

705 W. BAPTIST RD. PRELIMINARY SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD



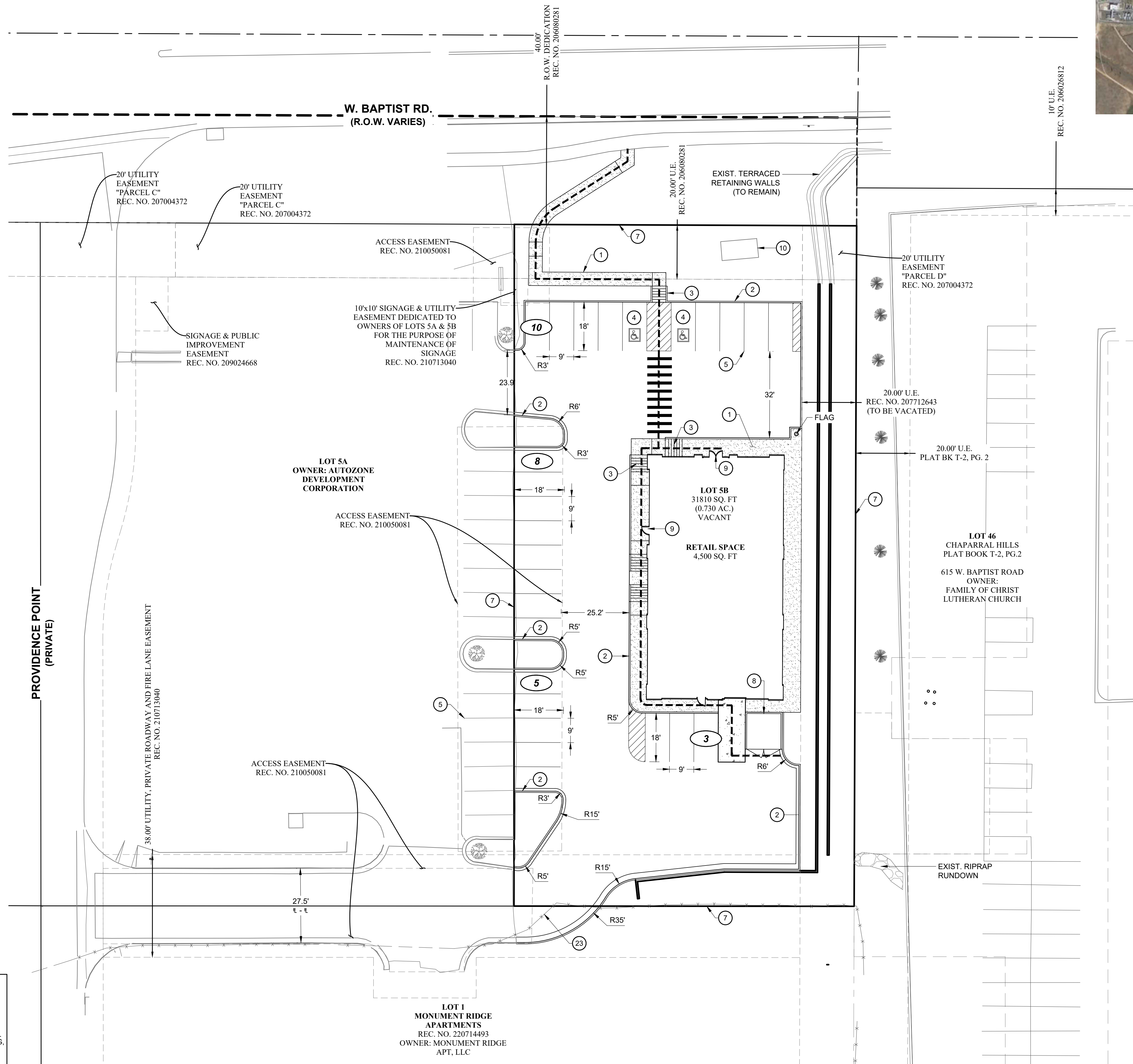
VICINITY MAP
1" = 1000'

SITE SCHEDULE

- 1 CONCRETE SIDEWALK.
- 2 CURB AND GUTTER.
- 3 HANDICAP RAMP
- 4 HANDICAP PARKING
- 5 PARKING STRIPE (TYP.)
- 6 PEDESTRIAN ADA ROUTE.
- 7 PROPERTY LINE.
- 8 TRASH ENCLOSURE (SEE ARCHITECTURAL FOR SCREENING).
- 9 BUILDING ENTRANCE.
- 10 ELECTRICAL TRANSFORMER.
- 11 SITE LIGHTING.
- 12 STORM INLET/MANHOLE
- 13 FIRE DEPARTMENT CONNECTION.
- 14 PROPOSED CENTERLINE.
- 15 EXISTING PARKING STALL (TYP.)
- 16 EXISTING SANITARY MANHOLE.
- 17 EXISTING STORM SEWER MANHOLE.
- 18 EXISTING STORM INLET.
- 19 EXISTING ROADWAY STRIPING.
- 20 EXISTING TELECOMM BOX.
- 21 EXISTING TREE.
- 22 EXISTING UTILITY POLE.
- 23 EXISTING FENCE

SHEET INDEX

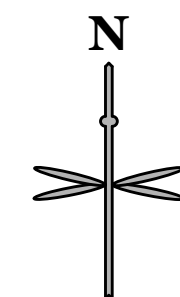
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4	LANDSCAPE PLAN
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SITE DATA CHART		
	SQUARE FEET	ACRES
TOTAL SITE AREA:	31,810	0.730±
TOTAL STRUCTURE COVERAGE:	4,512	0.103
TOTAL PARKING/DRIVE COVERAGE:	18,268	0.420
PROPOSED GROSS FLOOR AREA:	4,500	0.148

LEGEND

- PROPOSED BUILDING
- PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PARKING COUNT
- PROPOSED SITE LIGHTING
- PROPOSED CONCRETE DRIVE/PARKING
- PROPOSED CONCRETE WALK
- PROPOSED ASPHALT DRIVE
- DENOTES TRAFFIC FLOW PATTERNS
- DENOTES ADA ROUTE
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- PROPOSED SIGN
- PROPOSED SITE LIGHTING



SCALE IN FEET
0 20 40
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WALL DEVELOPMENT GROUP

SITE PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO

PROJECT NO: WDV004.01
DESIGNED BY: MSG
DRAWN BY: OWS
DATE: 02/25/2022
1 OF 10

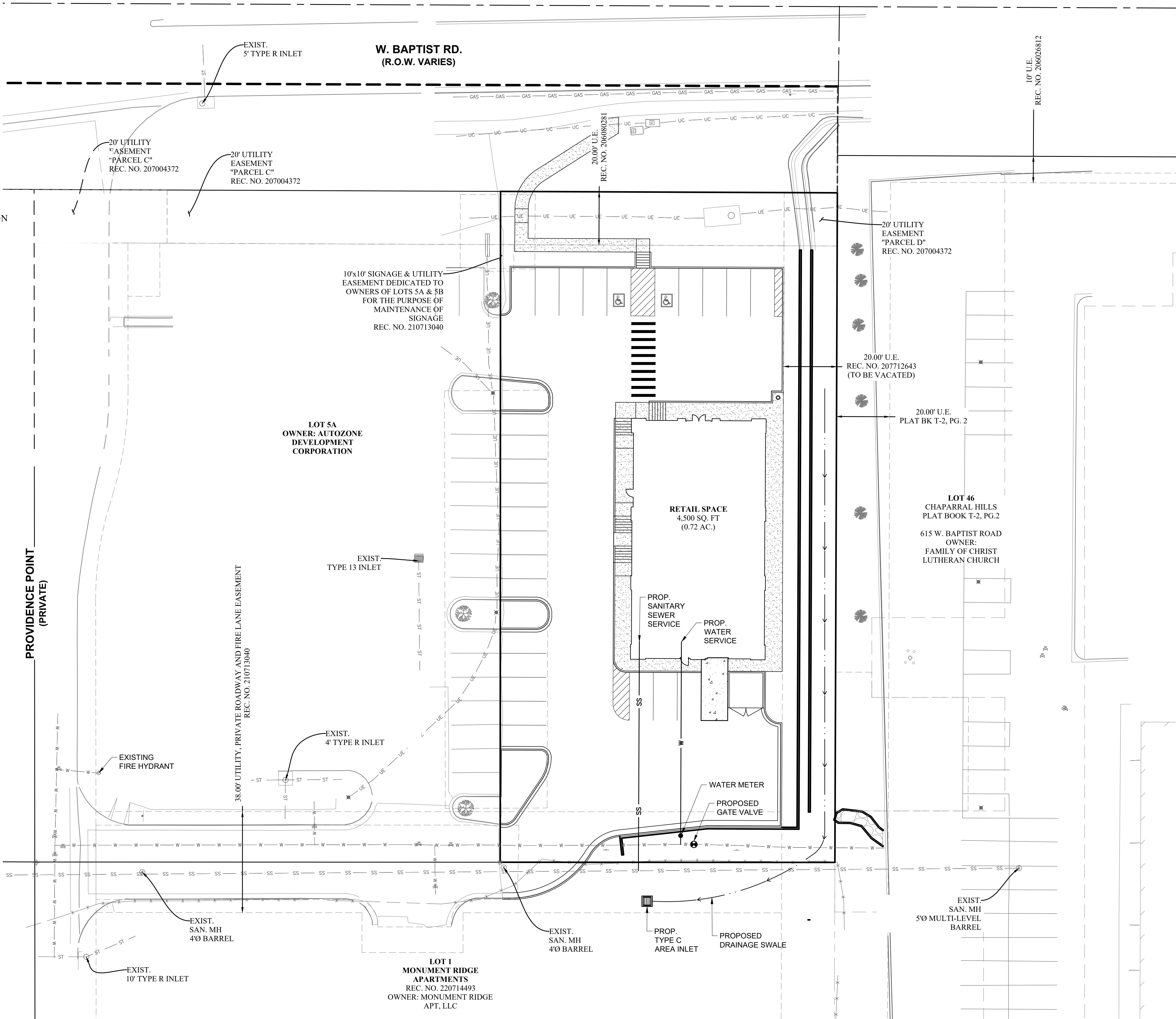
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UTILITY LEGEND

- COMMUNICATIONS VAULT
- ELECTRIC MANHOLE
- FIRE HYDRANT
- BURIED WATER WARNING SIGN
- PARKING LIGHT
- SIGN
- SANITARY SEWER MANHOLE
- VALVE BOX
- DECIDUOUS TREE
- CONIFEROUS TREE

SS — SS — SS — SS — SS — SS —
W — W — W — W — W — W —
UE — UE — UE — UE — UE — UE —
GAS — GAS — GAS — GAS — GAS — GAS —
UC — UC — UC — UC — UC — UC —
SANITARY SEWER
WATER LINE
UNDERGROUND ELECTRIC
UNDERGROUND GAS
UNDERGROUND COMMUNICATIONS



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PRELIMINARY UTILITY PLAN

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2 OF 10

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GRADING LEGEND

- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- 5256.21 PROPOSED FLOW LINE ELEVATION
- 5256.21 SW PROPOSED SIDEWALK ELEVATION
- 5256.21 ME PROPOSED GRADE TO MATCH EXISTING
- 5256.21 TBC PROPOSED TOP BACK OF CURB ELEVATION
- 5256.21 FG PROPOSED FINISHED GRADE ELEVATION
- 5256.21 PROPOSED EXTERIOR GRADE AT FOUNDATION
- HP HIGH POINT

LEGEND

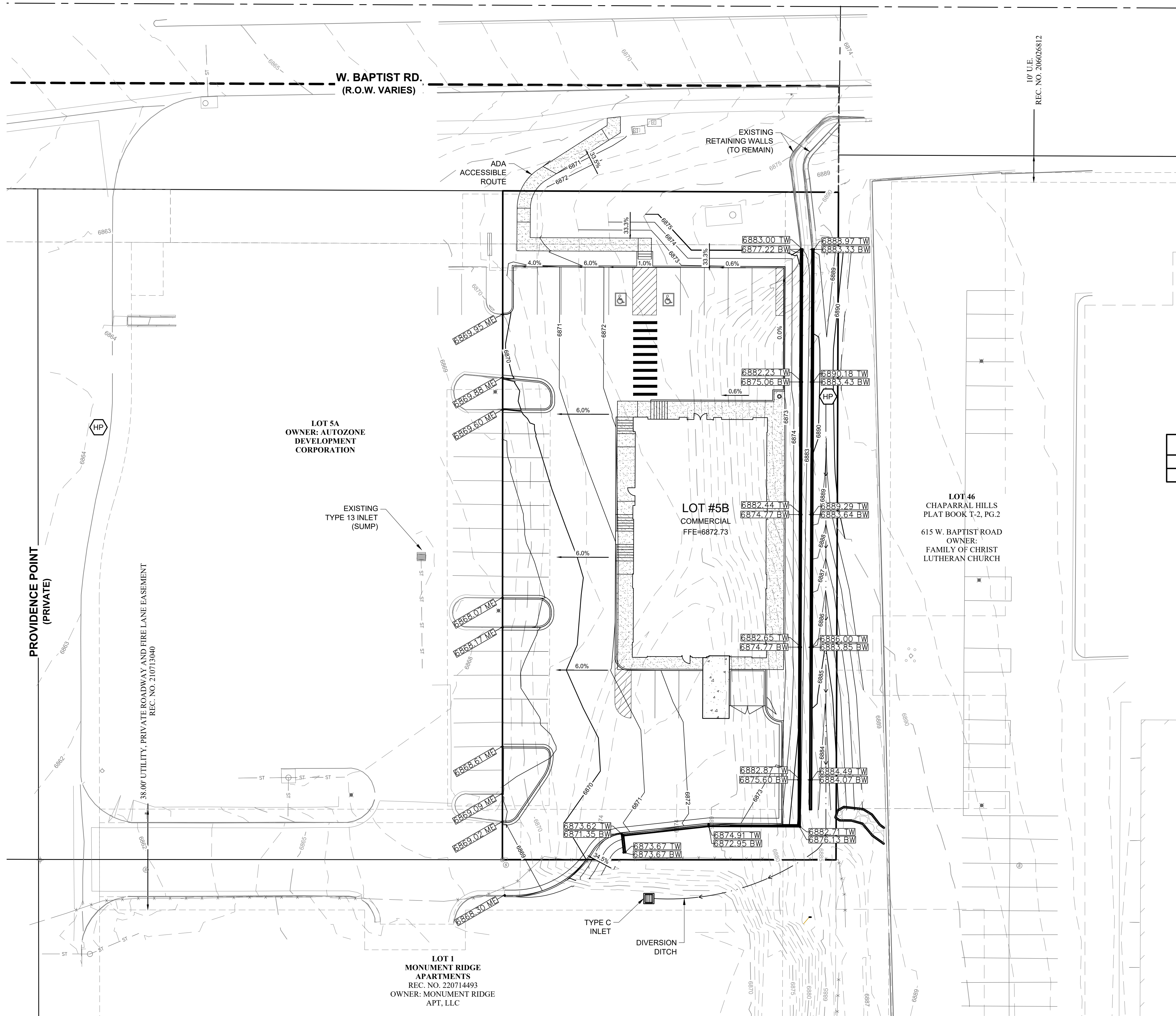
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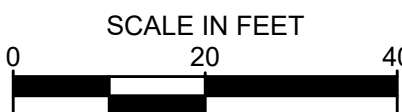
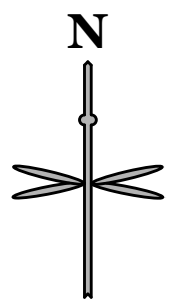
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EARTHWORK SUMMARY		
CUT (CY)	FILL (CY)	NET (CY)
3,193	28	3,165 (EXPORT)



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705 WEST BAPTIST ROAD, MONUMENT CO
PRELIMINARY GRADING PLAN

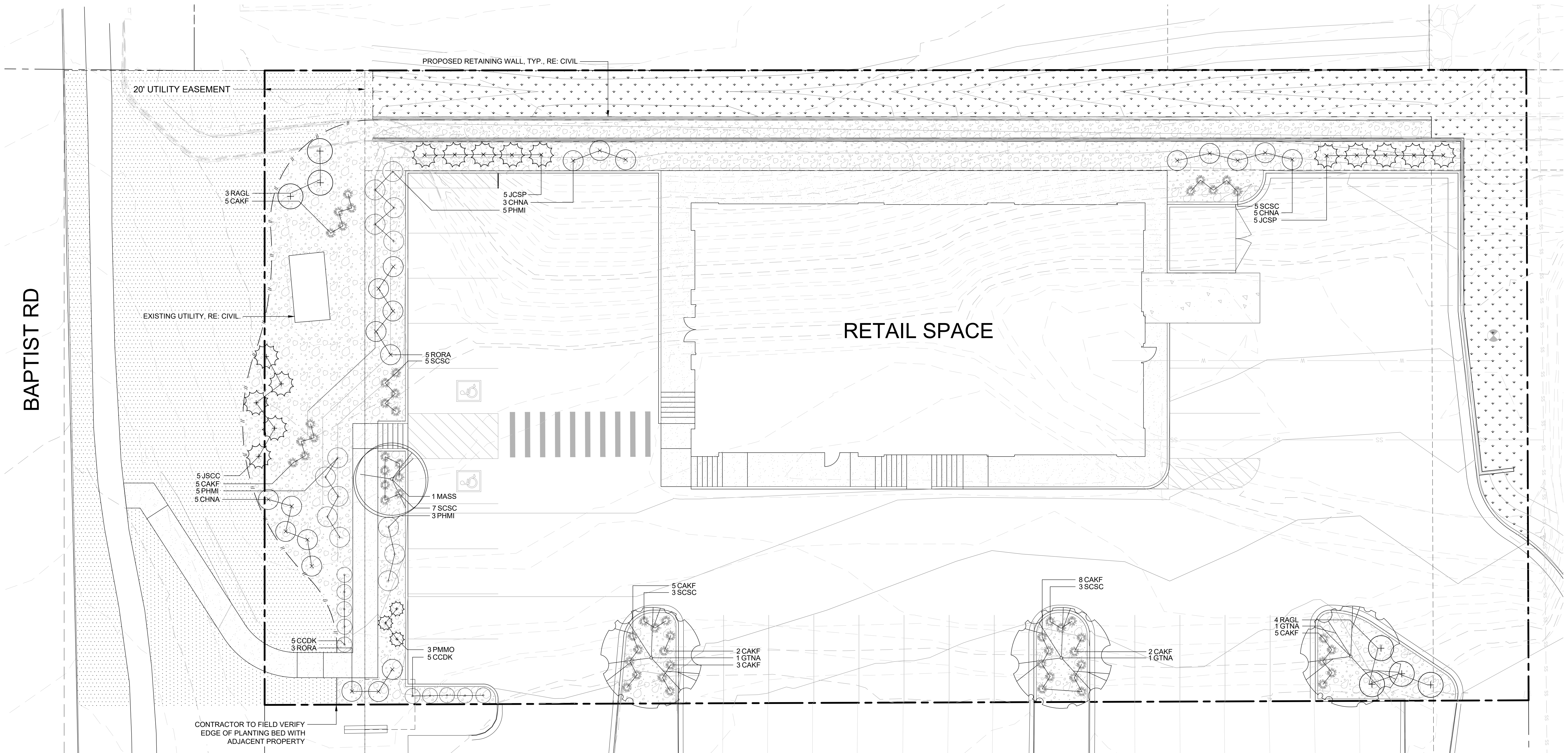
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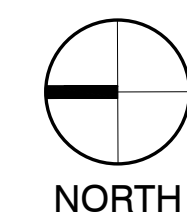
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705 WEST BAPTIST ROAD



1 LANDSCAPE PLAN



0 10 20 40 feet
SCALE: 1" = 10'

LEGEND

---	PROPERTY LINE		DECIDUOUS TREE		DECIDUOUS SHRUBS		SOD
---	UTILITY EASEMENT		EVERGREEN TREE		EVERGREEN SHRUBS		NATIVE SEED
---	SEED LIMIT LINE		ORNAMENTAL TREE		ORNAMENTAL GRASS		ROCK MULCH
---	LANDSCAPE EDGER				PERENNIALS		



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LANDSCAPE PLAN

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L1.01

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PLANT SCHEDULE

<u>DECIDUOUS TREES</u> GTNA	<u>QTY</u> 3	<u>BOTANICAL NAME</u> GLEDITSIA TRIACANTHOS 'INERMIS 'NORTHERN ACCLAIM'	<u>COMMON NAME</u> NORTHERN ACCLAIM HONEY LOCUST	<u>CONT</u> B & B	<u>CAL</u> 1.5" CAL	<u>REMARKS</u>
<u>ORNAMENTAL TREES</u> MASS	<u>QTY</u> 1	<u>BOTANICAL NAME</u> MALUS X 'SPRING SNOW'	<u>COMMON NAME</u> SPRING SNOW CRABAPPLE	<u>CONT</u> B & B	<u>CAL</u> 1" CAL	<u>REMARKS</u>
<u>DECIDUOUS SHRUBS</u> CCDK CHNA PHMI RAGL RORA	<u>QTY</u> 10 13 13 7 8	<u>BOTANICAL NAME</u> CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' CHRYSOTHAMNUS NAUSEOSUS PHILADELPHUS MICROPHYLLUS RHUS AROMATICA 'GRO-LOW' ROSA X 'RADRAZZ'	<u>COMMON NAME</u> DARK KNIGHT SPIREA RABBITBRUSH LITTLELEAF MOCKORANGE GRO-LOW FRAGRANT SUMAC KNOCK OUT ROSE	<u>CONT</u> #5 #5 #5 #5 #5		
<u>EVERGREEN SHRUBS</u> JCSP JSCC PMMO	<u>QTY</u> 10 5 3	<u>BOTANICAL NAME</u> JUNIPERUS CHINENSIS 'SPARTAN' JUNIPERUS SABINA 'CALGARY CARPET' PINUS MUGO 'MOPS'	<u>COMMON NAME</u> SPARTAN JUNIPER CALGARY CARPET JUNIPER MOPS MUGO PINE	<u>CONT</u> #5 #5 #5		
<u>ORNAMENTAL GRASSES</u> CAKF SCSC	<u>QTY</u> 35 23	<u>BOTANICAL NAME</u> CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' SCHIZACHYRIUM SCOPARIUM	<u>COMMON NAME</u> KARL FOERSTER FEATHER REED GRASS LITTLE BLUESTEM	<u>CONT</u> #1 #1		
<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONT @</u>		
	4,615 SF		NATURE'S PRAIRIE SOD	SOD		
	3,086 SF	BOUTELOUA GRACILIS	NATIVE SEED	SEED		

OVERALL SITE LANDSCAPE REQUIREMENTS

NET SITE AREA	LANDSCAPE AREA		TREE REQUIREMENT 1/925 SF		SHRUB/ORNAMENTAL GRASS REQUIREMENT 8/100 SF	
	REQUIRED (10%)	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
31,810 SF	3,181 SF	12,899 SF	4	4	127*	127

NOTE:
*SHRUB/ORNAMENTAL GRASS REQUIREMENT CALCULATION BASED ON MAXIMUM REQUIREMENT OF 50% OF THE TOTAL LANDSCAPE AREA TO BE DEDICATED TO NATIVE GRASS AREA.

PARKING LOT LANDSCAPE REQUIREMENTS

TOTAL PARKING SPACES	TREE REQUIREMENT 1/10 SPACES	
	REQUIRED	PROVIDED
26 SPACES	3	3

GENERAL NOTES:

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
2. COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
4. NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
2. THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC. SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
 - A) ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY. EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
 - B) PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
 - C) LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
 - D) PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
 - E) PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
4. CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
5. LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
6. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/DRIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION.

TURF SOD:

1. TURF GRASS SOD SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLAN FOR CONTINUITY WITH ADJACENT PROPERTY LANDSCAPING. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING TURF GRASS SOD ON ADJACENT PROPERTY.
2. KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS RESTORED TO ORIGINAL CONDITIONS.
3. ALL SOD SHALL BE NATURE'S PRAIRIE SOD AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
4. ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOD IS DORMANT OR THE GROUND IS FROZEN.
5. ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.

NATIVE SEED

1. ALL NATIVE SEED AREAS SHALL BE SEEDED WITH 100% BLUE GRAMA (BOUTELOUA GRACILIS) AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.

MULCH:

1. WOOD MULCH, NON-DYED SHREDDED CEDAR MULCH OR APPROVED EQUAL.
2. ROCK MULCH, MATCH EXISTING ROCK MULCH ON ADJACENT PROPERTY OR APPROVED EQUAL. INSTALL OVER LANDSCAPE FABRIC, DEPRESSED 2" BELOW SURROUNDING CURBS AND WALKS. PLACE WITH TIGHT JOINTS.
3. GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

EDGING:

1. ALL EDGING SHALL BE 3/16" X 5 1/2" GREEN PAINTED "RYERSON TYPE" METAL EDGING W/ MILLED EDGE AND ANCHOR STAKES PER MANUFACTURE'S SPECIFICATIONS OR EQUAL.



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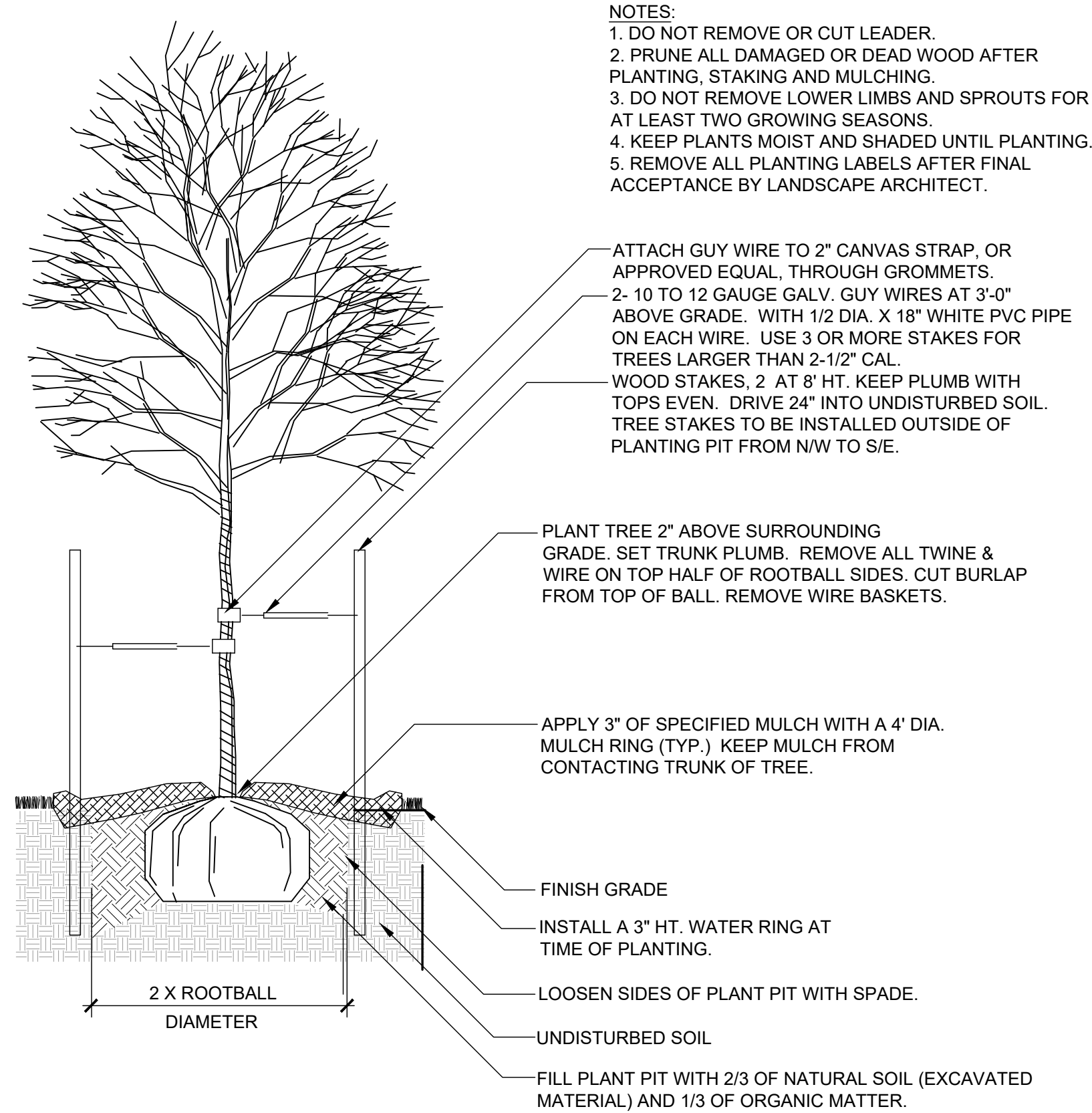
PLANTING SCHEDULE & NOTES

PROJECT NO:	WDV004.01
DESIGNED BY:	MSG
DRAWN BY:	OWS
DATE:	02/25/2022

L2.01

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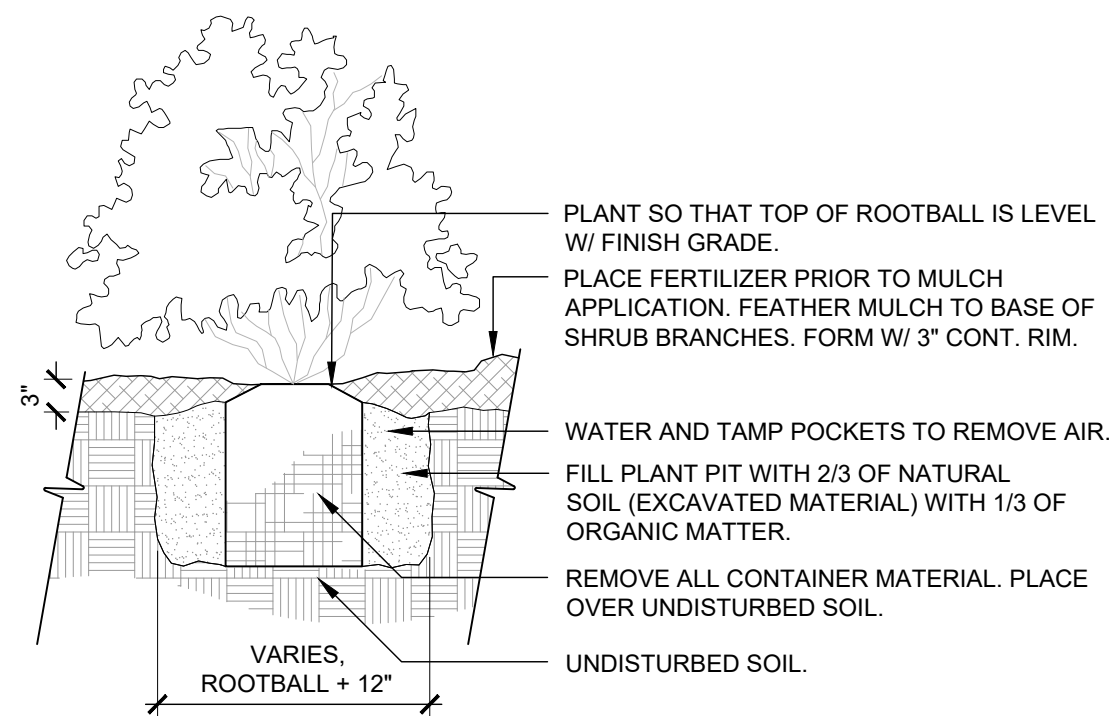


NOTE: ALL TREES LOCATED WITHIN SIGHT TRIANGLES OR WITHIN 100' APPROACHING A STOP SIGN ARE TO BE LIMBED TO 8'. AT ONSET OF WINTER FOR THE FIRST YEAR OF INSTALLATION, WRAP ENTIRE SURFACE OF TRUNK UP TO BRANCHES. SECURE AT TOP AND BOTTOM WITH DUCT TAPE. AT ONSET OF SPRING REMOVE ALL WRAPPING.

1 DECIDUOUS TREE PLANTING

1" = 1'-0"

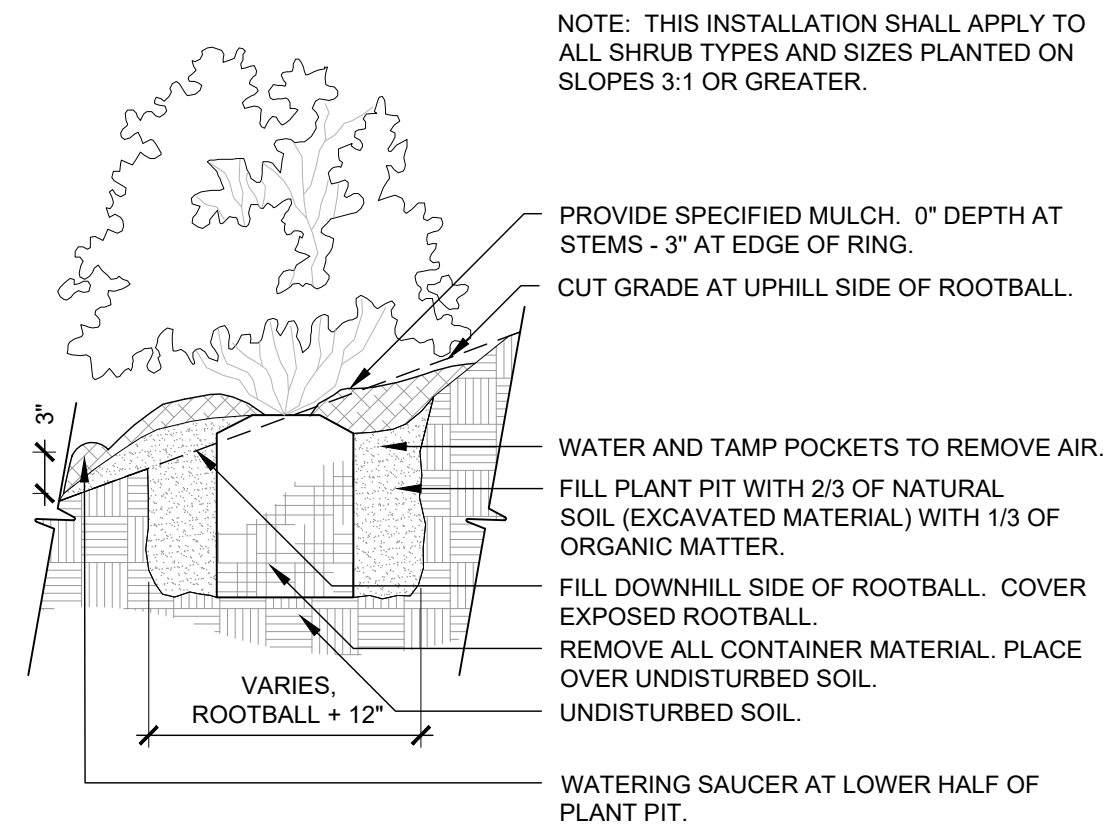
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2 SHRUB PLANTING

1 1/2" = 1'-0"

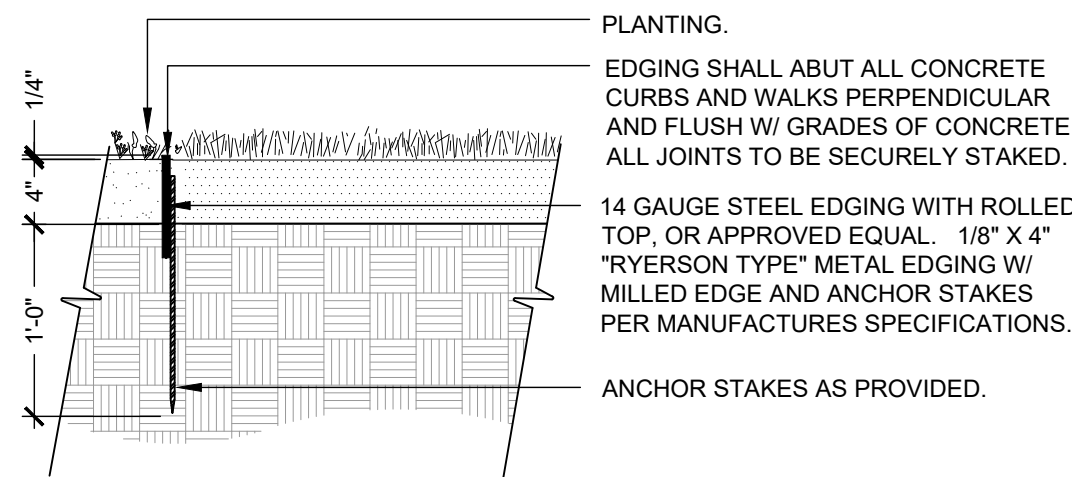
329333.13-10



3 SHRUB PLANTING ON SLOPE

1 1/2" = 1'-0"

329333.13-15



4 STEEL EDGING

1" = 1'-0"

329413.23-01

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LANDSCAPE DETAILS

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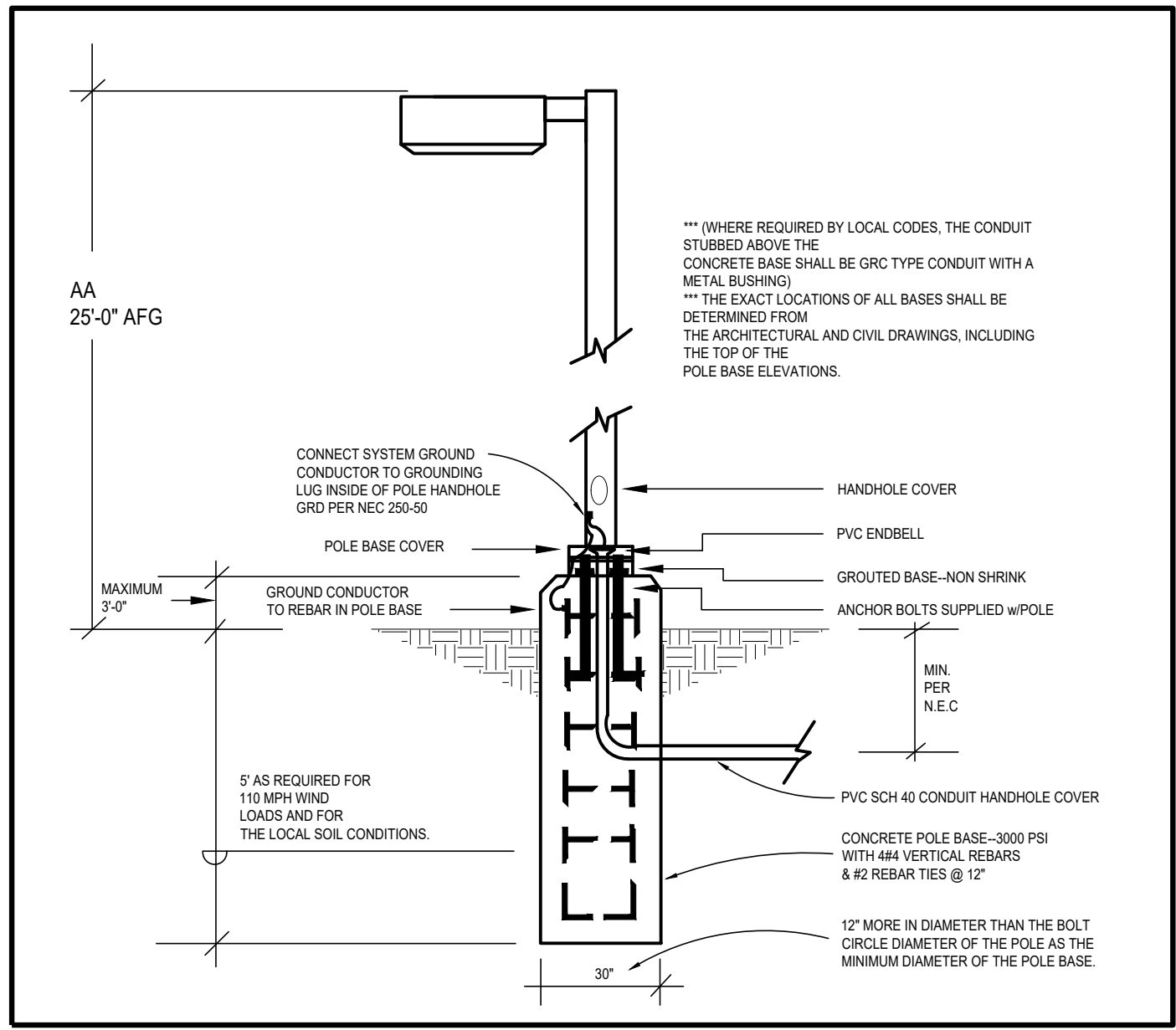
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No.	REVISION	BY	DATE

705 W. BAPTIST RD.
SITE PLAN

LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 36, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF MONUMENT, COUNTY OF EL PASO, STATE OF COLORADO
705 WEST BAPTIST ROAD

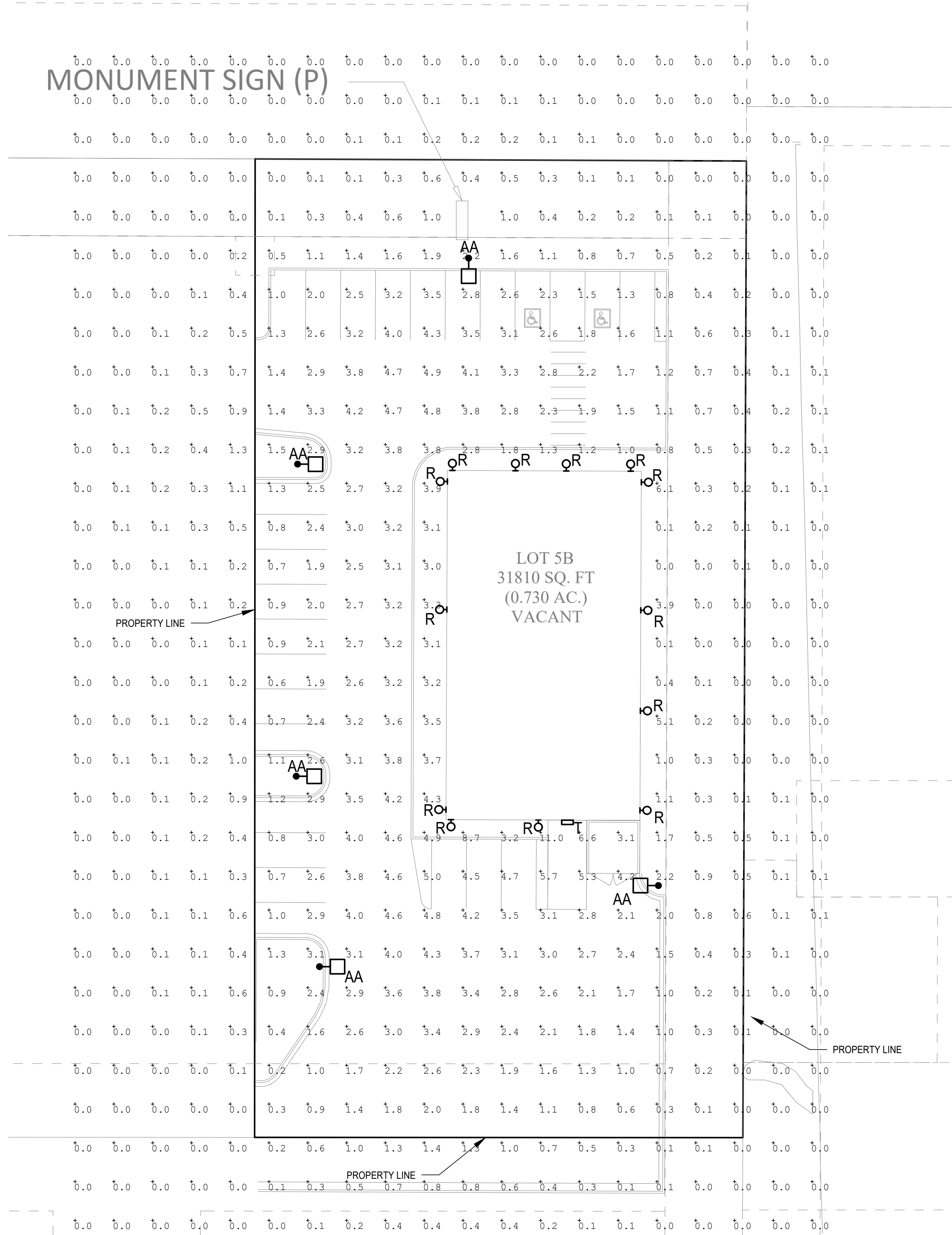


2 TYPICAL POLE BASE DETAIL
scale: N.T.S.

LUMINAIRE SCHEDULE

FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA	LAMP WATTS	MOUNTING METHOD	MTG HEIGHT	DESCRIPTION	VOLTS
	NAME	CATALOG NUMBER							
AA	LSI	MRS-LED-15L-SIL-3-UNV-DIM-40-70CRI-BLK-IH		LED	111	POLE	25'-0"	POLE MOUNTED SITE LIGHT. 25'-0" FLAT LENS TO BE USED WITH HOUSE SIDE SHIELD	UNV
R	EATON	9004-W2-RW-LED4080-S-S-CS-L1-UNV-WIS		LED	28.5	SURFACE	8'-8"	EXTERIOR UP/DOWN SCONCE (MOUNT 8'-8" AFF TO CENTER OF FIXTURE U.N.O.)	UNV
T	HUBBELL	LNC3		LED	60	SURFACE	10'-6"	MIDSIZED LED WALLPACK (WITH OPTIONAL PHOTO-EYE SWITCH)	UNV

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	Illuminance	Fc	1.02	11.0	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	2.67	5.7	0.6	4.45	9.50



1 PHOTOMETRIC PLAN
scale: 1"=20'-0"



811

Know what's below.
Call before you dig.

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL
DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG,
GRADE, OR EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

JCA
CONSULTING

JCAA
4100 Wadsworth Blvd.
Wheat Ridge, CO 80033
p 303.985.3260

PHOTOMETRIC PLAN
705 W. BAPTIST RD.
705 WEST BAPTIST ROAD, MONUMENT CO

PROJECT NO: #22-028
DESIGNED BY: JCAA
DRAWN BY: ATE
DATE: 02/01/2022

EP-100

DATE

BY

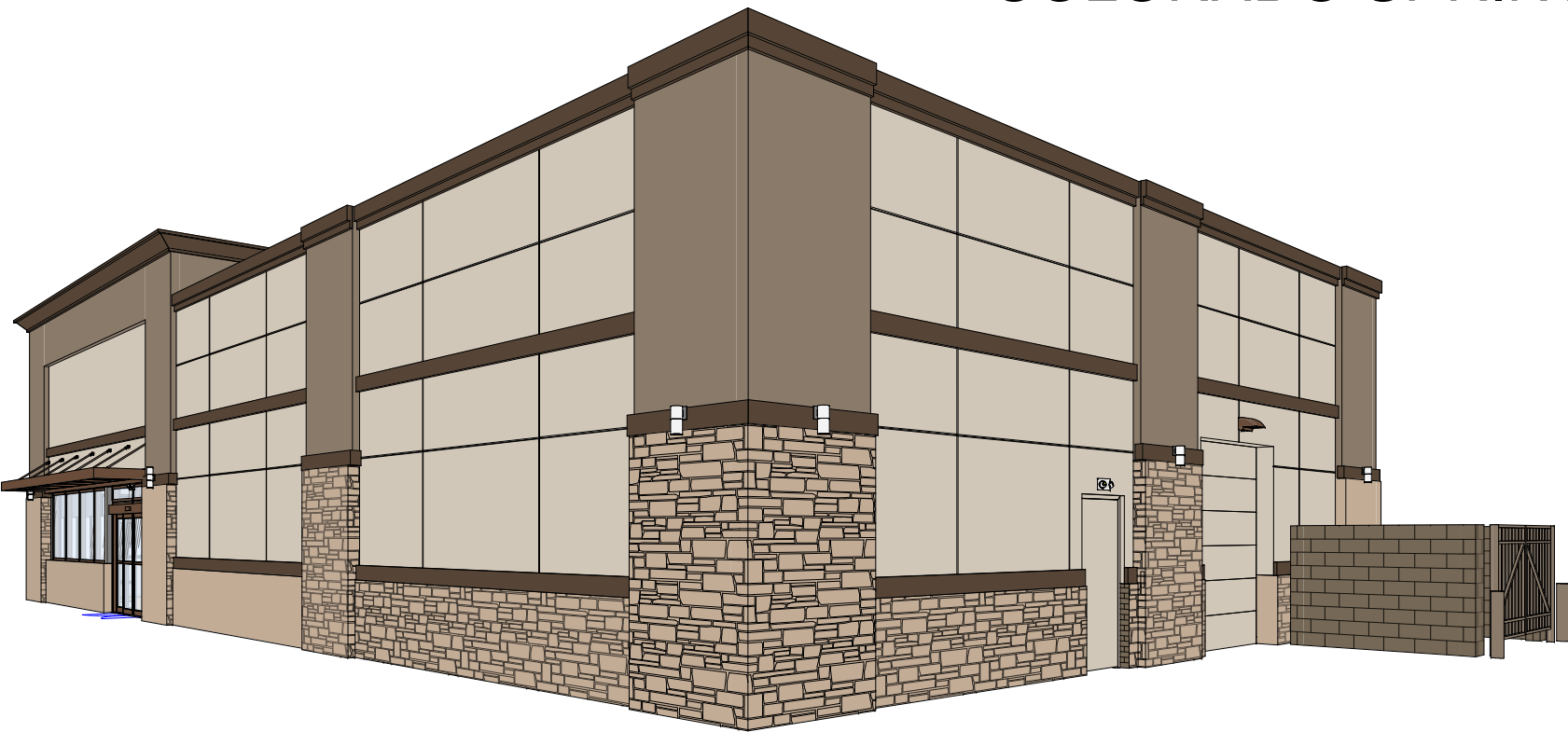
REVISION

No.

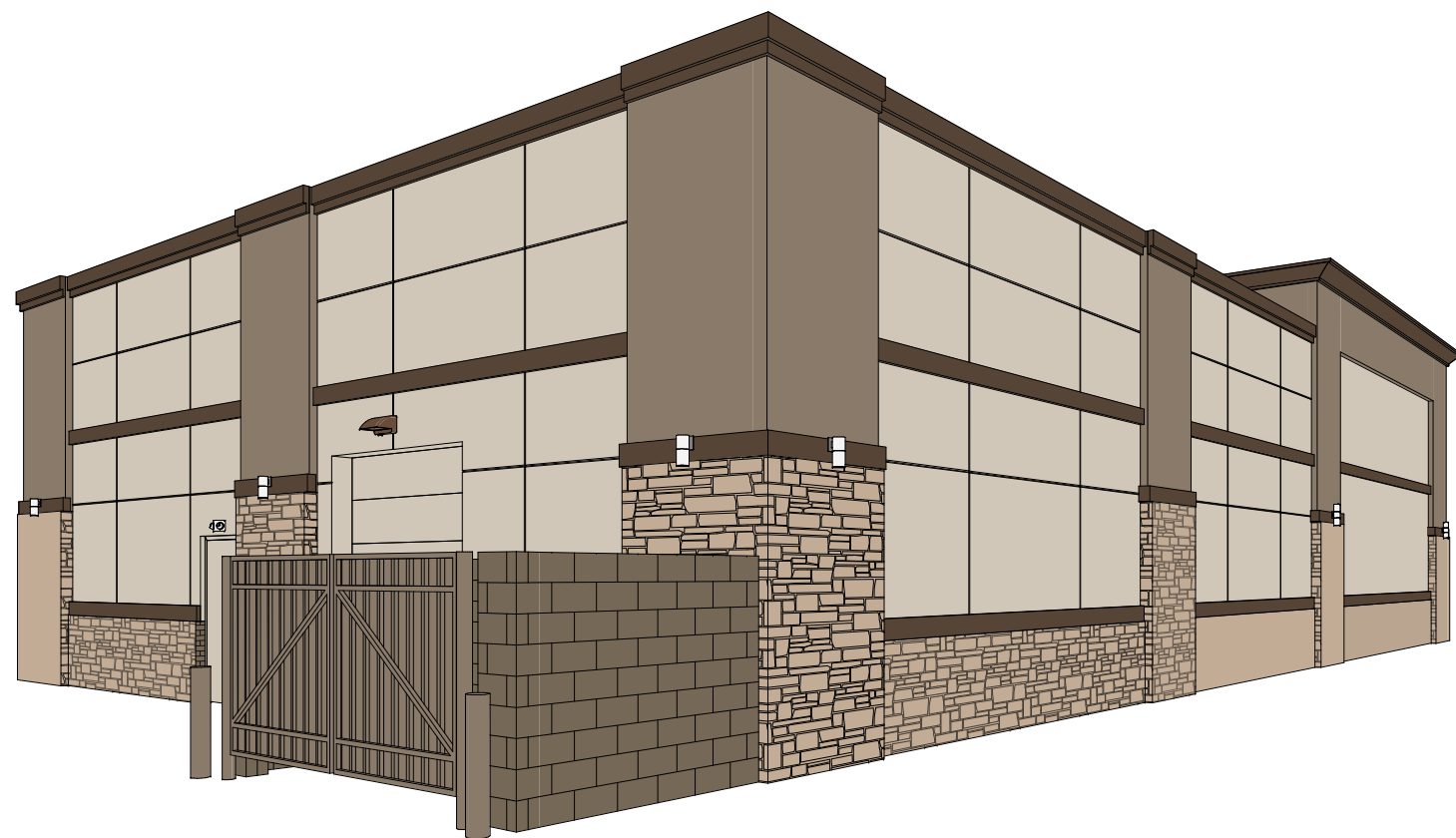
PRELIMINARY
NOT FOR
CONSTRUCTION

RETAIL PAINT STORE

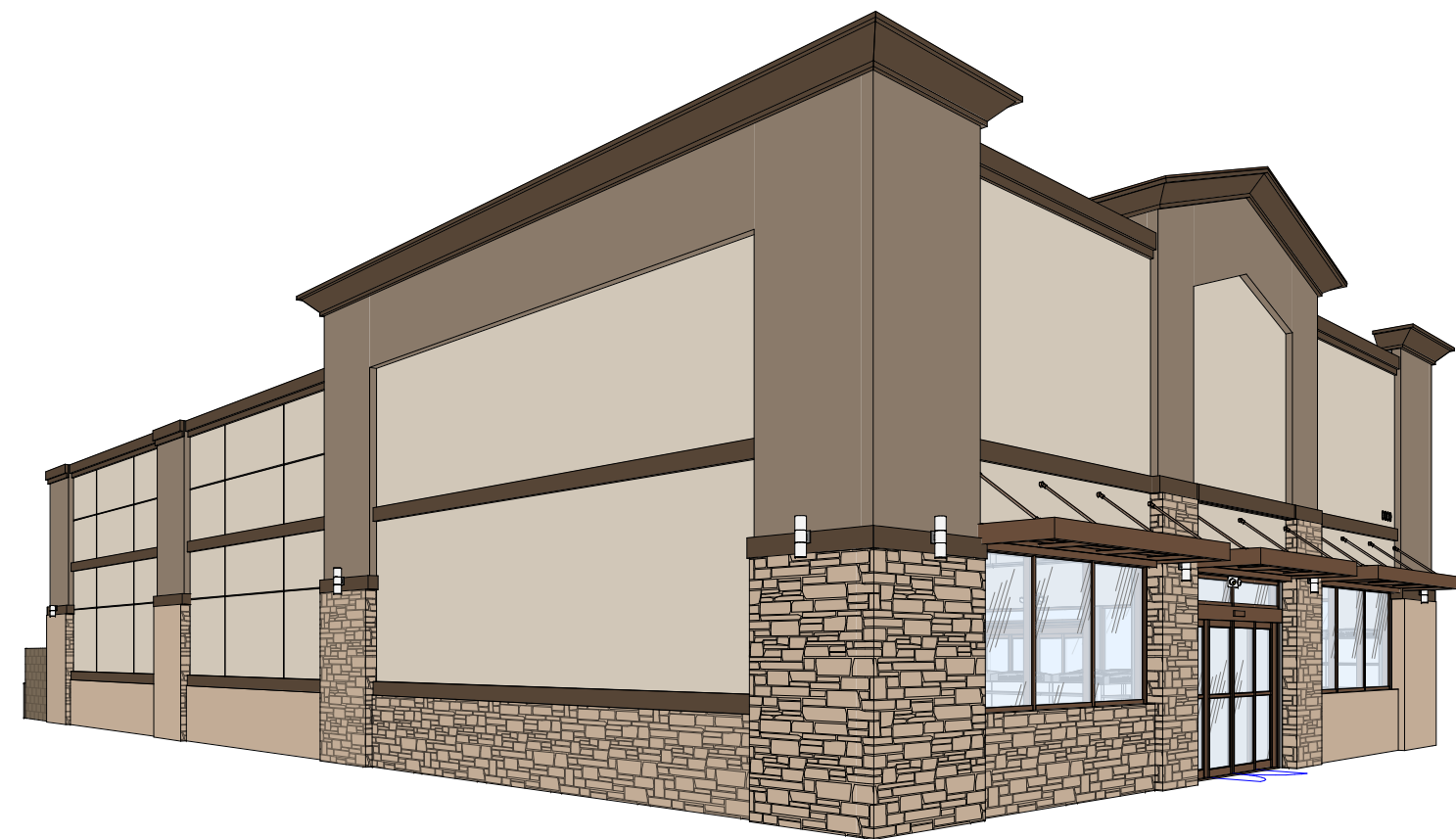
705 W. BAPTIST RD.
COLORADO SPRINGS, CO 80921



8 SOUTHWEST VIEW



6 NORTHWEST VIEW



4 NORTHEAST VIEW

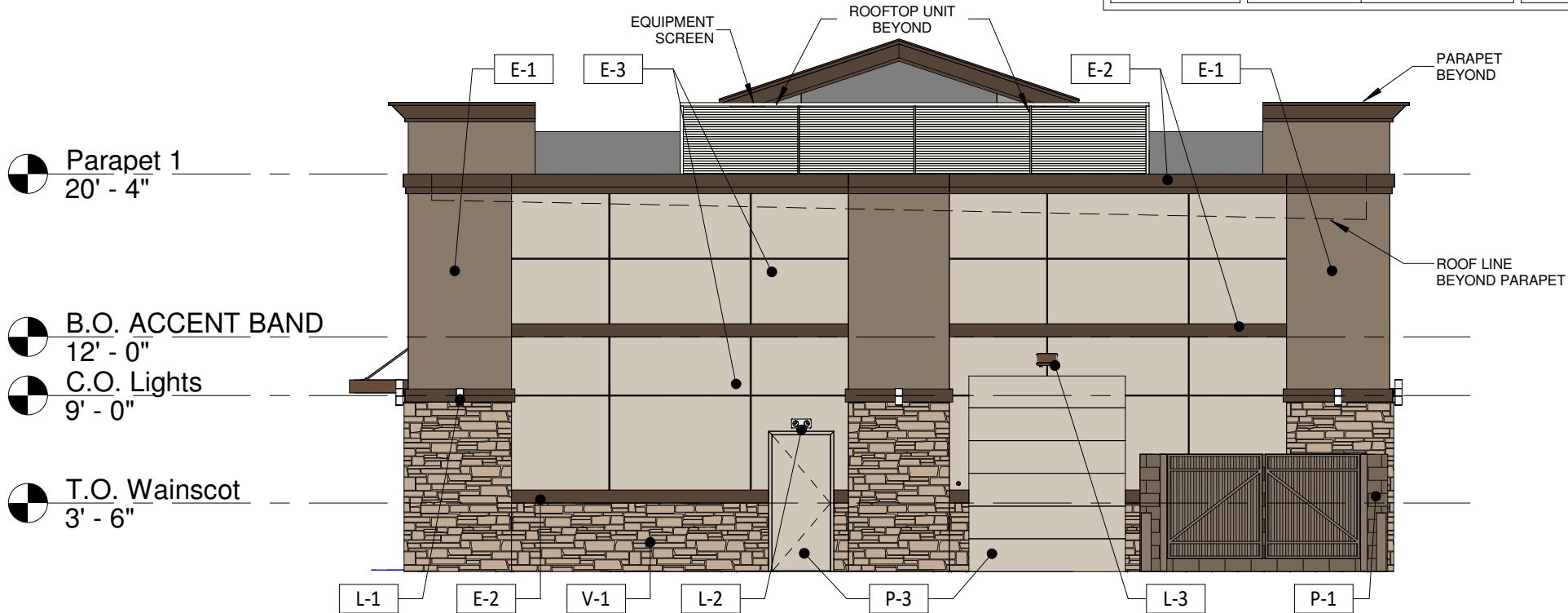


1 SOUTHEAST VIEW

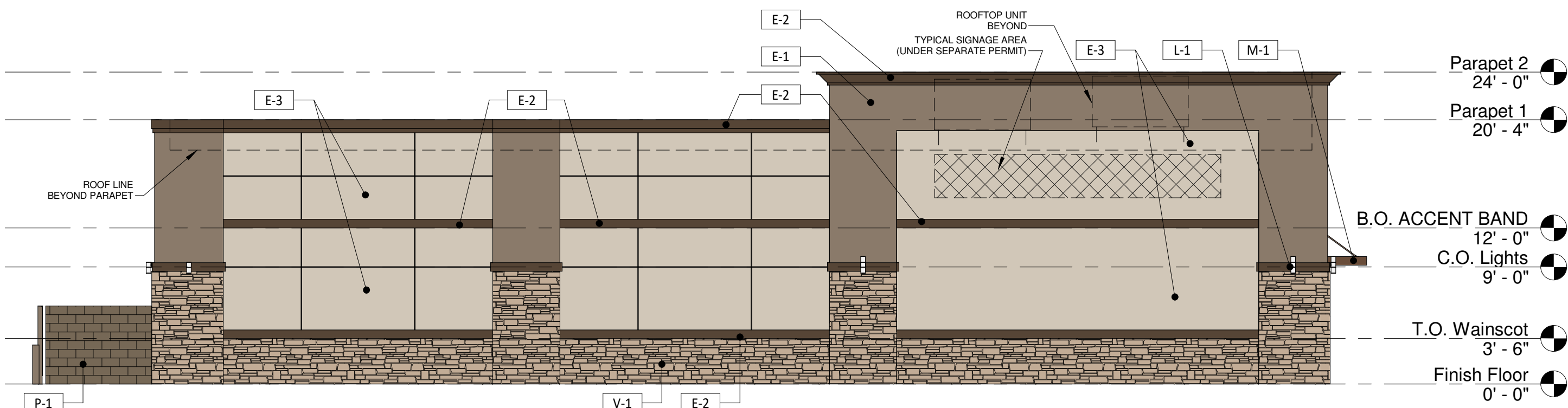
FINISH AREA CALCULATIONS									
DESCRIPTION	SOUTH ELEVATION		EAST ELEVATION		NORTH ELEVATION		WEST ELEVATION		TOTAL
	AREA	PERCENTAGE	AREA	PERCENTAGE	AREA	PERCENTAGE	AREA	PERCENTAGE	
STONE	165 SQFT	16.10%	430 SQFT	21.73%	251 SQFT	20.81%	392 SQFT	19.81%	20.00%
DRYVIT (EIFS)	680 SQFT	66.34%	1,549 SQFT	78.27%	705 SQFT	58.46%	1,376 SQFT	69.63%	69.67%
STOREFRONT	0 SQFT	0.00%	0 SQFT	0.00%	250 SQFT	20.73%	209 SQFT	10.56%	7.42%
ROOFS	104 SQFT	10.15%	0 SQFT	0.00%	0 SQFT	0.00%	0 SQFT	0.00%	1.68%
CMU	76 SQFT	7.41%	0 SQFT	0.00%	0 SQFT	0.00%	0 SQFT	0.00%	1.23%
TOTAL	1,025 SQFT		1,979 SQFT		1,206 SQFT		1,979 SQFT		6,189 SQFT

EXTERIOR LIGHTING SCHEDULE		
MARK	DESCRIPTION	MANUFACTURER & SPEC
L-1	EXTERIOR LIGHTING	LAN TERRA 9004 LED WALL MOUNTED CYLINDER DISTRIBUTION: UP/DOWN COLOR: CLEAR ANODIZED ALUMINUM
L-2	EXTERIOR LIGHTING	LSI-EPM MR-16 THERMOPLASTIC EMERGENCY UNIT LED WALL MOUNTED DISTRIBUTION: DOWN COLOR: WHITE
L-3	EXTERIOR LIGHTING	LNCS LITEPAK LED WALL MOUNTED DISTRIBUTION: DOWN COLOR: GRAY

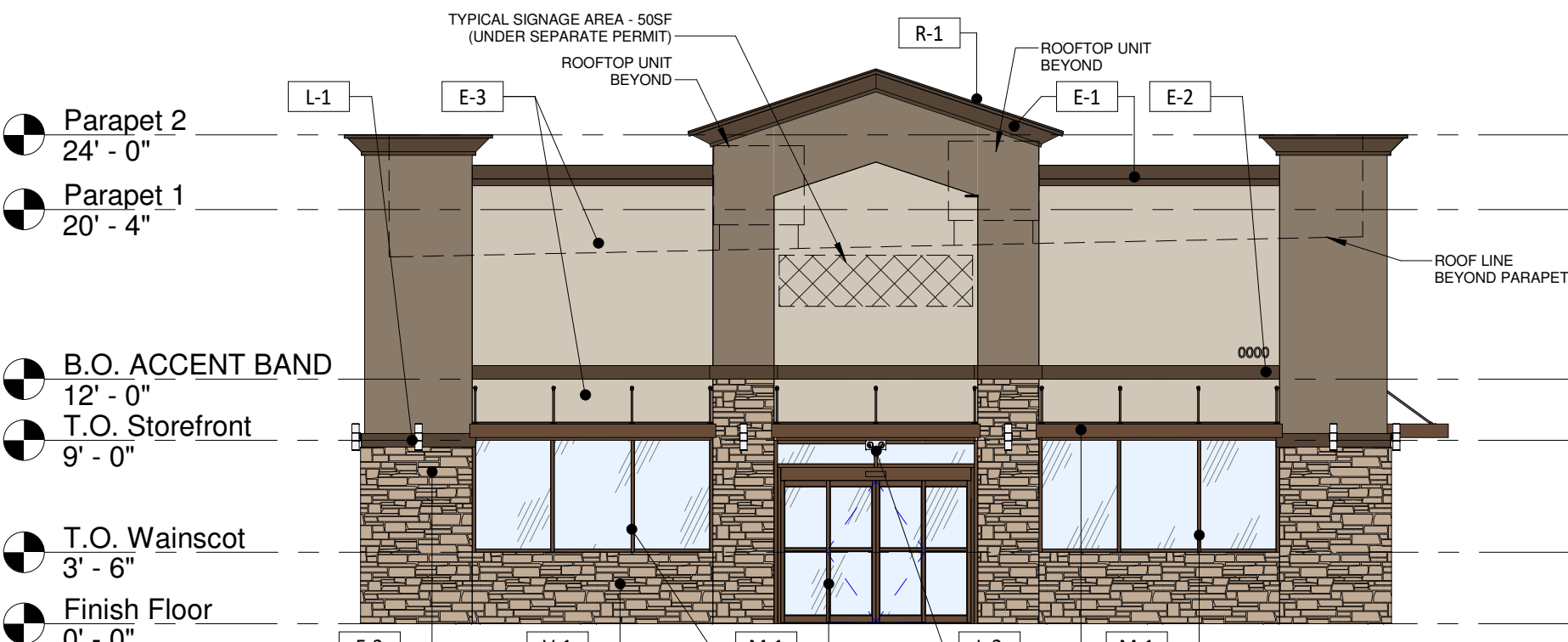
EXTERIOR FINISH SCHEDULE			
MARK	DESCRIPTION	MANUFACTURER & SPEC	SAMPLE
E-1	EIFS - FIELD DRYVIT	SHERWIN-WILLIAMS COLOR: SW 7039 VIRTUAL TAUPE (SCORE LINES PER ELEVATIONS)	
P-1	PAINT		
E-2	EIFS - ACCENT DRYVIT	SHERWIN-WILLIAMS COLOR: SW 7041 VAN DYKE BROWN (PARAPET FLASHING TO MATCH)	
P-2	PAINT		
E-3	EIFS - BAY DRYVIT	SHERWIN-WILLIAMS COLOR: SW 7036 ACCESSIBLE BEIGE (SCORE LINES PER ELEVATIONS)	
P-3	PAINT		
V-1	STONE VENEER	STACKED STONE COLOR: ALDERWOOD TEXTURE: CHISELED FACE	
M-1	ANODIZED ALUMINUM	COLOR: DARK BRONZE (STOREFRONT & AWNINGS TO MATCH)	
R-1	STANDING SEAM METAL ROOF	COLOR: DARK BRONZE (TO MATCH AWNINGS)	



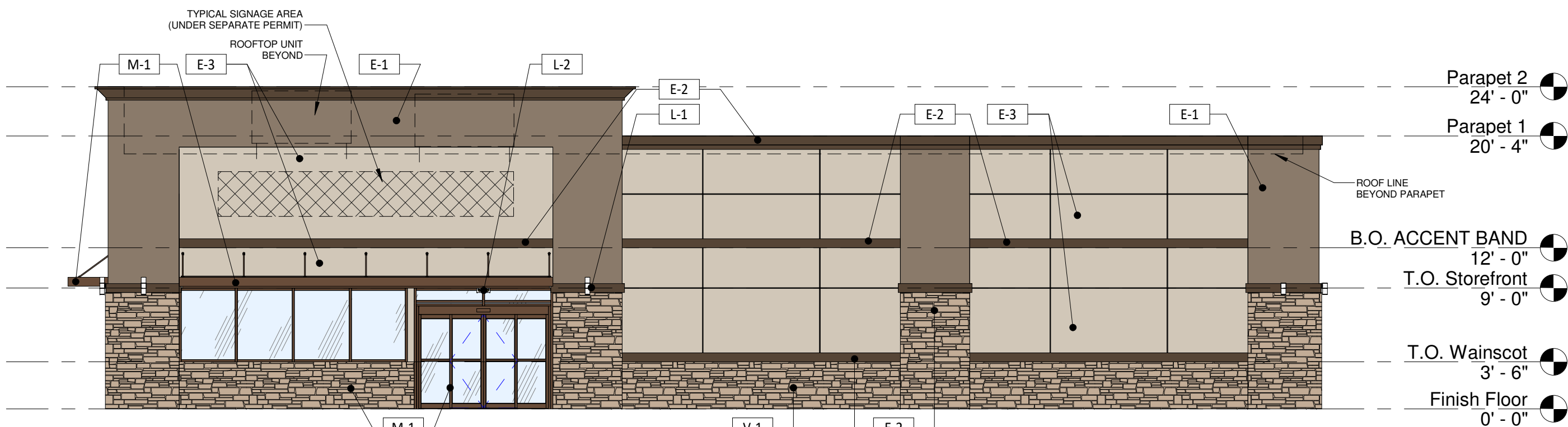
9 SOUTH ELEVATION
1/8" = 1'-0"



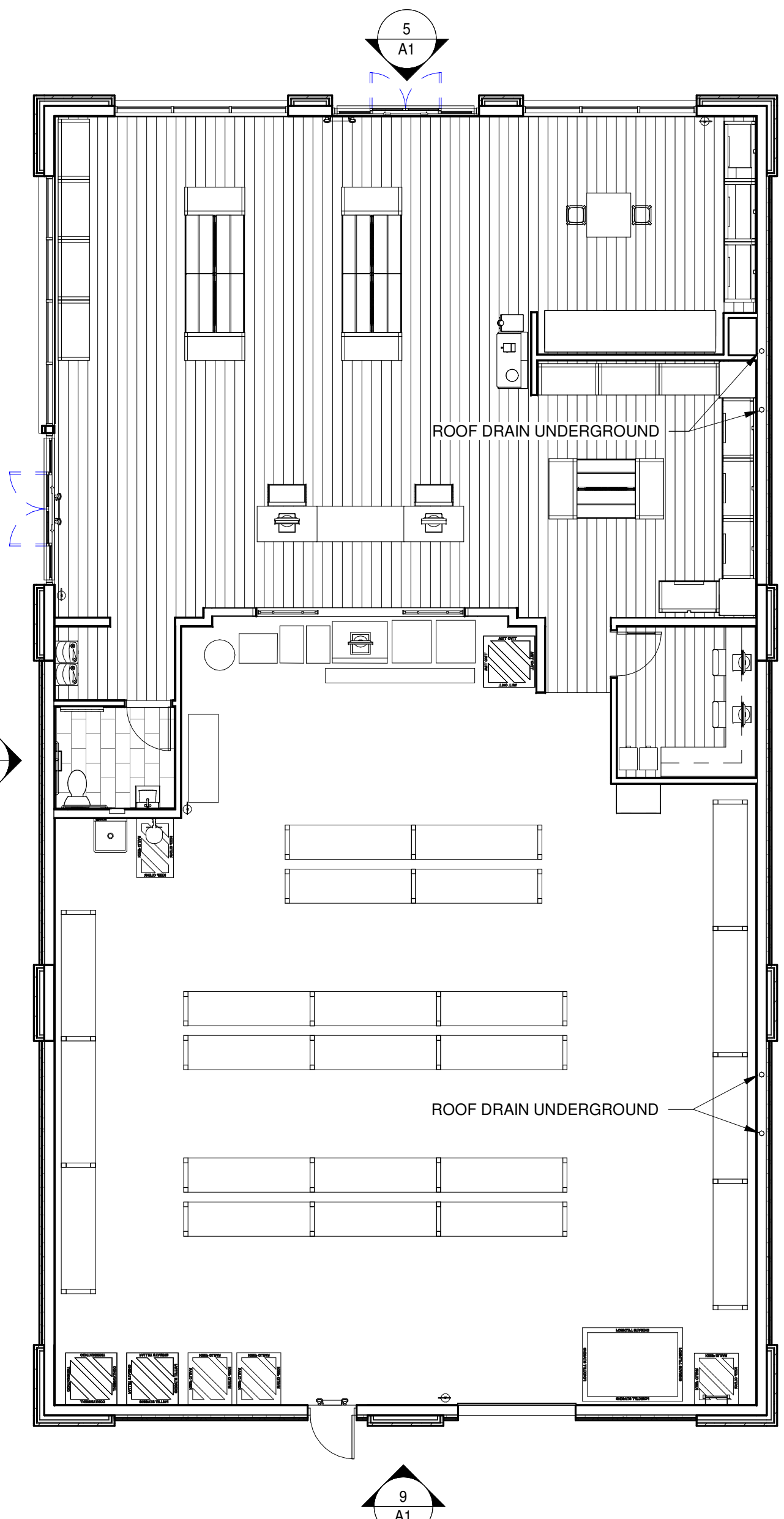
7 EAST ELEVATION
1/8" = 1'-0"



5 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 FLOOR PLAN
1/8" = 1'-0"

LINGLE DESIGN GROUP, INC.
158 WEST MAIN STREET
LENA, IL 61048
815.369.9155
1764 BLAKE ST
DENVER, CO 80202
303.974.5875
WWW.LINGLEDESIGN.COM

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PROJECT #:
21-933
DRAWN BY: BA
CHECKED BY: MP

SCHEMATIC ELEVATIONS - 01/31/22
△ -
△ -
△ -
△ -
△ -
△ -

RETAIL PAINT STORE

Owner

STORE #:
XXXX

ADDRESS:
705 W. BAPTIST RD.
COLORADO SPRINGS, CO
80921

SHEET TITLE:
SCHEMATIC FLOOR
PLAN &
ELEVATIONS

SHEET NUMBER:

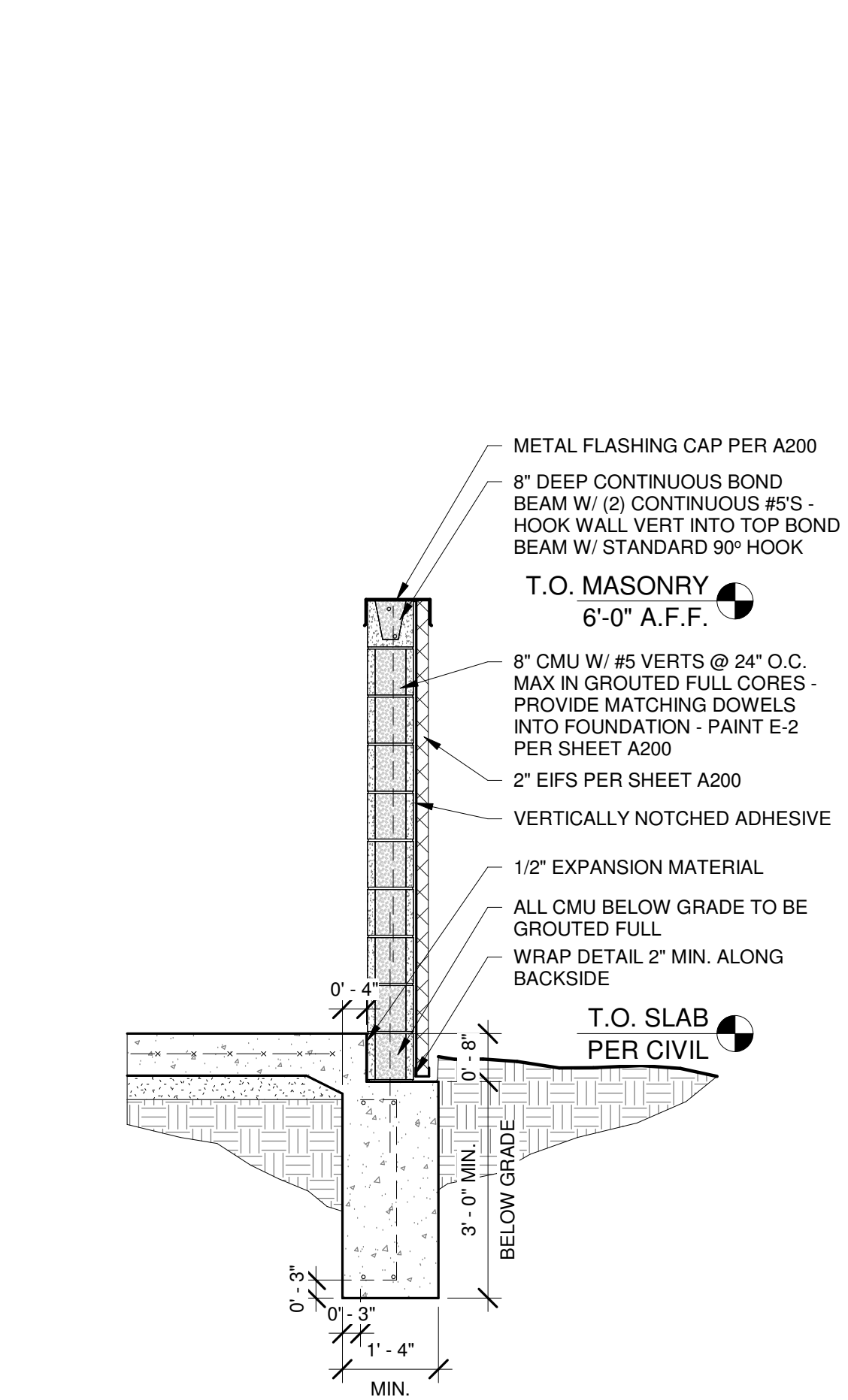
A1

SCHEMATIC ELEVATIONS - 01/31/22	
△	
△	-
△	-
△	-
△	-
△	-

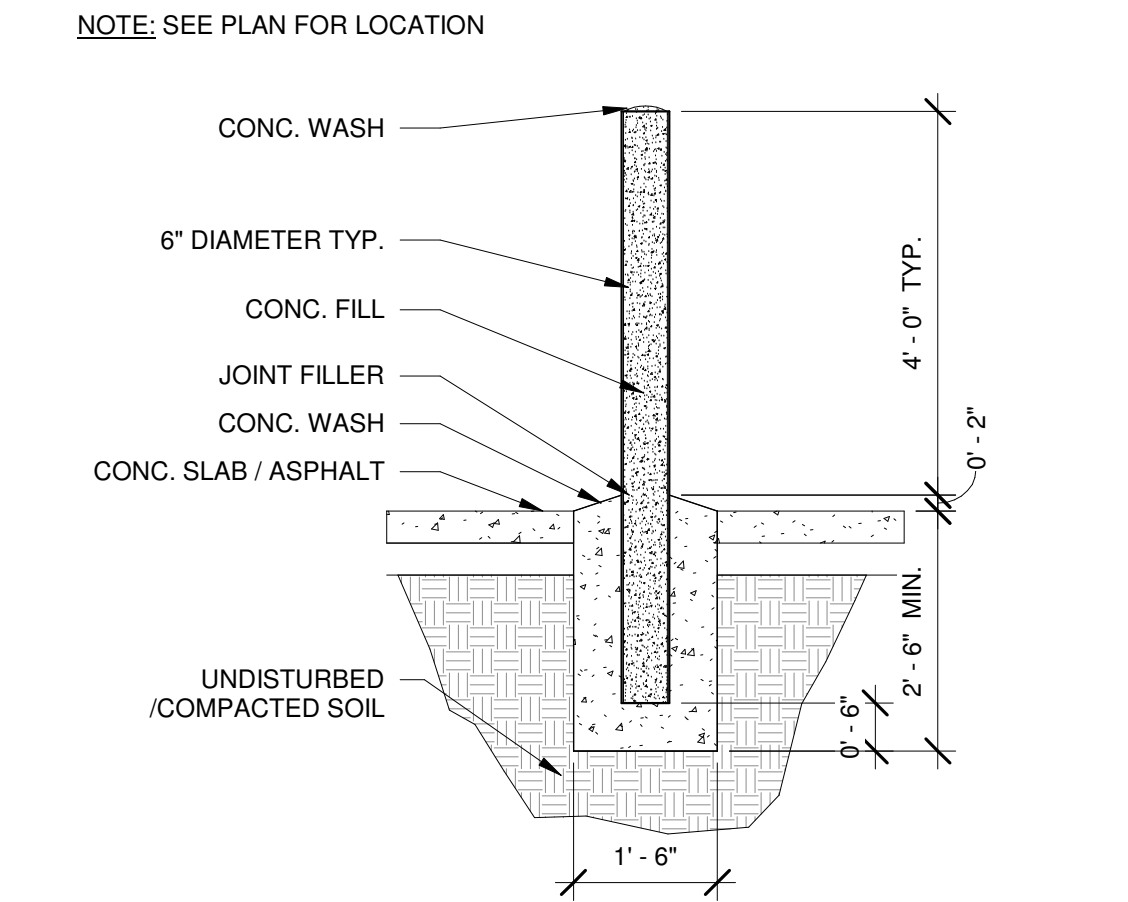
RETAIL PAINT STORE

Owner	
STORE #:	XXXX
ADDRESS:	
705 W. BAPTIST RD. COLORADO SPRINGS, CO 80921	
SHEET TITLE:	
TRASH ENCLOSURE	
SHEET NUMBER:	

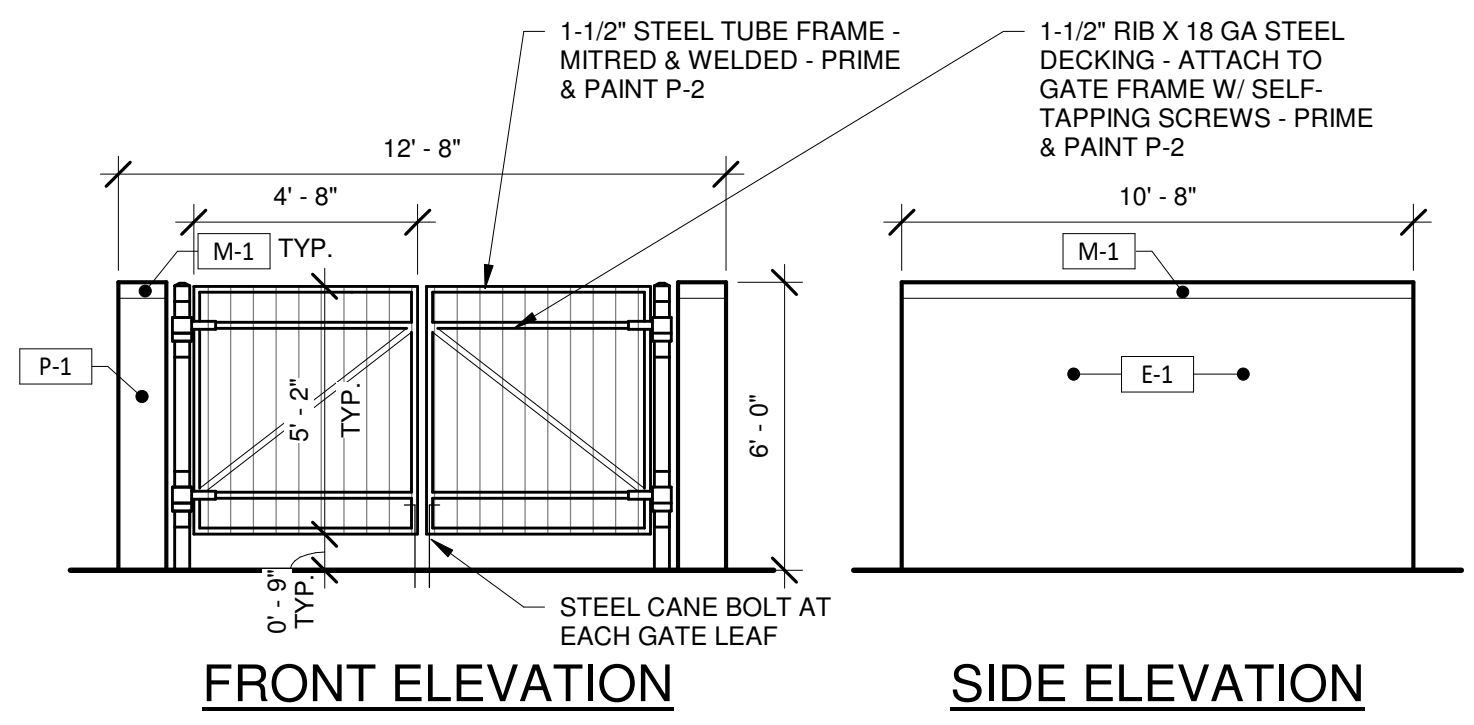
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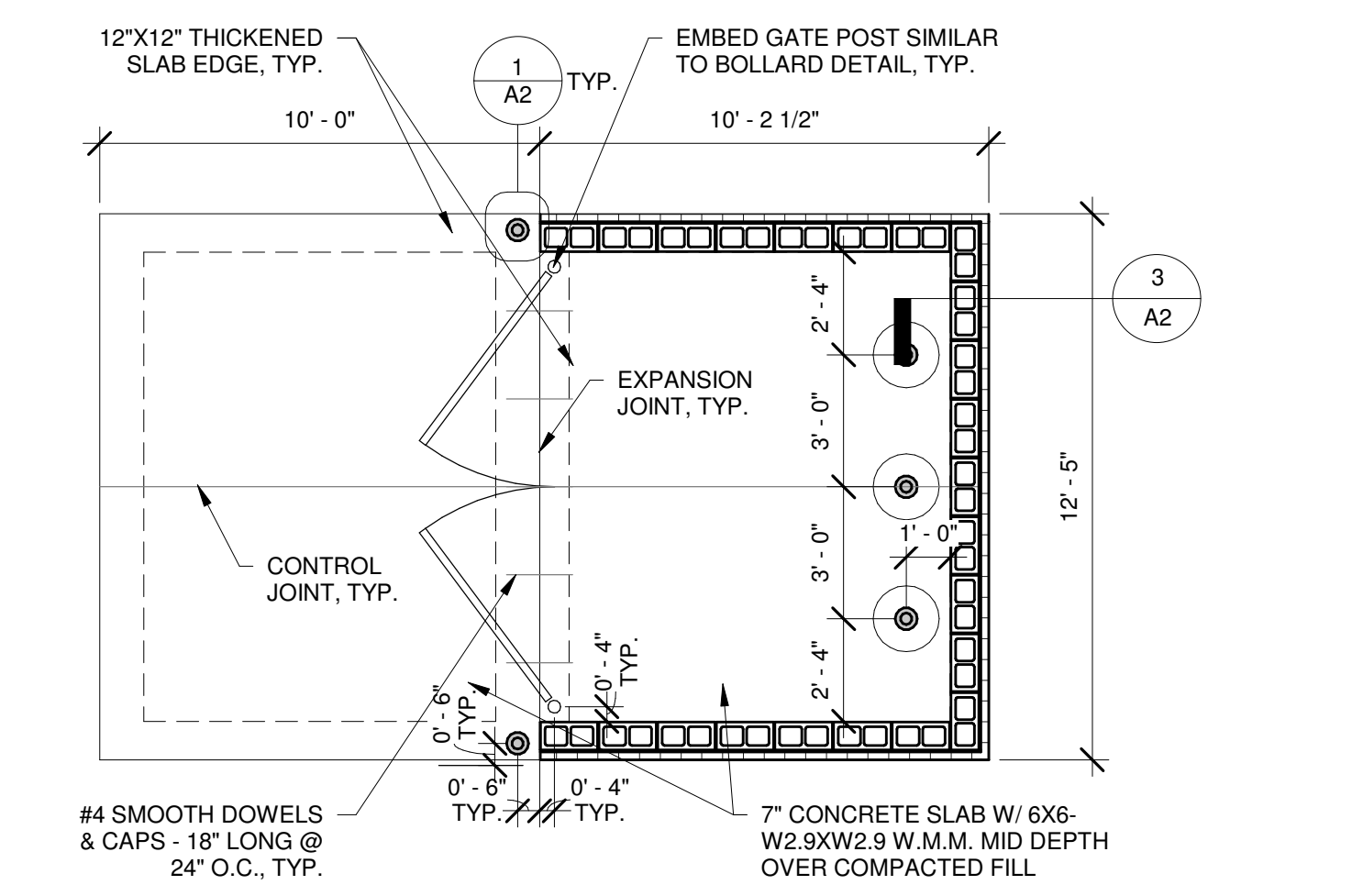
③ TRASH ENCLOSURE WALL SECTION EIFS
1/2" = 1'-0"



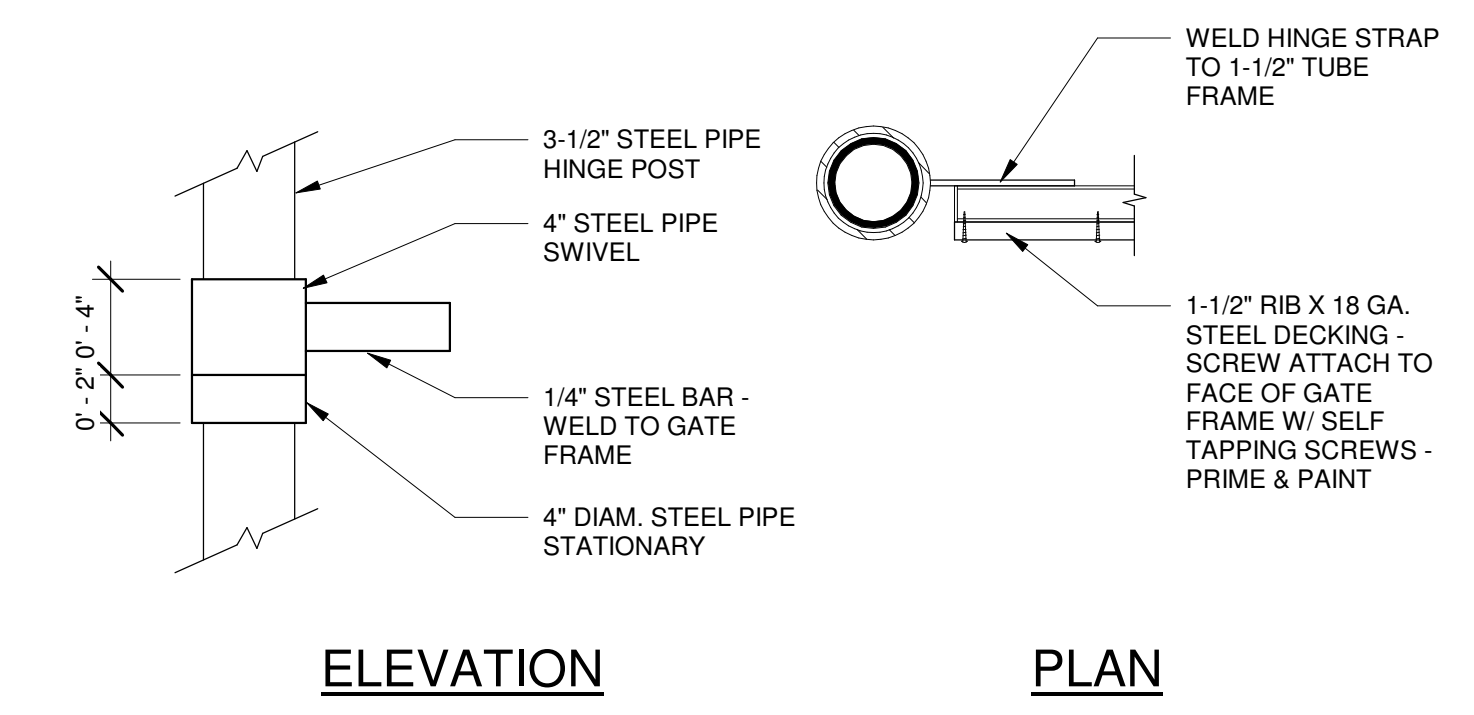
① BOLLARD DETAIL
1/2" = 1'-0"



⑤ TRASH ENCLOSURE ELEVATIONS EIFS
1/4" = 1'-0"



④ TRASH ENCLOSURE PLAN EIFS
1/4" = 1'-0"



② HINGE DETAIL
1 1/2" = 1'-0"