

UTILITY CONTACTS:

WATER – MERIDIAN SERVICE METROPOLITAN DISTRICT POC: KEVIN FACKERELL (719)–495–6567	GAS – BLACK HILLS ENERGY (719)–393–6625
SANITARY SEWER – MERIDIAN SERVICE METROPOLITAN DISTRICT POC: BRADEN MCGRODY (719)–495–6567	ELECTRIC – MOUNTAIN VIEW ELECTRIC ASSOC. (719)–495–2283
DRAINAGE – EL PASO COUNTY PCD/INSPECTIONS (719)–520–6300	GEOTECHNICAL ENGINEER – GROUND ENGINEERING CONSULTANTS, INC. (303)–5991–6944
DRAINAGE – MERIDIAN SERVICE METROPOLITAN DISTRICT POC: TOM KERBY (719)–495–7444	FALCON FIRE PROTECTION DISTRICT (719) 495–4050

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGAL DESCRIPTION:

KNOW ALL MEN BY THESE PRESENTS: THAT MERIDIAN SERVICE METROPOLITAN DISTRICT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACTS OF LAND:
A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20 IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

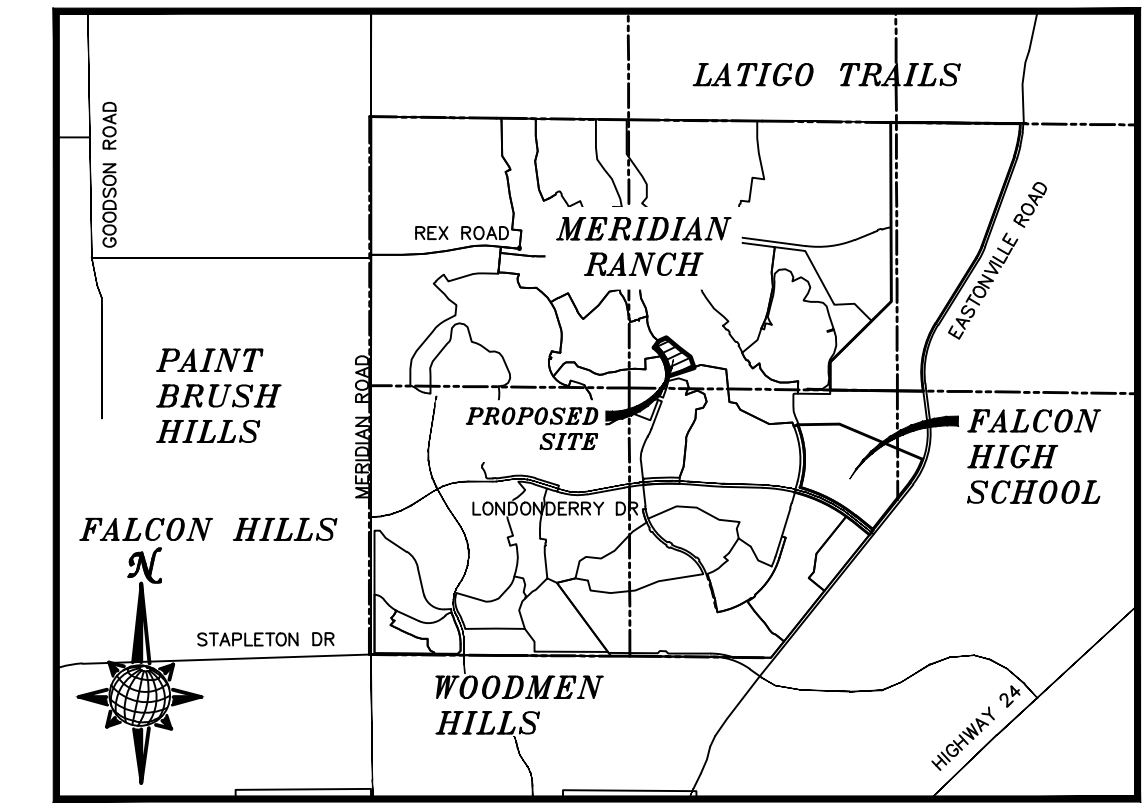
1. THENCE N36°06'38"E ON THE EASTERLY BOUNDARY OF SAID LOT 87 A DISTANCE OF 130.00 FEET;
2. THENCE N50°10'02"E A DISTANCE OF 126.73 FEET;
3. THENCE S46°22'12"E A DISTANCE OF 323.57 FEET;
4. THENCE S56°41'10"E A DISTANCE OF 122.78 FEET;
5. THENCE S53°00'09"E A DISTANCE OF 205.25 FEET;
6. THENCE S41°27'50"E A DISTANCE OF 98.21 FEET;
7. THENCE S56°12'36"W A DISTANCE OF 405.15 FEET TO A POINT ON THE BOUNDARY OF MERIDIAN RANCH FILING 11A, RECORDED WITH RECEPTION NO. 214733513;
8. THENCE S72°14'48"W ON SAID BOUNDARY A DISTANCE OF 130.15 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF RAINBOW BRIDGE DRIVE AND A NON-TANGENT CURVE TO THE LEFT;
9. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 680.00 FEET, A DELTA ANGLE OF 55°20'34", AN ARC LENGTH OF 656.82 FEET, WHOSE LONG CHORD BEARS N26°13'05"W A DISTANCE OF 631.58 FEET TO THE POINT OF BEGINNING.

THE ABOVE PARCEL OF LAND CONTAINS 5.443 ACRES, MORE OR LESS.

CIVIL DRAWINGS FOR MERIDIAN RANCH FIELD HOUSE IMPROVEMENT PLANS

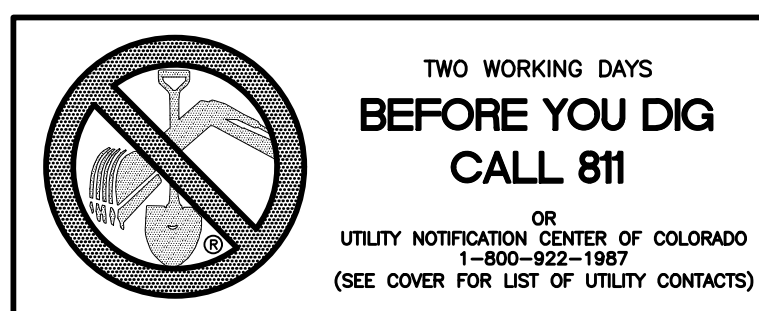
PREPARED FOR MERIDIAN SERVICE METROPOLITAN DISTRICT

A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20,
IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, STATE OF COLORADO.



**VICINITY MAP
N.T.S.**

SHEET NO	CIVIL SHEET INDEX
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C1.2–C1.4	DETAIL SHEETS
C2.0	EXISTING CONDITIONS
C3.0	EROSION CONTROL
C4.0	HORIZONTAL CONTROL & PAVING
C4.1	HORIZONTAL CONTROL TABLES
C5.0	GRADING PLAN
C5.1	GRADING PLANGRADING CUT–FILL
C6.0	SANITARY SEWER PLAN
C7.0	WATER PLAN
C8.0–C8.1	STORM SEWER PLAN



BASIS OF BEARING

BASIS OF BEARINGS FOR THIS DESCRIPTION IS THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 29, T12S, R64W OF THE 6TH P.M., WHICH IS ASSUMED TO BEAR S89°25'42"E FROM THE SOUTHWEST CORNER OF SECTION 29 (A STONE W/SCRIBED "X") TO THE SOUTH QUARTER CORNER OF SECTION 29 (3.25" ALUM. CAP LS 30087).

BENCH MARK

- 1) MRRCT – 3 1/4" ALUMINUM CAP ON NO.6 REBAR LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF LONDONDERRY DRIVE AND ANGELES ROAD. LOCATED AT THE SE CORNER OF THE MERIDIAN RANCH RECREATIONAL CENTER SIGN. ELEVATION – 7098.40'
- 2) MRMSI – 3 1/4" ALUMINUM CAP ON NO.6 REBAR LOCATED ON THE WEST SIDE OF RAINBOW BRIDGE DRIVE 1.150 FEET NORTH OF LONDONDERRY DRIVE. LOCATED NEAR THE BACK OF SIDE WALK AT THE NW CORNER OF RAINBOW BRIDGE DRIVE AND THE NORTHERLY ENTRANCE TO MERIDIAN RANCH ELEMENTARY SCHOOL (10480 RAINBOW BRIDGE DRIVE). ELEVATION – 7099.72'

DISTRICT ENGINEER:

Thomas A. Kerby
THOMAS A. KERBY, P.E. CO 31429 DATE 6/17/2024
MERIDIAN SERVICE METROPOLITAN DISTRICT

WATER AND SANITARY SEWER APPROVALS:

Jim Nikkel
JIM NIKKEL, GENERAL MANAGER DATE 8/20/2024
MERIDIAN SERVICE METROPOLITAN DISTRICT

OWNERS STATEMENT:

THE UNDERSIGNED OWNER HAS READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE CONSTRUCTION PLANS AND THE ACCOMPANYING DRAINAGE REPORT.

Jim Nikkel
JIM NIKKEL, GENERAL MANAGER DATE 8/20/2024
MERIDIAN SERVICE METROPOLITAN DISTRICT

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENCE ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



THOMAS A. KERBY, P.E. #31429

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT BEEN STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES ET THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. DATE
COUNTY ENGINEER / ECM ADMINISTRATOR

L K A P A R T N E R S
I N C O R P O R A T E D

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Meridian Ranch Field House

10559 & 10575 Rainbow Bridge Dr
Peyton, CO 80831
Meridian Service Metro District
11886 Stapleton Drive
Falcon, CO 80831

El Paso County
Major Commercial Site
Development Plan

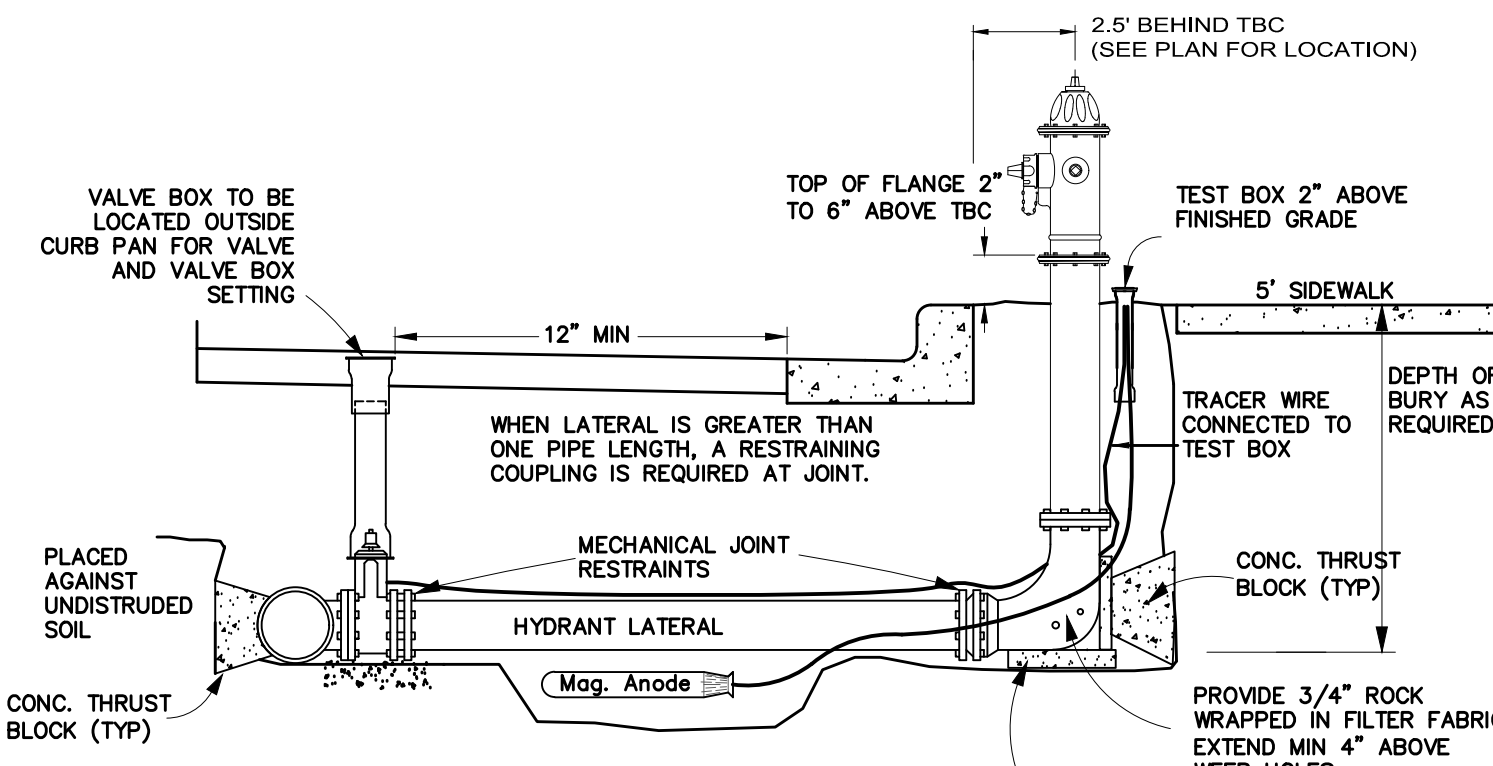
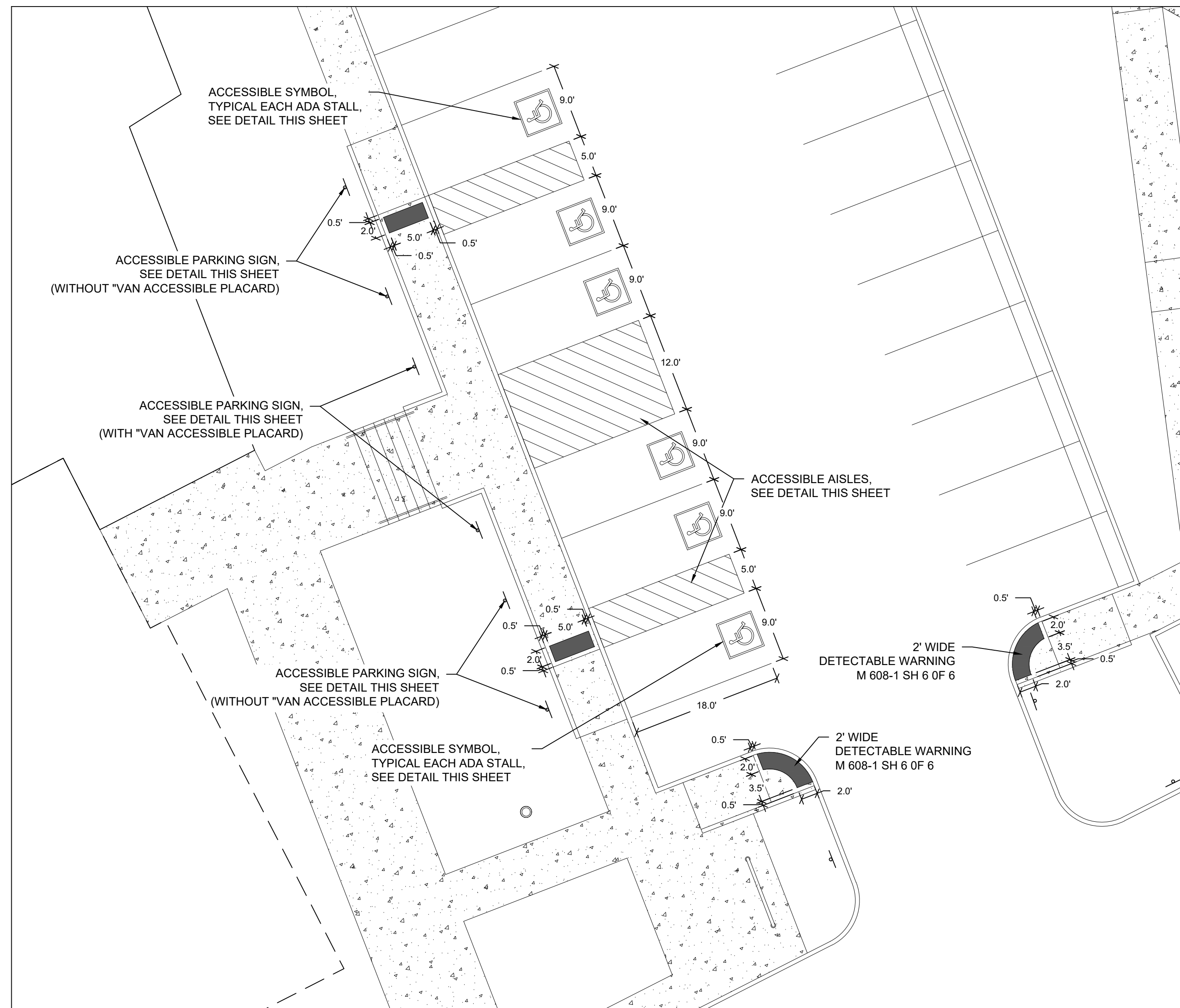
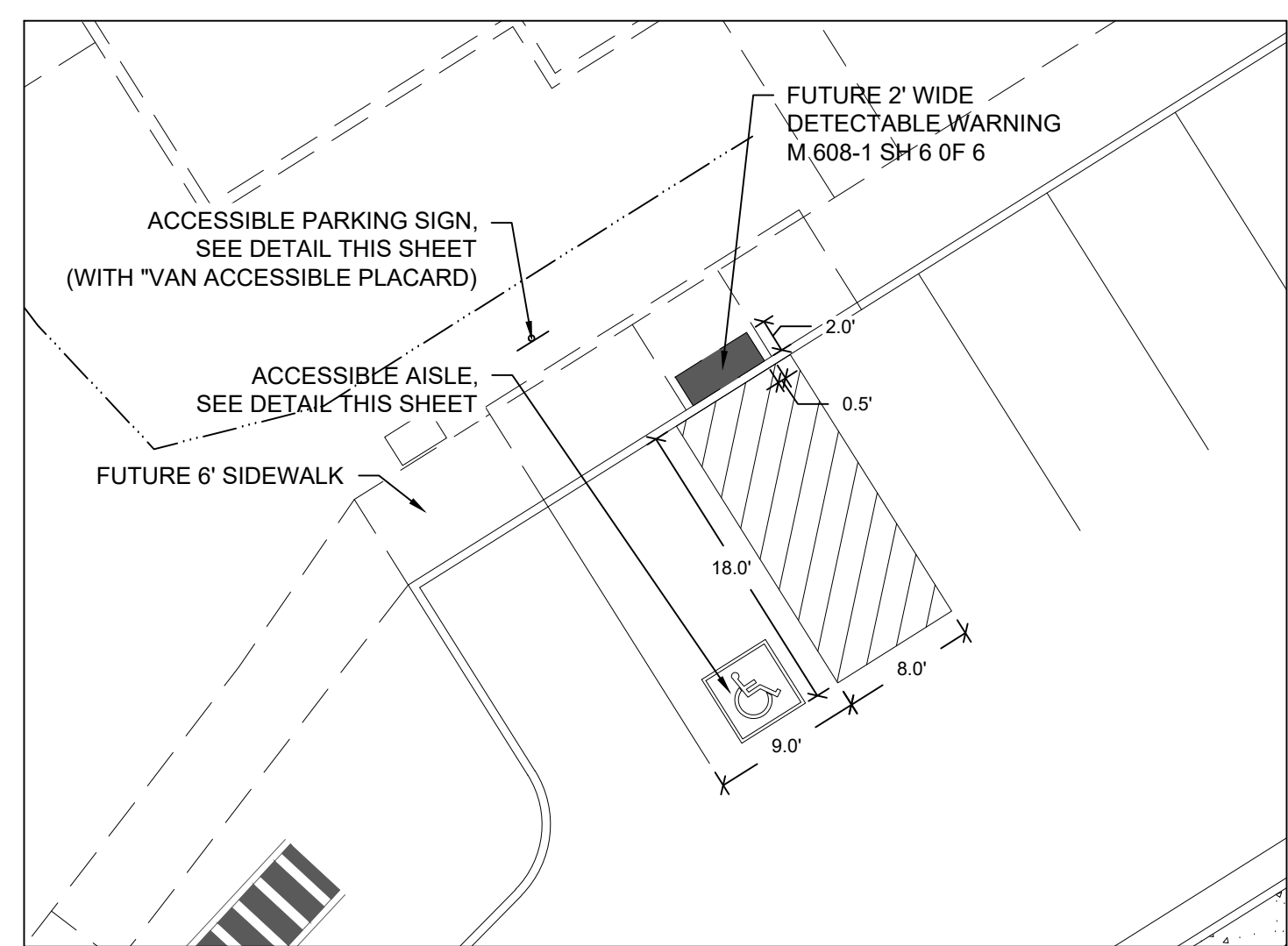
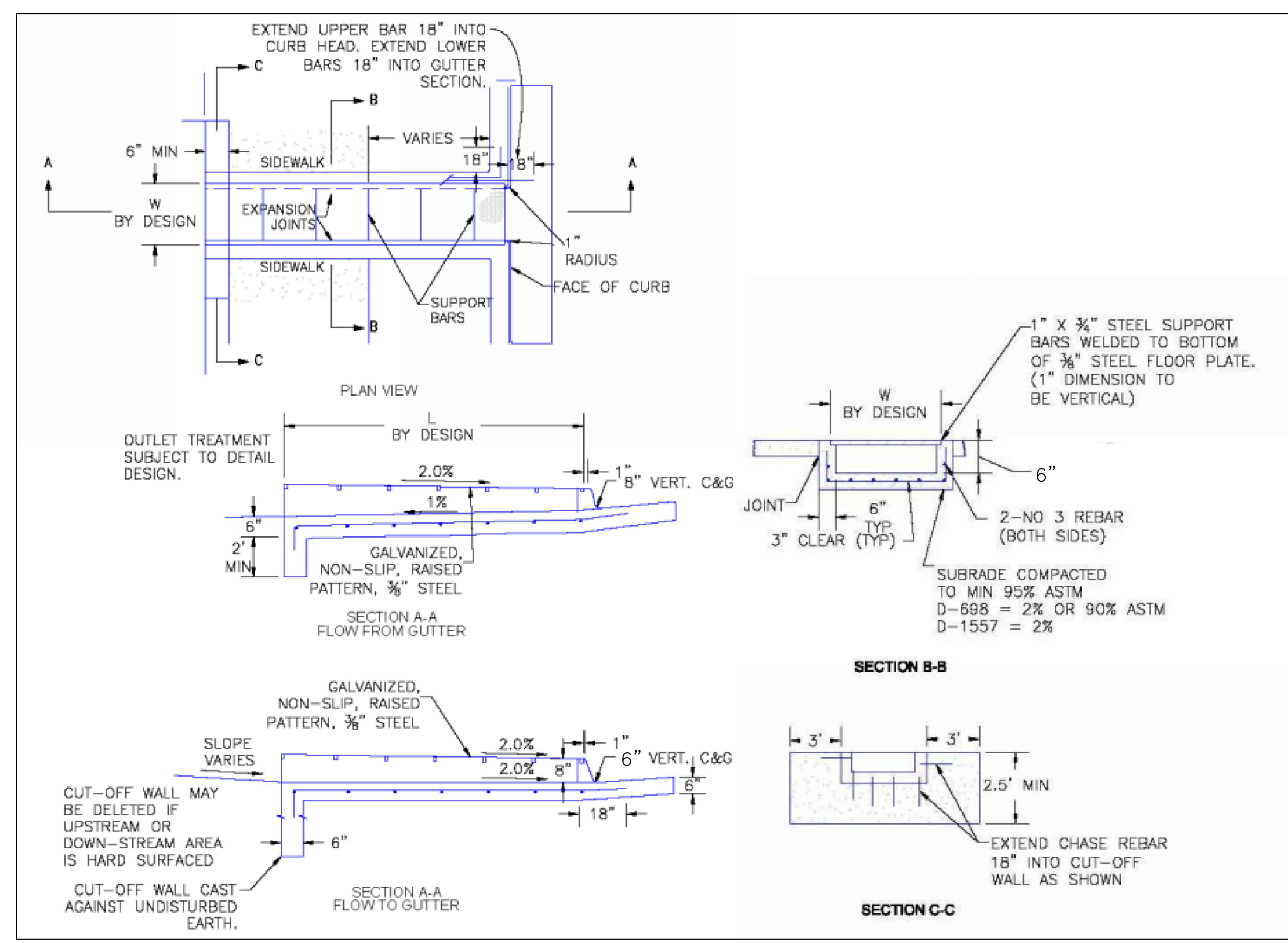
Drawn: LCG
Checked: JS
Issued: 17 JUNE 2024
Revised:

Area Key Plan

CIVIL COVER SHEET

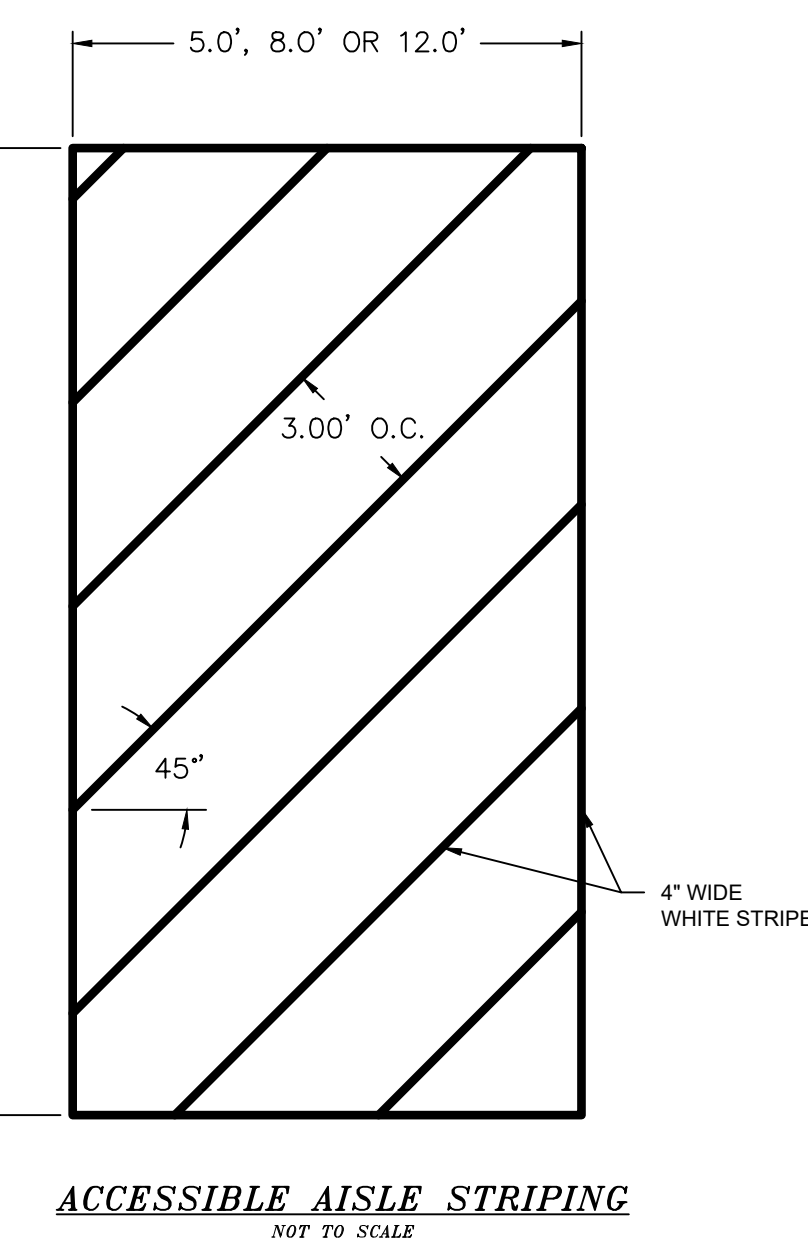
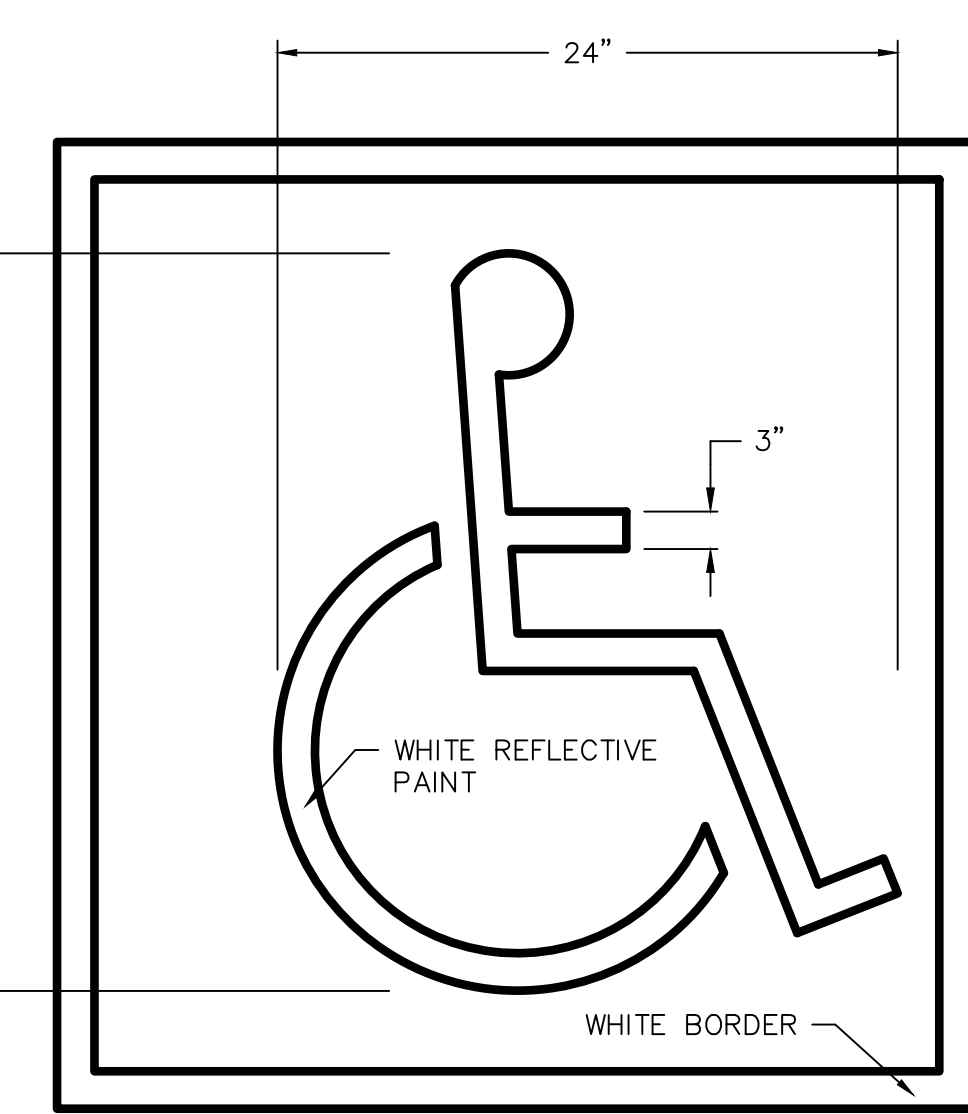
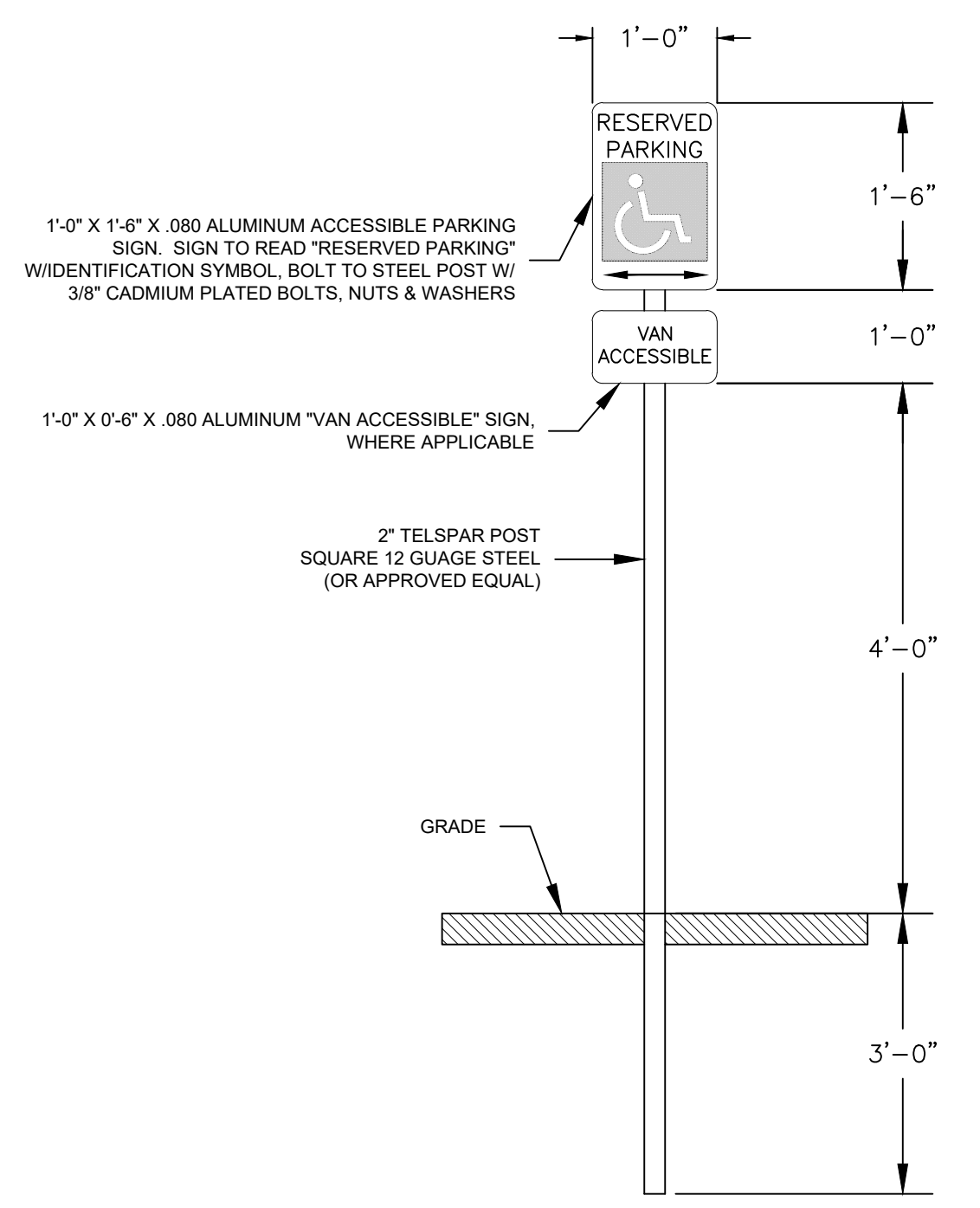
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Project No. 23.012
The LKA Partners Incorporated



- NOTES:**
- FIRE HYDRANTS SHALL BE AWK MODEL 2780 NOSTALGIC OPEN RIGHT WITH A 1 1/2" PENTAGON OPERATING NUT AND SERVICE CAPS, STANDARD 4 1/2" PLUMPER NOZZLE WITH A THREAD PATTERN OF 5-3/8"-6 TPI (THREADS PER INCH) ALONG WITH TWO STANDARD 2 1/2" NTS (NATIONAL STANDARD THREAD) SIDE NOZZLES.
 - HYDRANT SHALL BE INSTALLED PLUMB IN ALL DIRECTIONS.
 - MECHANICAL JOINT RESTRAINTS: SEE COLORADO SPRINGS UTILITIES FOR MECH. JOINT PIPE RESTRAINT SPECIFICATIONS.
 - SEE COLORADO SPRINGS UTILITIES FOR MECH. JOINT PIPE RESTRAINTS SPECIFICATIONS.
 - FINAL TOP OF FLANGE ELEVATION TO BE 2 TO 6 INCHES ABOVE TOP BACK OF CURB (TBC) TO ACHIEVE PROPER FINISHED ELEVATION.
 - NO OBSTRUCTIONS TO BE CONSTRUCTED IN FRONT OF THE FIRE HYDRANT.
 - PROVIDE A 9 LB. MAGNESIUM ANODE AND TEST STATION AT EACH HYDRANT PER CURRENT MERIDIAN SERVICE METROPOLITAN DISTRICT STANDARD NOTES.
 - HYDRANT SHALL BE PAINTED WITH RUSTOLEUM 659 SAFETY YELLOW PRIOR TO ACCEPTANCE.

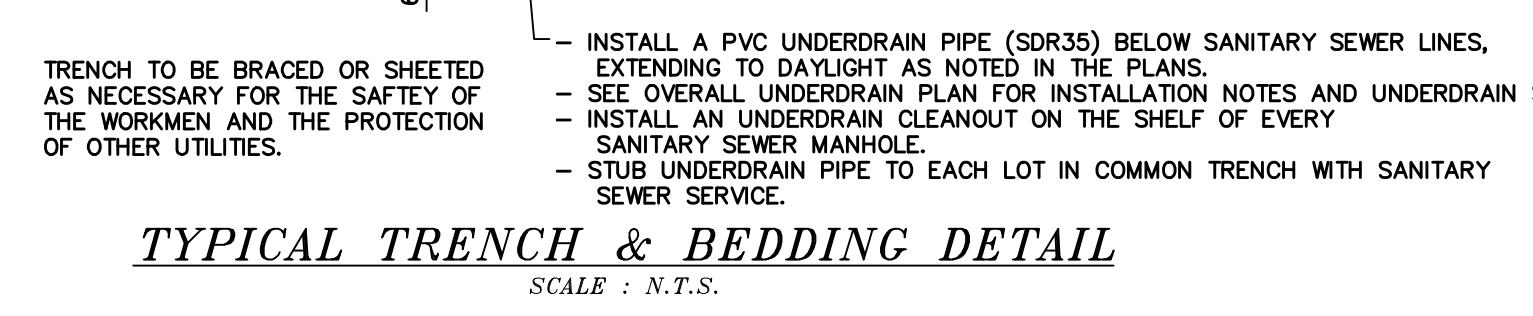
FIRE HYDRANT ASSEMBLY
SCALE: N.T.S.



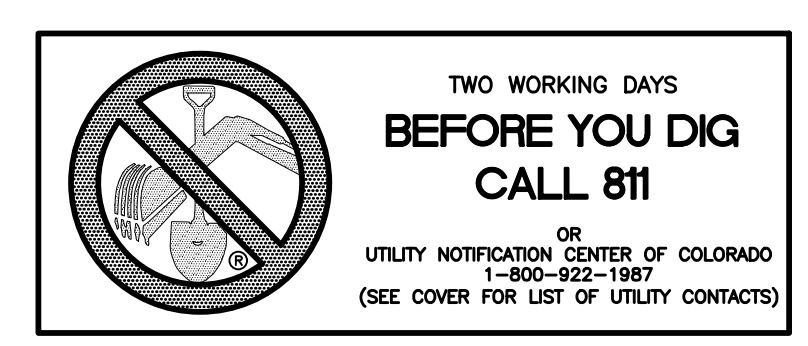
LEGEND		
SYMBOL	ACRONYM	DESCRIPTION
[Symbol]	RCP W/FES	REINFORCED CONCRETE PIPE OR N-12 W/FLARED END SECTION(S) AS NOTED)
[Symbol]	INLET	STORM SEWER INLET BOX
[Symbol]	SMH	STORM SEWER MANHOLE
[Symbol]	ST	STORM SEWER LINE
[Symbol]	RD	ROOF DRAIN LINE
[Symbol]	SS	SANITARY SEWER MAIN
[Symbol]	SSMH	SANITARY SEWER MANHOLE
[Symbol]	WM	WATER MAIN (ALL PIPES PVC, UNLESS OTHERWISE NOTED)
[Symbol]	GV	WATER GATE VALVE
[Symbol]	BV	WATER BUTTERFLY VALVE
[Symbol]	BOV	WATER BLOW-OFF VALVE
[Symbol]	HYD ASSY	FIRE HYDRANT ASSEMBLY
[Symbol]	TEE W/GV	WATER TEE W/ GATE VALVES
[Symbol]	ATT SW	ATTACHED SIDEWALK
[Symbol]		STANDARD PEDESTRIAN RAMP PER SD-2-40 & M-608-1 (SH 6 OF 6)
[Symbol]		RIGHT-OF-WAY ANODE (CATHODIC PROTECTION)
[Symbol]	TS	TEST STATION
[Symbol]	G	GAS MAIN
[Symbol]	UE	ELECTRIC (UNDERGROUND)
[Symbol]	SL	SITE LIGHTING
[Symbol]	HB	HAY BALE DAM
[Symbol]	SF	SILT FENCE
[Symbol]	EXIST	EXISTING FEATURES
[Symbol]		LOT NUMBERS
[Symbol]		CROSS PAN PER SD-2-26
[Symbol]	PI	POINT OF INTERSECTION
[Symbol]	BT	BEGINNING OF TRANSITION
[Symbol]	ET	END OF TRANSITION
[Symbol]		EXISTING CONTOUR (5')
[Symbol]		EXISTING CONTOUR (1')
[Symbol]	VTC	VEHICLE TRAFFIC CONTROL PAD
[Symbol]	CWA	CONCRETE WASHOUT AREA
[Symbol]	IP	INLET PROTECTION

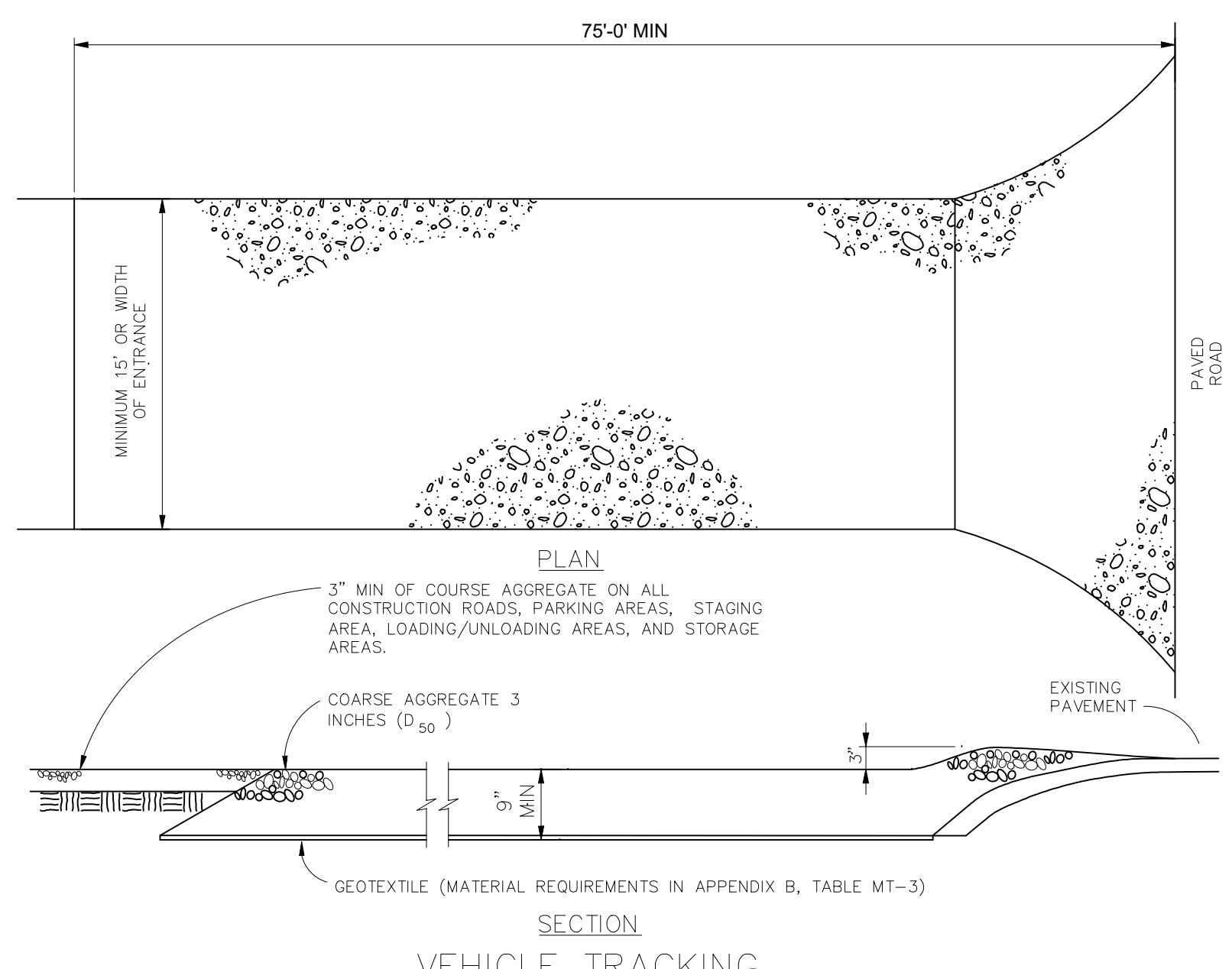
PIPE CHART

PIPE DIAMETER	MINIMUM WIDTH	MAXIMUM WIDTH
4"	1'-4"	4'-0"
6"	1'-6"	4'-0"
8"	1'-8"	4'-0"
12"	2'-0"	4'-0"
18"	3'-0"	4'-0"
24"	3'-6"	4'-0"
30"	4'-0"	6'-0"
36"	5'-0"	6'-0"
42"	6'-0"	8'-0"
48"	6'-0"	8'-0"
54"	8'-0"	8'-0"
60"	8'-0"	8'-0"
66"	8'-0"	10'-0"
72"	10'-0"	12'-0"



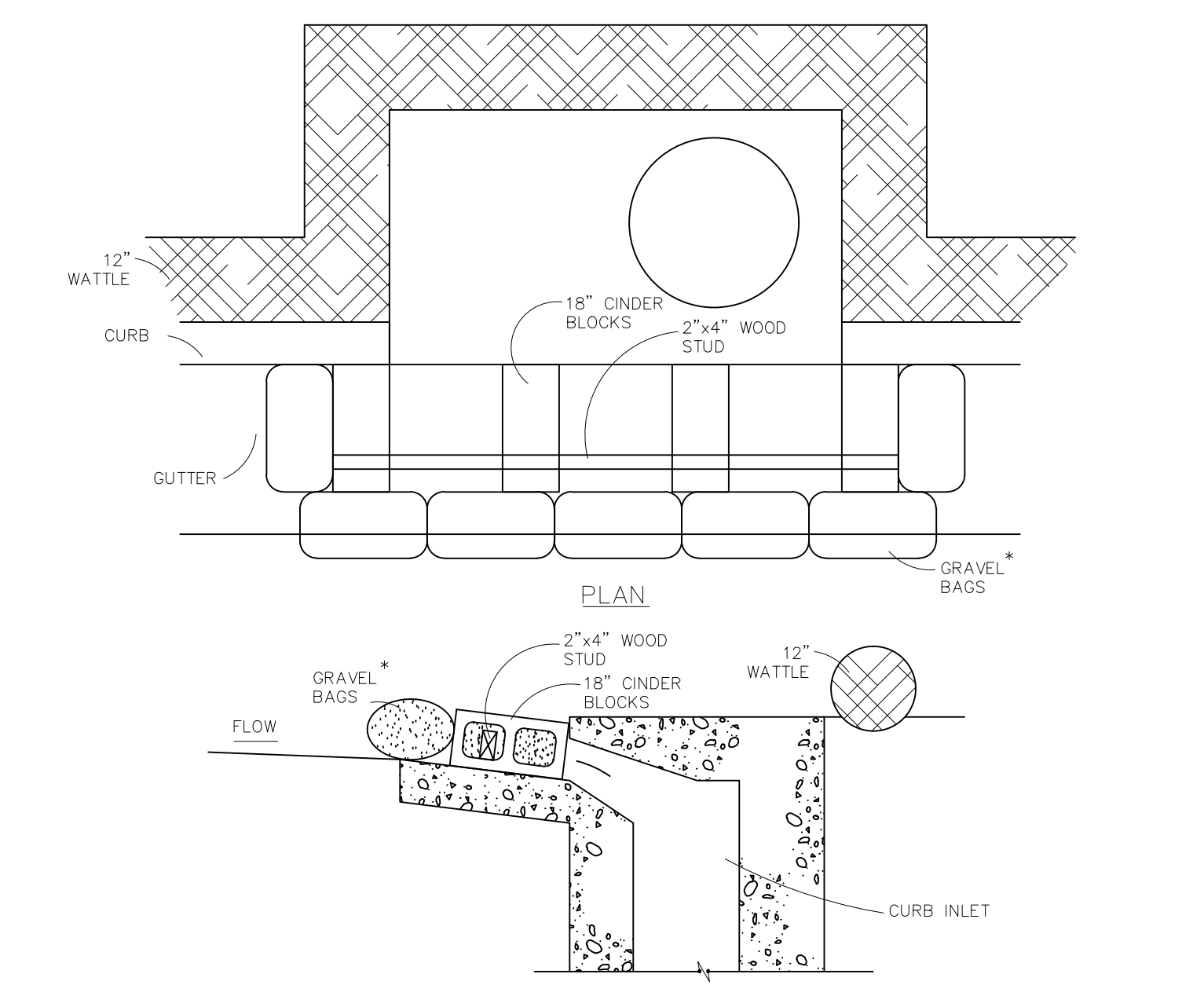
Area Key Plan





VEHICLE TRACKING
 NTS
VEHICLE TRACKING NOTES

- INSTALLATION REQUIREMENTS**
- ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO CONSTRUCTION BEGINNING.
 - CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT EXCEPT FOR A SLOUGH SHOULDER.
 - AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADED AND COMPACTED PRIOR TO LAYING DOWN GEOTEXTILE AND STONE.
 - CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS, AND STAGING AREAS ARE TO BE STABILIZED.
 - CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADES, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.
- MAINTENANCE REQUIREMENTS**
- REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
 - STONES ARE TO BE REAPPLIED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
 - SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED DAILY BY SHOULDER OR SWEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAINS.
 - STORM SEWER INLET PROTECTION IS TO BE IN PLACE, INSPECTED, AND CLEANED IF NECESSARY.
 - OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO ENSURE GOOD WORKING CONDITION.



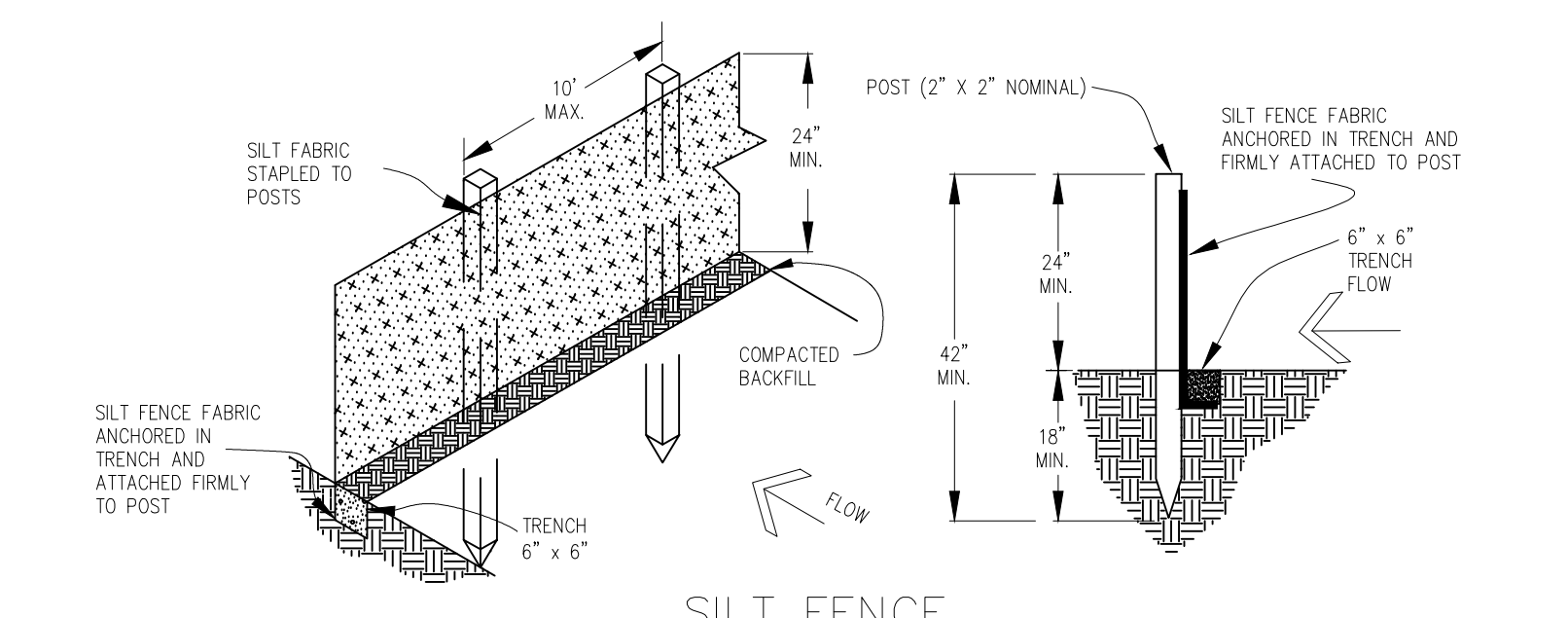
MODIFIED BLOCK AND GRAVEL BAG CURB INLET PROTECTION
 NTS

- BLOCK AND GRAVEL BAG CURB INLET PROTECTION NOTES**
- INSTALLATION REQUIREMENTS**
- INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF INLET.
 - CONCRETE BLOCKS ARE TO BE Laid AT 2" SPACING ON THEIR SIDES WITH THE OPEN ENDS OF THE BLOCK FACING EACH OTHER.
 - IF MORE THAN ONE 2X4 IS REQUIRED, THEY NEED TO OVERLAP BY A MINIMUM OF 2"
 - GRAVEL BAGS ARE TO BE PLACED AROUND THE CONCRETE BLOCKS AND 2X4 TO CLOSELY ABUTTING ONE ANOTHER SO THERE ARE NO GAPS.
 - GRAVEL BAGS ARE TO CONTAIN WASHED SAND OR GRAVEL APPROXIMATELY 3/4 INCH IN DIAMETER.
 - BAGS ARE TO BE MADE OF 1/4" INCH WIRE MESH (USED WITH GRAVEL ONLY) OR GEOTEXTILE.
- MAINTENANCE REQUIREMENTS**
- CONTRACTOR SHALL INSPECT INLET PROTECTION IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS NO RAINFALL.
 - DAMAGED OR INEFFECTIVE INLET PROTECTION SHALL PROMPTLY BE REPAIRED OR REPLACED.
 - SEDIMENT SHALL BE REMOVED WHEN SEDIMENT HAS ACCUMULATED TO APPROXIMATELY 1/2 THE DESIGN DEPTH OF THE TRAP.
 - INLET PROTECTION SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED WITHIN THE DRAINAGE AREA AS APPROVED BY THE CITY.
- * AN ALTERNATE 3/4" TO 1" GRAVEL FILTER OVER A WIRE SCREEN MAY BE USED IN PLACE OF GRAVEL BAGS. THE WIRE MESH SHALL EXTEND ABOVE THE TOP OF THE CONCRETE BLOCKS AND THE GRAVEL PLACED OVER THE WIRE SCREEN TO THE TOP OF THE CONCRETE BLOCKS.

EL PASO COUNTY STANDARD NOTES:

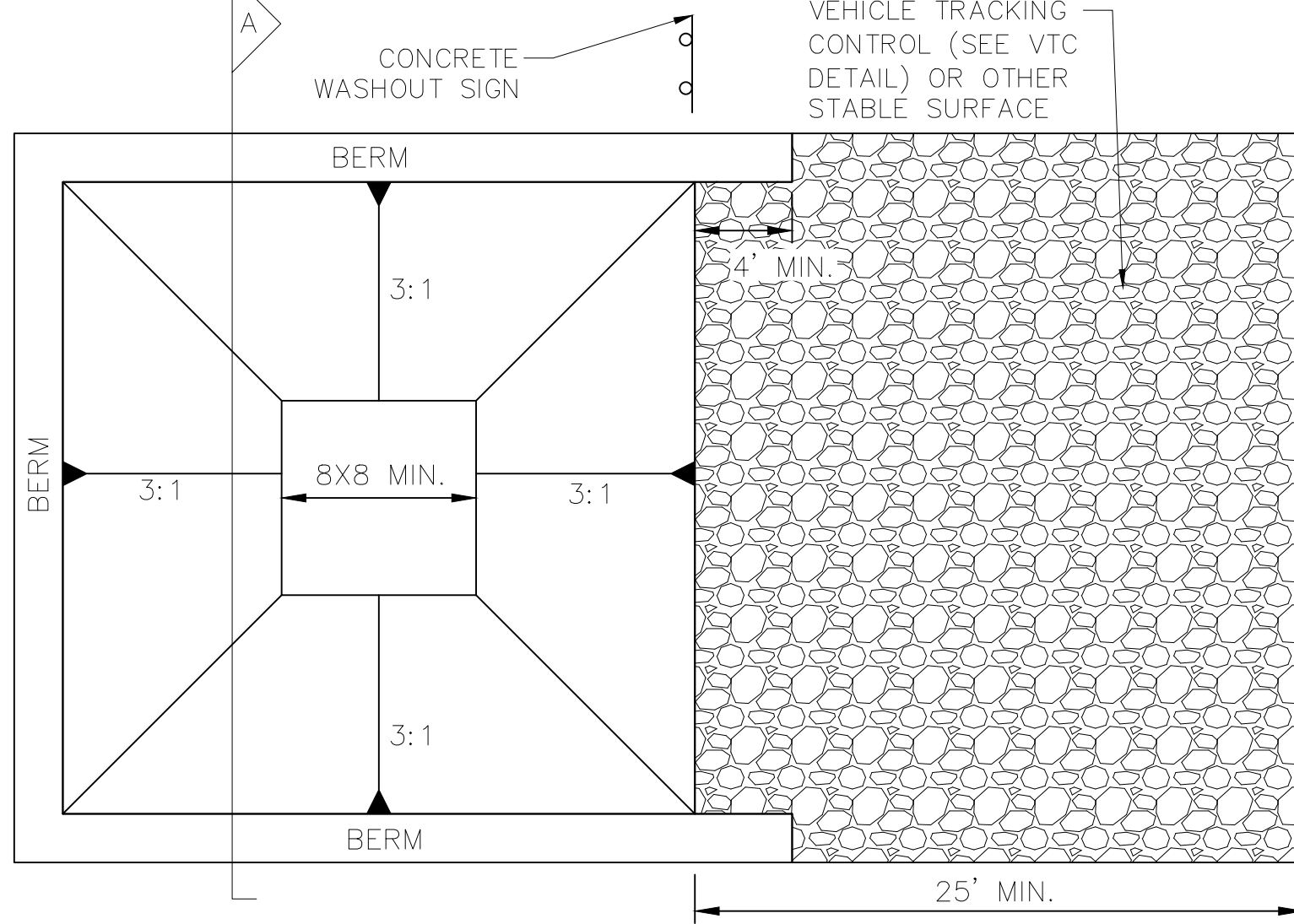
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE DRAINAGE DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE EGM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITH SO HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMBINATION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMBINATION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURES.
- TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL, WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED BY THE EGM ADMINISTRATOR. IN ADDITION TO OBTAINING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 6, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II, AND THE EGM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.), IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" DATED JANUARY 10, 2024, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION (THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
 WATER QUALITY CONTROL DIVISION
 WQCD - PERMITS
 4300 CHERRY CREEK DRIVE SOUTH
 DENVER, CO 80246-1530
 ATTN: PERMITS UNIT

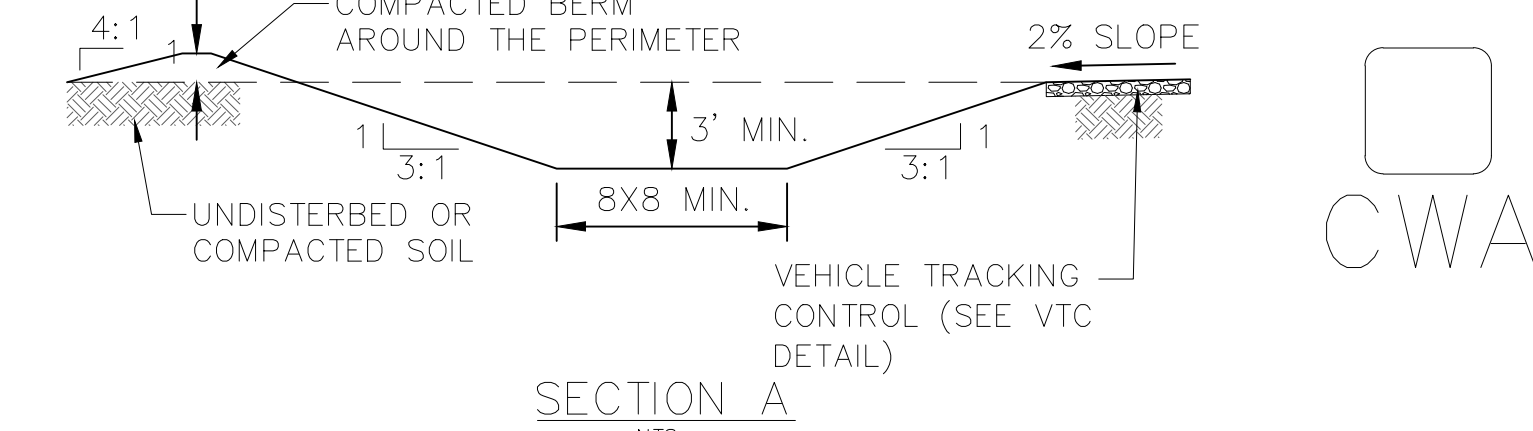


SILT FENCE
 NTS
SILT FENCE NOTES

- INSTALLATION REQUIREMENTS**
- SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 - WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPUNLED TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
 - METAL POSTS SHALL BE "STUDDED TEE" OR "J" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
 - THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG #9 HEAVY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
 - WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE. WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPPER SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 3/4" LONG. THE WIRE OR HOOD RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 6" AND SHALL NOT EXTEND MORE THAN 3' ABOVE THE ORIGINAL GROUND SURFACE.
 - ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
 - THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM OF 24 INCHES AND SHALL NOT EXCEED 36 INCHES. HIGHER FENCES MAY INPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE.
- MAINTENANCE REQUIREMENTS**
- CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UNENTRENCHED OR INEFFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
 - SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED GEOTEXTILE HEIGHT.
 - SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATIVE COVER IS ATTAINED AS APPROVED BY THE CITY.



CONCRETE WASHOUT AREA PLAN
 NTS



SECTION A
 NTS

- CWA INSTALLATION NOTES:**
- SEE PLAN VIEW FOR CWA INSTALLATION LOCATION.
 - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (1 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE SHOULD BE USED.
 - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' X 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
 - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE A MINIMUM HEIGHT OF 1'.
 - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
 - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 - USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.
- CWA MAINTENANCE NOTES:**
- INSPECT BMPs EACH WORKDAY AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 - THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOPSOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

Stage	Description	Control Measures	Begin Date	End Date
Stage 1	Overlot Grading	Silt fence & VTC Swale Checks & Surface Roughening as needed	June 2024	August 2024
Stage 2	Underground utilities	Perimeter Control Inlet Protection	August 2024	September 2024
Stage 3	Building Construction and surface improvements	Inlet Protection	August 2024	June 2025
Final Stabilization	Permit Close	Final Stabilization Permanent Seeding Permanent Measures	November 2025	

- NOTE:**
- EXISTING VEGETATION ON THE PROJECT SITE AND THE IN SURROUNDING AREAS CONSISTS OF A MIXTURE OF NATIVE GRASSES AND WEEDS WITH COVERAGE APPROXIMATING 50% DENSITY UNLESS OTHERWISE NOTED. SOME AREAS HAVE NEGLIGIBLE VEGETATIVE GROWTH AT THIS TIME AS THE SITE WAS PREVIOUSLY GRADED AND RE-SEEDED OR USED AS A BUILDERS' STOCKPILE LOCATION. AREAS PREVIOUSLY GRADED HAS BEEN RE-SEEDED WITH THE APPROVED COUNTY SEED MIX.
 - MATERIAL STORAGE, TOPSOIL STOCKPILES(EDFCO: MM-2), STAGING(UDFCO: SM-6), CONCRETE WASHOUT AND WASTE AREAS SHALL BE IDENTIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION AND ADJUSTED AS NECESSARY.
 - THERE IS NO CONCRETE BATCH PLANT ASSOCIATED WITH THIS PROJECT.
 - NO SLOPES GREATER THAN 3:1 ARE EXPECTED ON THIS SITE. SLOPES GREATER THAN 3:1 REQUIRE EROSION CONTROL BLANKET.
 - MIRAFI FABRIC TO BE PLACED BELOW ALL RIP-RAP.

Area Key Plan

El Paso County
 Major Commercial Site
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 Checked: JS
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 Revised:



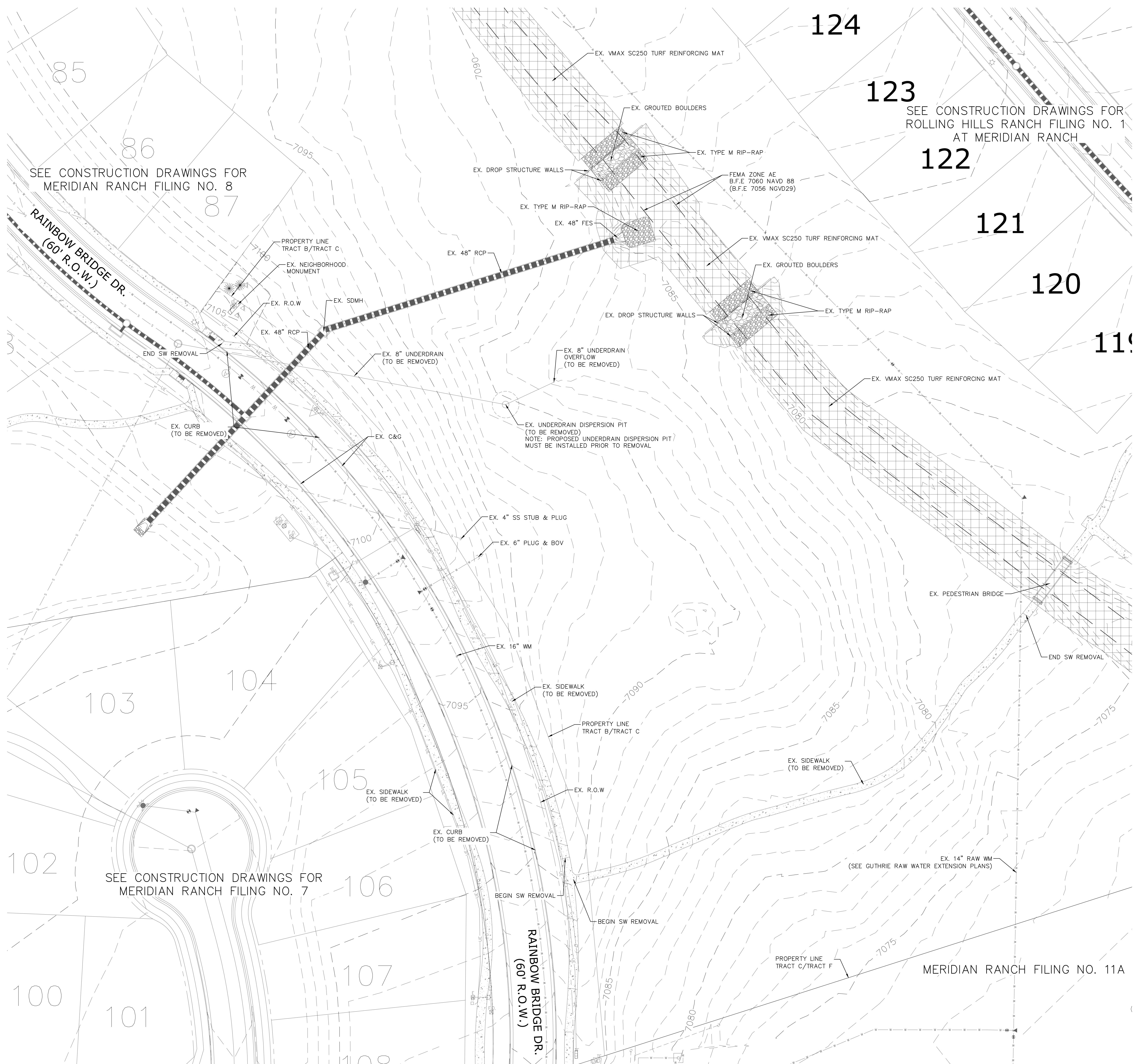
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 Peyton, CO 80831
 Meridian Service Metro District
 11886 Stapledon Drive
 Falcon, CO 80831

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TWO WORKING DAYS
BEFORE YOU DIG
 CALL 811
 OR
 UTILITY NOTIFICATION CENTER OF COLORADO
 (SEE COVER FOR LIST OF UTILITY CONTACTS)

C1.4

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 The LKA Partners Incorporated



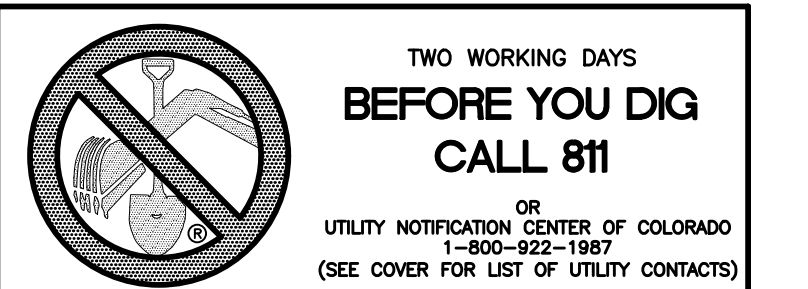
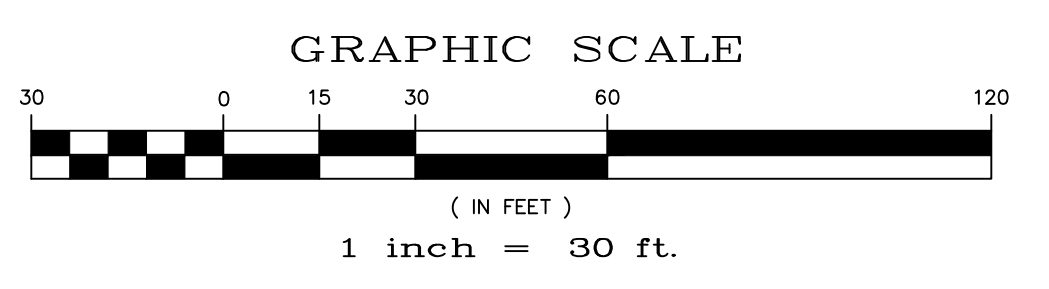
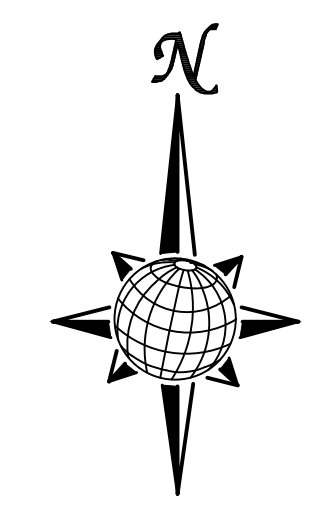
SEE CONSTRUCTION DRAWINGS FOR ROLLING HILLS RANCH FILING NO. 1 AT MERIDIAN RANCH

SEE CONSTRUCTION DRAWINGS FOR MERIDIAN RANCH FILING NO. 8

SEE CONSTRUCTION DRAWINGS FOR MERIDIAN RANCH FILING NO. 7

GENERAL NOTES:

- SEE SHEET C1.2 FOR LEGEND.
- SEE SHEET C1.1 FOR SITE GENERAL NOTES.
- CONTRACTOR TO COORDINATE UTILITY REMOVALS WITH RESPECTIVE UTILITY COMPANIES AND PLUMBING PLANS TO ENSURE CORRECT REMOVAL AND SHUTOFF. ALL MATERIALS SHALL BE REMOVED FROM SITE AND LEGALLY DISPOSED PER LOCAL CODES AND REGULATIONS.
- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING COLORADO ONE CALL AT 1-800-922-1987 AND COORDINATING FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING AND UTILITY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING FEATURES TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES TO EQUAL OR BETTER CONDITION, AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL ADJACENT STREETS FREE OF DEBRIS AND DIRT FROM THE JOB SITE.
- LOCATION AND ELEVATIONS OF EXISTING IMPROVEMENTS TO BE MET (OR AVOIDED) BY PROPOSED WORK SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY WILL BE NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON THESE PLANS.
- CONTRACTOR TO OBTAIN TEMPORARY POWER, TELEPHONE AND WATER FOR THE SITE.



Meridian Ranch Field House

10559 & 10575 Rainbow Bridge Dr
 Peyton, CO 80831
 Meridian Service Metro District
 11886 Stapleton Drive
 Falcon, CO 80831



El Paso County
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 Revised: _____

Area Key Plan

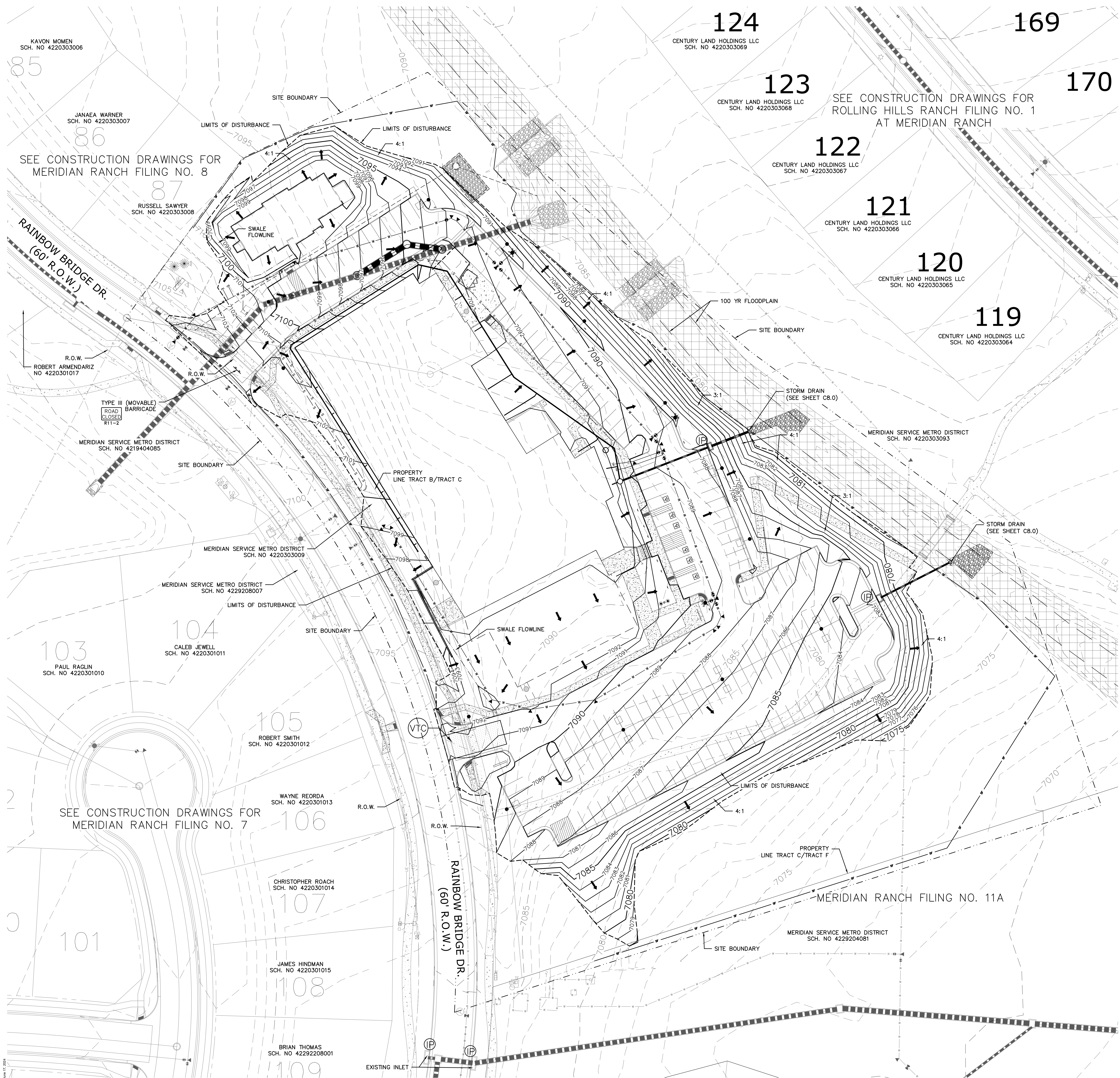
EXISTING CONDITIONS

C2.0

Project No. 23.012
 The LKA Partners Incorporated

LKA PARTNERS
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 Colorado Springs Colorado 80903
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 web: www.lkpartners.com

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LEGEND

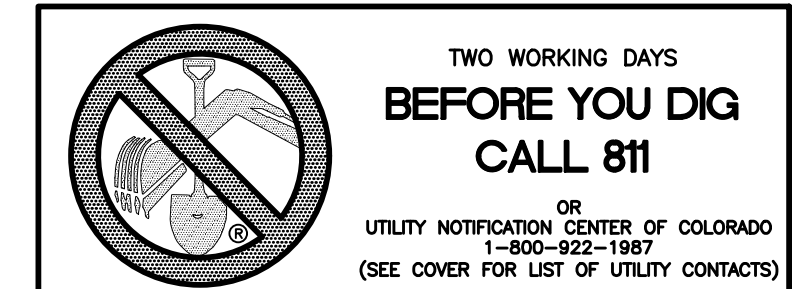
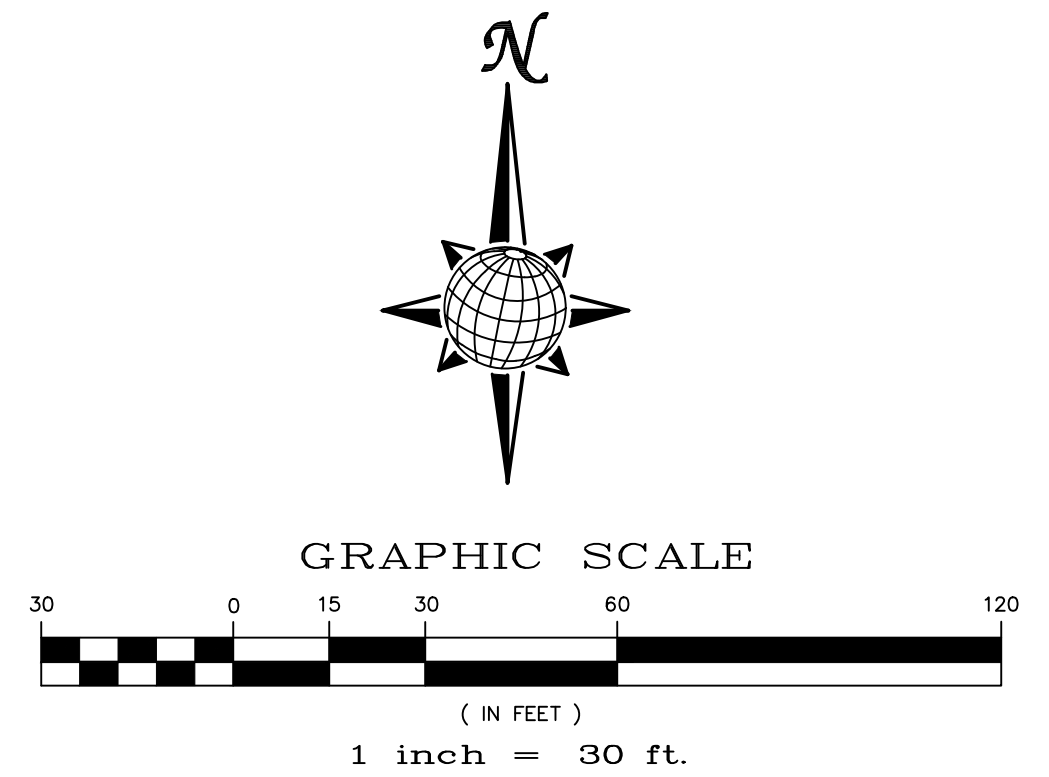
SYMBOL	ACRONYM	DESCRIPTION
	RCP OR N12	REINFORCED CONCRETE PIPE OR N12 PIPE AS NOTED
	SF	SILT FENCE PER DETAIL SF-1, SF-2 & SF-3 DCM VOL. 2
	VTC	VEHICLE TRACKING CONTROL PER DETAIL VT-2 DCM VOL. 2
	IP	INLET PROTECTION PER DETAIL IP-1
		LIMITS OF GRADING
		EXISTING CONTOUR (1')
		PROPOSED CONTOUR (5')
		100 YEAR FLOODPLAIN
		SITE BOUNDARY
		STORMWATER FLOW ARROW

GENERAL NOTES:

- SEE SHEET C1.2 FOR ADDITIONAL LEGEND.
- SEE SHEET C1.1 FOR SITE GENERAL NOTES.
- SEE SHEET 1.4 FOR GRADING AND EROSION CONTROL NOTES AND CONTROL MEASURE PHASING..

EARTHWORK QUANTITIES

NET YARDS	BALANCE	
TOTAL STRIPPINGS	4.34 AC.	2,334 CY
NET YARDS	CUT	FILL
	1,430 CY	18,538 CY
REQUIRED IMPORTED FILL = 17,108 CY		
20% COMPACTION FACTOR		



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TECH CONTRACTORS
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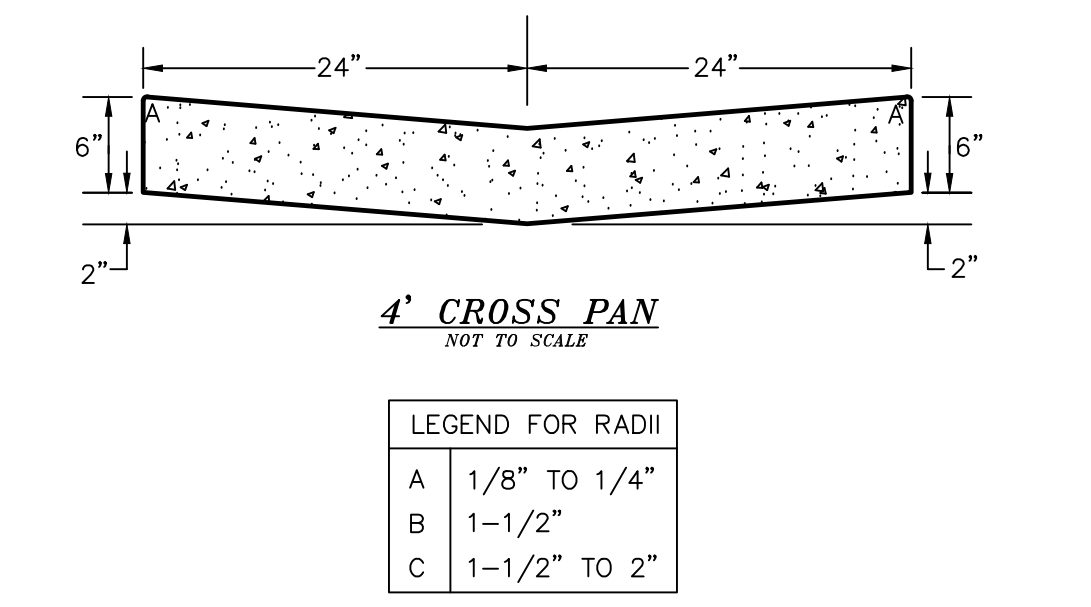
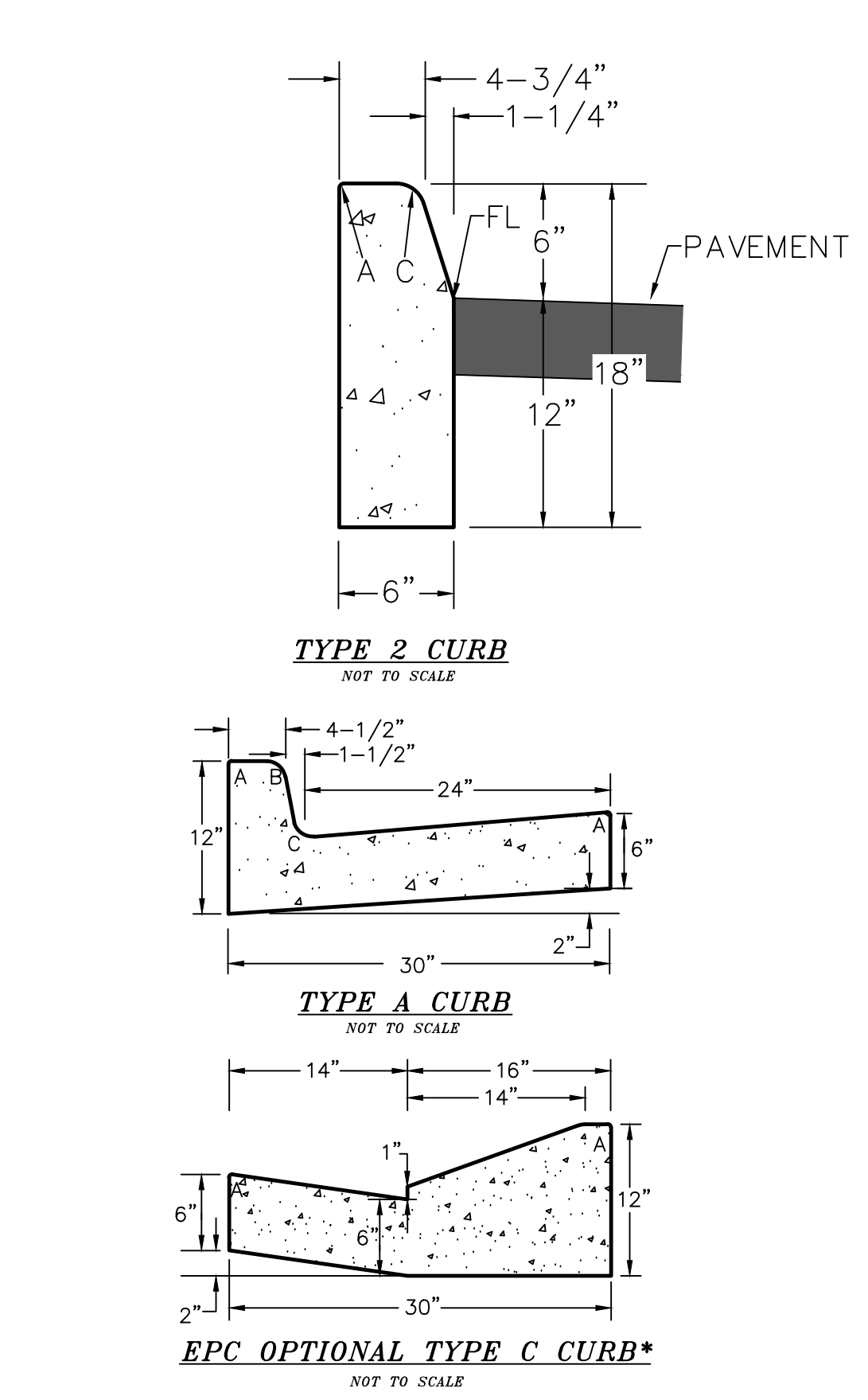
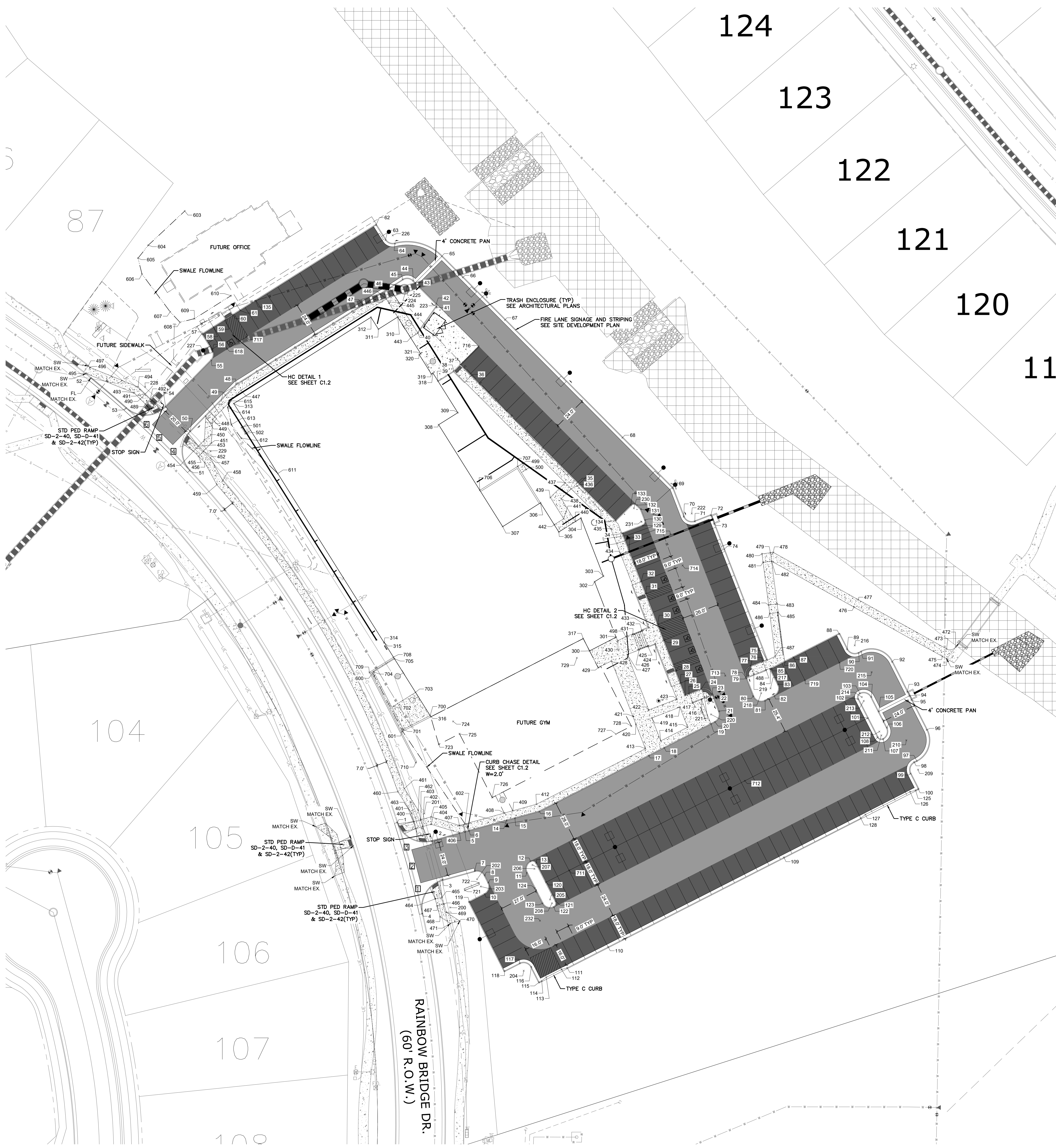
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Area Key Plan

EROSION CONTROL

C3.0

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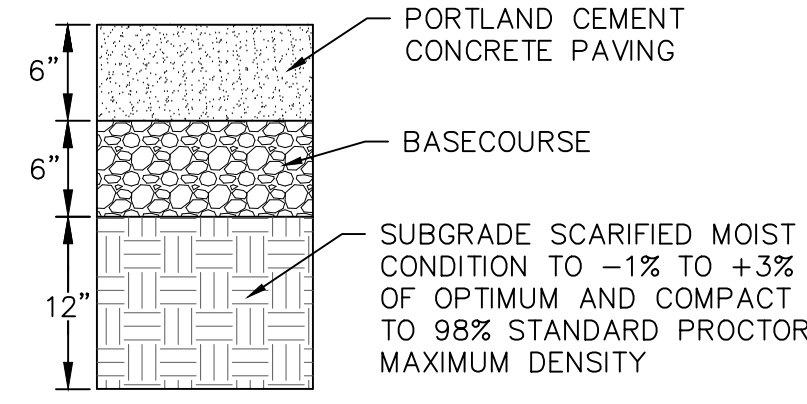
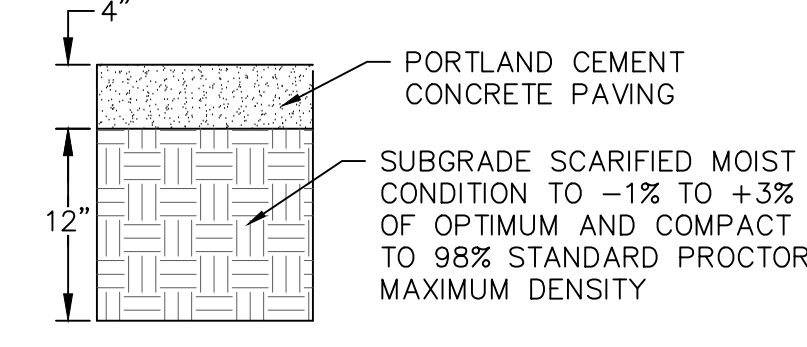
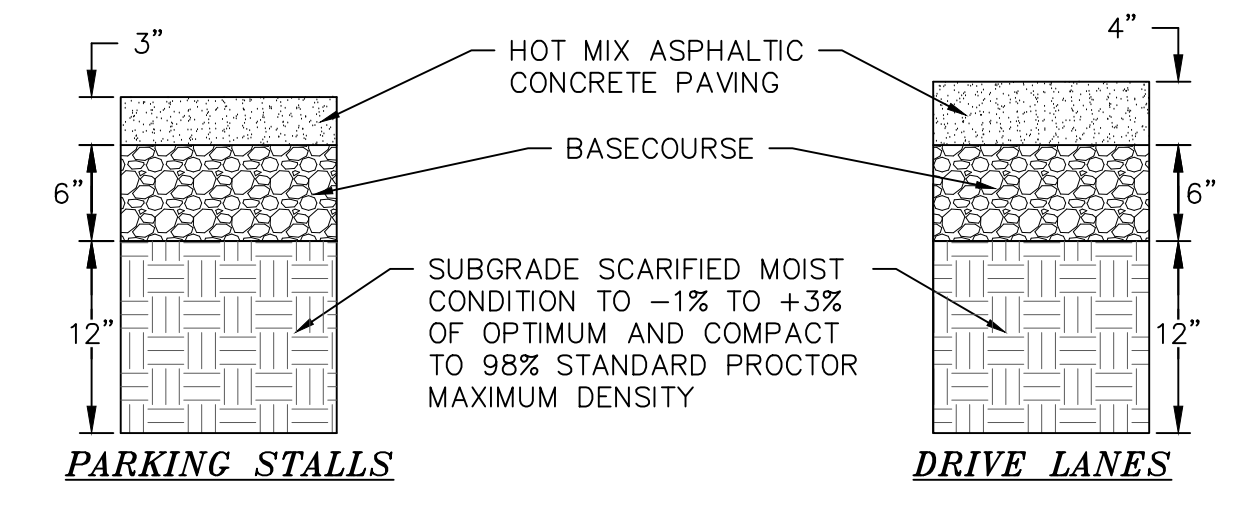
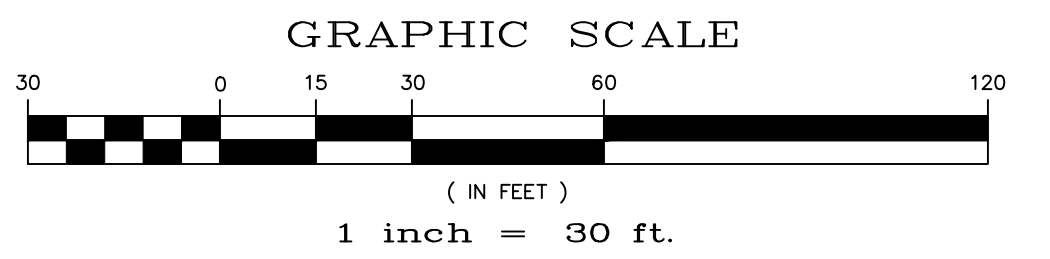
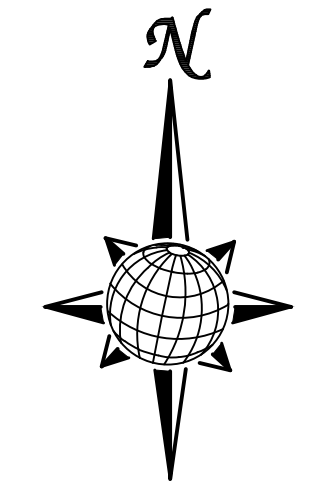
- * ALL TYPE C CURB IDENTIFIED IN THIS PLAN TO BE EPC OPTIONAL TYPE C CURB
- INSTALL CROSS PAN PER COUNTY STD SD-2-26
- 1 = 7090.73
 - 2 = 7091.26
 - 3 = 7091.79
 - 4 = 7102.13
 - 5 = 7102.38
 - 6 = 7102.61

STOP SIGN NOTES

1. STOPS SIGNS PER MUTCD, STDS R1-1, CONVENTIONAL ROAD(30 x 30)
2. SIGNS SHALL BE MOUNTED AT A HEIGHT OF 7 FEET TO 1.75" x 1.75" x 10' OR 12' 12 GAUGE TELESPAR POST. SIGNS ATTACHED TO THE POST WITH OVERSIZED WASHERS. SIGN POST SHALL BE ATTACHED TO 2" x 2" x 3' ANCHOR/STUB, WHICH SHALL BE MADE OF SQUARE STEEL TUBE.

PAVING NOTES

1. SEE SHEET C1.1 FOR SITE GENERAL NOTES.
2. SITE PREPARATION, GRADING, PAVING RECOMMENDATIONS, AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. JANUARY 10, 2024.
3. BUILDING LAYOUT SHOWN ON THIS PLAN WAS PROVIDED BY LKA PARTNERS, INC.
4. SEE ABOVE FOR PAVING DETAILS.
5. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF BUILDING UNLESS NOTED OTHERWISE.
6. REFER TO SHEET C1.2 FOR ACCESSIBLE STALL AND RAMP DETAILS.
7. REFER TO SHEET C8.0 FOR STORM DRAINAGE INFORMATION.
8. CONTRACTOR TO CONFIRM INSTALLATION OF IRRIGATION SLEEVES PRIOR TO PAVING.
9. REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR DETAILS REGARDING SITE LIGHTING.
10. ALL ACCESSIBLE PARKING STALLS SHALL MEET THE REQUIREMENTS OF ADAAG SECTION 4.6. ALL ACCESSIBLE PARKING SHALL BE CONSTRUCTED WITH A MAX SLOPE OF 2.00% IN ANY DIRECTION.
11. ALL ACCESSIBLE ROUTES SHALL MEET THE REQUIREMENTS OF ADAAG SECTION 4.3. ALL ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAX CROSS SLOPE OF 2.00% AND A MAX LONGITUDINAL SLOPE OF 5.00%.
12. ALL ACCESSIBLE RAMPS SHALL MEET THE REQUIREMENTS OF ADAAG SECTION 4.7 & 4.8.
13. REFER TO ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAILS & PATIO AREA DETAILS
14. MARK AN "X" ON TOP OF CURB AT ALL SLEEVE LOCATIONS. REFER TO LANDSCAPE PLANS FOR SLEEVE LOCATIONS.



PAVEMENT LEGEND

- FL BOC TYPE C CURB AND GUTTER (55 LF)
- FL BOC TYPE A CURB AND GUTTER CARRY GUTTER (1,198 LF)
- FL BOC TYPE 2 CURB (1,093 LF)
- 3" ASPHALTIC CONCRETE PAVING (2,787 SY)
- 4" ASPHALTIC CONCRETE PAVING (3,714 SY)
- 6" PORTLAND CEMENT CONCRETE PAVING (140 SY)
- 4" PORTLAND CEMENT CONCRETE PAVING (1,152 SY)

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HORIZONTAL CONTROL & PAVING

C4.0

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Area Key Plan

HORIZONTAL CONTROL TABLES

C4.1

POINT #	NORTHING	EASTING	DESCRIPTION
1	17259.12	12155.27	FL
2	17246.08	12179.57	FL
3	17219.08	12186.99	FL
4	17195.45	12172.76	FL
5	17252.42	12202.65	FL
6	17253.21	12205.54	FL
7	17225.26	12209.47	FL
8	17222.19	12216.40	FL
9	17217.13	12218.99	FL
10	17209.06	12216.36	FL
11	17224.05	12245.77	FL
12	17232.12	12248.39	FL
13	17230.80	12252.42	FL
14	17260.36	12231.55	FL
15	17261.98	12237.46	FL
16	17266.68	12254.54	FL
17	17305.65	12331.02	FL
18	17311.13	12341.76	FL
19	17327.77	12374.40	FL
20	17329.16	12377.14	FL
21	17336.67	12380.01	FL
22	17347.95	12375.65	FL
23	17348.88	12375.29	FL
24	17352.31	12367.52	FL
25	17349.06	12359.13	FL
26	17347.98	12356.33	FL
27	17356.37	12353.08	FL
28	17364.76	12349.84	FL
29	17386.21	12341.53	FL
30	17397.40	12337.20	FL

POINT #	NORTHING	EASTING	DESCRIPTION
31	17418.85	12328.90	FL
32	17427.25	12325.65	FL
33	17449.17	12317.16	FL
34	17460.82	12312.65	FL
35	17496.48	12281.33	FL
36	17570.95	12207.12	FL
37	17578.75	12199.36	FL
38	17574.16	12194.75	FL
39	17567.20	12183.69	FL
40	17600.57	12169.79	FL
41	17619.12	12182.79	FL
42	17621.04	12182.62	FL
43	17635.73	12167.99	FL
44	17637.19	12166.53	FL
45	17638.03	12159.09	FL
46	17632.24	12149.88	FL
47	17620.50	12131.21	FL
48	17564.92	12042.82	FL
49	17557.34	12035.38	FL
50	17532.26	12010.78	FL
51	17504.65	12010.40	FL
52	17569.15	11941.38	FL
53	17548.16	11966.05	FL
54	17549.07	11993.65	FL
55	17581.58	12025.54	FL
56	17588.98	12026.34	FL
57	17599.86	12019.49	FL
58	17604.66	12027.11	FL
59	17609.98	12035.58	FL
60	17613.17	12040.65	FL

POINT #	NORTHING	EASTING	DESCRIPTION
61	17616.37	12045.73	FL
62	17675.99	12140.55	FL
63	17665.57	12147.09	FL
64	17662.97	12153.70	FL
65	17654.08	12186.41	FL
66	17639.39	12201.04	FL
67	17609.80	12230.53	FL
68	17527.54	12312.50	FL
69	17492.24	12347.67	FL
70	17472.52	12355.30	FL
71	17469.09	12363.06	FL
72	17473.43	12374.25	FL
73	17467.51	12376.54	FL
74	17449.63	12383.47	FL
75	17372.71	12413.25	FL
76	17371.62	12410.45	FL
77	17368.37	12402.05	FL
78	17360.61	12398.63	FL
79	17359.68	12398.99	FL
80	17347.21	12403.82	FL
81	17344.03	12412.14	FL
82	17347.34	12418.63	FL
83	17355.41	12421.25	FL
84	17366.10	12415.80	FL
85	17366.49	12416.57	FL
86	17371.28	12425.96	FL
87	17374.27	12431.84	FL
88	17390.62	12463.92	FL
89	17379.93	12469.36	FL
90	17377.31	12477.43	FL

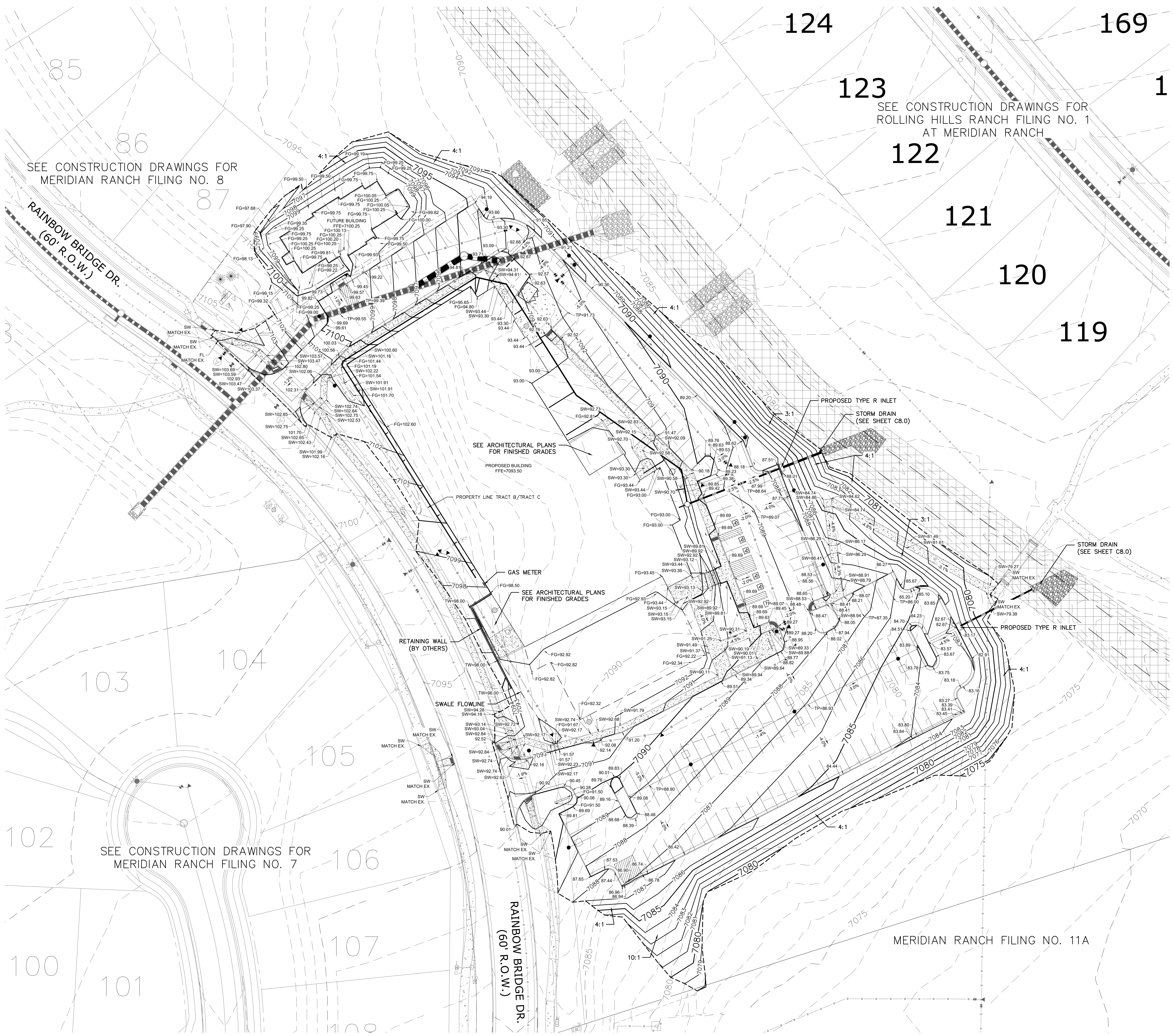
POINT #	NORTHING	EASTING	DESCRIPTION
91	17378.21	12479.22	FL
92	17371.22	12500.74	FL
93	17350.28	12511.41	FL
94	17347.46	12512.85	FL
95	17344.63	12514.29	FL
96	17323.69	12524.96	FL
97	17302.17	12517.97	FL
98	17301.26	12516.19	FL
99	17293.19	12513.57	FL
100	17282.50	12519.02	FL
101	17331.87	12483.76	FL
102	17345.23	12476.94	FL
103	17349.27	12478.26	FL
104	17346.65	12486.33	FL
105	17336.56	12491.47	FL
106	17325.26	12497.22	FL
107	17317.19	12494.60	FL
108	17318.50	12490.57	FL
109	17234.72	12425.27	FL
110	17172.23	12302.67	FL
111	17157.63	12274.00	FL
112	17156.55	12270.06	FL
113	17151.10	12259.37	FL
114	17148.54	12256.19	FL
115	17147.64	12254.40	FL
116	17158.33	12248.95	FL
117	17160.95	12240.88	FL
118	17155.50	12230.19	FL
119	17203.61	12205.67	FL
120	17217.44	12259.23	FL

POINT #	NORTHING	EASTING	DESCRIPTION
121	17204.08	12266.04	FL
122	17200.04	12264.73	FL
123	17202.66	12256.66	FL
124	17213.35	12251.21	FL
125	17281.59	12517.24	FL
126	17280.51	12513.30	FL
127	17264.62	12482.11	FL
128	17262.06	12478.93	FL
129	17466.23	12326.64	FL
130	17470.11	12328.35	FL
131	17477.76	12325.39	FL
132	17480.50	12322.66	FL
133	17480.51	12318.42	FL
134	17469.92	12307.79	FL
135	17623.12	12056.47	FL
200	17199.79	12192.28	FL 20' RADIUS
201	17265.36	12174.27	FL 20' RADIUS
202	17219.47	12211.06	FL 6' RADIUS
203	17214.41	12213.64	FL 6' RADIUS
204	17155.60	12243.61	FL 6' RADIUS
205	17205.39	12262.01	FL 6' RADIUS
206	17226.77	12251.11	FL 6' RADIUS
207	17229.44	12249.75	FL 3' RADIUS
208	17202.71	12263.37	FL 3' RADIUS
209	17295.91	12518.92	FL 6' RADIUS
210	17316.42	12510.71	FL 16' RADIUS
211	17319.87	12493.24	FL 6' RADIUS
212	17322.54	12491.88	FL 6' RADIUS
213	17343.92	12480.98	FL 6' RADIUS
214	17346.59	12479.62	FL 3' RADIUS

POINT #	NORTHING	EASTING	DESCRIPTION
215	17363.96	12486.48	FL 16' RADIUS
216	17382.65	12474.71	FL 6' RADIUS
217	17352.68	12415.91	FL 6' RADIUS
218	17349.37	12409.41	FL 6' RADIUS
219	17362.78	12404.22	FL 6' RADIUS
220	17334.51	12374.42	FL 6' RADIUS
221	17346.72	12369.69	FL 6' RADIUS
222	17474.68	12360.90	FL 6' RADIUS
223	17619.98	12181.56	FL 1.5' RADIUS
224	17632.96	12162.28	FL 6' RADIUS
225	17630.08	12162.33	FL 34' RADIUS
226	17668.77	12152.17	FL 6' RADIUS
227	17585.78	12021.26	FL 6' RADIUS
228	17563.08	11979.37	FL 20' RADIUS
229	17518.26	12025.06	FL 20' RADIUS
230	17478.38	12320.54	FL 6' RADIUS
231	17469.03	12325.56	FL 6' RADIUS
232	17190.57	12254.97	20' PAVEMENT RADIUS
300	17378.86	12289.56	BUILDING CORNER
301	17388.36	12308.08	BUILDING CORNER
302	17427.06	12293.10	BUILDING CORNER
303	17430.95	12299.28	BUILDING CORNER
304	17471.52	12283.57	BUILDING CORNER
305	17461.80	12268.12	BUILDING CORNER
306	17482.11	12255.35	BUILDING CORNER
307	17465.54	12228.91	BUILDING CORNER
308	17536.62	12184.21	BUILDING CORNER
309	17545.05	12197.62	BUILDING CORNER
310	17611.77	12155.66	BUILDING CORNER
311	17603.32	12142.21	BUILDING CORNER

POINT #	NORTHING	EASTING	DESCRIPTION
312	17611.64	12136.98	BUILDING CORNER
313	17551.43	12041.23	BUILDING CORNER
314	17384.55	12146.17	BUILDING CORNER
315	17384.63	12146.30	BUILDING CORNER
316	17332.86	12178.86	BUILDING CORNER
317	17387.41	12285.18	BUILDING CORNER
318	17572.65	12180.26	BUILDING CORNER
319	17571.97	12179.19	BUILDING CORNER
320	17585.52	12170.67	BUILDING CORNER
321	17586.19	12171.74	BUILDING CORNER
400	17254.91	12168.32	SW
401	17259.74	12167.00	SW
402	17256.24	12173.14	SW
403	17261.06	12171.82	SW
404	17257.83	12178.93	SW
405	17263.03	12178.99	SW
406	17251.86	12198.72	SW
407	17257.06	12198.78	SW
408	17265.66	12230.09	SW
409	17267.29	12236.00	SW
412	17271.83	12252.54	SW
413	17310.55	12328.52	SW
414	17316.03	12339.27	SW
415	17325.59	12358.03	SW
416	17344.88	12367.72	SW
417	17342.53	12361.66	SW
418	17339.57	12352.62	SW
419	17332.01	12333.08	SW
420	17327.67	12321.89	SW
421	17333.27	12319.72	SW

POINT #	NORTHING	EASTING	DESCRIPTION
422	17337.60	12330.92	SW
423	17345.17	12350.45	SW
424	17383.87	12335.47	SW
425	17381.88	12330.34	SW
426	17379.48	12324.14	SW
427	17376.30	12315.93	SW
428	17371.81	12304.81	SW
429	17367.08	12295.60	SW
430	17385.91	12309.34	SW
431	17390.67	12319.81	SW
432	17393.07	12326.01	SW
433	17395.06	12331.14	SW
434	17446.83	12311.10	SW
435	17464.11	12304.40	SW
436	17491.89	12276.72	SW
437	17496.14	12272.49	SW
438	17485.02	12269.82	SW
439	17485.88	12262.19	SW
440	17469.15	12279.80	SW
441	17471.03	12271.53	SW
442	17466.88	12264.92	SW
443	17597.37	12164.72	SW
444	17614.97	12160.74	SW
445	17627.58	12152.80	SW
446	17624.39	12147.72	SW
447	17560.60	12046.29	SW
448	17540.47	12026.54	SW
449	17542		



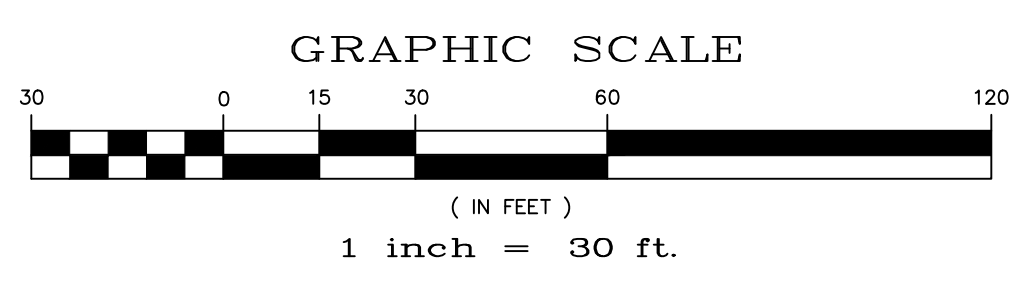
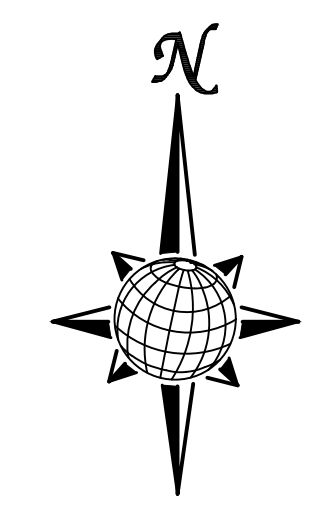
SEE CONSTRUCTION DRAWINGS FOR
ROLLING HILLS RANCH FILING NO. 1
AT MERIDIAN RANCH

LEGEND		
SYMBOL	ACRONYM	DESCRIPTION
	RCP OR N12	REINFORCED CONCRETE PIPE OR N12 PIPE AS NOTED
		LIMITS OF GRADING
		EXISTING CONTOUR (5')
		EXISTING CONTOUR (1')
		PROPOSED CONTOUR (5')
		PROPOSED CONTOUR (1')
		100 YEAR FLOODPLAIN

NOTES:

1. ALL ELEVATIONS ARE FLOWLINE UNLESS NOTED OTHERWISE.
2. ADD 7000 FT. TO ALL SPOT ELEVATIONS.
3. ALL CONTOURS SHOWN ARE FINISHED SURFACE.
4. REFER TO THE "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. JANUARY 10, 2024.

TP = TOP OF PAVEMENT
 SW = SIDEWALK
 FG = FINISHED GRADE
 RIM = RIM ELEVATION
 FFE = FINISHED FLOOR ELEVATION
 EX = EXISTING



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 web: www.lkapartners.com

Meridian Ranch Field House
 10559 & 10575 Rainbow Bridge Dr
 Peyton, CO 80831
 Meridian Service Metro District
 11886 Stapleton Drive
 Falcon, CO 80831



El Paso County
 Major Commercial Site
 Development Plan

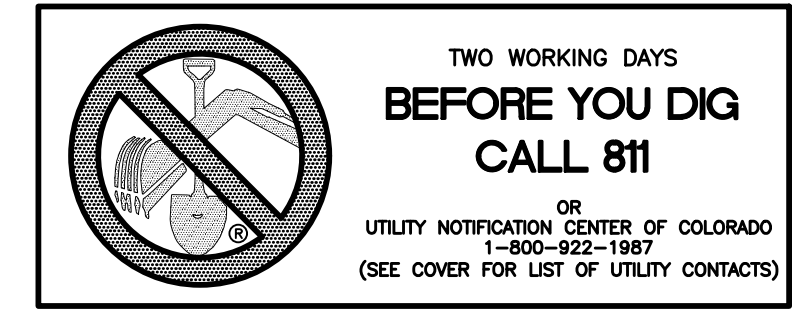
Drawn: LCG
 Checked: JS
 Issued: 17 JUNE 2024
 Revised:

Area Key Plan

GRADING PLAN

C5.0

Project No. 23.012
 The LKA Partners Incorporated





SEE CONSTRUCTION DRAWINGS FOR
MERIDIAN RANCH FILING NO. 8

SEE CONSTRUCTION DRAWINGS FOR
MERIDIAN RANCH FILING NO. 7

SEE CONSTRUCTION DRAWINGS FOR
ROLLING HILLS RANCH FILING NO. 1
AT MERIDIAN RANCH

LEGEND		
SYMBOL	ACRONYM	DESCRIPTION
	RCP OR 11/2	REINFORCED CONCRETE PIPE OR 11/2 PIPE, AS NOTED
LIMITS OF GRADING		
		EXISTING CONTOUR (5')
		PROPOSED CONTOUR (5')
		EXISTING CONTOUR (1')
		PROPOSED CONTOUR (1')

- AREAS OF CUT
- AREAS OF FILL

Meridian Ranch Field House

10559 & 10575 Rainbow Bridge Dr
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Meridian Service Metro District
11886 Stapleton Drive
Falcon, CO 80831

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El Paso County
Major Commercial Site
Development Plan

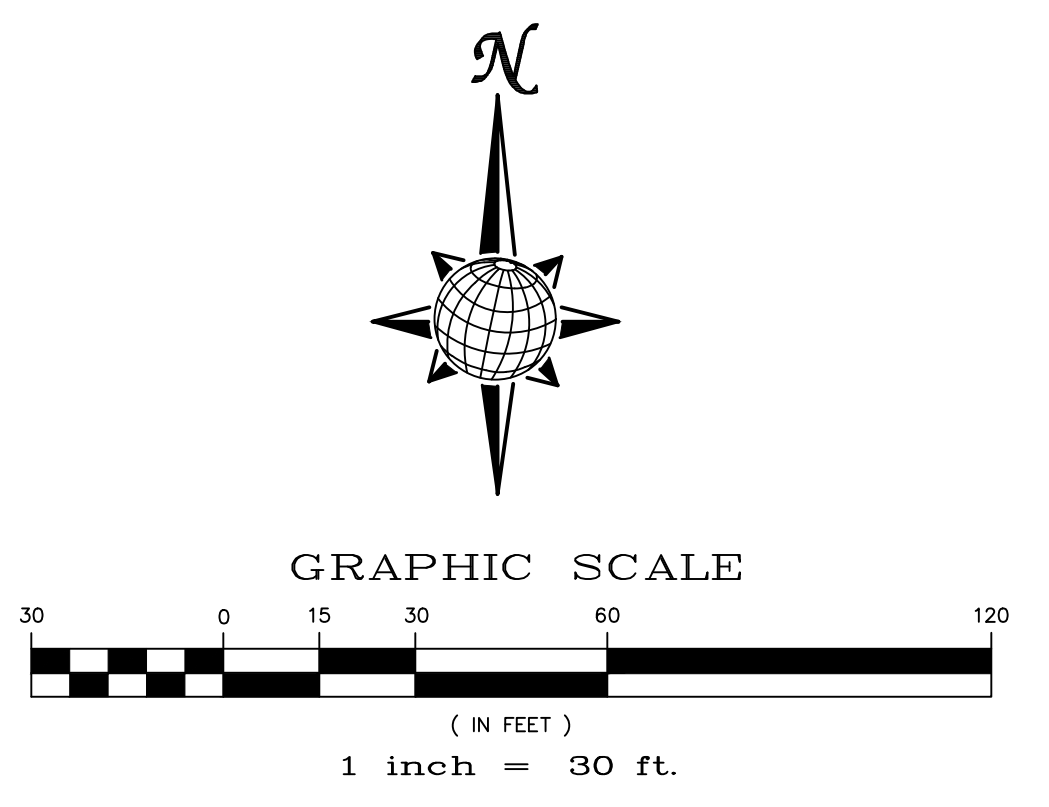
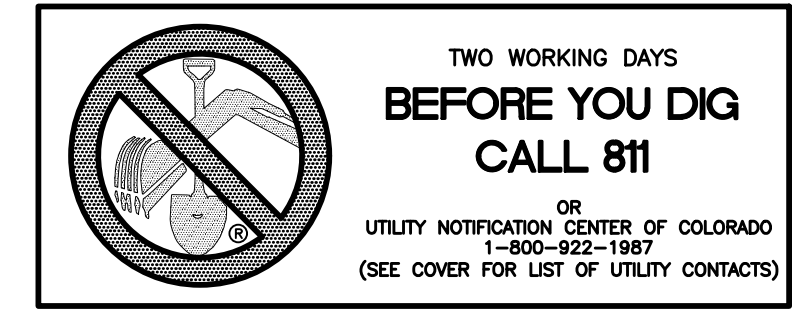
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Issued: 17 JUNE 2024
Revised:

Area Key Plan

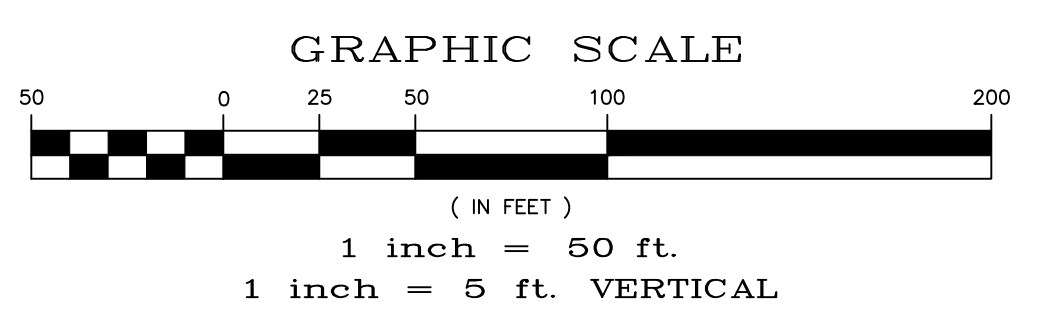
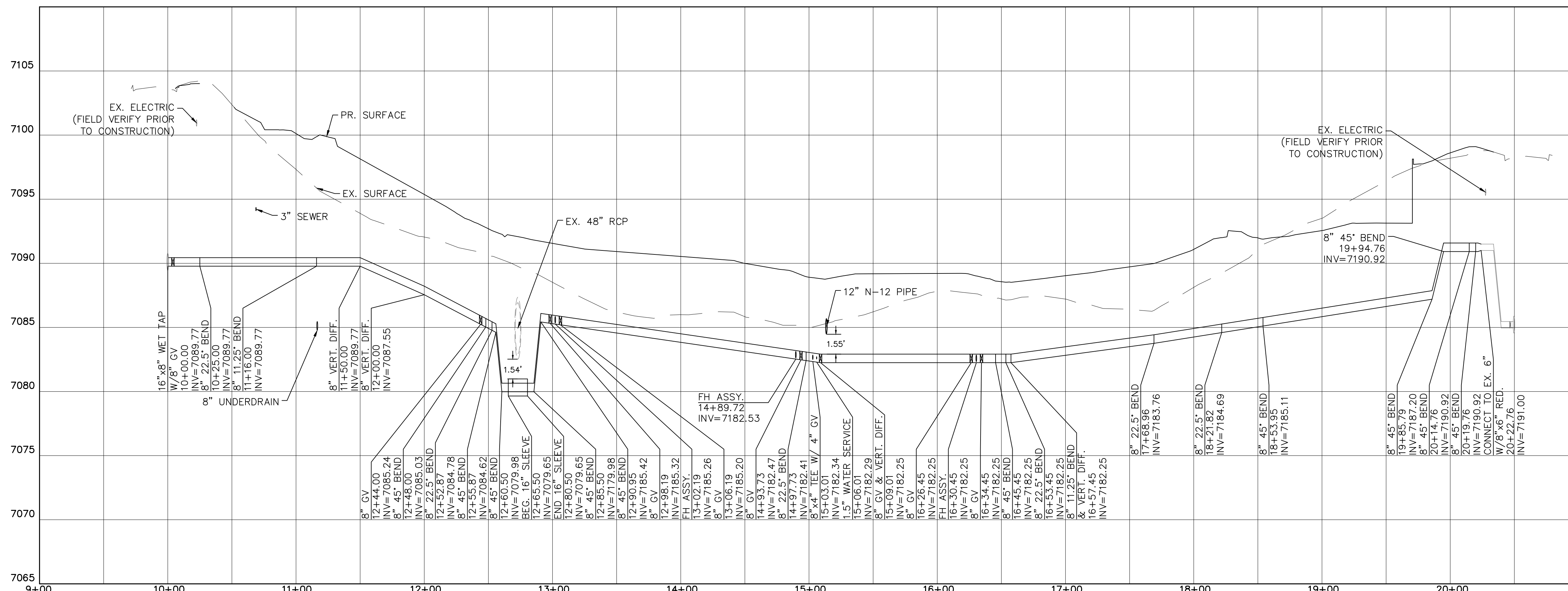
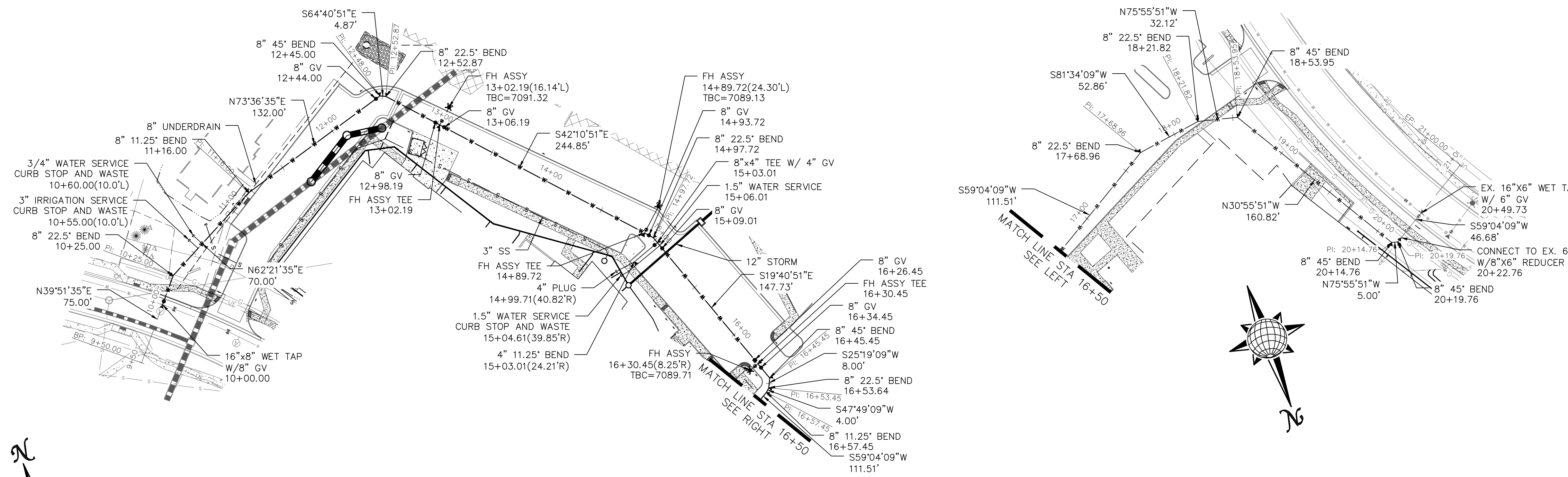
GRADING CUT-FILL

C5.1

Project No. 23.012
The LKA Partners Incorporated



WATER PROFILE



- NOTES:**
1. MAINTAIN MINIMUM 5'-6" BURY FROM FINISHED SURFACE.
 2. SLEEVES TO RECEIVE MARKER BOARDS AT ENDS AND CURB MARKED WITH AN "X" ON TOP OF CURB AT ALL SLEEVE LOCATIONS.
 3. SLEEVES FOR IRRIGATION, GAS, ELECTRIC, PHONE, CABLE, ECT. TO BE LOCATED BY OTHERS.

Meridian Ranch Field House

10559 & 10575 Rainbow Bridge Dr
 Peyton, CO 80831
 Meridian Service Metro District
 11886 Stapleton Drive
 Falcon, CO 80831

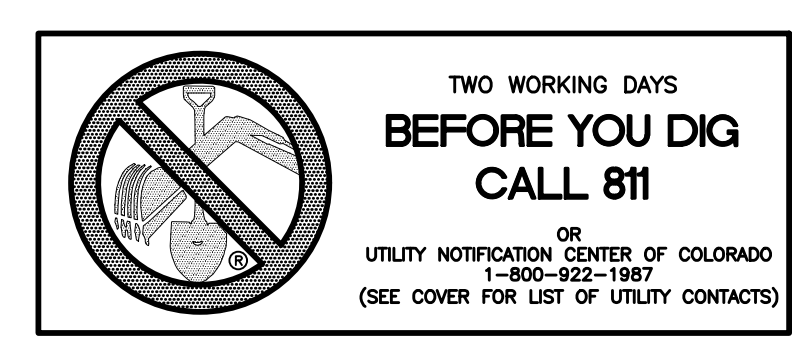
L K A P A R T N E R S
 L I N C O R P O R A T E D
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 TECH CONTRACTORS
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El Paso County
 Major Commercial Site
 Development Plan
 Drawn: LCG
 Checked: JS
 Issued: 17 JUNE 2024
 Revised:

Area Key Plan

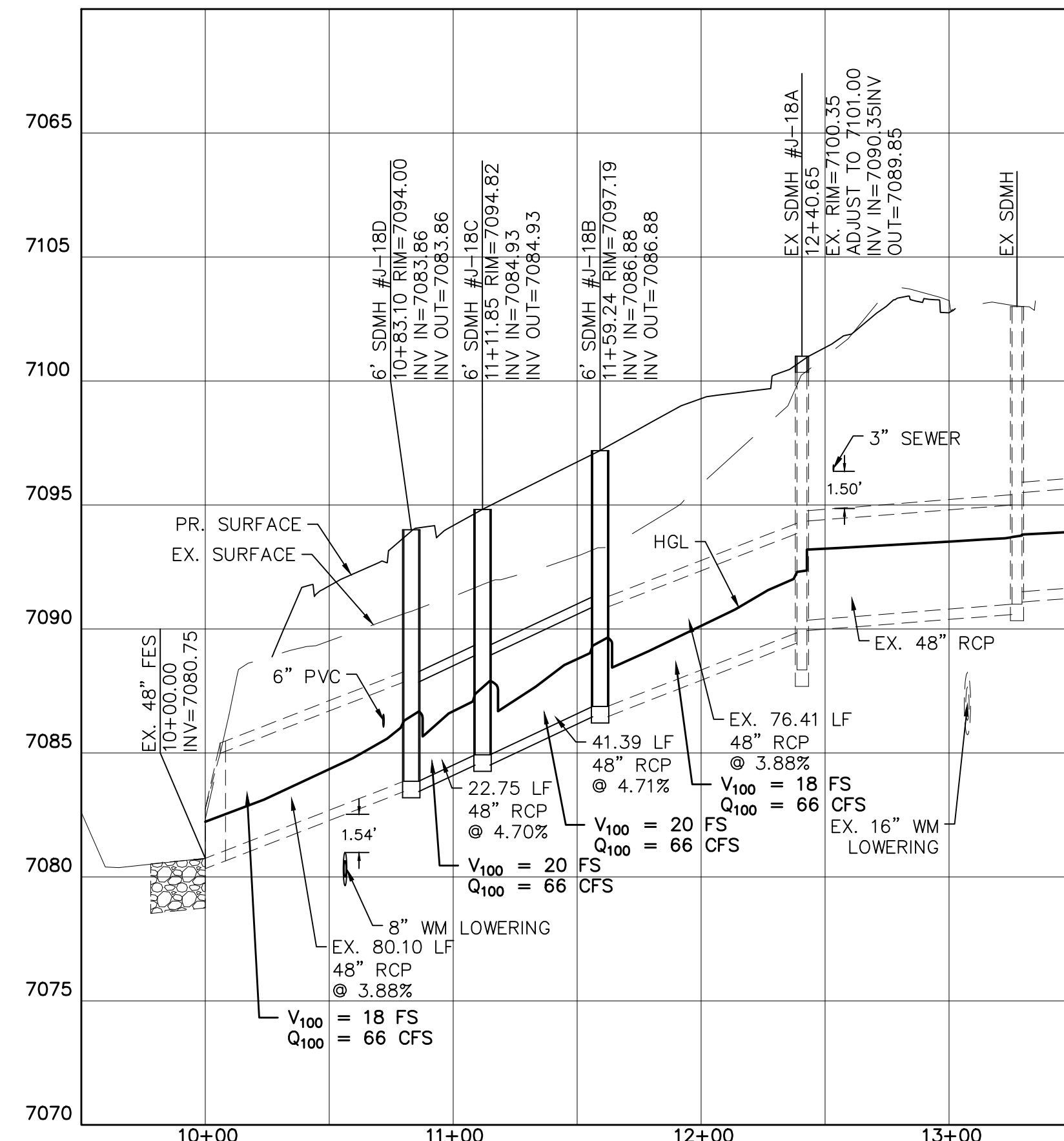
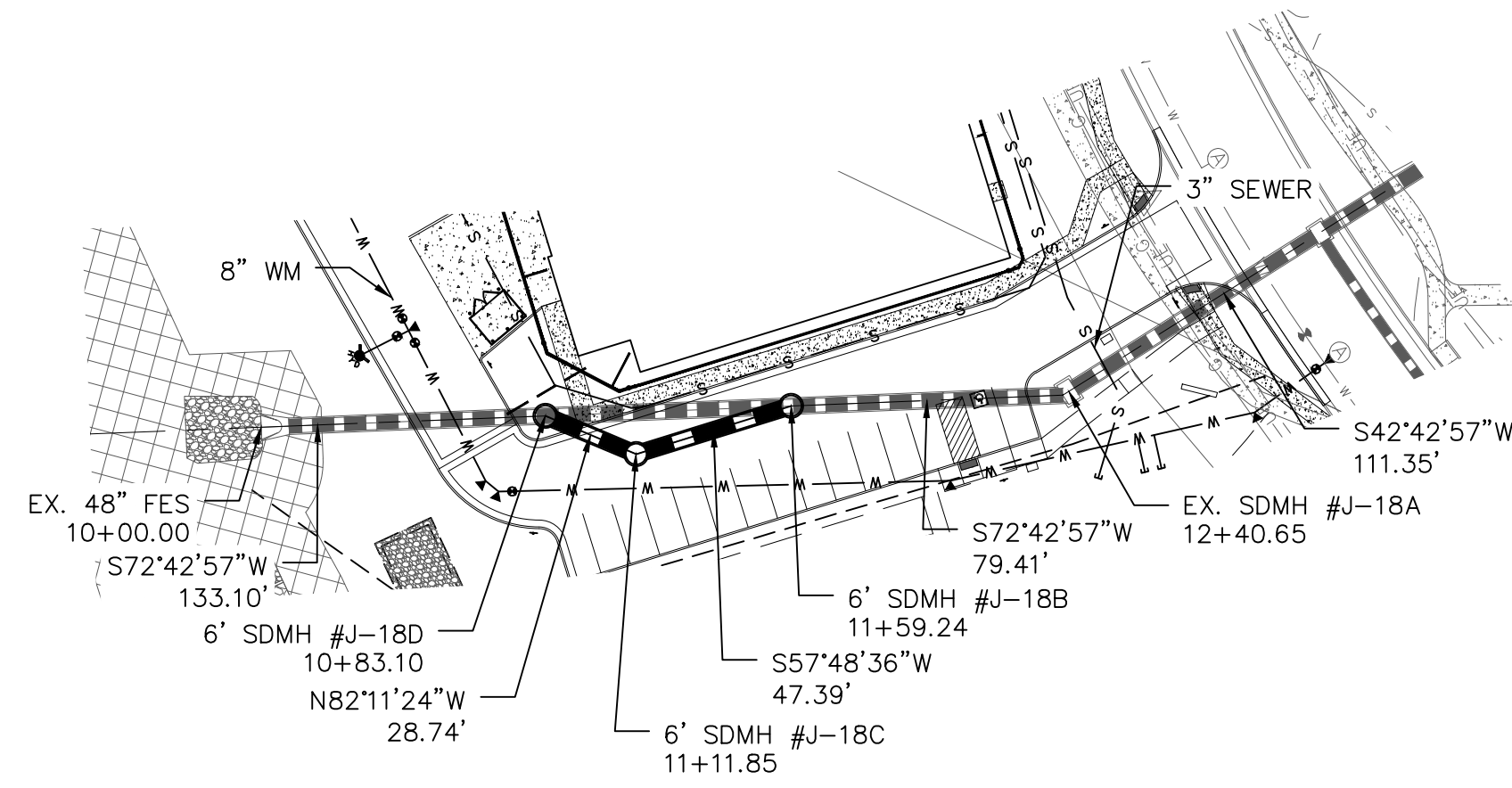
WATER PLAN



C7.0
 Project No. 23.012
 The LKA Partners Incorporated
 PPR-246

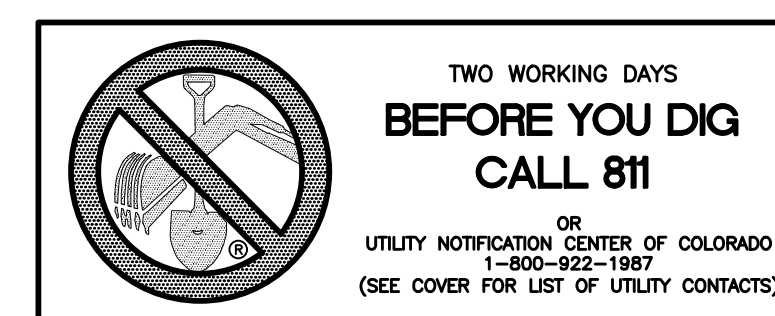
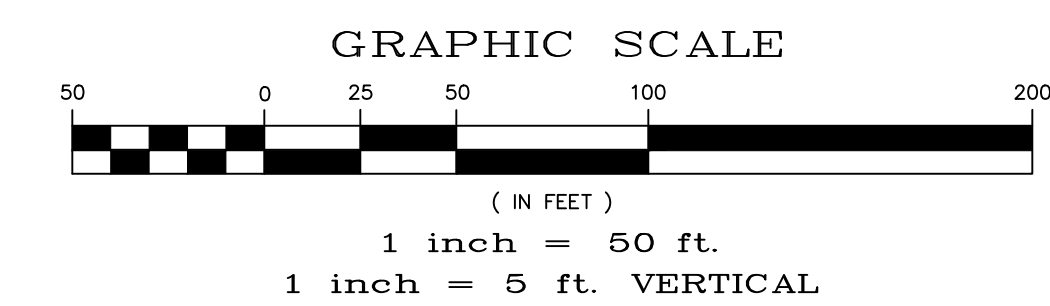
STORM PROFILE #3

(COUNTY OWNED AND MAINTAINED)



NOTES:

1. ALL JOINTS ON THE STORM PIPING SHALL BE WATERTIGHT JOINTS.
2. REFER TO ARCHITECTURAL FOUNDATION PLANS AND TO THE "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. JANUARY 10, 2024. FOR FOUNDATION DRAIN.



Meridian Ranch Field House

10559 Rainbow Bridge Dr
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 Meridian Service Metro District
 11886 Stapleton Drive
 Falcon, CO 80831



Construction Documents

Drawn: LCG
 Checked: JMS
 Issued: 12 August 2024
 Revised:

Area Key Plan

STORM SEWER PLAN

C8.1

Project No. 23.012
 The LKA Partners Incorporated

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S:\Inhouse\clients\ASMB\Projects\12121002\PROF\AN\MERIDIAN FIELD HOUSE\DWG\PLAN\80831\STORM SEWER PLAN.dwg, 8/12/24 8:10:01 AM