

# THE BEACH AT WOODMOOR FILING NO. 1

## EL PASO COUNTY, COLORADO

### PRELIMINARY / PUD DEVELOPMENT PLAN

#### GENERAL PROVISIONS:

- A. **Authority.** This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.
- B. **Applicability.** The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Development Services Department Director or Board of County Commissioners.
- C. **Adoption.** The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for The Beach at Woodmoor is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan; is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.
- D. **Relationship to County Regulations.** The provisions of this Development Plan shall prevail and govern the development of The Beach at Woodmoor, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.
- E. **Enforcement.** To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.
- F. **Conflict.** Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.
- G. **Maximum Level of Development.** The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.
- H. **Project Tracking.** At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Development Services Department, in order to assure maximum development limits are not exceeded.
- I. **Overall Project Standards.** The standard zoning requirements of El Paso County Land Development Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.

#### DEVELOPMENT GUIDELINES:

- A. **Project Description:** The Beach at Woodmoor is a planned residential community on 12.317 acres of land located north & south of Lake Woodmoor Drive, and east of Woodmoor Lake. The project is planned as a single-family residential community.
- B. **Permitted Uses:** Permitted uses within The Beach at Woodmoor subdivision include single-family homes and open space. The uses of any property within the subdivision as a Child Care Center, Family Care Home or Group Home shall be subject to the regulations of Section 5 of the El Paso County Land Development Code, as may be amended in the future. Marijuana Clubs and Marijuana Grow Facilities are not permitted within this subdivision.
- C. **Temporary Uses:** Temporary uses are limited to model home/subdivision sales office, yard sales, and seasonal produce sales, and are subject to the regulations of Section 5 of the El Paso County Land Development Code, as may be amended in the future. Vacation rentals are not permitted.
- D. **Accessory Uses:** Accessory uses shall be subject to the regulations of Section 5 of the El Paso County Land Development Code, as may be amended in the future. Accessory uses within this subdivision are limited to the following:
- Animal keeping of up to 4 pets (excludes chicken, pigeon or bee keeping).
  - Residential home occupation that does not require clients to visit the premises.
- E. **Accessory Structures:** Accessory structures must comply with the Development Standards in item (G) of these guidelines, and shall be subject to the regulations relating to accessory structures in Section 5 of the El Paso County Land Development Code. Residential accessory structures in this subdivision are restricted to the following:
- Storage shed
  - Gazebo
  - Deck (attached or detached, covered or uncovered)
  - Hot tub
  - Private greenhouse
  - Fence, wall and hedged
  - Antennas, radio facilities, and satellite dishes
  - Solar energy systems
- F. **Signs.** Signs shall be permitted to identify entryways to The Beach at Woodmoor community. The maximum size of the Community Entryway Sign shall be 100 square feet. Sign size shall be measured by drawing the smallest rectangle around the text of the sign. For double sided signs, only one sign face shall contribute to the maximum size.
- G. **Fence Standards.** Fencing shall be subject to the covenants and design criteria established by the Woodmoor Improvement Association and Architectural Control Committee and the following additional fencing guidelines specific to The Beach at Woodmoor:
- Fencing within The Beach at Woodmoor will be limited to split-rail fencing only. Dowel fencing is prohibited at The Beach at Woodmoor.
  - Responsibility of the installation and maintenance of fencing on any particular lot will be that of the homeowner and not of The Beach at Woodmoor HOA or Woodmoor Improvement Association.
  - Gates will be permitted in the fencing for lots adjacent to Tract A and B.
  - No fences shall impede drainage in any way.
- H. **Development Standards.**
- Maximum building height: thirty (30) feet.
  - Setback minimums:
    - Front: 20 feet minimum, Garage 18' minimum from back of walk
    - Side: 5 feet minimum, 15' adjacent to ROW, Except Lot 25 to have 5' minimum setback, as adjacent to landscape setback
    - Rear: 25 feet minimum, Except for lots 15, 16, & 23 with 15' minimum setback, as adjacent to landscape setback
  - Projections into setbacks are governed by the Land Development Code in effect at the time of the PUD plan approval, other than decks and covered patios which may project up to 5' into rear setback.
- I. **Lot Sizes.** The PUD Development Plan and the Final Plat establish the lot sizes. No subdivision of any lot will be permitted if such subdivision results in the creation of additional building lots.
- J. **Tracts.** Allowed uses for the tracts include trash receptacles, mail kiosk, outdoor recreation facilities and associated land uses, development signage, pedestrian walkways, utilities, utility and maintenance access roadways, stormwater facilities, drainage improvements, fencing, trails and open space.
- K. **Streets.** Streets within The Beach at Woodmoor subdivision provide general vehicular circulation throughout the development. All streets shall be publicly owned and maintained. All streets shall be paved with curb & gutter. Sidewalks will be provided as illustrated on this plan.
- L. **Architectural Control Committee Review/Covenants.** The Beach at Woodmoor is subject to the covenants and design criteria established by the Woodmoor Improvement Association and Architectural Control Committee.

#### SITE DATA

**OWNER/APPLICANT:** Lake Woodmoor Holdings LLC  
1755 Telstar Drive, Suite 211  
Colorado Springs, CO 80920

**Tax ID Number:** 7114107015, 7114100016  
**Area:** 12.317 Acres  
**Current Zoning:** R-4 & RR-5  
**Proposed Zoning:** PUD  
**Current Land Use:** Vacant  
**Proposed Land Use:** Single Family Residential  
**Number of Lots:** 35  
**Density:** 2.84 DU/AC  
**Building Height:** 30' Max.  
**Building Setbacks:**  
Front: 20' minimum, Garage 18' minimum from back of walk  
Side: 5' minimum, 15' adjacent to ROW, Except Lot 25 to have 5' minimum setback, as adjacent to landscape setback  
Rear: 25' minimum, Except for lots 15, 16, & 23 with 15' minimum setback, as adjacent to landscape setback

**Minimum Lot Size:** 7,200 SF  
Lot 23: 60' x 105' minimum  
Lots 6-11: 55' x 140' minimum  
Lots 14 & 16: 70' x 110' minimum  
All Other Lots: 60' x 120' minimum (width measured at front setback)  
All lots accommodate 1 or more base models.

#### GENERAL NOTES

- Landscape will be maintained by The Beach at Woodmoor Home Owners Association.
- This site is not within a designated F.E.M.A. floodplain as determined by the flood insurance rate map, community panel number 08041C0276F, effective March 17, 1997.
- There will be no direct lot access from Lake Woodmoor Drive.
- A "trail" is to be provided through the property via proposed sidewalks, at the request of the Woodmoor Improvement Association.

#### PUD MODIFICATIONS

The Beach at Woodmoor PUD includes the following modifications to the El Paso County Land Development Code (LDC) and Engineering Criterial Manual (ECM):

- ECM Section 2.3.8  
a. Permanent hammerhead turnaround for southern parcel, as approved by Tri-Lakes Monument Fire Marshal.

State the criteria proposed for modification, then the modified criteria.

#### SITE PARKING CALCULATIONS

**Required:**  
35 single-family lots: 2.0 spaces per lot = 70 spaces  
**Total Required = 70 spaces**

**Provided:**  
2 garage parking spaces per unit = 70 spaces  
2 driveway parking spaces on each lot = 70 spaces  
**Total Provided = 140 spaces**  
Plus on-street parking will be permitted on interior public streets.

#### TRACT TABLE

TRACT	SIZE	USE	OWNERSHIP	MAINTENANCE
A	20,565 SF	Flowage, utility and access easements, open space	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA
B	28,943 SF	Flowage, utility and access easements, open space	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA
C	9,830 SF	Detention pond, signage, mailboxes, utilities, landscape	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA
D	17,796 SF	Detention, utilities, landscape	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA
E	1,249 SF	Signage, landscape	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA
F	10,097 SF	Open space, drainage, utilities	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA
G	10,999 SF	Utilities, signage, mailboxes, landscape	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA
H	17,022 SF	Detention pond, utilities	The Beach at Woodmoor HOA	The Beach at Woodmoor HOA

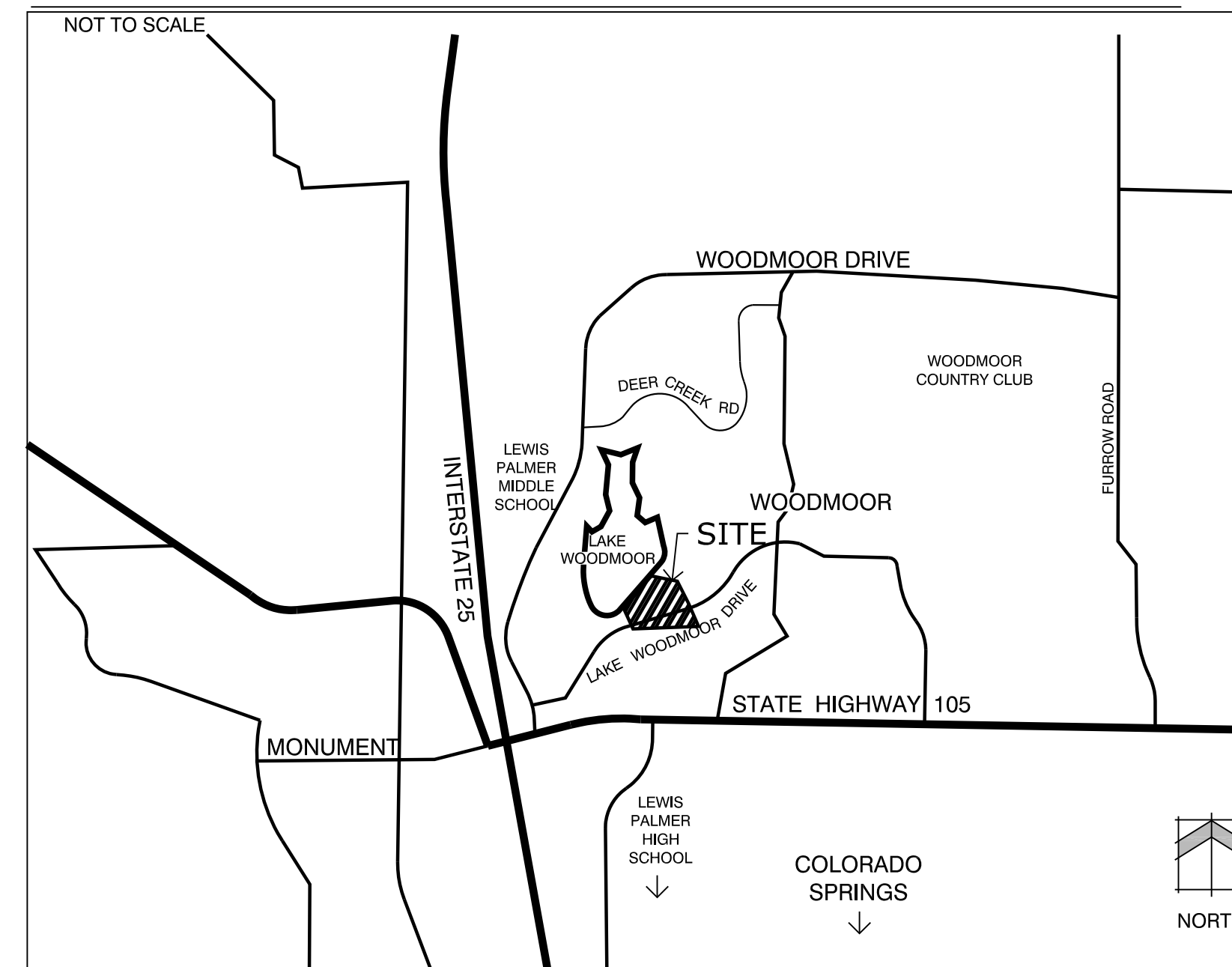
provide total area of tracts for open space calculations. (approximately 22%)

The Code allows decks to encroach that are 18' or less in height, since the homes are planned to be single story, with/w/o basement walkouts, consider revising language to accommodate decks that may exceed 18' in height.

clarify the beneficiaries of the access easements

Include a typical cross section for the proposed road. Per Resolution 16-446 note 5' sidewalk thickness.

#### VICINITY MAP



#### LEGAL DESCRIPTION

THOSE PORTIONS OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH P. M., EL PASO COUNTY, COLORADO CONSISTING OF "PARCEL B" AND "PARCEL F" AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 213017868.

SAID PARCELS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BASIS OF BEARING FOR THE FOLLOWING METES AND BOUNDS LEGAL DESCRIPTION IS A TANGENT LINE ON THE SOUTHERLY RIGHT-OF-WAY OF LAKE WOODMOOR DRIVE AS PLATTED IN "LAKE WOODMOOR" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK K-2 AT PAGE 83, AND MONUMENTED BY A NO. 5 REBAR AT THE SOUTHWESTERLY END AND BY A REBAR AND YELLOW PLASTIC CAP PUS NO. ILLEGIBLE AT THE NORTHEASTERLY END, SAID LINE IS ASSUMED TO BEAR N70°02'05"E, A DISTANCE OF 599.27 FEET.

PARCEL A:

ALL OF "THE BEACH AT WOODMOOR", ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1972 IN BOOK V2 AT PAGE 57, COUNTY OF EL PASO, STATE OF COLORADO. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF "THE BEACH AT WOODMOOR", THENCE ALONG THE SOUTHERLY AND WESTERLY LINES THEREOF THE FOLLOWING FIVE (5) COURSES:

(1) THENCE N35°23'59"W A DISTANCE OF 211.27 FEET; (2) THENCE N39°17'29"E A DISTANCE OF 149.96 FEET; (3) THENCE N08°17'29"E A DISTANCE OF 129.97 FEET; (4) THENCE N 61°16' 54"E A DISTANCE OF 200.25 FEET; (5) THENCE N 42°13'39"E A DISTANCE OF 179.61 FEET TO THE SOUTH LINE OF LOT 85 "LAKE WOODMOOR"; THENCE S79°38'09"E, ALONG THE SOUTHERLY LINE THEREOF, A DISTANCE OF 128.42 FEET TO THE SOUTHWESTERLY CORNER OF AN UN-NAMED COMMON ACCESS AREA; THENCE S79°44'42"E, ALONG THE SOUTHERLY LINE THEREOF, A DISTANCE OF 48.16 FEET TO THE SOUTHWEST CORNER OF LOT 86, "LAKE WOODMOOR"; THENCE S79°43'15"E, ALONG THE SOUTHERLY LINE THEREOF, A DISTANCE OF 109.88 FEET TO THE SOUTHWEST CORNER OF LOT 87 "LAKE WOODMOOR"; THENCE S79°44'39"E, ALONG THE SOUTHERLY LINE THEREOF, A DISTANCE OF 103.91 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF LOWER LAKE ROAD AS PLATTED IN "LAKE WOODMOOR"; THENCE ALONG SAID RIGHT-OF-WAY LINE ON THE ARC OF A CURVE TO THE LEFT, NON-TANGENT TO THE PREVIOUS COURSE, SAID CURVE HAVING A RADIUS OF 292.78 FEET, A CENTRAL ANGLE OF 09°17'51", (THE LONG CHORD OF WHICH BEARS S52°23'24"E A DISTANCE OF 47.46 FEET); AN ARC DISTANCE OF 47.51 FEET TO A POINT OF TANGENT; THENCE S35°22'59"E, ALONG SAID WESTERLY RIGHT-OF-WAY LINE ON SAID TANGENT, A DISTANCE OF 222.65 FEET TO A POINT OF CURVE; THENCE ALONG SAID RIGHT-OF-WAY LINE ON THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 305.00 FEET, A CENTRAL ANGLE OF 16°58'28", (THE LONG CHORD OF WHICH BEARS S28°01'04"E A DISTANCE OF 90.03 FEET), AN ARC DISTANCE OF 90.36 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF LAKE WOODMOOR DRIVE; THENCE S 76°02'05"W, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 489.68 TO A POINT OF CURVE; THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE ON THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 930.00 FEET, A CENTRAL ANGLE OF 09°48'10", (THE CHORD OF WHICH BEARS S71°09'39"W A DISTANCE OF 158.93 FEET), AN ARC DISTANCE OF 159.11 FEET TO A POINT OF TANGENT; THENCE S66°15'32"W, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE ON SAID TANGENT, A DISTANCE OF 269.02 FEET TO THE POINT OF BEGINNING. PARCEL A CONTAINS A CALCULATED AREA OF 8.126 ACRES MORE OR LESS.

PARCEL B:

THAT PORTION OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 11 SOUTH RANGE 67 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, LYING SOUTHEASTERLY OF LAKE WOODMOOR DRIVE AS PLATTED IN "LAKE WOODMOOR" AND NORTH OF THE EAST-WEST CENTERLINE OF SAID NORTHEAST QUARTER, AND WESTERLY OF A TRACT CONVEYED BY WARRANTY DEED RECORDED FEBRUARY 15, 1972 IN BOOK 2467 AT PAGE 942, EXCEPTING THEREFROM THAT PORTION CONVEYED TO WOODMOOR WATER AND SANITATION DISTRICT NO. 1 IN WARRANTY DEED RECORDED JUNE 26, 2000 AT RECEPTION NO. 201088802, THIS PARCEL BEING PARCEL E AS CONVEYED TO KAB-PANKEY, LIMITED LIABILITY COMPANY, IN THAT WARRANTY DEED RECORDED APRIL 22, 1994 IN BOOK 6431 AT PAGE 757. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF LAKE WOODMOOR DRIVE AS PLATTED IN "LAKE WOODMOOR" ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK K-2 AT PAGE 83, SAID POINT BEING THE NORTHEAST CORNER OF "PARCEL B" AS DESCRIBED IN WARRANTY DEED RECORDED UNDER RECEPTION NO. 201088802;

THENCE N 66°15'32"E, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 256.88 FEET TO A POINT OF CURVE; THENCE ALONG SAID RIGHT-OF-WAY LINE ON THE ARC OF A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 870.00 FEET, A CENTRAL ANGLE OF 09°48'10", (THE LONG CHORD OF WHICH BEARS N72°10'39"E A DISTANCE OF 148.67 FEET), AN ARC DISTANCE OF 148.85 FEET TO A POINT OF TANGENT; THENCE N35°22'59"E, ALONG SAID RIGHT-OF-WAY LINE ON SAID TANGENT A DISTANCE OF 482.32 FEET TO THE NORTHWEST CORNER OF THAT PARCEL OF LAND DESCRIBED IN WARRANTY DEED RECORDED IN BOOK 2467 AT PAGE 942; THENCE S21°17'08"E, ALONG THE WESTERLY LINE THEREOF, A DISTANCE OF 331.69 FEET TO THE NORTHEAST CORNER OF "BROOKMOOR FILING NO. 3" ACCORDING TO THE PLAT THEREOF RECORDED UNDER RECEPTION NO. 206712228; THENCE S85°50'15"W, ALONG THE NORTHERLY LINE THEREOF, A DISTANCE OF 933.32 FEET TO THE SOUTHEAST CORNER OF AFORESAID "PARCEL B" AS DESCRIBED IN WARRANTY DEED RECORDED UNDER RECEPTION NO. 201088802; THENCE N 35°14'08"W, ALONG THE EASTERLY LINE THEREOF, A DISTANCE OF 53.72 FEET TO THE POINT OF BEGINNING. PARCEL B CONTAINS A CALCULATED AREA OF 4.191 ACRES MORE OR LESS.

**County Certification**  
This rezoning request to PUD has been reviewed and found to be complete and in accordance with the \_\_\_\_\_ (Board resolution or motion #) \_\_\_\_\_ (date) approving the PUD and all applicable El Paso County regulations.

Chair, Board of County Commissioners \_\_\_\_\_ date \_\_\_\_\_  
Director, Planning & Community Development Department \_\_\_\_\_ date \_\_\_\_\_

**Clerk and Recorder Certification**  
State of Colorado) \_\_\_\_\_  
El Paso County ) ss. \_\_\_\_\_

I hereby certify that this Plan was filed in my office on this \_\_\_\_\_ (day) of \_\_\_\_\_ (month), 20\_\_\_\_ at \_\_\_\_\_ o'clock a.m./p.m. and was recorded per Reception No. \_\_\_\_\_.

El Paso County Clerk and Recorder \_\_\_\_\_

Lake Woodmoor Holdings LLC  
Name of Landowner \_\_\_\_\_

Landowner's Signature, notarized \_\_\_\_\_

**Ownership Certification**  
I/we \_\_\_\_\_ a (one of the following: qualified title insurance company, title company, title attorney, or attorney at law) duly qualified, insured, or licensed by the State of Colorado, do hereby certify that I/we have examined the title of all lands depicted and described hereon and that title to such land is owner in fee simple by \_\_\_\_\_ at the time of this application.

Notarized signature \_\_\_\_\_

OR Name of Attorney and registration number \_\_\_\_\_

#### SHEET INDEX

- Sheet 1 of 6: Cover Sheet
- Sheet 2 of 6: Development Plan
- Sheet 3 of 6: Grading & Erosion Control Plan
- Sheet 4 of 6: Utility System Plan
- Sheet 5 of 6: Preliminary Landscape Plan
- Sheet 6 of 6: Preliminary Landscape Details

Land Planning  
Landscape Architecture  
Urban Design

N.E.S. Inc.  
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The Beach at Woodmoor

PRELIMINARY / PUD DEVELOPMENT PLAN

Lake Woodmoor Dr. & Lower Lake Rd. Monument, CO 80132

#### ENTITLEMENT

DATE:	BY:	DESCRIPTION:

#### COVER SHEET

DP1  
1 OF 6

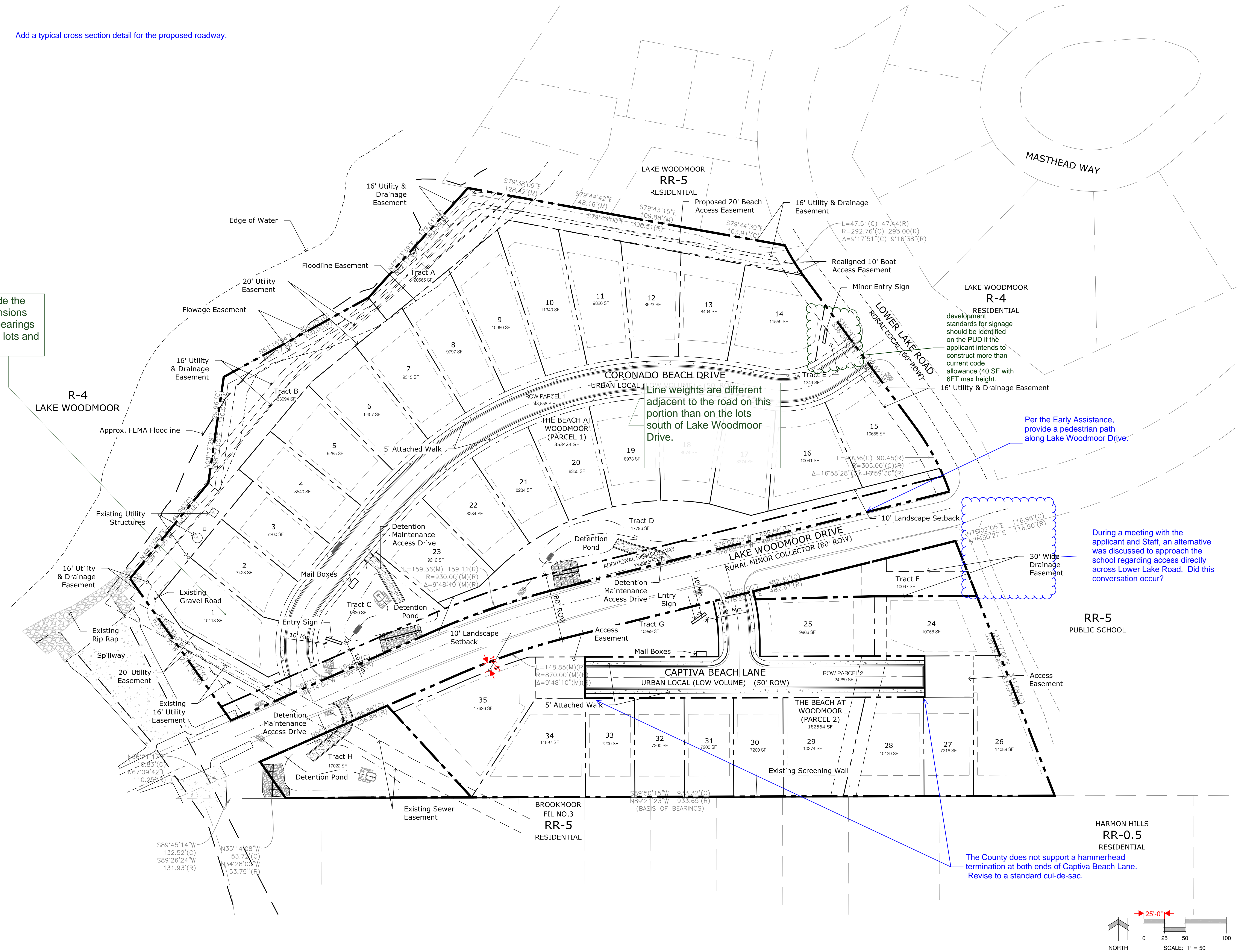
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Add a typical cross section detail for the proposed roadway.

Include the dimensions and bearings for all lots and ROW

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The Beach at Woodmoor  
PRELIMINARY / PUD DEVELOPMENT PLAN

Lake Woodmoor Dr. & Lower Lake Rd. Monument, CO 80132

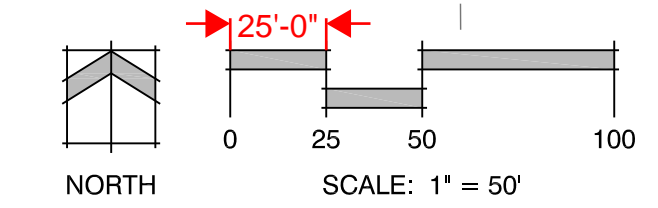
DATE: 05-26-17  
PROJECT MGR: A. BARLOW  
PREPARED BY: K. MARSHALL

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

DEVELOPMENT PLAN

DP2  
2 OF 6





**GRADING AND EROSION CONTROL NOTES**

- Construction may not commence until a Construction Permit is obtained from Development Services and a Preconstruction Conference is held with Development Services Inspectors.
- Stormwater discharges from construction sites shall not cause or threaten to cause pollution, contamination, or degradation of State Waters. All work and earth disturbance shall be done in a manner that minimizes pollution of any on-site or off-site waters, including wetlands.
- Notwithstanding anything depicted in these plans in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code, the Engineering Criteria Manual, the Drainage Criteria Manual, and the Drainage Criteria Manual Volume 2. Any deviations to regulations and standards must be requested, and approved, in writing.
- A separate Stormwater Management Plan (SWMP) for this project shall be completed and an Erosion and Stormwater Quality Control Permit (ESQCP) issued prior to commencing construction. During construction the SWMP is the responsibility of the designated Stormwater Manager, shall be located on site at all times and shall be kept up to date with work progress and changes in the field. Once the ESQCP has been issued, the contractor may install the initial stage erosion and sediment control BMPs as indicated on the Grading & Erosion Control Plan. A preconstruction meeting between the contractor, engineer, and El Paso County will be held prior to any construction. It is the responsibility of the applicant to coordinate the meeting time and place with County DSD Inspections staff.
- Soil erosion control measures for all slopes, channels, ditches, or any disturbed land area shall be completed within 21 calendar days after final grading or final earth disturbance, has been completed. Disturbed areas and stockpiles which are not at final grade but will remain dormant for longer than 30 days shall also be mulched within 21 days after interim grading. An area that is going to remain in an interim state for more than 60 days shall also be seeded. All temporary soil erosion control measures and BMPs shall be maintained until permanent soil erosion control measures are implemented and established.
- Temporary soil erosion control facilities shall be removed and earth disturbance areas graded and stabilized with permanent soil erosion control measures pursuant to standards and specification prescribed in the *Drainage Criteria Manual DCM Volume II* and the *Engineering Criteria Manual (ECM)* appendix I.
- All persons engaged in earth disturbance shall implement and maintain acceptable soil erosion and sediment control measures including BMPs in conformance with the erosion control technical standards of the *DCM Volume II* and in accordance with the Stormwater Management Plan (SWMP).
- All temporary erosion control facilities including BMPs and all permanent facilities intended to control erosion of any earth disturbance operations, shall be installed as defined in the approved plans, the SWMP and the DCM Volume II and maintained throughout the duration of the earth disturbance operation.
- Any earth disturbance shall be conducted in such a manner so as to effectively reduce accelerated soil erosion and resulting sedimentation. All disturbed areas shall be designed, constructed, and completed so that the exposed area of any disturbed land shall be limited to the shortest practical period of time.
- Any temporary or permanent facility designed and constructed for the conveyance of stormwater around, through, or from the earth disturbance area shall be designed to limit the discharge to a non-erosive velocity.
- Concrete wash water shall be contained and disposed of in accordance with the SWMP. No wash water shall be discharged to or allowed to runoff to State Waters, including any surface or subsurface storm drainage system or facilities.
- Erosion control blanketing is to be used on slopes steeper than 3:1.
- Building construction, excavation, or other waste materials shall not be temporarily placed or stored in the street, alley, or other public way, unless in accordance with an approved Traffic Control Plan. BMP's may be required by El Paso County Engineering if deemed necessary, based on specific conditions and circumstances.
- Vehicle tracking of soils and construction debris off-site shall be minimized. Materials tracked off-site shall be cleaned up and properly disposed of immediately.
- Contractor shall be responsible for the removal of all wastes from the construction site for disposal in accordance with local and State regulatory requirements. No construction debris, tree slash, building material wastes or unused building materials shall be buried, dumped, or discharged at the site.
- The owner, site developer, contractor, and/or their authorized agents shall be responsible for the removal of all construction debris, dirt, trash, rock, sediment, and sand that may accumulate in the storm sewer or other drainage conveyance system and stormwater apertures as a result of site development.
- The quantity of materials stored on the project site shall be limited, as much as practical, to that quantity required to perform the work in an orderly sequence. All materials stored on-site shall be stored in a neat, orderly manner, in their original containers, with original manufacturer's labels.
- No chemicals are to be used by the contractor, which have the potential to be released in stormwater unless permission for the use of a specific chemical is granted in writing by the ECM Administrator. In granting the use of such chemicals, special conditions and monitoring may be required.
- Bulk storage structures for petroleum products and other chemicals shall have adequate protection so as to contain all spills and prevent any spilled material from entering State Waters, including any surface or subsurface storm drainage system or facilities.
- No person shall cause the impediment of stormwater flow in the flow line of the curb and gutter or in the ditchline.
- Individuals shall comply with the "Colorado Water Quality Control Act" (Title 25, Article 8, CRS), and the "Clean Water Act" (33 USC 1344), in addition to the requirements included in the DCM Volume II and the ECM Appendix I, all appropriate permits must be obtained by the contractor prior to construction (NPDES, Floodplain, 404, fugitive dust, etc.). In the event of conflicts between these requirements and laws, rules, or regulations of other Federal, State, or County agencies, the more restrictive laws, rules, or regulations shall apply.
- All construction traffic must enter/exit the site at approved construction access points.
- Prior to actual construction the permittee shall verify the location of existing utilities.
- A water source shall be available on site during earthwork operations and utilized as required to minimize dust from earthwork equipment and wind.
- The soils report for this site has been prepared by CTL Thompson, Inc. and shall be considered a part of these plans.
- At least ten days prior to the anticipated start of construction, for projects that will disturb 1 acre or more, the owner or operator of construction activity shall submit a permit application for stormwater discharge to the Colorado Department of Public Health and Environment, Water Quality Division. The application contains certification of completion of a stormwater management plan (SWMP), of which this grading and erosion control plan may be a part. For information or application materials contact:

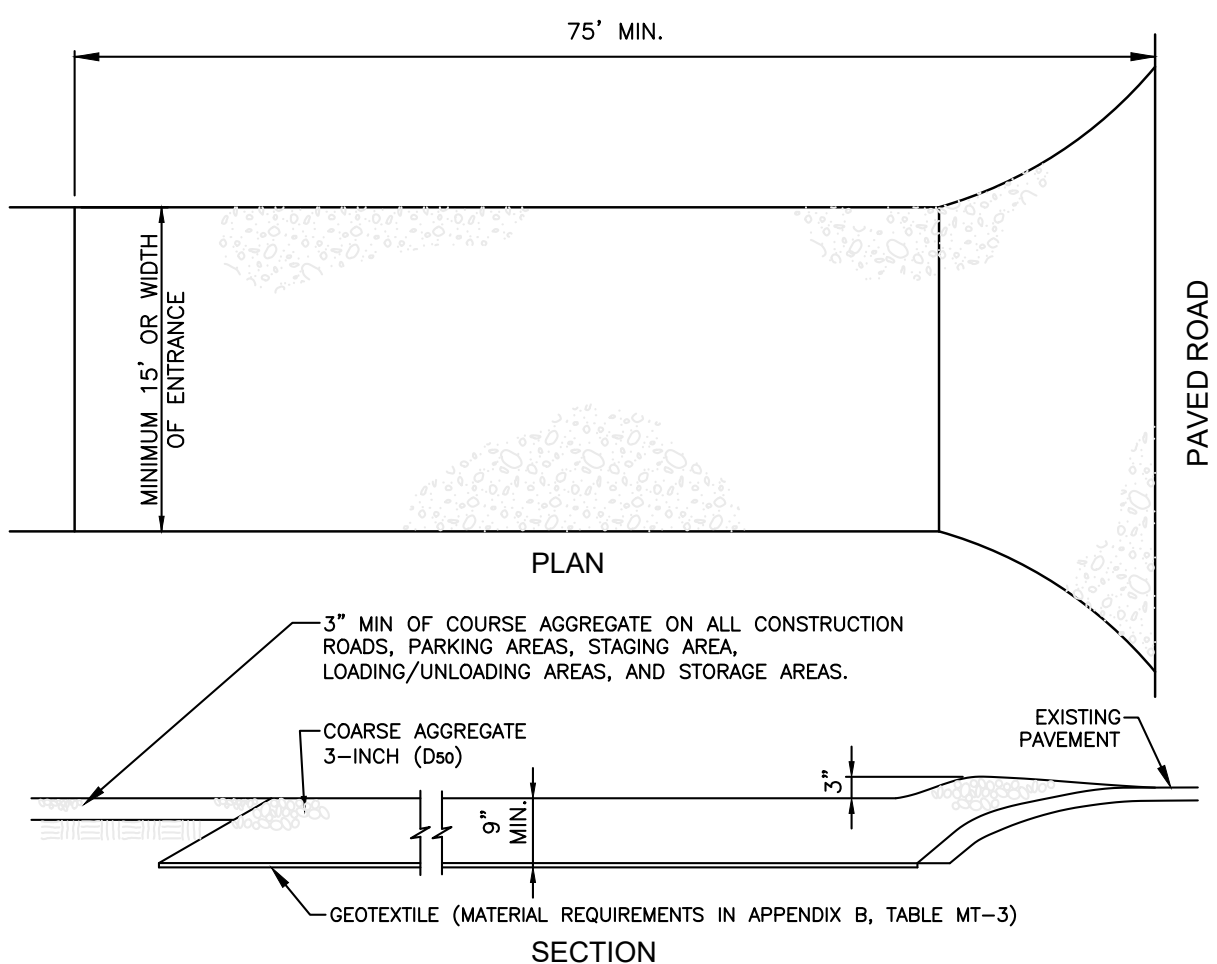
Colorado Department of Public Health and Environment  
Water Quality Control Division  
WQCD - Permits  
4300 Cherry Creek Drive South  
Denver, CO 80246-1530  
Attn: Permits Unit

**LEGEND:**

	ELECTRICAL BOX
	ELECTRIC METER
	TELEPHONE PEDESTAL
	SANITARY SEWER MANHOLE
	CLEAN OUT
	GAS METER
	FIRE HYDRANT
	WATER VALVE
	WELL HEAD
	PINE TREE
	GRAVEL DRIVEWAY
	CONCRETE
	EDGE OF ASPHALT
	EDGE OF GRAVEL
	FENCE LINE
	EXSTG. UNDERGROUND TELEPHONE
	EXSTG. UNDERGROUND ELECTRIC
	EXSTG. WATER LINE
	EXSTG. WASTEWATER LINE
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED WASTEWATER LINE
	PROPOSED WATER SERVICE
	PROPOSED WASTEWATER SERVICE
	RIPRAP
	PROPOSED BUILDING

**INSTALLATION REQUIREMENTS**

- ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO CONSTRUCTION BEGINNING.
  - CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT EXCEPT FOR A SLIGHT OVERLAP.
  - AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADED AND COMPACTED PRIOR TO LAYING DOWN GEOTEXTILE AND STONE.
  - CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS, AND STAGING AREAS ARE TO BE STABILIZED.
  - CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADES, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.
- MAINTENANCE REQUIREMENTS**
- REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
  - STONES ARE TO BE REAPPLIED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
  - SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED DAILY BY SHOVELING OR SWEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAINS.
  - STORM SEWER INLET PROTECTION IS TO BE IN PLACE, INSPECTED, AND CLEANED IF NECESSARY.
  - OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO ENSURE GOOD WORKING CONDITION.



**VEHICLE TRACKING CONTROL**

NTS

**PROJECT SPECIFIC GRADING AND EROSION CONTROL NOTES**

- All earthwork required of this construction shall be completed in accordance with all applicable sections of the Project Specifications and Soil Investigation Report (Geotechnical Report).
- Rubbish including timber, concrete rubble, trees, brush, and asphalt shall not be backfilled adjacent to any of the structures or be in the placement of any unclassified fill. The Contractor shall be responsible for the removal and hauling of such materials to a suitable place area. Costs associated with the removal of such materials shall be paid for as documented in the Project Specifications. Excess excavation shall become the property of the Contractor at his expense. The cost of haulage and spoiling of excess excavated materials shall be paid for as documented in the Project Specifications.
- Water shall be used as a dust palliative as required and shall be included in the cost for earthwork item(s). No separate payment will be made for dust control associated with the site construction.
- The road grades shall be cleared of vegetation and the topsoil stockpiled for later use.
- All grading shall be in conformance with the Geotechnical Report for the area.
- Placement of fill for roadway embankments shall be completed in conformance with the Geotechnical Report.
- Grading contours shown on this plan are to final grade.
- Construction under filled areas, including roadway and detention basin embankments, shall be 95 percent of the maximum Standard Proctor Density (ASTM D698) at two (2) percent of optimum moisture content.
- No rubble or debris shall be placed in the backfill under any of the proposed buildings, streets, curb & gutter, sidewalk and drainage structures or within five (5) feet of a building footprint. Properly graded rubble may be used in some locations as specified and verified by the Geotechnical Engineer.
- Contractor is responsible for reviewing the site prior to bidding to verify site conditions.
- Contractor is responsible for providing erosion control measures as approved by the El Paso County DSD Engineering Division and as may be required by the El Paso County Inspector.
- All slopes equal to or greater than 3:1 shall require anchored soil retention blanket (SRB), Geocorr 700 or equal.
- The Developer is responsible for maintaining erosion control measures until a mature stage of vegetation is established.
- All soils used for fill must be approved by a representative of the Geotechnical Engineer.
- All natural ground to receive fill must be properly scarified, watered and compacted prior to placing fill.
- The Contractor is solely responsible for the design, maintenance and operation of any required dewatering system. The Contractor shall perform such independent investigation as he deems necessary to satisfy himself as to the subsurface groundwater conditions and unstable soil conditions to be encountered throughout the construction. Contractor shall coordinate the dewatering system with El Paso County when associated with public facilities.
- No fill shall be placed, spread or rolled while it is frozen, thawing or during unfavorable weather conditions. When the work is interrupted by heavy rain, fill operations shall not be resumed until a representative of the Geotechnical Engineer indicates that the moisture content and density of the previously placed fill are as specified. Fill surfaces may be scarified and recompacted after rainfall if necessary, to obtain proper moisture density relation.
- Additional erosion control structures and/or grading may be required at the time of construction.
- Sediment removal for erosion control facilities shall be performed continuously for proper function.
- Base mapping was provided by Rampart Surveys, Inc.
- Proposed Construction Schedule:  
Begin Construction: Fall 2017  
End Construction: Fall 2018  
Total Site Area = 12.30 Acres
- Area to be disturbed = 10.59 Acres (est.)  
Existing 100-year runoff coefficient = 0.53  
Proposed 100-year runoff coefficient = 0.57  
Existing Hydrological Soil Group: B & D  
(Pong coarse sandy loam, and Alamosa loam)
- Site is currently undeveloped and covered with native grasses on gentle slopes (2%-8%).
- Site is located in the Dirty Women Creek Drainage Basin.

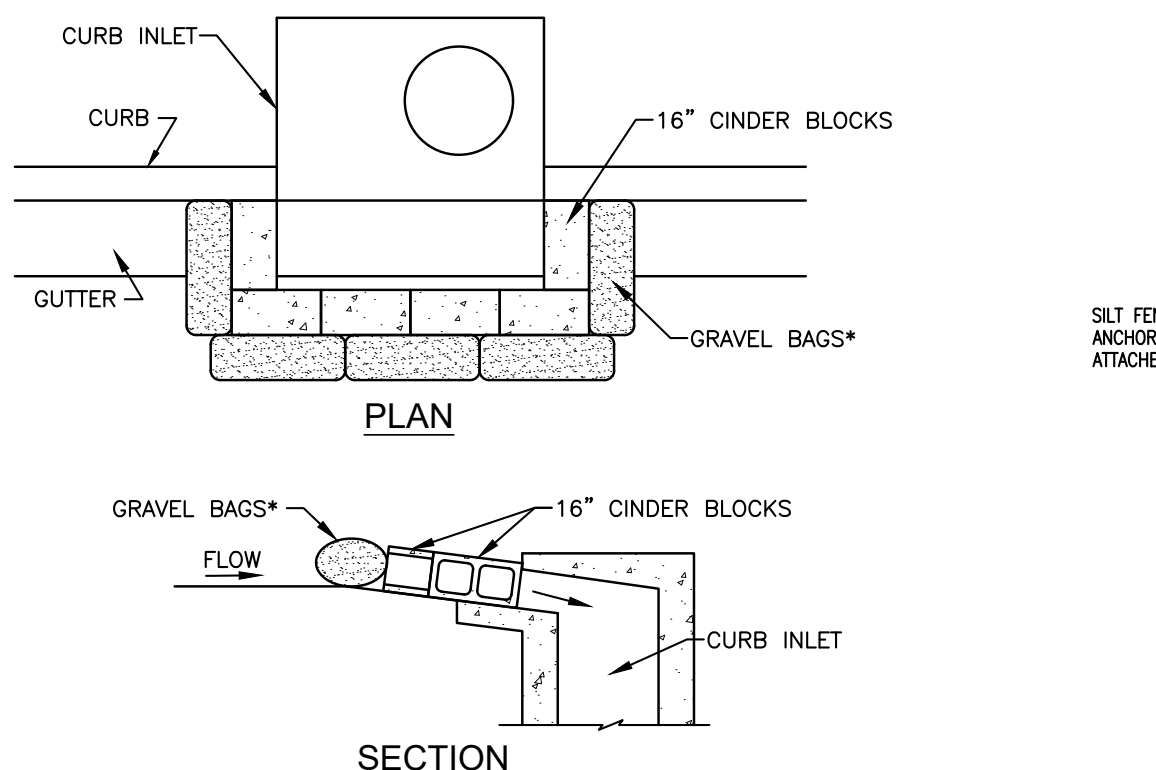
**INSTALLATION REQUIREMENTS**

- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF INLET.
- CONCRETE BLOCKS ARE TO BE LAID AROUND THE INLET IN A SINGLE ROW ON THEIR SIDES, ABUTTING ONE ANOTHER WITH THE OPEN ENDS OF THE BLOCK FACING OUTWARD.
- GRAVEL BAGS ARE TO BE PLACED AROUND THE CONCRETE BLOCKS CLOSELY ABUTTING ONE ANOTHER SO THERE ARE NO GAPS.
- GRAVEL BAGS ARE TO CONTAIN WASHED SAND OR GRAVEL APPROXIMATELY 3/4" IN DIAMETER.
- BAGS ARE TO BE MADE OF 1/4" WIRE MESH (USED WITH GRAVEL ONLY) OR GEOTEXTILE.

**MAINTENANCE REQUIREMENTS**

- CONTRACTOR SHALL INSPECT INLET PROTECTION IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL.
- DAMAGED OR INEFFECTIVE INLET PROTECTION SHALL PROMPTLY BE REPAIRED OR REPLACED.
- SEDIMENT SHALL BE REMOVED WHEN SEDIMENT HAS ACCUMULATED TO APPROXIMATELY 1/2 THE DESIGN DEPTH OF THE TRAP.
- INLET PROTECTION SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED WITHIN THE DRAINAGE AREA AS APPROVED BY THE COUNTY.

**NOTE:** AN ALTERNATE 3/4" TO 1" GRAVEL FILTER OVER A WIRE SCREEN MAY BE USED IN PLACE OF GRAVEL BAGS. THE WIRE MESH SHALL EXTEND ABOVE THE TOP OF THE CONCRETE BLOCKS AND THE GRAVEL PLACED OVER THE WIRE SCREEN TO THE TOP OF THE CONCRETE BLOCKS.



**BLOCK AND GRAVEL BAG INLET PROTECTION (IP-3)**

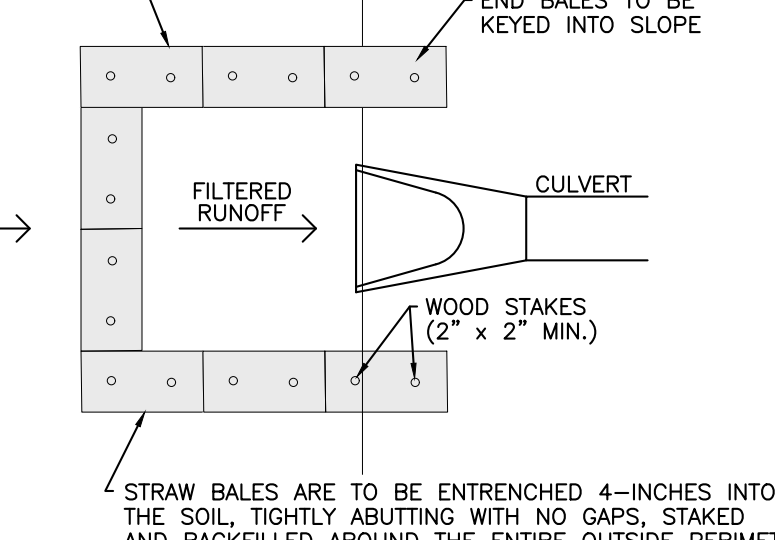
NTS

**DEFINITION**

A SEDIMENT FILTER OR AN EXCAVATED IMPOUNDING AREA AROUND A STORM DRAIN CULVERT INLET.

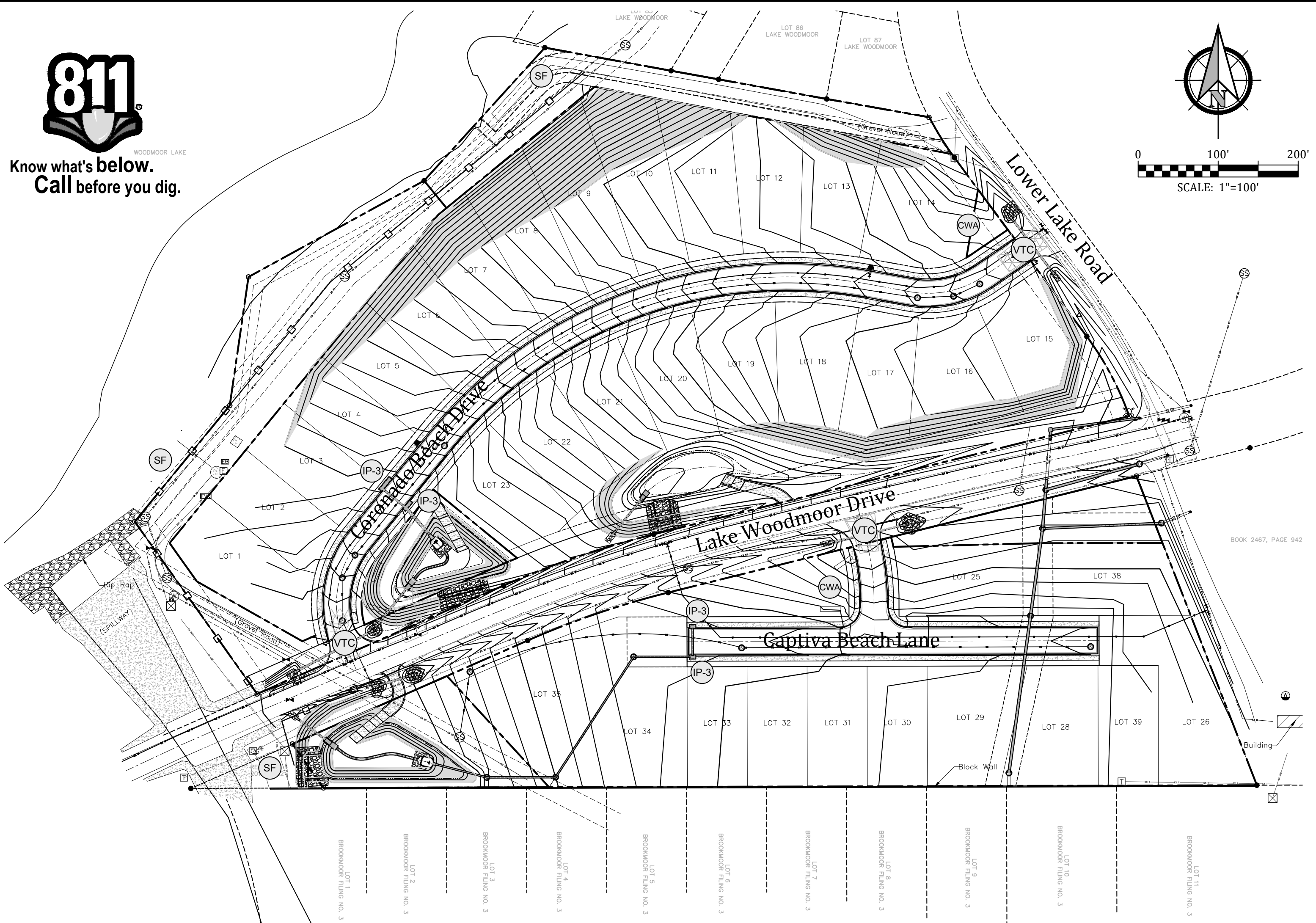
**PURPOSES**

TO PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEMS PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA.



**CULVERT INLET PROTECTION**

NTS

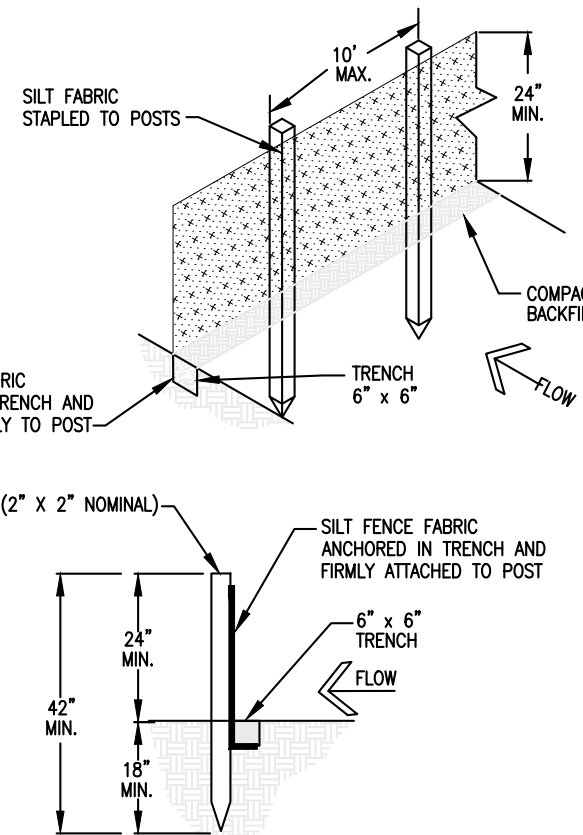


**INSTALLATION REQUIREMENTS**

- SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES AT THE LOCATIONS SHOWN ON THE GRADING AND EROSION CONTROL PLAN (GEC).
- WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPliced TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
- METAL POSTS SHALL BE "STUDDED TEE" OR "U" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
- THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG #9 HEAVY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
- WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 3" LONG. THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 6" AND SHALL NOT EXTEND MORE THAN 3" ABOVE THE ORIGINAL GROUND SURFACE.
- ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
- THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES; HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.

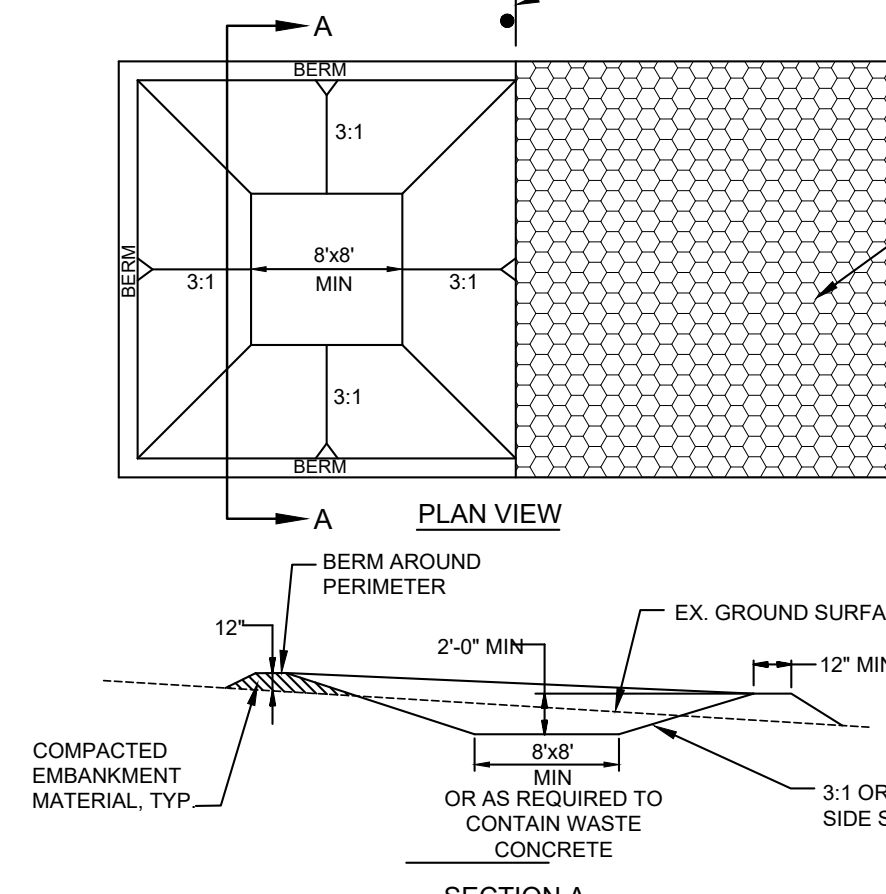
**MAINTENANCE REQUIREMENTS**

- CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNTRENCHED OR INEFFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
- SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE COUNTY.



**SILT FENCE DETAIL**

NTS



**CONCRETE WASHOUT AREA**

NTS

**INSTALLATION REQUIREMENTS**

- SEE GEC FOR LOCATIONS OF CONCRETE WASHOUT AREA.
- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT SITE.
- VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.

**MAINTENANCE REQUIREMENTS**

- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
- WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOPSOIL, DRILL SEED AND CRIMP MULCH OR OTHERWISE STABILIZE IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- INSPECT WEEKLY, AND DURING AND AFTER ANY STORM EVENT.

**EROSION CONTROL LEGEND**

	Silt Fence (SF)
	Vehicle Tracking Control (VTC)
	Sediment Control Log (SCL)
	Erosion Control Blanket (ECB)
	Inlet Protection (IP)
	Concrete Wash Area (CWA)

**ENGINEER'S STATEMENT**

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENCE, ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

ANDREW W. McCORD P.E. 25057 DATE  
FOR AND ON BEHALF OF KIOWA ENGINEERING CORPORATION

**OWNER'S STATEMENT**

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

BY: \_\_\_\_\_ DATE  
TITLE: \_\_\_\_\_

ADDRESS: LAKE WOODMOOR HOLDINGS, LLC  
1755 TELSTAR DRIVE, SUITE 211  
COLORADO SPRINGS, COLORADO 80920

**EL PASO COUNTY**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

JENNIFER IRVINE, P.E. DATE  
COUNTY ENGINEER/ECM ADMINISTRATOR

**The Beach at Woodmoor Filing No. 1**  
**Grading and Erosion Control Plan**  
**El Paso County, Colorado**

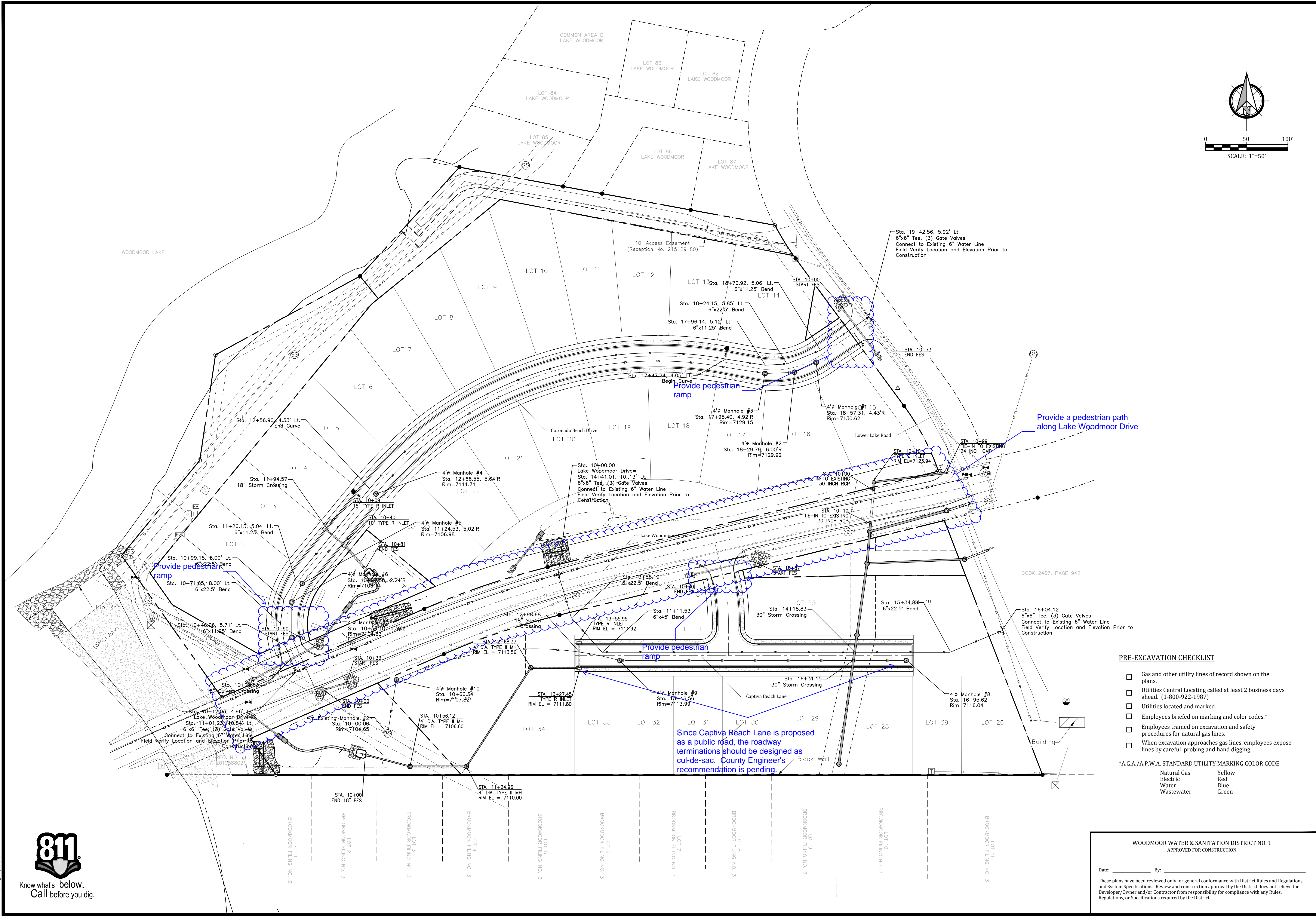
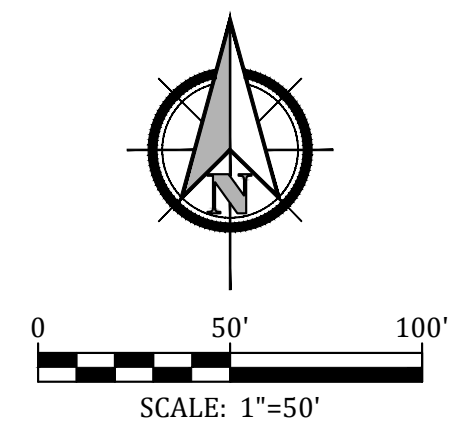
Project No.: 16059  
Date: May 24, 2017  
Design: JAK  
Drawn: JAK  
Check: AWMc

Revisions:

SHEET







**PRE-EXCAVATION CHECKLIST**

- Gas and other utility lines of record shown on the plans.
- Utilities Central Locating called at least 2 business days ahead. (1-800-922-1987)
- Utilities located and marked.
- Employees briefed on marking and color codes.\*
- Employees trained on excavation and safety procedures for natural gas lines.
- When excavation approaches gas lines, employees expose lines by careful probing and hand digging.

**\*A.G.A./A.P.W.A. STANDARD UTILITY MARKING COLOR CODE**

Natural Gas	Yellow
Electric	Red
Water	Blue
Wastewater	Green

**WOODMOOR WATER & SANITATION DISTRICT NO. 1**  
APPROVED FOR CONSTRUCTION

Date: \_\_\_\_\_ By: \_\_\_\_\_

These plans have been reviewed only for general conformance with District Rules and Regulations and System Specifications. Review and construction approval by the District does not relieve the Developer/Owner and/or Contractor from responsibility for compliance with any Rules, Regulations, or Specifications required by the District.

**The Beach at Woodmoor Filing No. 1**

**Utility System Plan**  
El Paso County, Colorado

Project No.:	16059
Date:	May 24, 2017
Design:	JAK
Drawn:	JAK
Check:	AWMc
Revisions:	

SHEET

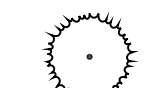
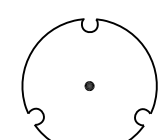
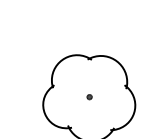
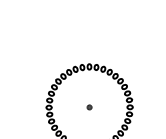


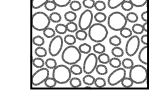

**4**



Know what's below.  
Call before you dig.



PRELIMINARY PLANT LEGEND

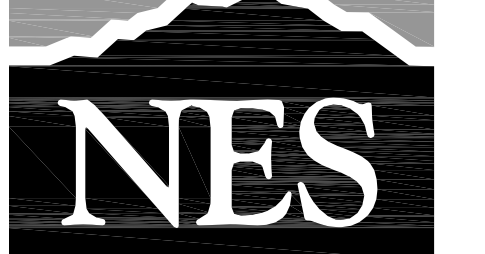
-  **EVERGREEN TREE**  
Pinus ponderosa / Ponderosa Pine  
Pinus sylvestris / Scotch Pine
-  **DECIDUOUS SHADE TREE**  
Acer grandidentatum Rocky Mountain Glow / Bigtooth Maple  
Gleditsia triacanthos inermis / Thornless Common Honeylocust  
Populus angustifolia / Narrowleaf Poplar
-  **DECIDUOUS ORNAMENTAL TREE**  
Amelanchier canadensis Autumn Brilliance / Autumn Brilliance Serviceberry  
Crataegus crus-galli Inermis / Thornless Hawthorn  
Malus x Prairifire / Prairifire Crab Apple
-  **EVERGREEN ORNAMENTAL TREE**  
Picea pungens glauca Baby Blue Eyes TM / Baby Blue Eyes Colorado Blue Spruce
-  **NATIVE SEED**
-  **SHRUB BED**
-  **ROCK COBBLE**
-  **TURF SOD**

# THE BEACH AT WOODMOOR FILING NO. 1

## EL PASO COUNTY, COLORADO

### PRELIMINARY / PUD DEVELOPMENT PLAN

Land Planning  
Landscape  
Architecture  
Urban Design

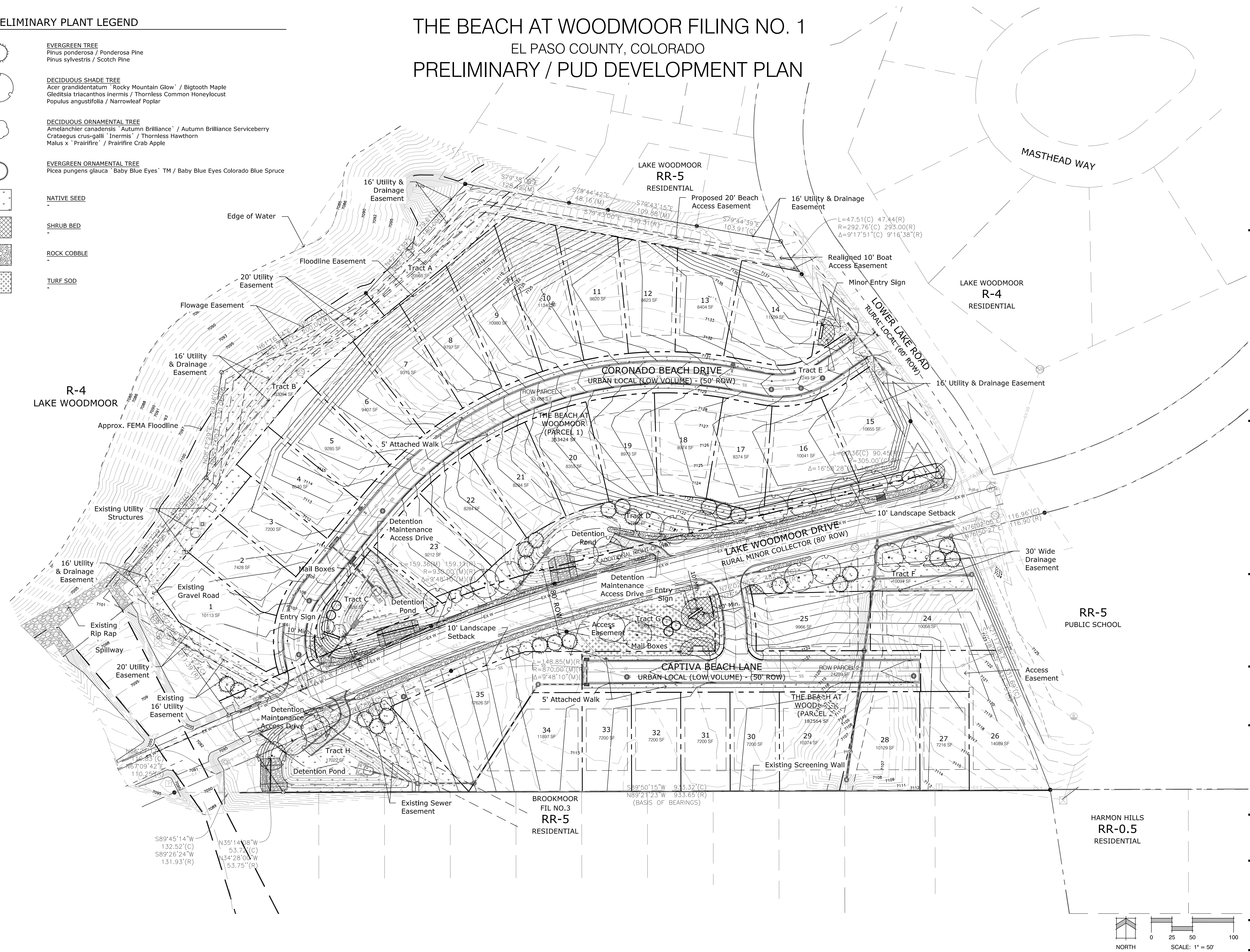


N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903

Tel. 719.471.0073  
Fax 719.471.0267

www.nescolorado.com

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## Beach at Woodmoor

### PRELIMINARY / PUD DEVELOPMENT PLAN

Lake Woodmoor Dr. & Lower Lake Rd.  
Monument, CO 80132

DATE: 05-26-17  
PROJECT MGR: A. BARLOW  
PREPARED BY: K. MARSHALL

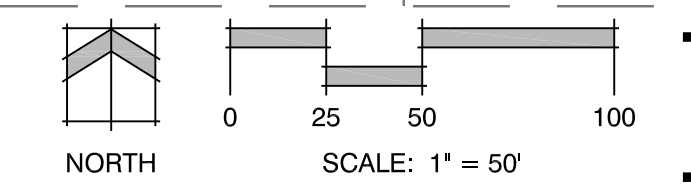
ENTITLEMENT

DATE:	BY:	DESCRIPTION:

PRELIMINARY  
LANDSCAPE PLAN

# LS1

5 OF 6



P:\L1\Plan\The Beach at Woodmoor\Drawings\Planning\Pre-land\Beach-Woodmoor\_PUD.dwg [24x36] (LS1) 5/26/2017 8:33:06 AM kmarshall



**SITE DATA**

Area: 12.317 Acres  
 Current Zoning: R-4 & RR-5  
 Proposed Zoning: PUD  
 Proposed Land Use: Single Family  
 Lot Coverage: 50% Maximum  
 Number of Lots: 35  
 Tract Landscape Area: Aprox. 119,100 SF

**LANDSCAPE NOTES**

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 S.F. AREA OF CLASS 2 A1 ORGANICS PERMIUM ORGANIC COMPOST ON TALL FESCUE SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 S.F. AREA OF CLASS 3 COMPOSTED COW MANURE (AGED 1 YEAR) ORGANIC COMPOST TO ALL SEED AREAS. AMENDMENTS MAY CHANGE TO BE BASED ON SOIL ANALYSIS OF FINAL INFILL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL AREAS WITH 3:1 SLOPES.
- ALL SOD SHALL BE TALL FESCUE BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- GRAVEL ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SCHEDULE PLANTS SIZES IN TABLE ARE SUGGESTED. PLANTS TO BE CONSIDERED FOR FULFILLING COUNTY LANDSCAPE REQUIREMENTS SHALL HAVE A MINIMUM CALIPER SIZE (MEASURED SIX INCHES ABOVE GROUND) FOR DECIDUOUS SHADE TREES SHALL BE 1-1/2 INCHES AND FOR DECIDUOUS ORNAMENTAL TREES 1 INCH. EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT ABOVE GROUND. SHRUBS SHALL BE A MINIMUM OF 5 GALLON SIZE.
- ALL PLANTS SHOWN IN PRELIMINARY LANDSCAPE PLAN ARE FULFILLING A COUNTY LANDSCAPE REQUIREMENT. ADDITIONAL AND INTERIOR PLANTING WILL BE SHOWN IN FINAL LANDSCAPE PLAN.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

**LANDSCAPE REQUIREMENTS**

**Street Setbacks**

Street Name or Boundary	Street Classification	Width (in Ft.) Req./Prov.	Linear Footage
Lake Woodmoor Rd - North	Minor Collector	10' / 10'	923'
Lake Woodmoor Rd - South	Minor Collector	10' / 10'	888'

Tree/Feet Req./Prov.	No. of Trees Req./Prov.	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided
1 / 30'	31 / 31	--	75% / 75%
1 / 30'	30 / 30	--	75% / 75%

Identify as belonging to Lake Woodmoor north or south

**FOOTHILLS SEED MIX**

EROSION PROTECTION/REVEGETATION REQUIREMENTS  
 Per U.S.A. Soil Conservation Service Guidelines

1. Practice No. & Name: FOOTHILLS MIX- From Arkansas Valley Seed Co.  
 Range Site: Loamy and shallow foothills  
 2. Planned: 0.66 AC (28,800 sq)

Seeded Prec: \_\_\_\_\_ Seeding Operation: \_\_\_\_\_  
 a. Method: Rotated to 6" a. Method: X - HYDROSEED  
 b. dates: April/May or as approved by L.A. b. Drill \_\_\_\_\_  
 c. Clean Tilled: X Interseed \_\_\_\_\_  
 Firm Seeded: X Broadcast \_\_\_\_\_  
 Stubble cover: \_\_\_\_\_ b. Drill Spacing \_\_\_\_\_  
 Interseed: \_\_\_\_\_ c. Date: April/May or as approved by L.A.  
 Other: Till to 2 cu. yds/1,000 s.f. organic matter d. Planting Depth: 1/4"-1/2"

Fertilizer (Pounds Actual Per Acre): \_\_\_\_\_ Weed Control: \_\_\_\_\_  
 N: 50 pounds per acre Mowing: X  
 P: 40 pounds per acre Chemical: \_\_\_\_\_  
 K: N/A Dates: 14 days prior to seeding  
 See S.C.S. for specific recommendations at herbicide application time.

Mulch: Green Color Hydromulch after seeding. Contractor to submit product sample.  
 Kind: 2,200 lbs/acre  
 Amount: \_\_\_\_\_  
 How Applied: Hydroseeded in two steps: First Step - Seed Application, Second Step - Mulch Application.  
 How Anchored: 100 lbs/ Acre, Tarpillier  
 Anchorage Depth: nil

Seed Variety:	Lbs/Acre	Planned Acres	Total Lbs.
Foothills Mix	20 lbs/acre		
20% Annual Ryegrass			
16% Slender Wheatgrass			
10% Mountain Blume			
10% Paspalum Wheatgrass			
11% Hard Fescue			
11% Canada Bl. grass			
6% Scripps Grass			
6% Bl. Broomrape			
5% Blue Grama (Coated)			
5% Switchgrass			

Arkansas Valley Seed Co.  
 (877) 997-5337 <http://www.avseeds.com>

\* If outside specified planting dates, utilize sprayed tackifier at manufacturer's recommended rates on all seed areas.

**TREE PLANT LIST**

DECIDUOUS TREES	HEIGHT	WIDTH	SIZE	COND
Acer grandidentatum `Rocky Mountain Glow` / Bigtooth Maple	30'	30'	2.5' Cal.	B&B
Gleditsia triacanthos inermis / Thornless Common Honeylocust	50'	40'	2.5' Cal.	B&B
Populus angustifolia / Narrowleaf Poplar	50'	30'	2.5' Cal.	B&B

EVERGREEN TREES	HEIGHT	WIDTH	SIZE	COND
Picea pungens glauca `Baby Blue Eyes` TM / Baby Blue Eyes Colorado Blue Spruce	30'	15'	6' HT	B&B
Pinus ponderosa / Ponderosa Pine	80'	40'	8' HT	B&B
Pinus sylvestris / Scotch Pine	50'	30'	8' HT	B&B

ORNAMENTAL TREE	HEIGHT	WIDTH	SIZE	COND
Amelanchier canadensis `Autumn Brilliance` / Autumn Brilliance Serviceberry	25'	20'	2' Cal.	B&B
Crataegus crus-galli `Inermis` / Thornless Hawthorn	25'	20'	2' Cal.	B&B
Malus x `Prairifire` / Prairifire Crab Apple	20'	20'	2' Cal.	B&B

**SHRUBS & PERENNIAL PLANT LIST**

SHRUBS	HEIGHT	WIDTH	SIZE	COND	XERIC
Caryopteris x clandonensis / Bluebeard	3'	3'	5 GAL	CONT	NonX
Cornus sericea / Redoiser Dogwood	8'	8'	5 GAL	CONT	NonX
Physocarpus opulifolius `Coppertina` / Coppertina Ninebark	10'	10'	5 GAL	CONT	NonX
Pinus sylvestris `Hillside Creeper` / Hillside Creeper Scotch Pine	3'	8'	5 GAL	CONT	NonX
Potentilla fruticosa / Bush Cinquefoil	3'	3'	5 GAL	CONT	Xeric
Rhus glabra `Cismontana` / Western Smooth Sumac	3'	3'	5 GAL	CONT	Xeric
Rhus trilobata / Skunkbush Sumac	6'	6'	5 GAL	CONT	Xeric
Rosa x harisonii / Harrison's Yellow Rose	6'	6'	5 GAL	CONT	
Spiraea thunbergii `Ogon` TM / Mellow Yellow Spirea	5'	5'	5 GAL	CONT	
Symphoricarpos orbiculatus / Coralberry	6'	6'	5 GAL	CONT	

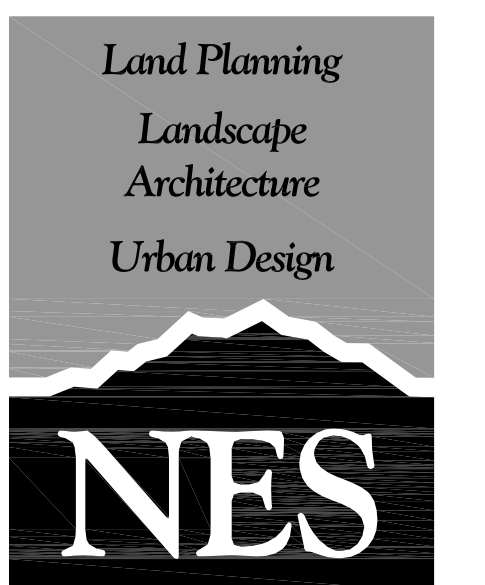
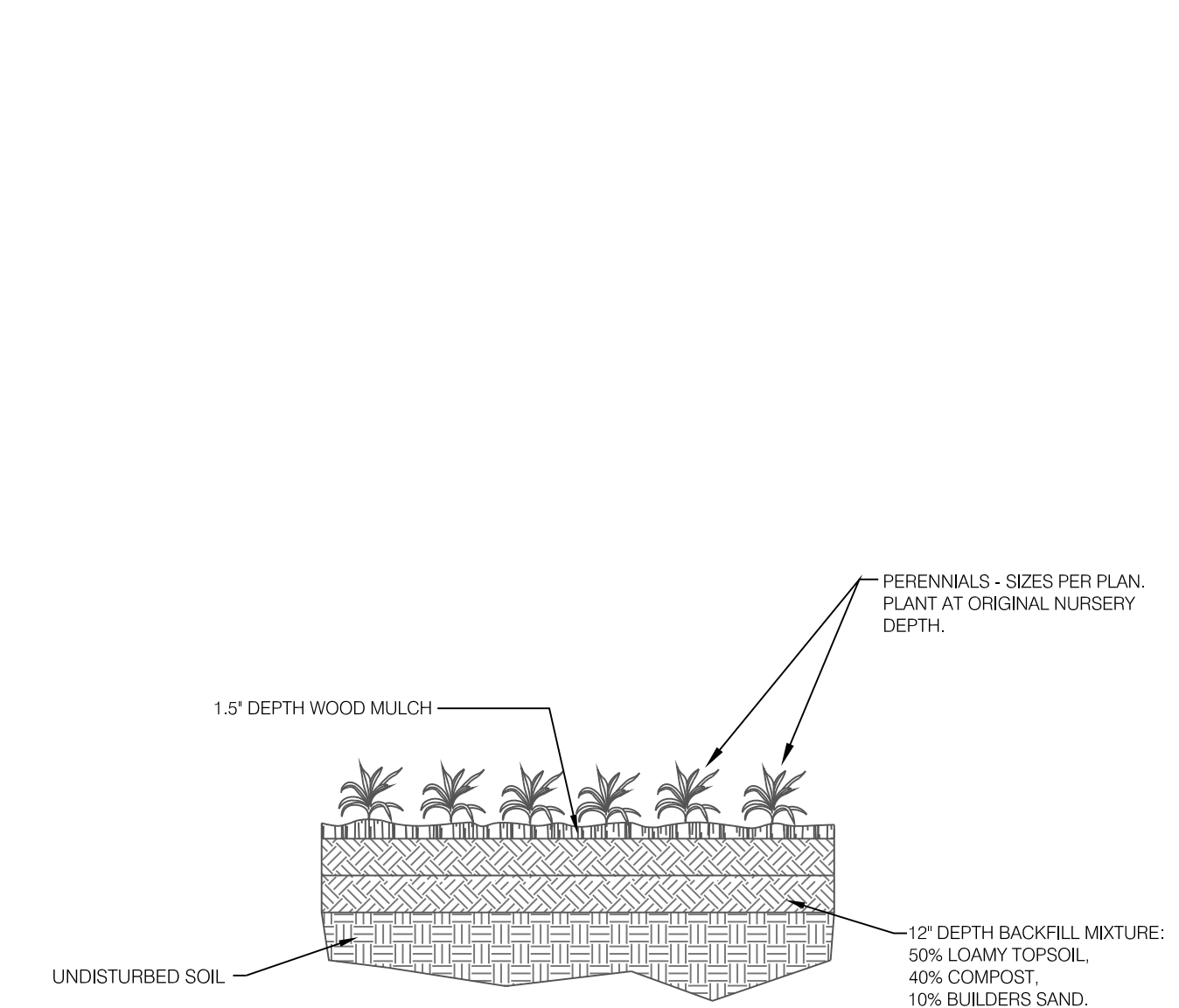
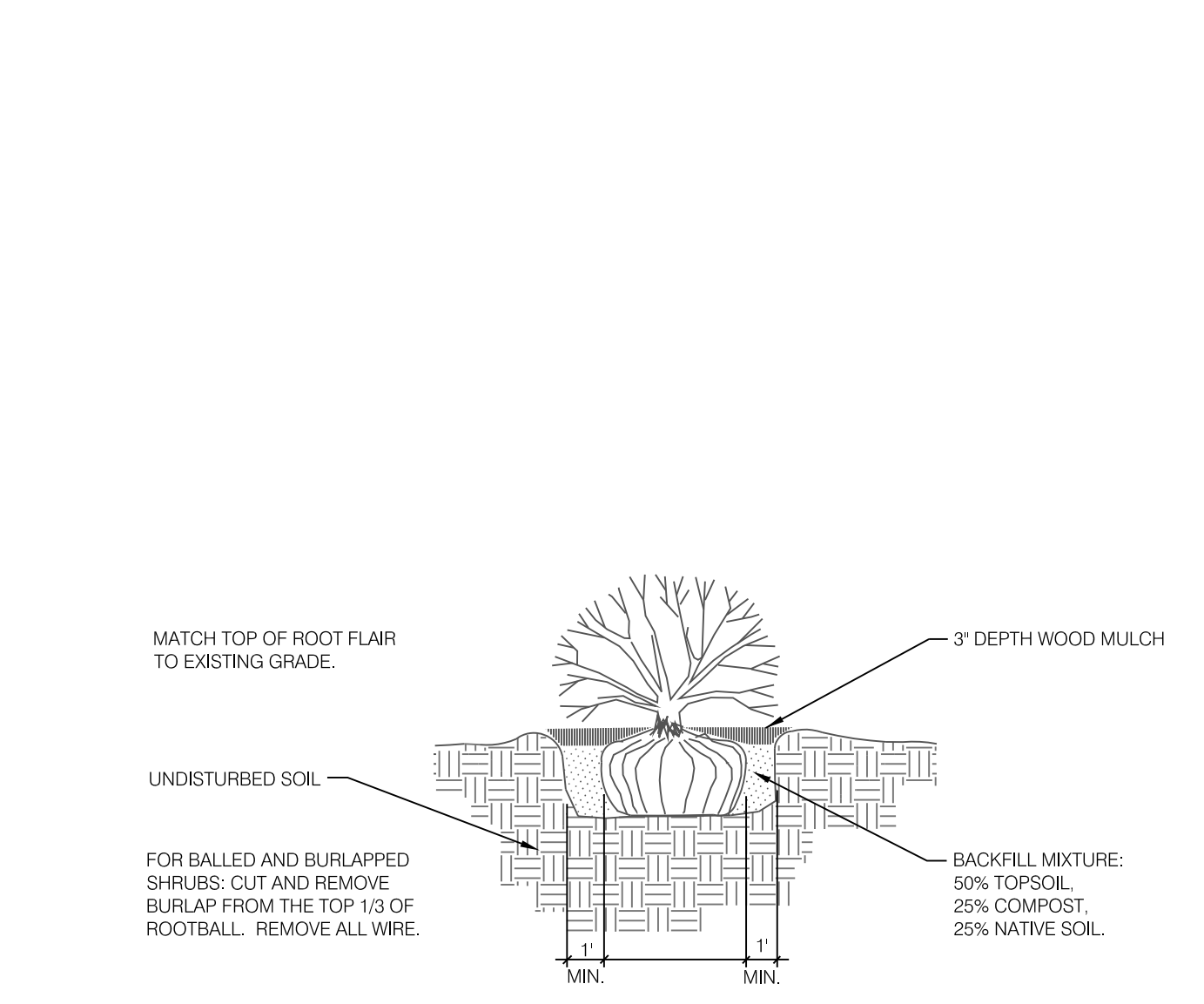
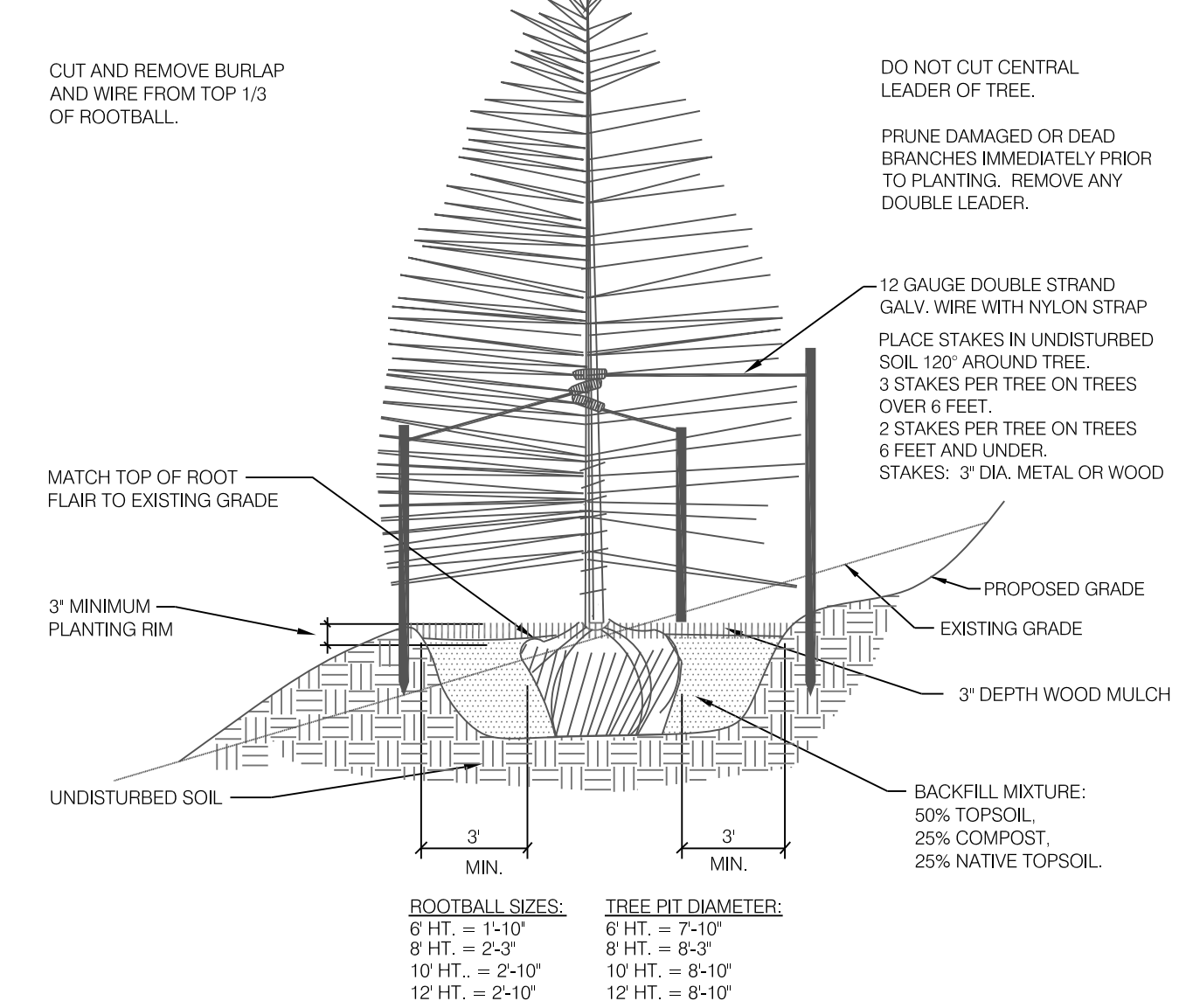
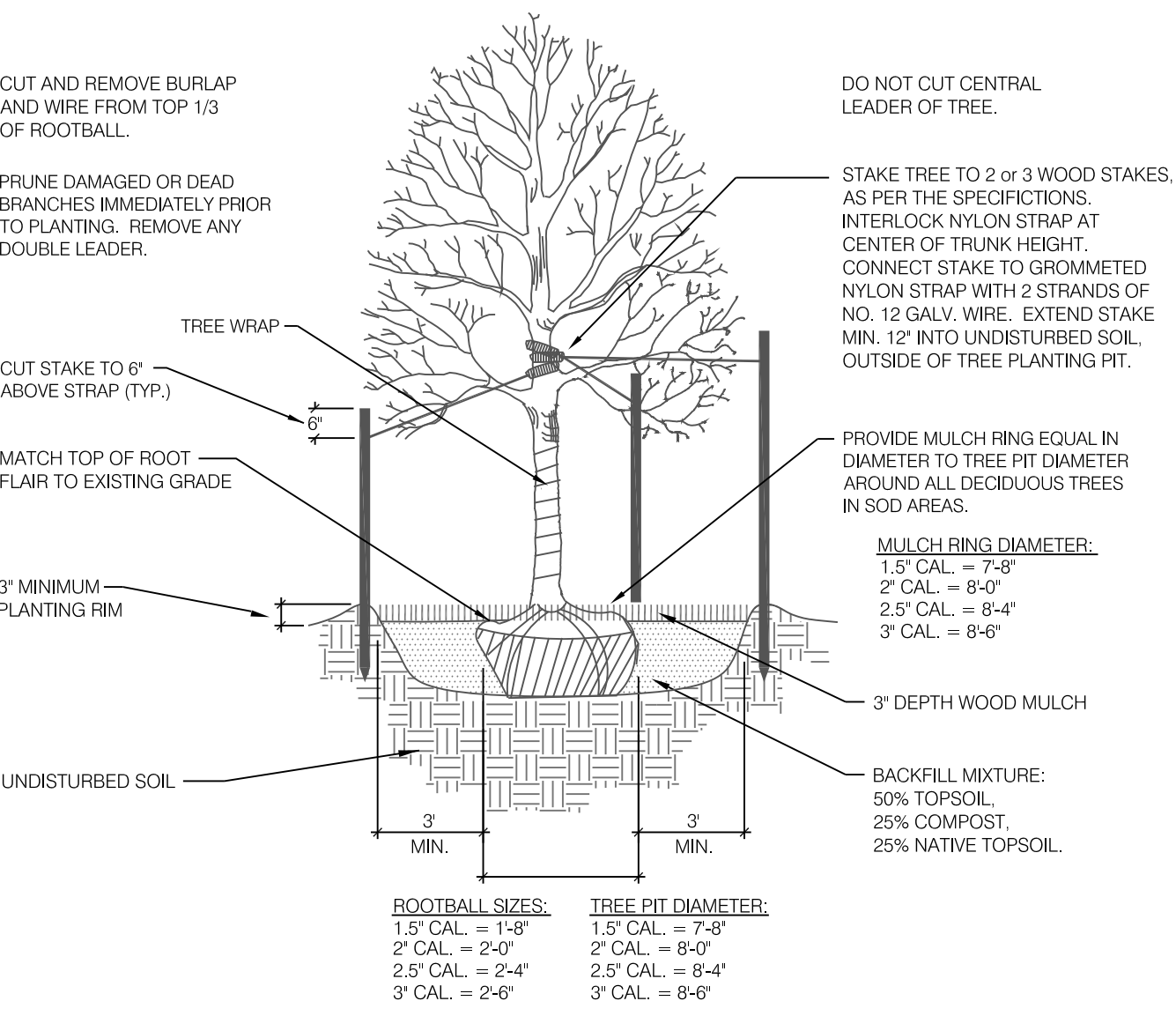
ANNUALS/PERENNIALS	HEIGHT	WIDTH	SIZE	COND	XERIC
Agastache aurantiaca / Giant Hyssop	1.5'	1'	1 GAL	CONT	Xeric
Aquilegia chrysantha / Golden Columbine	3'	2'	1 GAL	CONT	NonX
Dianthus graniticus / Pink	3'	1.5'	1 GAL	CONT	NonX
Diastia integerrima / Twinspur	1.5'	1'	1 GAL	CONT	NonX
Digitalis obscura / Willow-leaved Foxglove	2'	1.5'	1 GAL	CONT	NonX
Heuchera sanguinea / Coral Bells/Alumroot	1.5'	1.5'	1 GAL	CONT	NonX
Kniphofia caulescens / Blue Leaf Fire Poker/Torchlily	4'	2'	1 GAL	CONT	NonX
Nepeta x faassenii / Catmint	2'	2'	1 GAL	CONT	NonX
Origanum libanoticum / Hopflower Oregano	1.5'	2'	1 GAL	CONT	NonX
Penstemon barbatus / Beardlip Penstemon	3'	1.5'	1 GAL	CONT	Xeric
Penstemon linarioides coloradoensis / Blue Mat Penstemon	1'	1'	1 GAL	CONT	Xeric
Penstemon rostriflorus / Bridge Penstemon	2'	1'	1 GAL	CONT	Xeric
Phlomis cashmeriana / Himalayan Sage	3'	2'	1 GAL	CONT	NonX

EVERGREEN SHRUBS	HEIGHT	WIDTH	SIZE	COND	XERIC
Juniperus chinensis `Holbert` / Holbert Juniper	3'	10'	5 GAL	CONT	NonX
Juniperus horizontalis `Blue Chip` / Blue Chip Juniper	1'	8'	5 GAL	CONT	NonX

GRASSES	HEIGHT	WIDTH	SIZE	COND	XERIC
Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass	5'	2'	1 GAL	CONT	NonX
Pennisetum setaceum `Rubrum` / Purple Fountain Grass	3'	1'	1 GAL	CONT	

GROUND COVER	HEIGHT	WIDTH	SIZE	COND	XERIC
Cerastium tomentosum / Snow In Summer	1'	1.5'	1 GAL	CONT	NonX
Delosperma cooperi / Purple Ice Plant	0.5'	1.5'	1 GAL	CONT	Xeric
Delosperma floribundum / Ice Plant	0.5'	1'	1 GAL	CONT	Xeric
Eriogonum umbellatum / Sulfurflower Buckwheat	1'	2'	1 GAL	CONT	Xeric
Zinnia grandiflora / Rocky Mountain Zinnia	0.5'	1'	1 GAL	CONT	Xeric

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**Beach at Woodmoor**  
 PRELIMINARY / PUD DEVELOPMENT PLAN

Lake Woodmoor Dr. & Lower Lake Rd.  
 Monument, CO 80132

DATE: 05-26-17  
 PROJECT MGR: A. BARLOW  
 PREPARED BY: K. MARSHALL

**ENTITLEMENT**

DATE:	BY:	DESCRIPTION:

**PRELIMINARY LANDSCAPE DETAILS**

**LS2**  
 6 OF 6