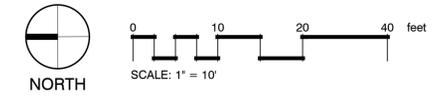
LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD



POINT OF CONNECTION - 3/4"
 LOCATE 3/4" TYPE K COPPER STUB FROM DOMESTIC METER IN THE MECHANICAL ROOM IN APPROXIMATE LOCATION AND EXTEND TO CONNECT TO 3/4" BACKFLOW. PEAK FLOW REQUIREMENT: 9.81 GPM. STATIC WATER PRESSURE: 70 PSI (ASSUMED). COORDINATE CONNECTION WITH UTILITY PLANS.

WALL MOUNT CONTROLLER
 PER IRRIGATION SCHEDULE AND DETAILS. CONTROLLER POWER SUPPLY, 120 VOLT SUPPLY TO GFCI PROTECTED OUTLET ON THE EXTERIOR OF BUILDING. COORDINATE LOCATION WITH OWNERS REPRESENTATIVE. SEE DETAILS AND ELECTRICAL DRAWINGS.

1 IRRIGATION PLAN



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SITE PLAN
705 W. BAPTIST RD.
 705 WEST BAPTIST ROAD, MONUMENT CO
IRRIGATION PLAN

PROJECT NO: WDV004.01
 DESIGNED BY: MSG
 DRAWN BY: OWS
 DATE: 05/11/2022
L2.01

705 W. BAPTIST RD. PRELIMINARY SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,

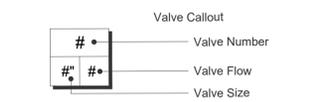
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO

705 WEST BAPTIST ROAD

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	TURF SPRAY - 6" POP-UP 5 SERIES MPR RAIN BIRD 1806-SAM-PRS 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND IS PRESSURE REGULATING.	42	30
	TURF SPRAY - 6" POP-UP 8 SERIES MPR RAIN BIRD 1806-SAM-PRS 8.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND IS PRESSURE REGULATING.	16	30
	TURF SPRAY - 6" POP-UP 10 SERIES MPR RAIN BIRD 1806-SAM-PRS 10" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2" NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE, AND IS PRESSURE REGULATING.	6	30
	TURF ROTARY - R-VAN14 RAIN BIRD R-VAN14, 1806-SAM-P45, 8'-14", TURF ROTARY W/1800 TURF SPRAY BODY ON 6" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR.	21	45
	TURF ROTARY - R-VAN18 RAIN BIRD R-VAN18, 1806-SAM-P45, 13'-18", TURF ROTARY W/1800 TURF SPRAY BODY ON 6" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR.	23	45
	DRIP CONTROL VALVE ASSEMBLY RAIN BIRD XCZ-100-PRB-COM - WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PRESS VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	1	
	PIPE TRANSITION POINT PIPE TRANSITION FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX.	7	
	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	10	
	AREA TO RECEIVE DRIP EMITTERS AREA FOR DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. 0.5 GPH emitters (2 assigned to each #1 plant) 1.0 GPH emitters (2 assigned to each #5 plant) 1.0 GPH emitters (4 assigned to each B & B, 1" Cal plant)	2,655 S.F.	
	POLY DRIP PIPE - 3/4"	450 L.F.	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	CONTROL VALVE RAIN BIRD PEB-PRS-D. GLOBE CONFIGURATION, WITH PRESSURE REGULATOR MODULE.	8
	QUICK COUPLER VALVE RAIN BIRD 44-RC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	4
	GATE VALVE - 2-1/2" AND SMALLER MATCO-NORCA 514T BRASS GATE VALVE, FULL PORT, WITH SOLID WEDGE. IPS. WHEEL HANDLE. SAME SIZE AS MAINLINE PIPE.	1
	MASTER VALVE - NORMALLY CLOSED 1" RAIN BIRD EFB-CP BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN AND FD-101TURF DECODER. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE.	1
	MANUAL DRAIN VALVE MUELLER ORISEAL #H-10283, WITH BRASS SWING JOINT ASSEMBLY. INSTALL PER INSTALLATION DETAIL.	1
	REDUCED PRESSURE BACKFLOW PREVENTER 3/4" FEBCO 825YA	1
	CONTROLLER RAIN BIRD ESP4ME3 WITH (2) ESP-SM2 (3), 10 STATION, HYBRID MODULAR OUTDOOR CONTROLLER.	1
	FLOW SENSOR -1" RAINBIRD MJ100B - 1" FLOW SENSOR FOR USE WITH RAIN BIRD ESP-ME.	1
	POINT OF CONNECTION 3/4"	1
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	1,458 L.F.
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	481.6 L.F.
	PIPE SLEEVE: PVC CLASS 160 SDR 26	396.0 L.F.



GENERAL NOTES:

- PRIOR TO BEGINNING WORK VERIFY THE CONTRACT DRAWINGS AGAINST ALL APPLICABLE EXISTING CONDITIONS, NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK.
- VERIFY LOCATION OF ALL ABOVE AND BELOW GRADE MECHANICAL, PLUMBING, ELECTRICAL/UTILITY LINES AND EQUIPMENT AND ADHERE TO ALL FEDERAL, MUNICIPAL, UTILITY PURVEYOR REQUIRED EASEMENTS, MINIMUM OFFSETS AND SETBACKS.
- ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.

POINT OF CONNECTION (P.O.C.) NOTES:

P.O.C. '1' - CONNECT TO 3/4" TYPE-K COPPER STUB LOCATED NEXT TO THE METER IN MECHANICAL ROOM. EXTEND AND CONNECT 3/4" TYPE-K COPPER LINE TO 3/4" BACKFLOW DEVICE. REFER TO CIVIL PLANS FOR CONNECTION LOCATION.

AVAILABLE WATER PRESSURE: THE ASSUMED AVAILABLE PSI AT THE POINT OF CONNECTION IS - **70 PSI**. CONTRACTOR SHALL TEST PRIOR TO INSTALLATION.

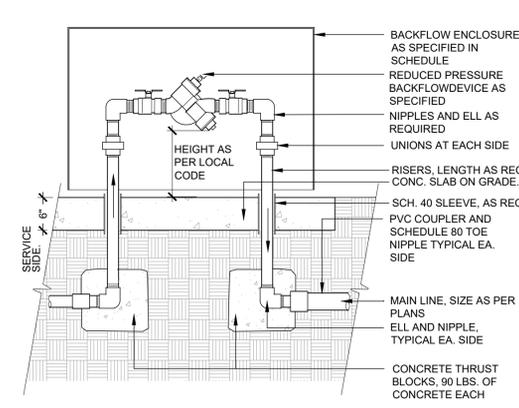
DESIGN PRESSURE: 70 PSI

DESIGN FLOW: 9.81 GPM MAX, (SINGLE VALVE OPERATION)

- THE IRRIGATION SYSTEMS ARE DESIGNED WITHIN A WATER WINDOW AND SIZED TO ACCOMMODATE SINGLE VALVE STARTS. NOT TO EXCEED DESIGN FLOW LISTED. CONTRACTOR TO PROGRAM CONTROLLER ACCORDINGLY.
- CONTRACTOR TO INSTALL ALL REQUIRED EQUIPMENT IN ACCORDANCE WITH ALL LOCAL WATER PURVEYORS REQUIREMENTS.
- CONTRACTOR TO FIELD LOCATE REQUIRED IRRIGATION EQUIPMENT DOWNSTREAM FROM METER FOR APPROVAL PRIOR TO INSTALLATION. ALL ATTEMPTS SHALL BE MADE TO INSTALL EQUIPMENT IN LANDSCAPE BEDS.
- ALL ENCLOSURES SHALL BE SECURELY MOUNTED AND LOCKABLE TO PREVENT VANDALISM, DAMAGE AND/OR THEFT. TURN KEYS OVER TO OWNERS REPRESENTATIVE AT COMPLETION OF WORK AS PER SPECIFICATIONS.
- CONTRACTOR TO COORDINATE CONTROLLER LOCATIONS WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- RAIN SENSOR. MOUNT WIRELESS RAIN SENSOR WITHIN OPTIMAL RANGE FROM CONTROLLER. PER MANUFACTURERS RECOMMENDATIONS. INSTALL SENSOR ON LIGHT/UTILITY POLE A MINIMUM OF 10' ABOVE GRADE TO MINIMIZE DAMAGE/VANDALISM. CLEARLY NOTE LOCATION AND PROVIDE INFORMATION TO OWNERS REPRESENTATIVE.
- IRRIGATION ZONES HAVE BEEN CREATED TO PROPERLY HYDROZONE THE SITE BASED ON SITE CONDITIONS AND MICROCLIMATES. IF FIELD ADJUSTMENTS ARE TO BE MADE IRRIGATION EQUIPMENT IRRIGATING A NORTH AND EAST EXPOSURE SHOULD NOT BE INSTALLED ON THE SAME ZONE AS IRRIGATION EQUIPMENT ON THE SOUTH AND WEST EXPOSURES TO ALLOW FOR MICROCLIMATE ADJUSTMENTS IN THE CONTROLLER PROGRAMMING.

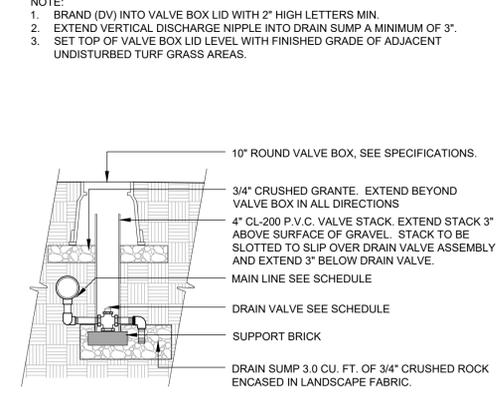
IRRIGATION NOTES:

- THE CONTRACTOR IS TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT WILL PROVIDE COVERAGE FOR ALL LANDSCAPED AREAS AS SHOWN ON CONTRACT DRAWINGS.
- REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND MUNICIPAL CODES FOR WORK NECESSARY IN IRRIGATION SYSTEM INSTALLATION.
- POINT OF CONNECTION SHOWN ON THE IRRIGATION PLANS ARE PER THE CIVIL DOCUMENTS. REPORT ANY DISCREPANCIES IN THE LOCATION TO THE DESIGNER FOR CLARIFICATION OR REVISION.
- CONTRACTOR IS TO PROVIDE ALL NECESSARY PIPE, VALVES, ETC. DOWNSTREAM FROM POINT OF CONNECTION NOT INSTALLED BY OTHER DISCIPLINES.
- WORK SHALL BE DONE IN FULL ACCORDANCE WITH THE RULES AND REGULATIONS OF THE 2009 INTERNATIONAL PLUMBING CODE (IPC) AND ALL OTHER STATE OR LOCAL MUNICIPAL REGULATIONS CURRENT UPON THE SIGNING OF THIS CONTRACT.
- CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED IN LANDSCAPED AREAS WHEREVER POSSIBLE AND WITHIN THE PROPERTY LIMITS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY.
- LATERAL AND MAINLINE PIPE, CONTROL WIRES AND SLEEVES ARE SHOWN ON CONTRACT DRAWINGS SPACED HORIZONTALLY ON PLAN FOR GRAPHIC CLARITY ONLY. CONTRACTOR SHALL CONSOLIDATE IRRIGATION LATERALS, MAINLINES AND COMPONENTS WHEREVER POSSIBLE. IRRIGATION PIPING SHALL BE INSTALLED WITH A MINIMUM OF 4 INCHES CLEAR ON ALL SIDES.
- CONTRACTOR SHALL MAINTAIN THE MINIMUM DEPTHS DETAILED AND SPECIFIED FOR ALL IRRIGATION EQUIPMENT.
- CONTRACTOR IS TO VERIFY AVAILABLE PRESSURE AND FLOW AT POINT OF CONNECTION PRIOR TO INSTALLATION OF IRRIGATION SYSTEM EQUIPMENT.
- CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH OVERALL SITE CONSTRUCTION AND INSTALLATION OF PAVING AND SIDEWALKS. ALL SLEEVING UNDER PAVED SURFACES SHOWN ON CONTRACT DRAWINGS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. ALL MAINLINES, LATERAL LINES, DRIP LINES AND CONTROL WIRES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. INSTALL SLEEVING AS PER DETAIL, NOTES, SCHEDULES AND SPECIFICATIONS.
- ALL PIPING, PVC ELECTRICAL SLEEVES, ETC. UNDER PAVING SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. CAP ALL ENDS HAND TIGHT PRIOR TO BACKFILL.
- EACH MAINLINE SLEEVE REPRESENTED IN THE DRAWINGS SHALL CONSIST OF TWO SLEEVES: ONE FOR MAINLINE PIPING AND ONE FOR FIELD WIRING.
- CONTRACTOR IS TO PROVIDE ELECTRICAL POWER TO THE AUTOMATIC CONTROLLER, SEE ELECTRICAL DRAWINGS.
- INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL MALE PIPE THREADS ON ALL IRRIGATION SWING JOINT AND VALVE ASSEMBLIES.
- BACKFILLING SHALL BE DONE IN LIFTS AND COMPACTED.
- MAINTENANCE AND OPERATION REQUIREMENTS: A SEASONAL MAINTENANCE SCHEDULE BEGINNING ON APRIL 1 THROUGH OCTOBER 1 SHALL ESTABLISH PROCEDURES FOR OPTIMUM IRRIGATION EFFICIENCY AND PREVENTIVE MAINTENANCE PRACTICES THAT WILL CONSERVE WATER RESOURCES. THE MAINTENANCE SCHEDULE SHOULD INCLUDE THE FOLLOWING ITEMS:
 - VERIFY COVERAGE OF HEADS (BI-MONTHLY)*
 - CHECK FOR BROKEN HEADS OR LEAKAGE (BI-MONTHLY)*
 - REPROGRAM CONTROLLERS ACCORDING TO THE SEASONAL NEEDS (MONTHLY)*
 - VERIFY WATER SUPPLY AND PRESSURE (UPON SYSTEM STARTUP, THEN TWO ADDITIONAL TIMES)
 - INSPECT THE BACKFLOW PREVENTER DEVICE (UPON SYSTEM STARTUP)
 - VERIFY SENSOR FUNCTIONALITY (BI-MONTHLY)*
 *ALL ITEMS SHALL BE PERFORMED UPON SYSTEM START UP AND THEN AT A MINIMUM OF THE PERIOD STATED, INSPECTIONS SHALL BE PERFORMED MORE FREQUENTLY AS REQUIRED.



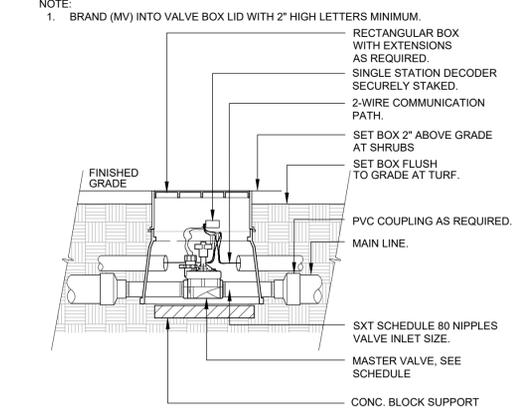
1 REDUCED PRESSURE BACKFLOW DEVICE
1" = 1'-0" 32 8409.46-05

NOTE:
1. HEAT BRAND (FS) ON VALVE BOX LID IN 2" HIGH LETTERS MINIMUM



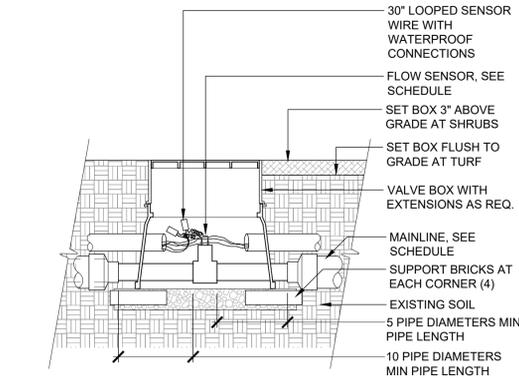
2 MANUAL DRAIN VALVE
1/2" = 1'-0" 32 8409.86-13

NOTE:
1. HEAT BRAND (GV) ON LID WITH 2" HIGH CHARACTERS

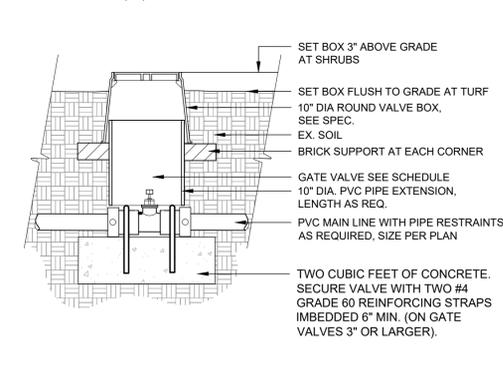


3 MASTER CONTROL VALVE
1 1/2" = 1'-0" 32 8406.23-12

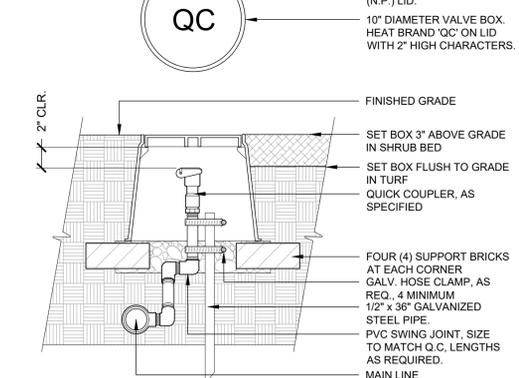
NOTE: BOX TO HAVE PURPLE NON-POTABLE (N.P.) LID.



4 FLOW SENSOR
1" = 1'-0" 32 8409.63-11



5 GATE VALVE UNDER 3"
1" = 1'-0" 32 8406.33-90



6 QUICK COUPLING VALVE
1 1/2" = 1'-0"

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987 or 811
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

DATE	BY	REVISION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

EES
ENTITLEMENT AND
ENGINEERING
SOLUTIONS, INC.
501 S Cherry St, Suite 300
Glendale, CO 80246
303-572-7897 www.ees.us.com

SITE PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
IRRIGATION NOTES

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 05/11/2022

VALERIAN
Landscape Architecture | Urban Design
Irrigation Design | Planning
970 Yuma Street | Suite 130 | Denver, CO 80204

L2.02

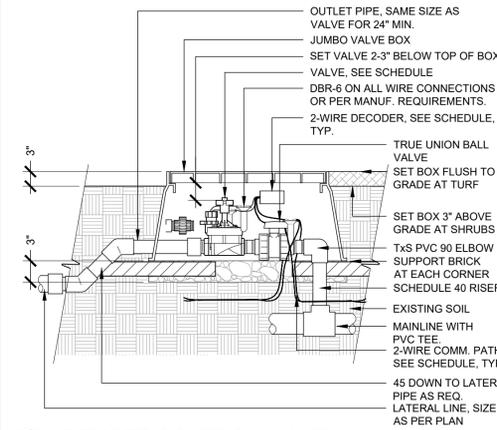
705 W. BAPTIST RD. PRELIMINARY SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,

TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO

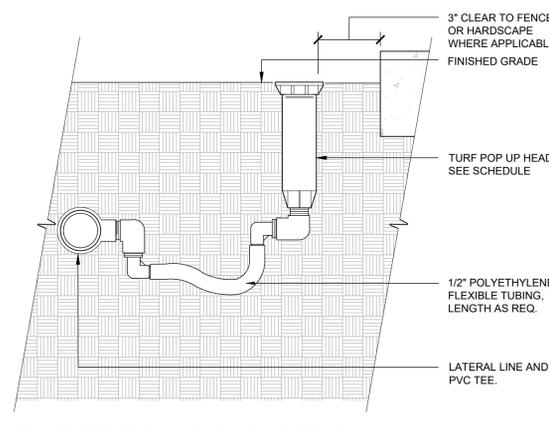
705 WEST BAPTIST ROAD

NOTE:
1. HEAT BRAND VALVE AND CONTROLLER NUMBER ON LID WITH 2" HIGH CHARACTERS.
2. SEE ADDITIONAL DETAILS FOR GROUNDING AND STAKING OF DECODER UNIT WITHIN VALVE BOX.



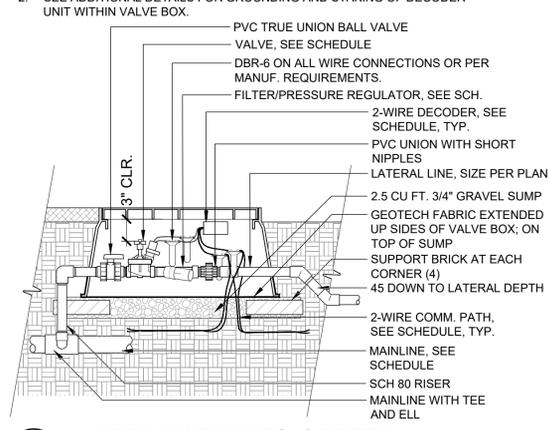
1 REMOTE CONTROL VALVE
1" = 1'-0" 328406.13-20

NOTE:
1. HEAT BRAND VALVE AND CONTROLLER NUMBER (EX. A-#) ON LID WITH 2" HIGH LETTERS MINIMUM.
2. SEE ADDITIONAL DETAILS FOR GROUNDING AND STAKING OF DECODER UNIT WITHIN VALVE BOX.



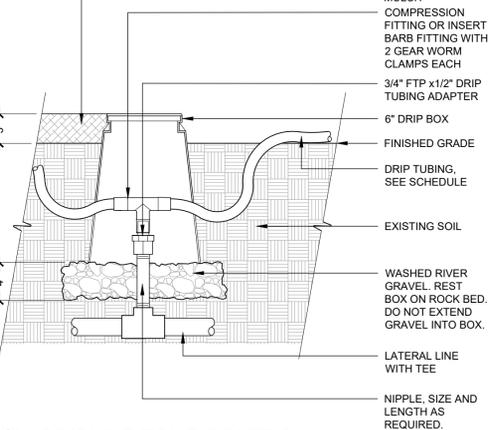
2 TURF SPRAY SWING ASSEMBLY
3" = 1'-0" 328403.13-90

NOTE:
1. HEAT BRAND VALVE AND CONTROLLER NUMBER (EX. A-#) ON LID WITH 2" HIGH LETTERS MINIMUM.
2. SEE ADDITIONAL DETAILS FOR GROUNDING AND STAKING OF DECODER UNIT WITHIN VALVE BOX.



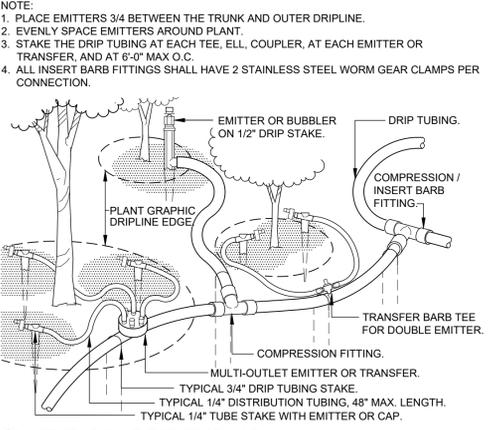
3 1" DRIP VALVE W/REG. & FILTER
1" = 1'-0" 328413.76-98

NOTE:
HEAT BRAND 'ZC' ON LID WITH 2" HIGH CHARACTERS.



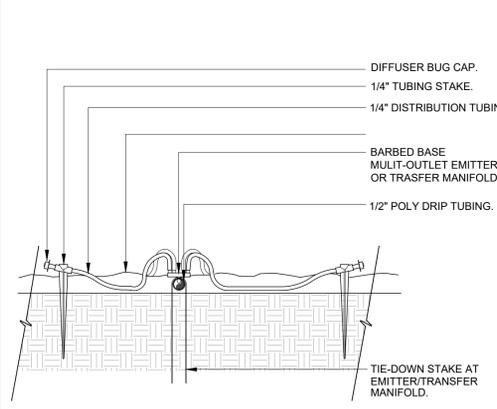
4 DRIPLINE ZONE CONTROL
1 1/2" = 1'-0" 328413.46-13

NOTE:
1. PLACE EMITTERS 3/4 BETWEEN THE TRUNK AND OUTER DRIPLINE.
2. EVENLY SPACE EMITTERS AROUND PLANT.
3. STAKE THE DRIP TUBING AT EACH TEE, ELL, COUPLER, AT EACH EMITTER OR TRANSFER. AND AT 6'-0" MAX O.C.
4. ALL INSERT BARB FITTINGS SHALL HAVE 2 STAINLESS STEEL WORM GEAR CLAMPS PER CONNECTION.



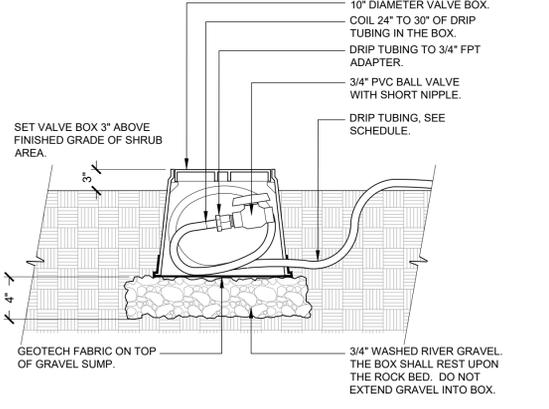
5 TYPICAL DRIP TUBING
1 1/2" = 1'-0" 328413.43-02

NOTE:
HEAT BRAND 'FV' ON LID WITH 2" HIGH CHARACTERS.



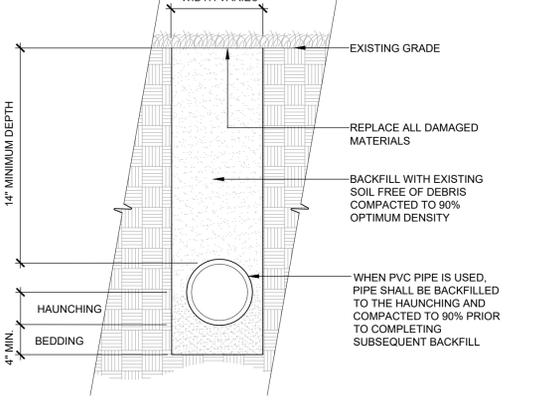
6 1/4" TUBING SINGLE OUTLET EMITTER
3" = 1'-0" 328413.13-26

NOTE:
HEAT BRAND 'FV' ON LID WITH 2" HIGH CHARACTERS.



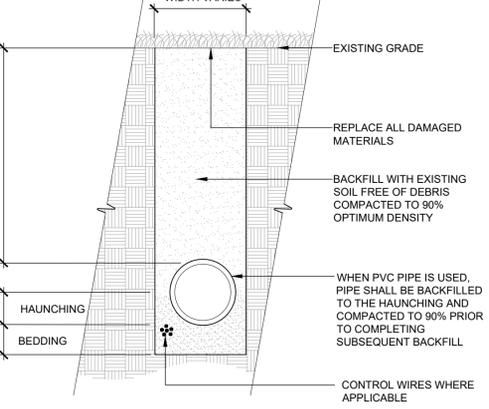
7 DRIP FLUSH VALVE
1 1/2" = 1'-0" 328413.49-98

NOTE:
ENSURE PRESENCE OF A FLOOR DRAIN IN MECHANICAL ROOM. EXTEND DRAIN PIPE FROM BACKFLOW LOCATION TO DRAIN.



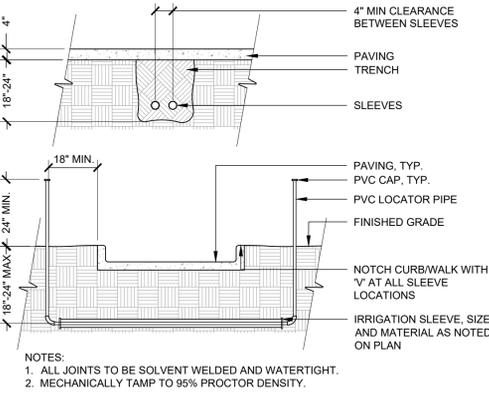
8 TRENCH DETAIL - LATERAL LINE
1 1/2" = 1'-0" 328409.76-91

NOTE:
ENSURE PRESENCE OF A FLOOR DRAIN IN MECHANICAL ROOM. EXTEND DRAIN PIPE FROM BACKFLOW LOCATION TO DRAIN.



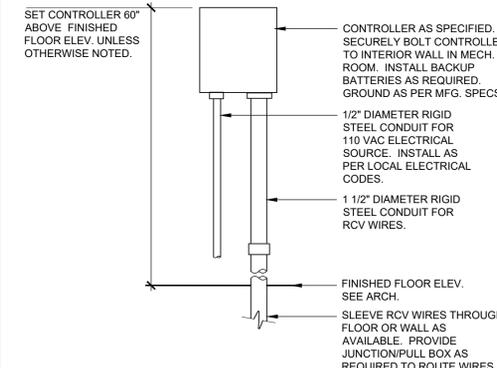
9 TRENCH DETAIL - MAINLINE
1 1/2" = 1'-0" 328409.76-23

NOTE:
1. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
2. MECHANICALLY TAMP TO 95% PROCTOR DENSITY.



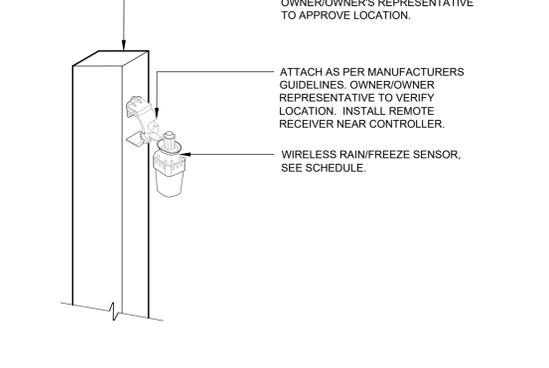
10 SLEEVING
3/8" = 1'-0" 328409.76-07

NOTE:
1. CONTRACTOR TO COORDINATE WITH OWNER/OWNERS REPRESENTATIVE ON FINAL LOCATION OF CONTROLLER AND ALL BUILDING FLOOR OR WALL PERFORATIONS TO ROUTE CONTROL WIRES.



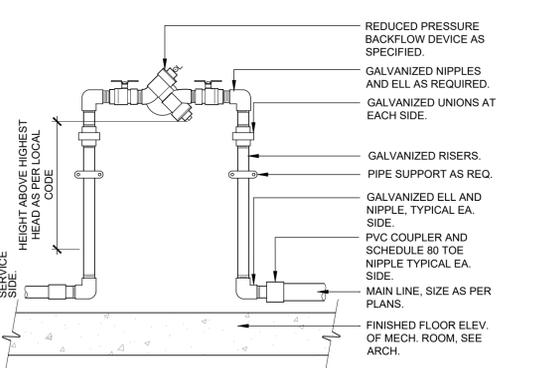
11 WALL MOUNT CONTROLLER
1" = 1'-0" 328409.19-11

NOTE:
BUILDING FACADE, UTILITY POLE OR AS SHOWN ON PLANS. OWNER/OWNER'S REPRESENTATIVE TO APPROVE LOCATION.



12 WIRELESS RAIN/FREEZE SENSOR
3/4" = 1'-0" 328409.66-13

NOTE:
ENSURE PRESENCE OF A FLOOR DRAIN IN MECHANICAL ROOM. EXTEND DRAIN PIPE FROM BACKFLOW LOCATION TO DRAIN.



14 RP BACKFLOW DEVICE IN MECH. ROOM
1" = 1'-0" 328409.43-12

811 CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987 or 811
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

VALERIAN
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970 Yuma Street | Suite 130 | Denver, CO 80204

DATE	
BY	
REVISION	
No.	

PRELIMINARY NOT FOR CONSTRUCTION

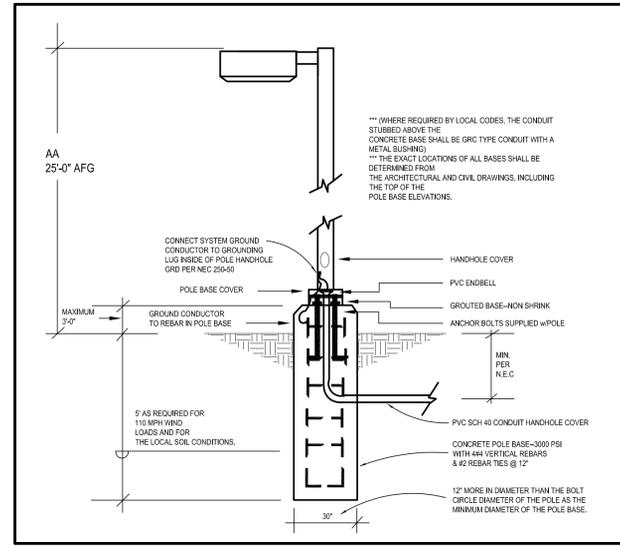
EES ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.
501 S Cherry St, Suite 300
Glendale, CO 80246
303-572-7997 www.ees.us.com

SITE PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO
IRRIGATION DETAILS

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 05/11/2022
L2.03

705 W. BAPTIST RD. SITE PLAN

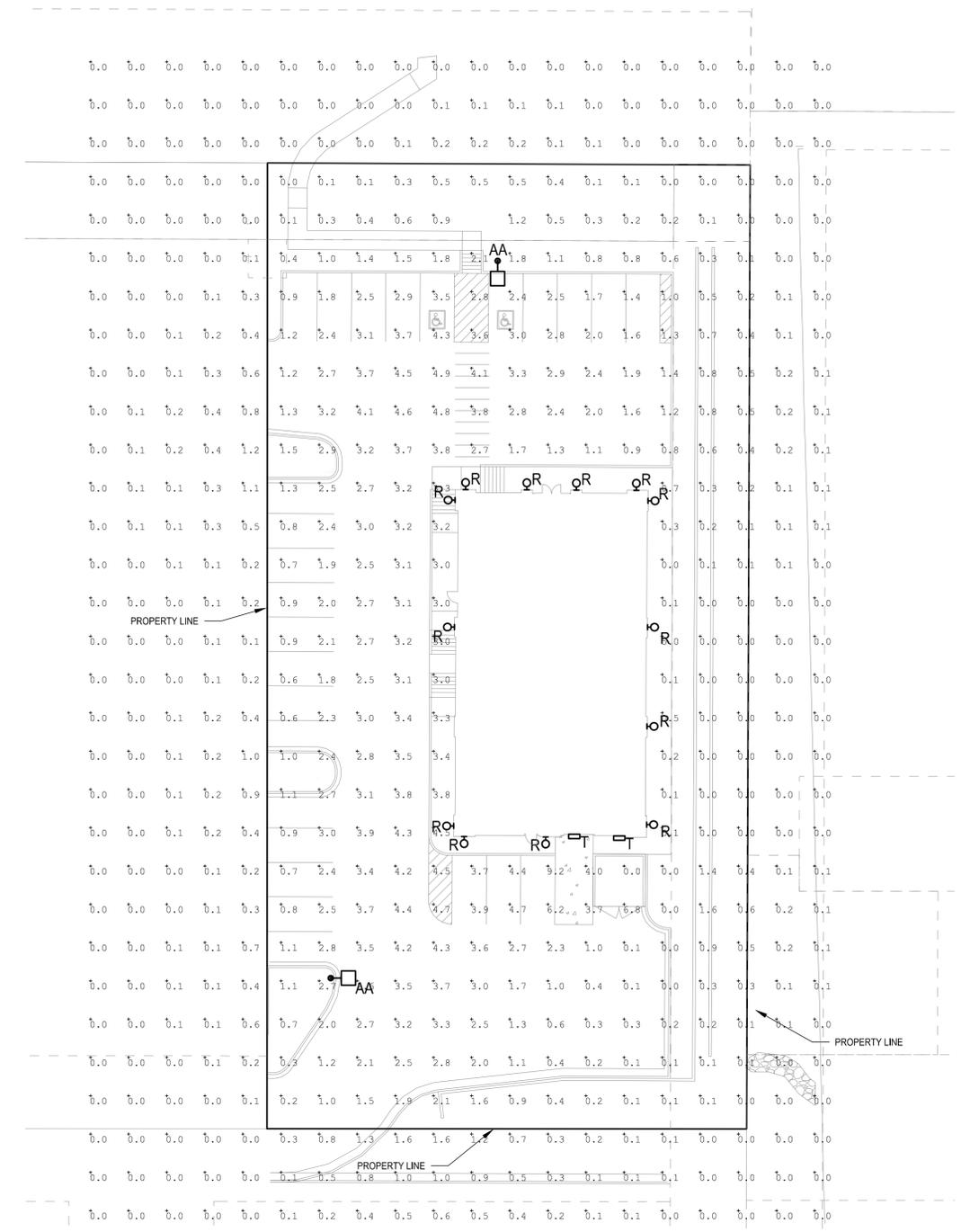
LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD



2 TYPICAL POLE BASE DETAIL
scale: N.T.S.

LUMINAIRE SCHEDULE									
FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA	LAMP WATTS	MOUNTING METHOD	MTG HEIGHT	DESCRIPTION	VOLTS
	NAME	CATALOG NUMBER							
AA	LSI	MRS-LED-15L-SIL-3-UNV-DIM-40-70CRI-BLK-IH		LED	111	POLE	25'-0"	POLE MOUNTED SITE LIGHT. 25'-0" FLAT LENS TO BE USED WITH HOUSE SIDE SHIELD	UNV
BB	COOPER	BOCA 696 - 4000 KELVINS		LED	8	GROUND		WET PROTECTED - GROUND MOUNTED UPLIGHT	120
R	EATON	9004-W2-RW-LED4080-S-S-CS-L1-UNV-WIS		LED	28.5	SURFACE	8'-8"	EXTERIOR UP/DOWN SCONCE (MOUNT 8'-8" AFF TO CENTER OF FIXTURE U.N.O.)	UNV
T	HUBBELL	LNCS		LED	60	SURFACE	10'-6"	MIDSIZED LED WALLPACK (WITH OPTIONAL PHOTO-EYE SWITCH)	UNV

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	Illuminance	Fc	0.91	9.2	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	2.68	9.2	0.6	4.47	15.33



1 PHOTOMETRIC PLAN
scale: 1"=20'-0"
NORTH

No.	REVISION	DATE
		BY

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PHOTOMETRIC PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO

PROJECT NO: #22-028
DESIGNED BY: JCAA
DRAWN BY: ATE
DATE: 02/01/2022

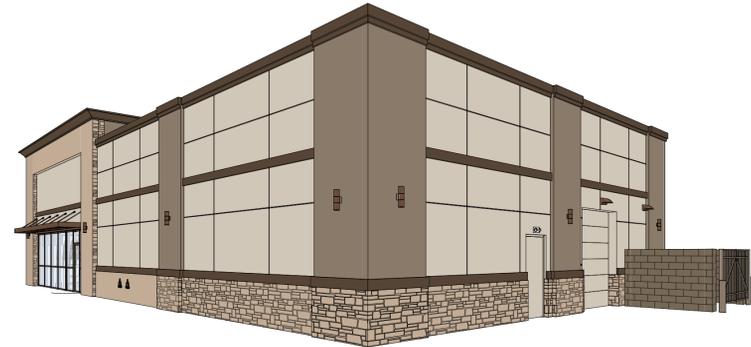
811
CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987 or 811
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
Know what's below. Call before you dig.

JCAA
4100 Wadsworth Blvd.
Wheat Ridge, CO 80033
p 303.985.3260
#22-028

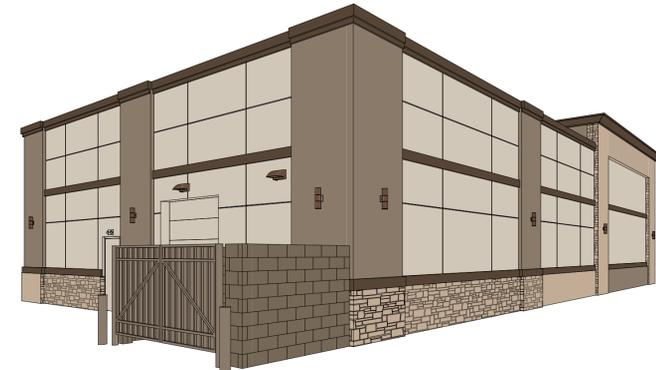
EP-100

RETAIL PAINT STORE

705 W. BAPTIST RD.
COLORADO SPRINGS, CO 80921



8 SOUTHWEST VIEW



6 NORTHWEST VIEW



4 NORTHEAST VIEW



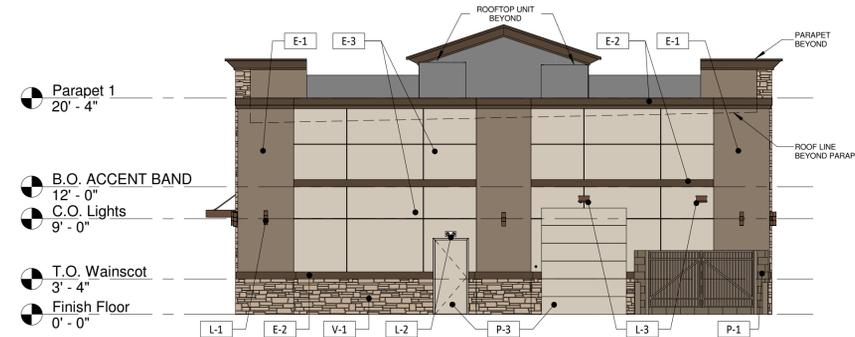
1 SOUTHEAST VIEW

DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		TOTAL
	AREA	PERCENTAGE	AREA	PERCENTAGE	AREA	PERCENTAGE	AREA	PERCENTAGE	
STONE	89 SQFT	20.93%	521 SQFT	24.58%	434 SQFT	16.88%	521 SQFT	19.89%	25.25%
DRYVIT (EFS)	754 SQFT	61.54%	1,480 SQFT	75.42%	450 SQFT	35.58%	1,187 SQFT	66.18%	62.12%
STOREFRONT	0 SQFT	0.00%	0 SQFT	0.00%	330 SQFT	27.54%	273 SQFT	13.93%	9.73%
ROOFS	104 SQFT	10.11%	0 SQFT	0.00%	0 SQFT	0.00%	0 SQFT	0.00%	1.68%
EMU	76 SQFT	7.40%	0 SQFT	0.00%	0 SQFT	0.00%	0 SQFT	0.00%	1.22%
TOTAL	1,023 SQFT		1,981 SQFT		1,214 SQFT		1,981 SQFT		6,199 SQFT

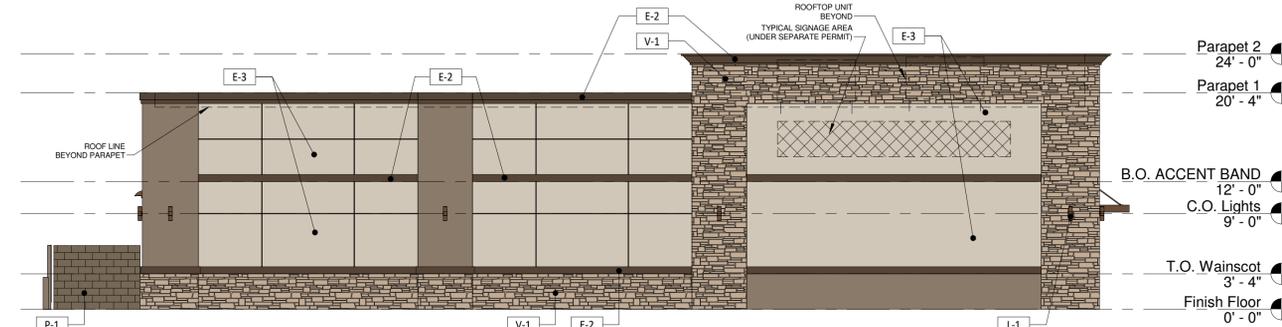
EXTERIOR FINISH SCHEDULE			
MARK	DESCRIPTION	MANUFACTURER & SPEC	SAMPLE
E-1	EIFS - FIELD DRYVIT	SHERWIN-WILLIAMS COLOR: SW 7039 VIRTUAL TALUPE (SCORE LINES PER ELEVATIONS)	
P-1	PAINT		
E-2	EIFS - ACCENT DRYVIT	SHERWIN-WILLIAMS COLOR: SW 7041 VAN DYKE BROWN (PARAPET FLASHING TO MATCH)	
P-2	PAINT		
E-3	EIFS - BAY DRYVIT	SHERWIN-WILLIAMS COLOR: SW 7036 ACCESSIBLE BEIGE (SCORE LINES PER ELEVATIONS)	
P-3	PAINT		
V-1	STONE VENEER	STACKED STONE COLOR: ALDERWOOD TEXTURE: CHISELED FACE	
M-1	ANODIZED ALUMINUM	COLOR: DARK BRONZE (STOREFRONT & AWNINGS TO MATCH)	
R-1	STANDING SEAM METAL ROOF	COLOR: DARK BRONZE (TO MATCH AWNINGS)	

EXTERIOR LIGHTING SCHEDULE

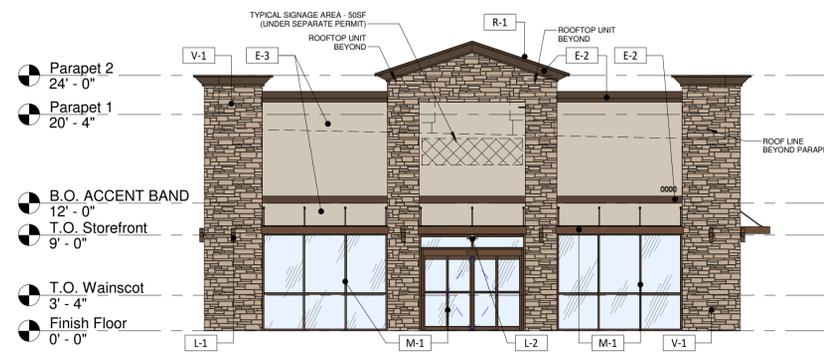
MARK	DESCRIPTION	MANUFACTURER & SPEC
L-1	EXTERIOR LIGHTING	LANTERRA 9004 LED WALL MOUNTED CYLINDER DISTRIBUTION: UP/DOWN COLOR: CLEAR ANODIZED ALUMINUM
L-2	EXTERIOR LIGHTING	LSI-EPM MR-16 THERMOPLASTIC EMERGENCY UNIT LED WALL MOUNTED DISTRIBUTION: DOWN COLOR: WHITE
L-3	EXTERIOR LIGHTING	LN3 LITEPAK LED WALL MOUNTED DISTRIBUTION: DOWN COLOR: GRAY



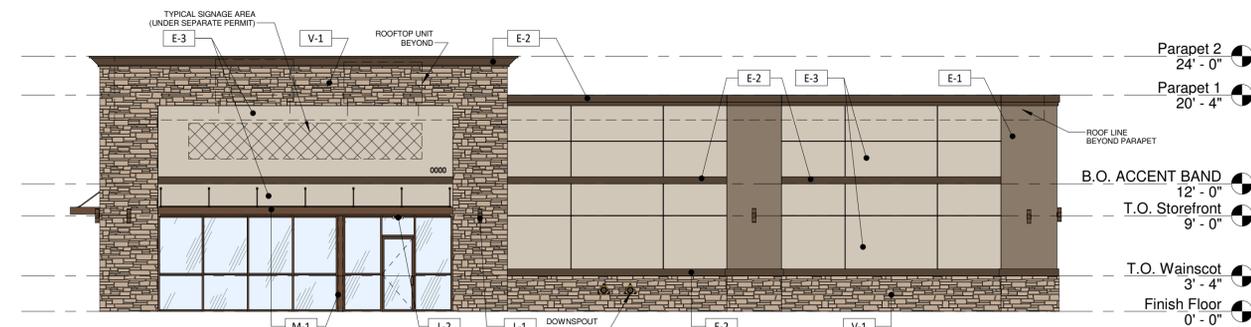
9 SOUTH ELEVATION
1/8" = 1'-0"



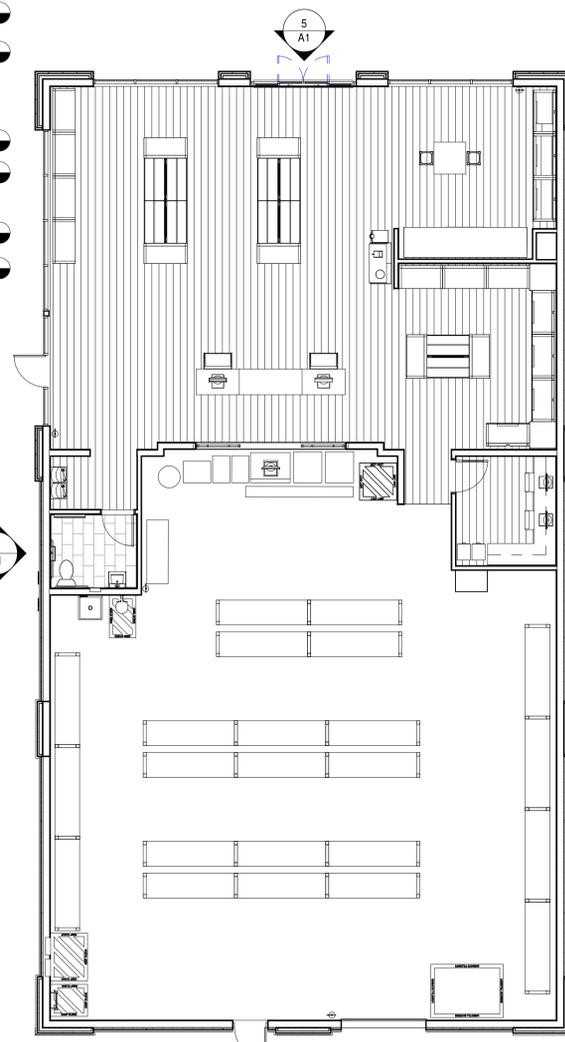
7 EAST ELEVATION
1/8" = 1'-0"



5 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 FLOOR PLAN
1/8" = 1'-0"

LINGLE DESIGN GROUP, INC.
158 WEST MAIN STREET
LENA, IL 61048
815.369.9155
1764 BLAKE ST
DENVER, CO 80202
303.974.5875
WWW.LINGLEDESIGN.COM

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PROJECT #:
21-933
DRAWN BY: BA
CHECKED BY: MP

SCHEMATIC ELEVATIONS - 02/16/22
△ :
△ :
△ :
△ :
△ :
△ :

RETAIL PAINT STORE

Owner
STORE #:
XXXX
ADDRESS:
705 W. BAPTIST RD.
COLORADO SPRINGS, CO
80921
SHEET TITLE:
SCHEMATIC FLOOR
PLAN &
ELEVATIONS
SHEET NUMBER:

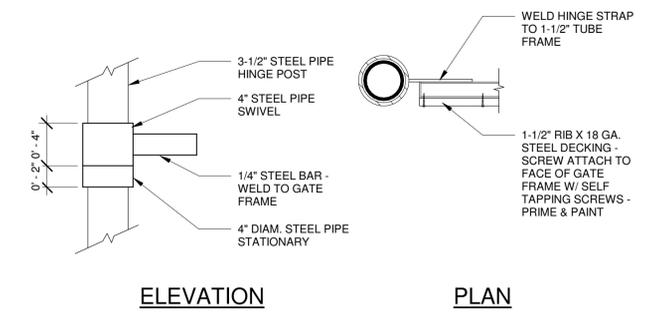
A1

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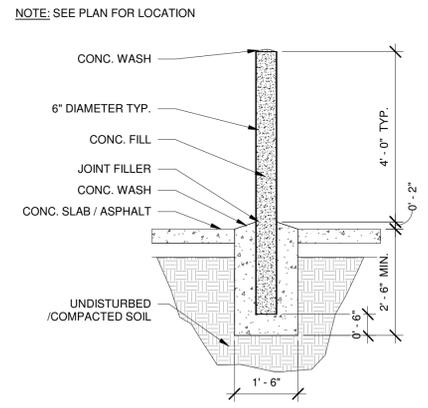
PROJECT #:
 21-903
 DRAWN BY: BA CHECKED BY: MP

SCHEMATIC ELEVATIONS - 02/16/22

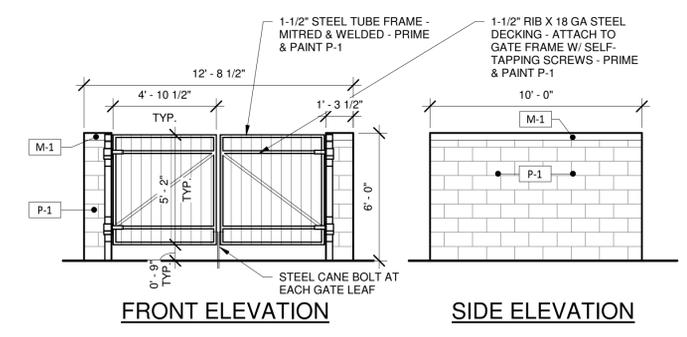
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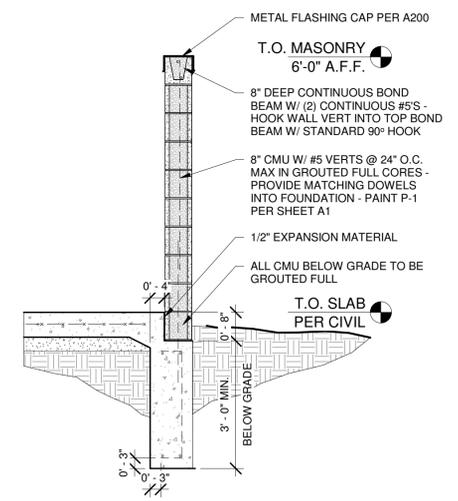
5 HINGE DETAIL
 1 1/2" = 1'-0"



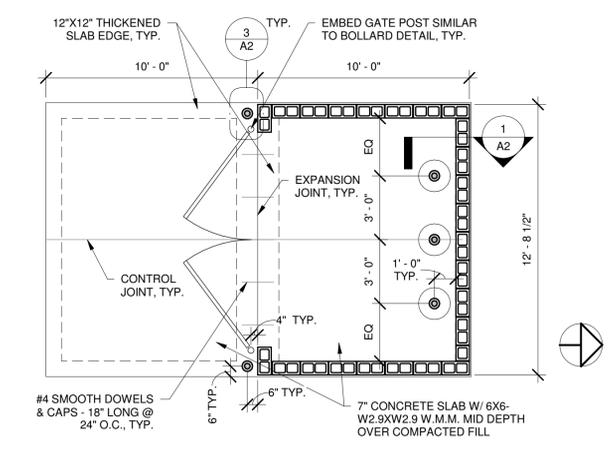
3 BOLLARD DETAIL
 1/2" = 1'-0"



4 TRASH ENCLOSURE ELEVATIONS CMU
 1/4" = 1'-0"



1 TRASH ENCLOSURE WALL SECTION CMU
 1/2" = 1'-0"



2 TRASH ENCLOSURE PLAN CMU
 1/4" = 1'-0"

RETAIL PAINT STORE

Owner
 STORE #:
 XXXX
 ADDRESS:
 705 W. BAPTIST RD.
 COLORADO SPRINGS, CO
 80921

TRASH ENCLOSURE

SHEET NUMBER: