

EPC STORMWATER REVIEW COMMENTS  
IN ORANGE BOXES WITH BLACK TEXT

**UTILITY CONTACTS:**

WATER – MERIDIAN SERVICE METROPOLITAN DISTRICT POC: KEVIN FACKERELL (719)–495–6567	GAS – BLACK HILLS ENERGY (719)–393–6625
SANITARY SEWER – MERIDIAN SERVICE METROPOLITAN DISTRICT POC: BRADEN MCGRODY (719)–495–6567	ELECTRIC – MOUNTAIN VIEW ELECTRIC ASSOC. (719)–495–2283
DRAINAGE – EL PASO COUNTY PCD/INSPECTIONS (719)–520–6300	GEOTECHNICAL ENGINEER – GROUND ENGINEERING CONSULTANTS, INC. (303)–5991–6944
DRAINAGE – MERIDIAN SERVICE METROPOLITAN DISTRICT POC: TOM KERBY (719)–495–7444	FALCON FIRE PROTECTION DISTRICT (719) 495–4050

**CAUTION - NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

**LEGAL DESCRIPTION:**

KNOW ALL MEN BY THESE PRESENTS: THAT MERIDIAN SERVICE METROPOLITAN DISTRICT BEING THE OWNER OF THE FOLLOWING DESCRIBED TRACTS OF LAND:

A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20 IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEASTERLY MOST CORNER OF LOT 87 OF MERIDIAN RANCH FILING NO. 8, RECORDED WITH RECEPTION NO. 215713635 IN THE RECORDS OF EL PASO COUNTY:

1. THENCE N36°06'38"E ON THE EASTERLY BOUNDARY OF SAID LOT 87 A DISTANCE OF 130.00 FEET;
2. THENCE N50°10'02"E A DISTANCE OF 126.73 FEET;
3. THENCE S46°22'12"E A DISTANCE OF 323.57 FEET;
4. THENCE S56°41'10"E A DISTANCE OF 122.78 FEET;
5. THENCE S53°00'09"E A DISTANCE OF 205.25 FEET;
6. THENCE S41°27'50"E A DISTANCE OF 98.21 FEET;
7. THENCE S56°12'36"W A DISTANCE OF 405.15 FEET TO A POINT ON THE BOUNDARY OF MERIDIAN RANCH FILING 11A, RECORDED WITH RECEPTION NO. 214733513;
8. THENCE S72°14'48"W ON SAID BOUNDARY A DISTANCE OF 130.15 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF RAINBOW BRIDGE DRIVE AND A NON-TANGENT CURVE TO THE LEFT;
9. THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 680.00 FEET, A DELTA ANGLE OF 55°20'34", AN ARC LENGTH OF 656.82 FEET, WHOSE LONG CHORD BEARS N26°13'05"W A DISTANCE OF 631.58 FEET TO THE POINT OF BEGINNING.

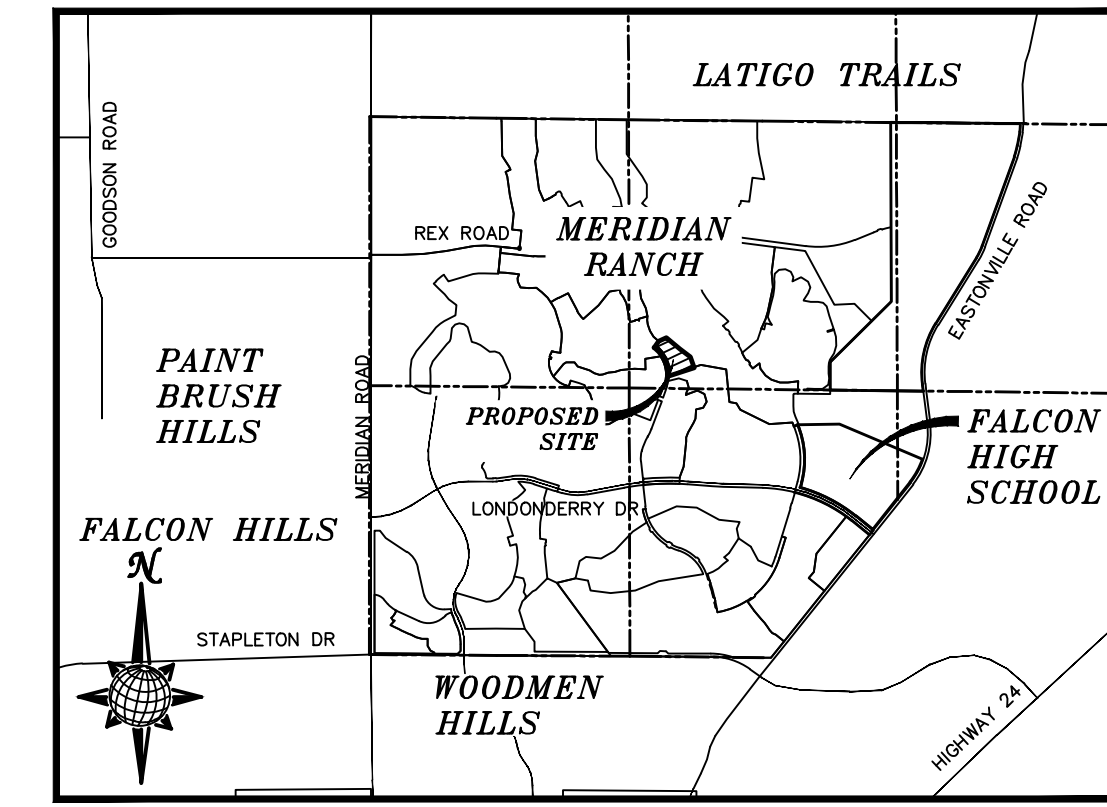
THE ABOVE PARCEL OF LAND CONTAINS 5.443 ACRES, MORE OR LESS.

# CIVIL DRAWINGS FOR MERIDIAN RANCH FIELD HOUSE

## IMPROVEMENT PLANS

### PREPARED FOR MERIDIAN SERVICE METROPOLITAN DISTRICT

A PARCEL OF LAND LOCATED IN A PORTION OF SECTION 20, IN TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, STATE OF COLORADO.



VICINITY MAP  
N.T.S.

SHEET NO	CIVIL SHEET INDEX
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C1.2–C1.4	DETAIL SHEETS
C2.0	EXISTING CONDITIONS
C3.0	EROSION CONTROL
C4.0	HORIZONTAL CONTROL & PAVING
C4.1	HORIZONTAL CONTROL TABLES
C5.0	GRADING PLAN
C5.1	GRADING PLANGRADING CUT–FILL
C6.0	SANITARY SEWER PLAN
C7.0	WATER PLAN
C8.0–C8.1	STORM SEWER PLAN

**L K A P A R T N E R S**  
I N C O R P O R A T E D

**TECH CONTRACTORS**  
A Professional Corporation for Architecture and Planning  
11886 STAPLETON DRIVE, SUITE 130  
FALCON, CO 80831  
TELE: 719.486.7444

430 North Tejon Street Suite 208  
Colorado Springs Colorado 80903  
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**Meridian Ranch Field House**

10559 & 10575 Rainbow Bridge Dr  
Peyton, CO 80831  
Meridian Service Metro District  
11886 Stapleton Drive  
Falcon, CO 80831

**El Paso County**  
Major Commercial Site  
Development Plan

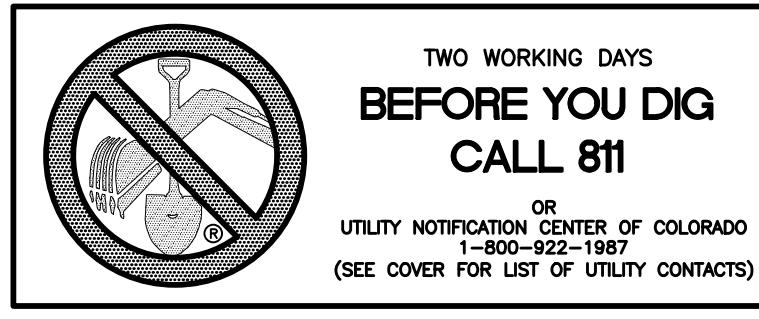
Drawn: \_\_\_\_\_ LCG  
Checked: \_\_\_\_\_ JS  
Issued: \_\_\_\_\_ 08 MAY 2024  
Revised: \_\_\_\_\_

**Area Key Plan**

CIVIL COVER SHEET

# C1.0

Project No. 23.012  
The LKA Partners Incorporated



**BASIS OF BEARING**  
BASIS OF BEARINGS FOR THIS DESCRIPTION IS THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 29, T12S, R64W OF THE 6TH P.M., WHICH IS ASSUMED TO BEAR S89°25'42"E FROM THE SOUTHWEST CORNER OF SECTION 29 (A STONE W/SCRIBED "X") TO THE SOUTH QUARTER CORNER OF SECTION 29 (3.25" ALUM. CAP LS 30087).

**BENCH MARK**  
1) MRRCT – 3 1/4" ALUMINUM CAP ON NO.6 REBAR LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF LONDONDERRY DRIVE AND ANGELES ROAD. LOCATED AT THE SE CORNER OF THE MERIDIAN RANCH RECREATIONAL CENTER SIGN. ELEVATION – 7098.40'  
2) MRMS1 – 3 1/4" ALUMINUM CAP ON NO.6 REBAR LOCATED ON THE WEST SIDE OF RAINBOW BRIDGE DRIVE 1,150 FEET NORTH OF LONDONDERRY DRIVE. LOCATED NEAR THE BACK OF SIDE WALK AT THE NW CORNER OF RAINBOW BRIDGE DRIVE AND THE NORTHERLY ENTRANCE TO MERIDIAN RANCH ELEMENTARY SCHOOL (10480 RAINBOW BRIDGE DRIVE). ELEVATION – 7099.72'

**DISTRICT ENGINEER:**

\_\_\_\_\_  
THOMAS A. KERBY, PE CO 31429 DATE  
MERIDIAN SERVICE METROPOLITAN DISTRICT

**WATER AND SANITARY SEWER APPROVALS:**

\_\_\_\_\_  
JIM NIKKEL, GENERAL MANAGER DATE  
MERIDIAN SERVICE METROPOLITAN DISTRICT

**OWNERS STATEMENT:**

OWNERS STATEMENT:  
THE UNDERSIGNED OWNER HAS READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE CONSTRUCTION PLANS AND THE ACCOMPANYING DRAINAGE REPORT.

\_\_\_\_\_  
JIM NIKKEL, GENERAL MANAGER DATE  
MERIDIAN SERVICE METROPOLITAN DISTRICT

**DESIGN ENGINEER'S STATEMENT:**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

\_\_\_\_\_  
THOMAS A. KERBY, P.E. #31429

**EL PASO COUNTY:**

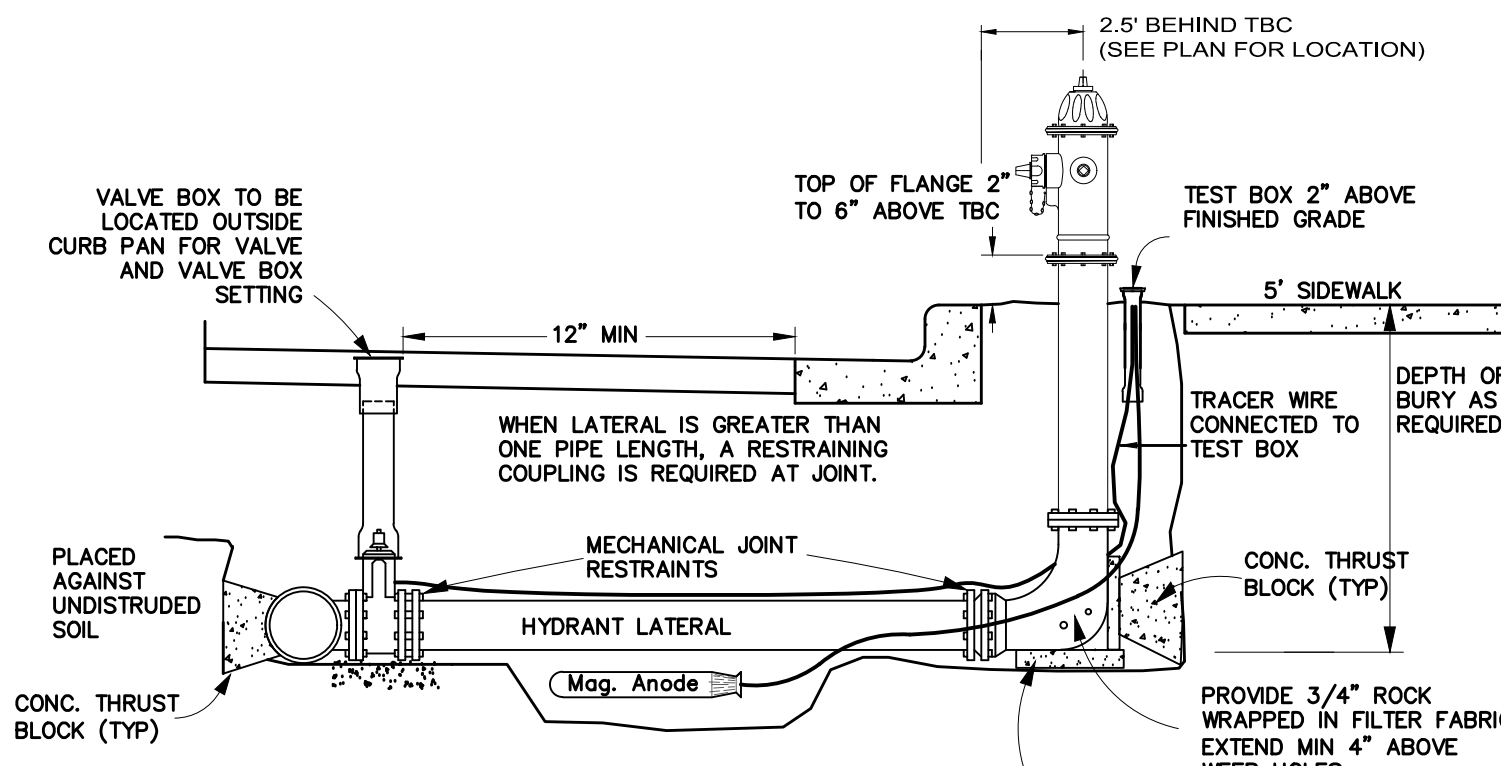
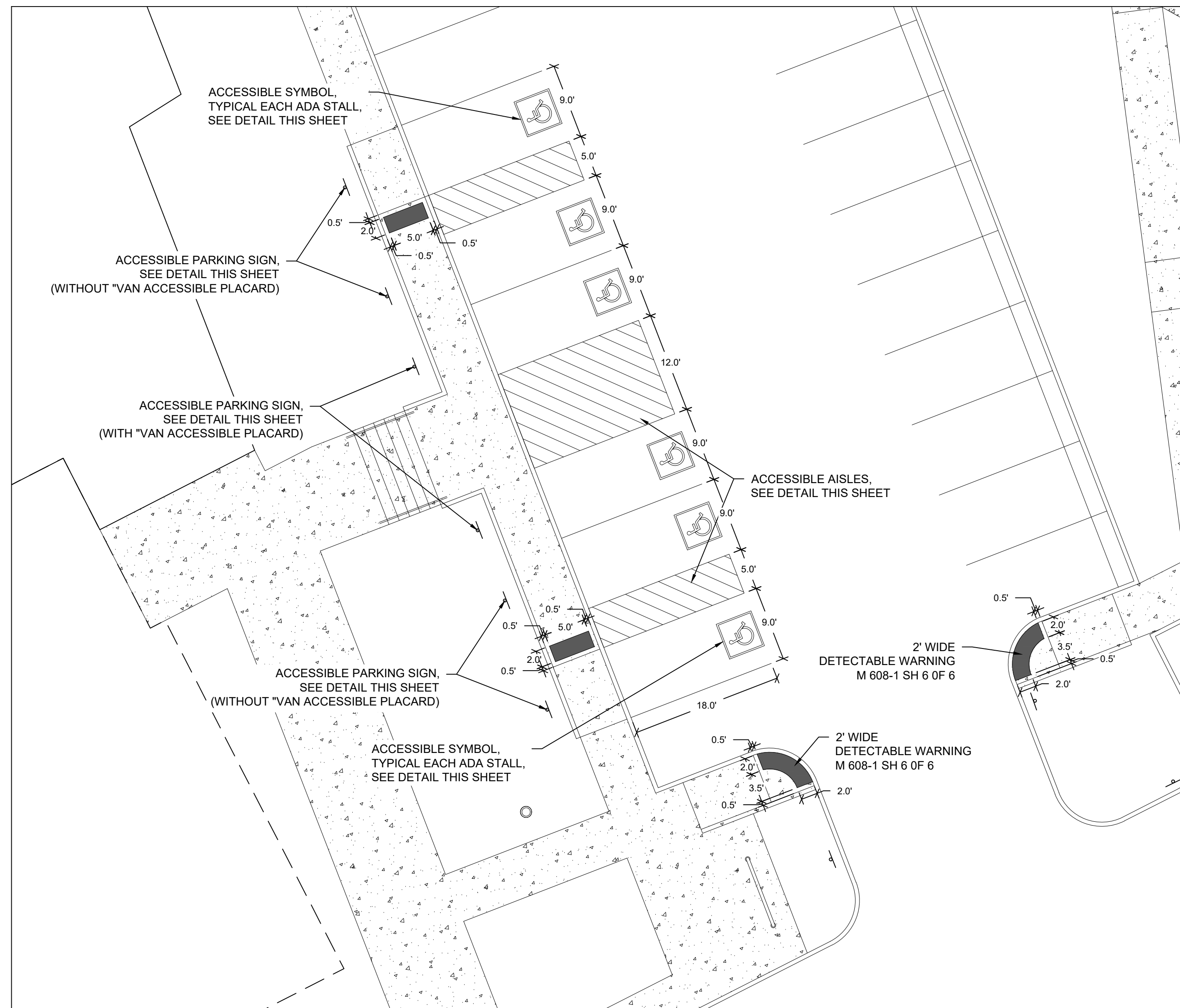
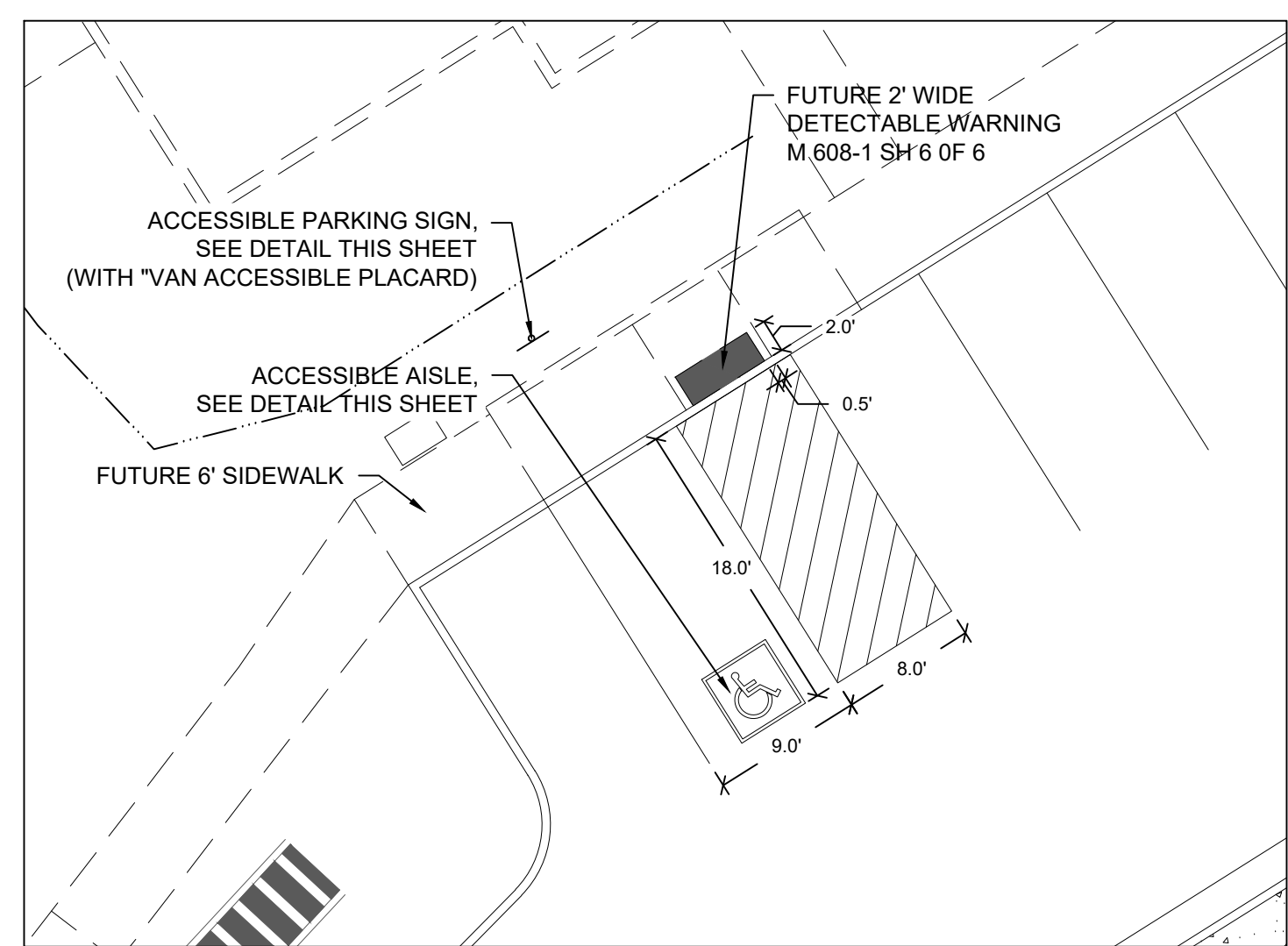
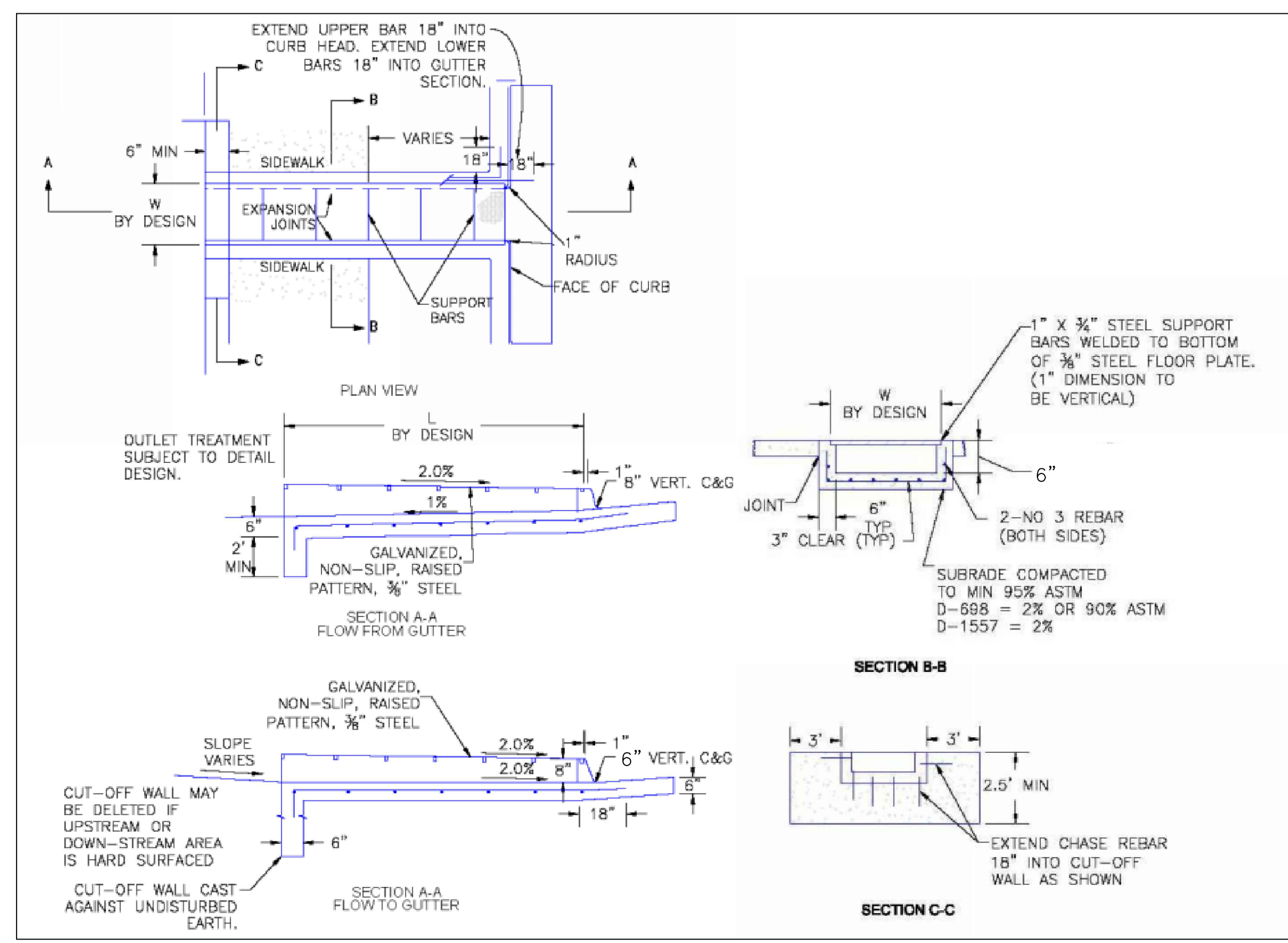
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT BEEN STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES ET THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

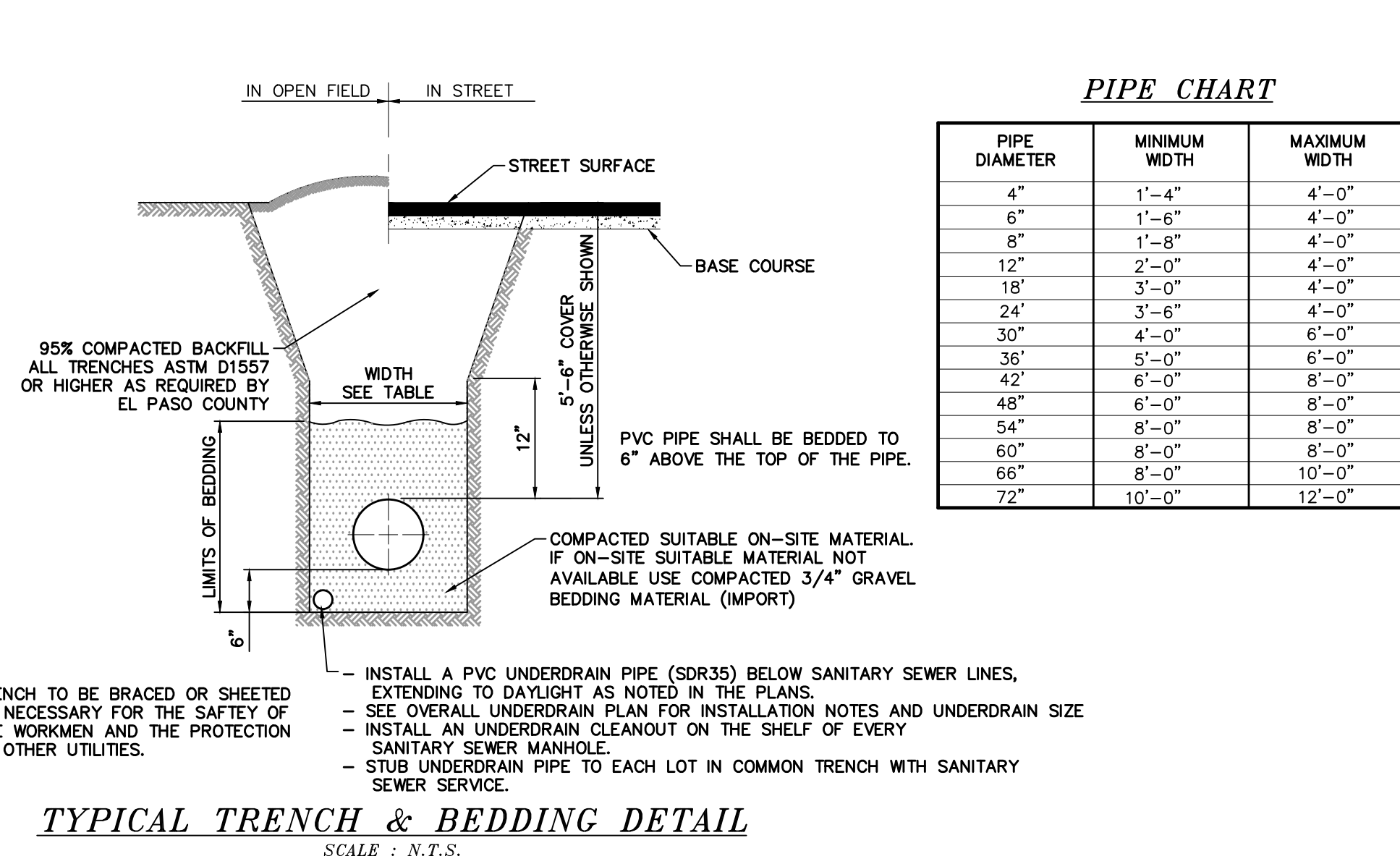
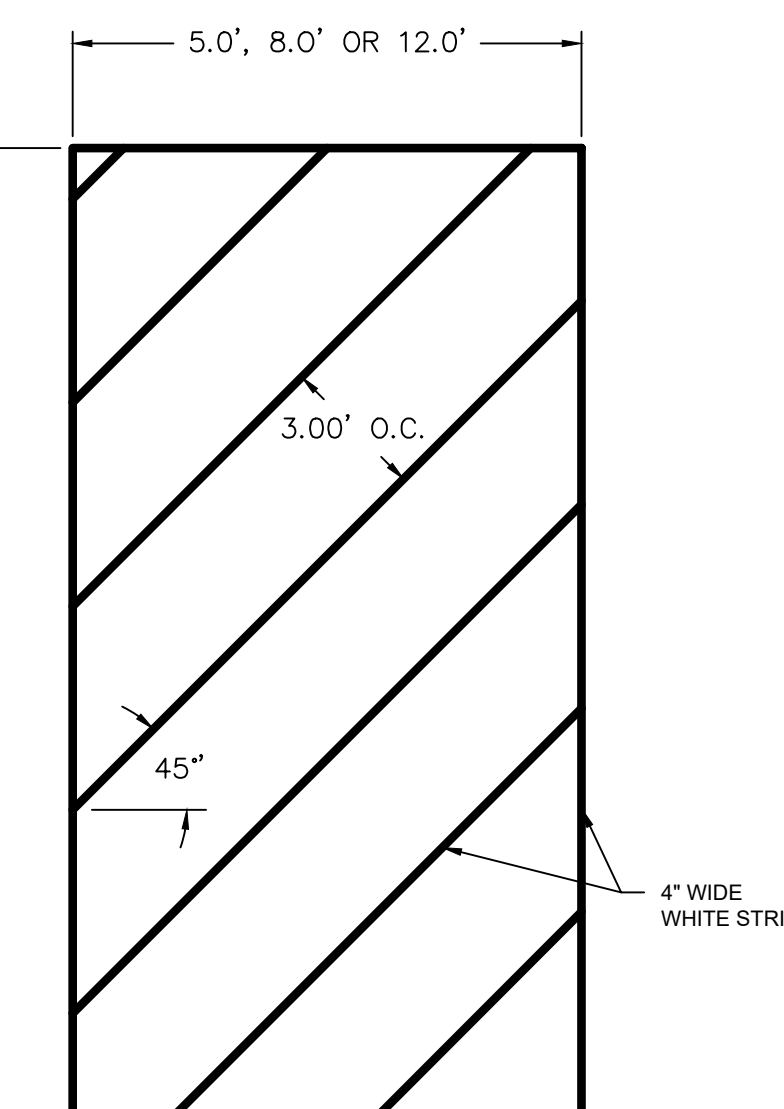
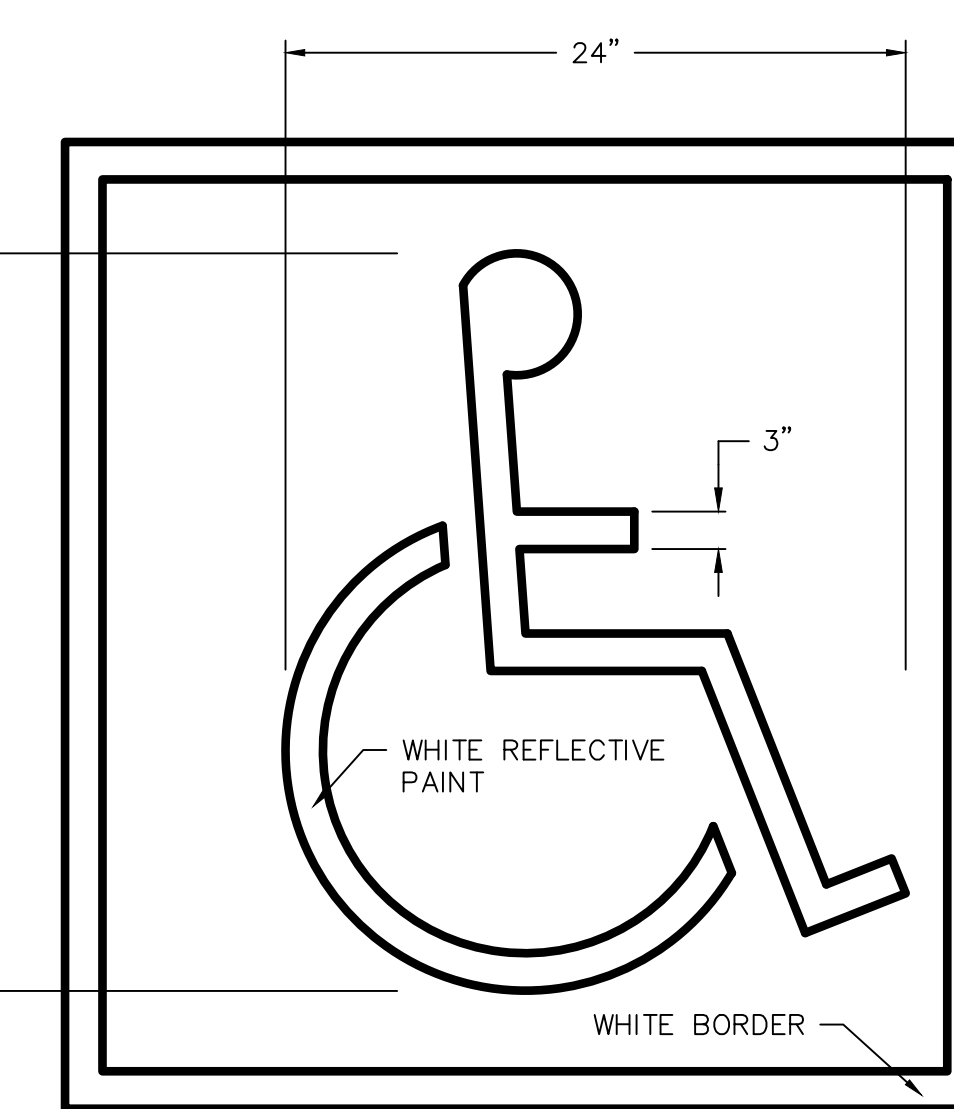
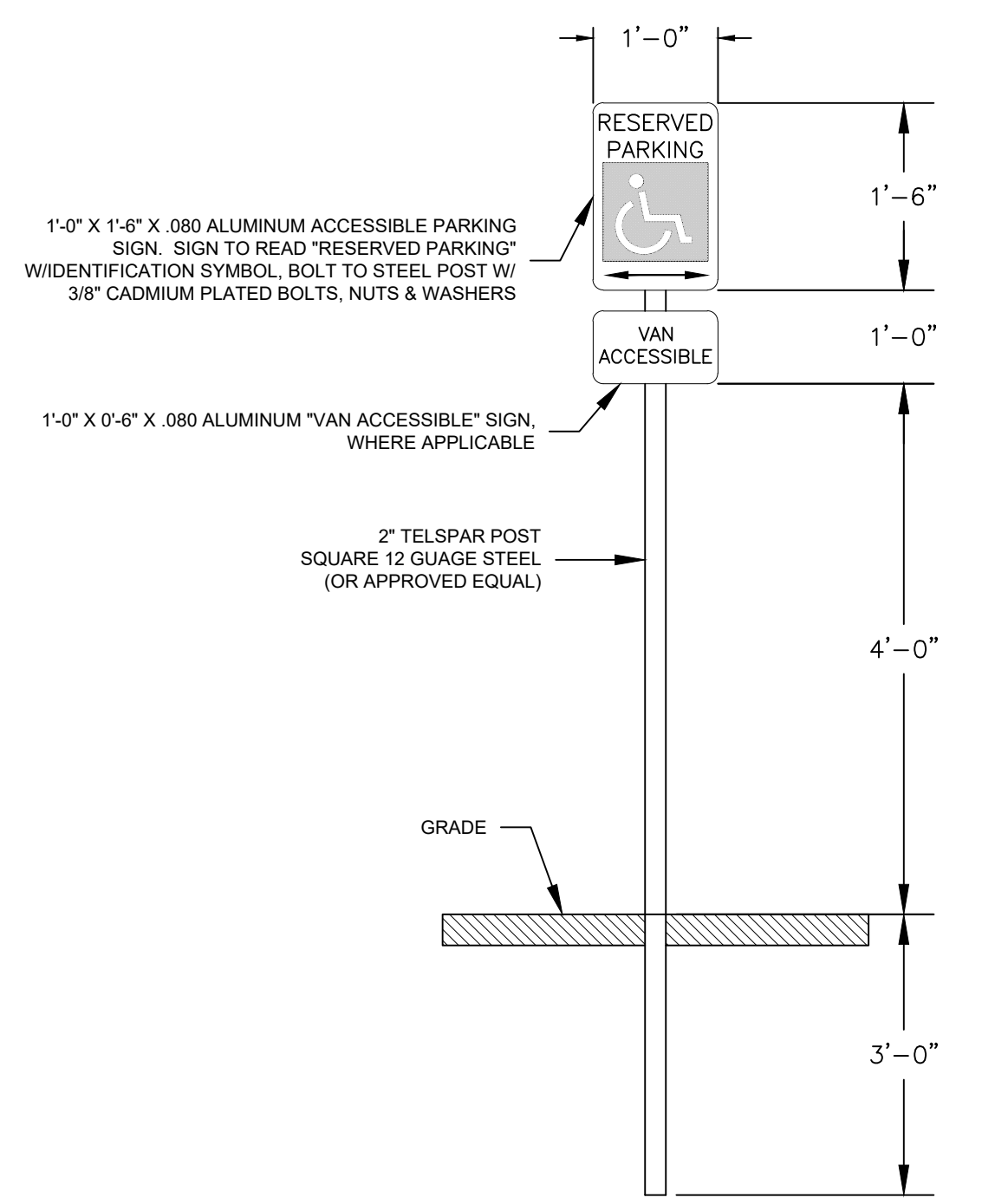
\_\_\_\_\_  
JOSHUA PALMER, P.E. DATE  
COUNTY ENGINEER / ECM ADMINISTRATOR





- NOTES:**
- FIRE HYDRANTS SHALL BE AWK MODEL 2780 NOSTALGIC OPEN RIGHT WITH A 1 1/2" PENTAGON OPERATING NUT AND SERVICE CAPS, STANDARD 4 1/2" PUMPER NOZZLE WITH A THREAD PATTERN OF 5-3/8"-6 TPI (THREADS PER INCH) ALONG WITH TWO STANDARD 2 1/2" NTS (NATIONAL STANDARD THREAD) SIDE NOZZLES.
  - HYDRANT SHALL BE INSTALLED PLUMB IN ALL DIRECTIONS.
  - MECHANICAL JOINT RESTRAINTS, SEE COLORADO SPRINGS UTILITIES FOR MECH. JOINT PIPE RESTRAINT SPECIFICATIONS.
  - SEE COLORADO SPRINGS UTILITIES FOR MECH. JOINT PIPE RESTRAINTS SPECIFICATIONS.
  - FINAL TOP OF FLANGE ELEVATION TO BE 2 TO 6 INCHES ABOVE TOP BACK OF CURB (TBC) TO ACHIEVE PROPER FINISHED ELEVATION.
  - NO OBSTRUCTIONS TO BE CONSTRUCTED IN FRONT OF THE FIRE HYDRANT.
  - PROVIDE A 9 LB. MAGNESIUM ANODE AND TEST STATION AT EACH HYDRANT PER CURRENT MERIDIAN SERVICE METROPOLITAN DISTRICT STANDARD NOTES.
  - HYDRANT SHALL BE PAINTED WITH RUSTOLEUM 659 SAFETY YELLOW PRIOR TO ACCEPTANCE.

**FIRE HYDRANT ASSEMBLY**  
SCALE: N.T.S.



LEGEND		
SYMBOL	ACRONYM	DESCRIPTION
[Symbol]	RCP W/FES	REINFORCED CONCRETE PIPE OR N-12 W/FLARED END SECTION(S) AS NOTED)
[Symbol]	INLET	STORM SEWER INLET BOX
[Symbol]	SMH	STORM SEWER MANHOLE
[Symbol]	ST	STORM SEWER LINE
[Symbol]	RD	ROOF DRAIN LINE
[Symbol]	SS	SANITARY SEWER MAIN
[Symbol]	SSMH	SANITARY SEWER MANHOLE
[Symbol]	WM	WATER MAIN (ALL PIPES PVC, UNLESS OTHERWISE NOTED)
[Symbol]	GV	WATER GATE VALVE
[Symbol]	BV	WATER BUTTERFLY VALVE
[Symbol]	BOV	WATER BLOW-OFF VALVE
[Symbol]	HYD ASSY	FIRE HYDRANT ASSEMBLY
[Symbol]	TEE W/GV	WATER TEE W/ GATE VALVES
[Symbol]	ATT SW	ATTACHED SIDEWALK
[Symbol]		STANDARD PEDESTRIAN RAMP PER SD-2-40 & M-608-1 (SH 6 OF 6)
[Symbol]		RIGHT-OF-WAY ANODE (CATHODIC PROTECTION)
[Symbol]	TS	TEST STATION
[Symbol]	G	GAS MAIN
[Symbol]	UE	ELECTRIC (UNDERGROUND)
[Symbol]	SL	SITE LIGHTING
[Symbol]	HB	HAY BALE DAM
[Symbol]	SF	SILT FENCE
[Symbol]	EXIST	EXISTING FEATURES
[Symbol]		LOT NUMBERS
[Symbol]		CROSS PAN PER SD-2-26
[Symbol]	PI	POINT OF INTERSECTION
[Symbol]	BT	BEGINNING OF TRANSITION
[Symbol]	ET	END OF TRANSITION
[Symbol]		EXISTING CONTOUR (5')
[Symbol]		EXISTING CONTOUR (1')
[Symbol]	VTC	VEHICLE TRAFFIC CONTROL PAD
[Symbol]	CWA	CONCRETE WASHOUT AREA
[Symbol]	IP	INLET PROTECTION

**Meridian Ranch Field House**

10559 & 10575 Rainbow Bridge Dr  
Peyton, CO 80831  
Meridian Service Metro District  
11886 Stapleton Drive  
Falcon, CO 80831

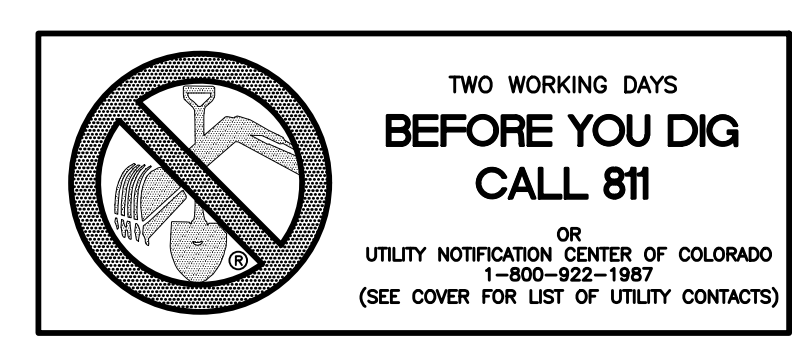
**L K A PART N E R S**  
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430 North Tejon Street Suite 208  
Colorado Springs Colorado 80903  
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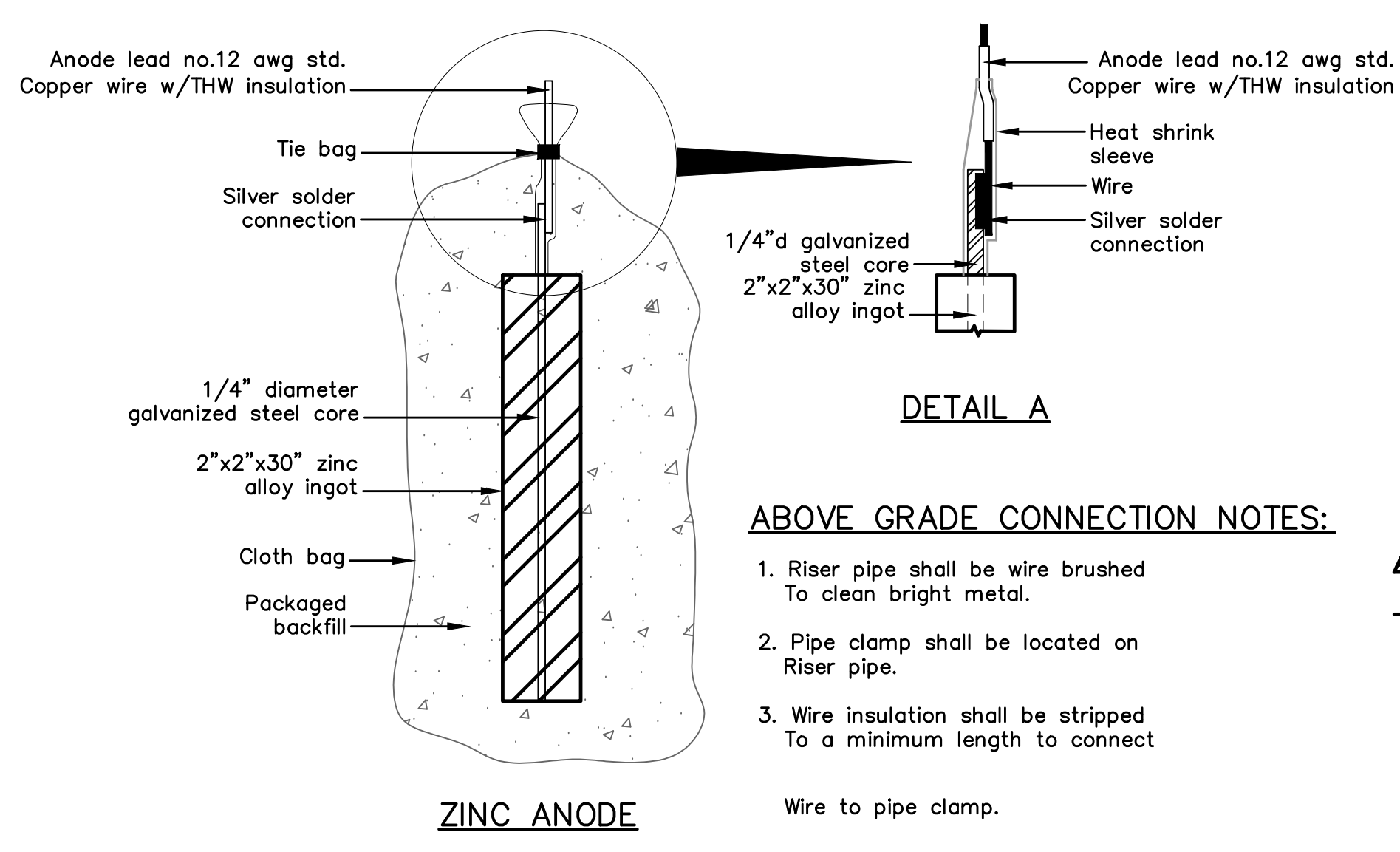
**El Paso County**  
Major Commercial Site  
Development Plan  
Drawn: LCG  
Checked: JS  
Issued: 08 MAY 2024  
Revised:

**Area Key Plan**

DETAIL SHEET

**C1.2**  
Project No. 23.012  
The LKA Partners Incorporated  
PPR-246

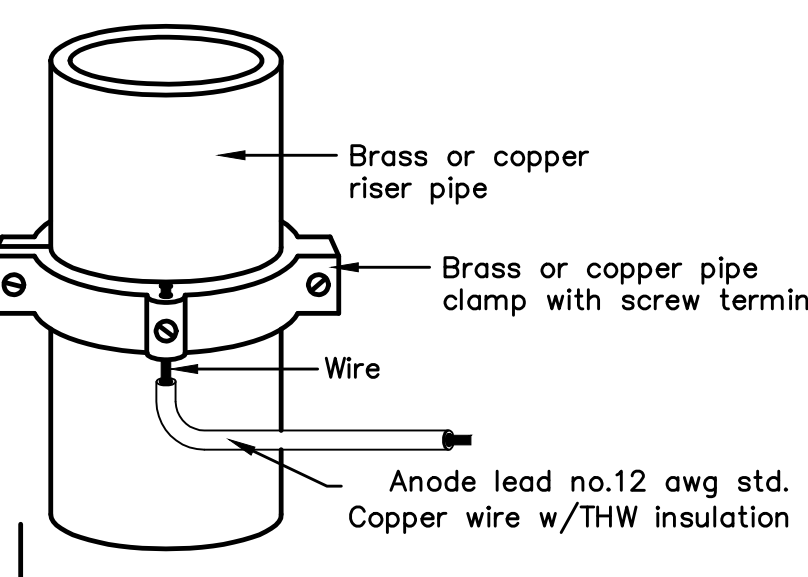




**PACKAGED BACKFILL COMPOSITION:**

75% gypsum  
 20% bentonite  
 5% sodium sulfate

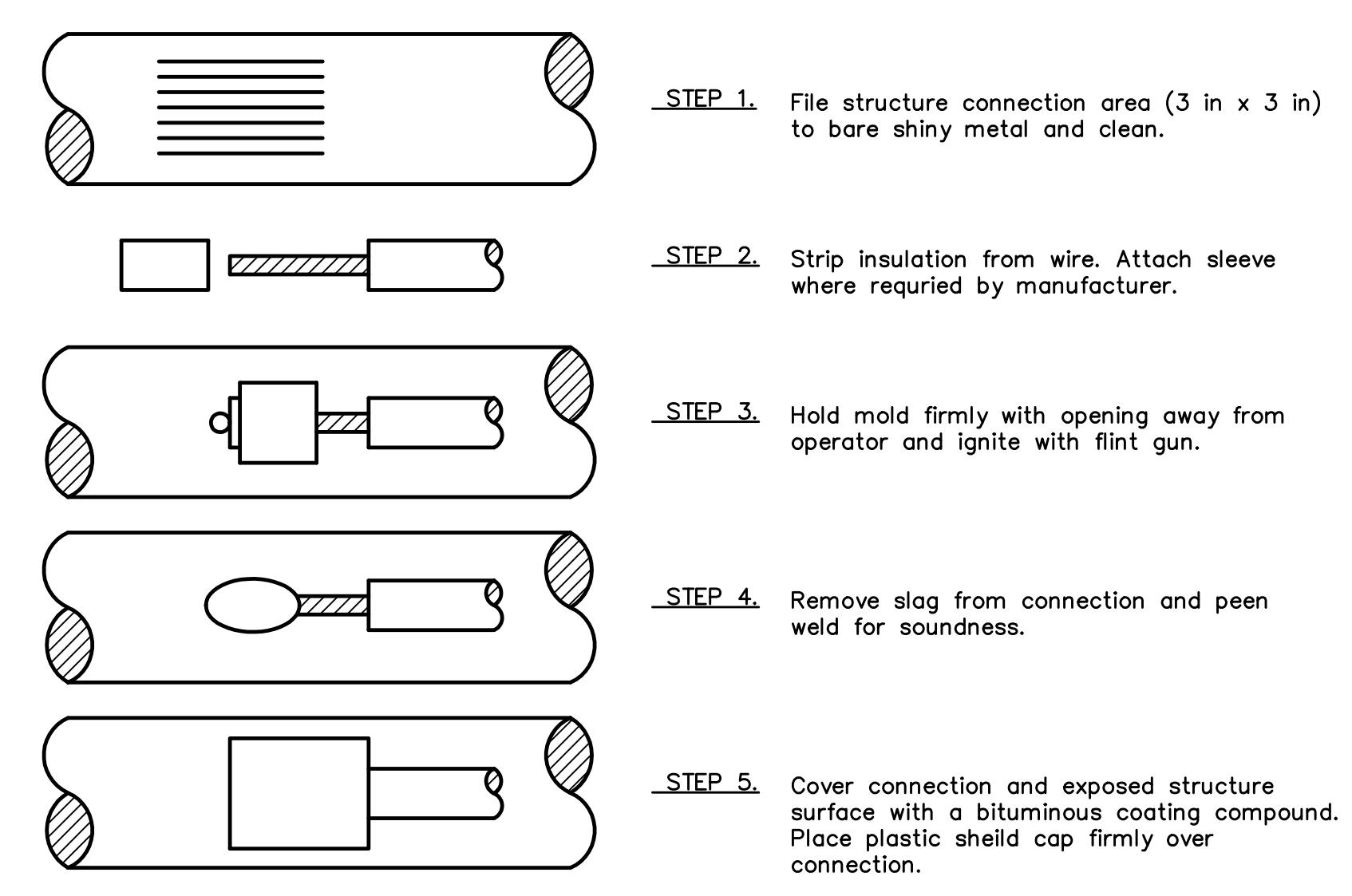
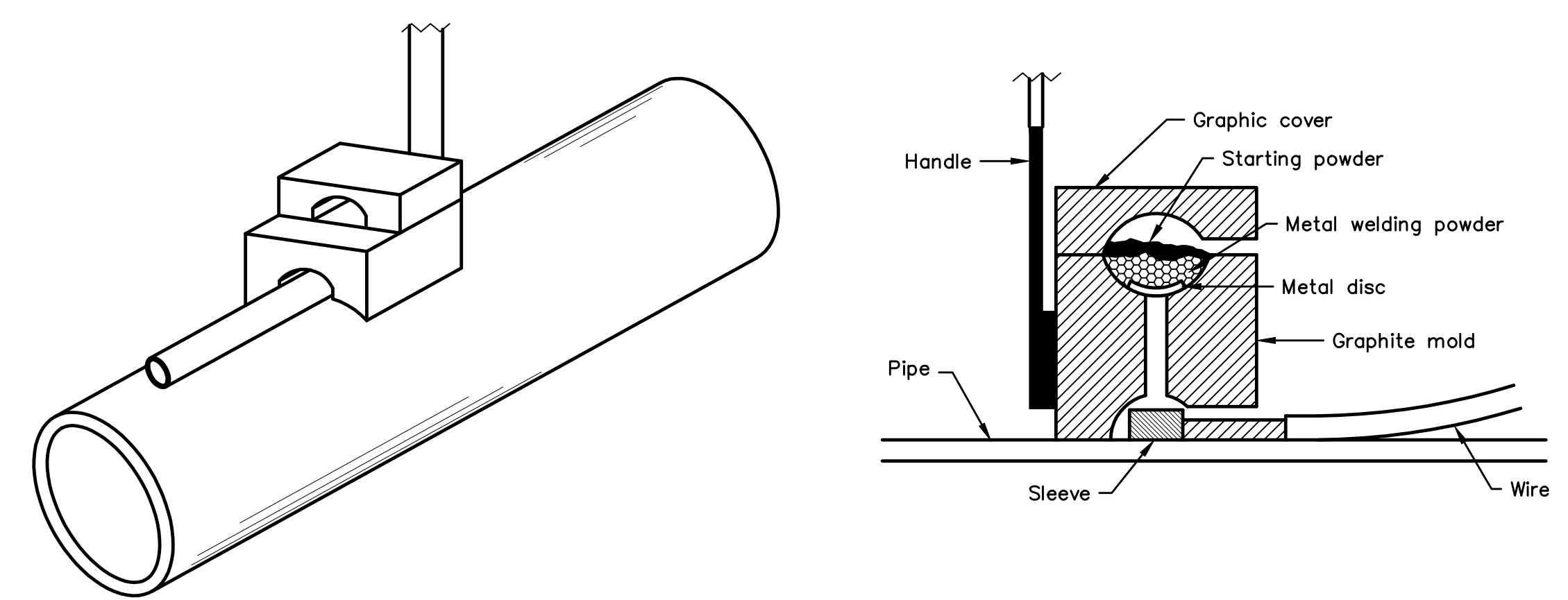
Ingot weight: 30 lbs.  
 Pkgd. Weight: 70 lbs. Approx.



**ABOVE GRADE CONNECTION NOTES:**

1. Riser pipe shall be wire brushed to clean bright metal.
2. Pipe clamp shall be located on riser pipe.
3. Wire insulation shall be stripped to a minimum length to connect wire to pipe clamp.

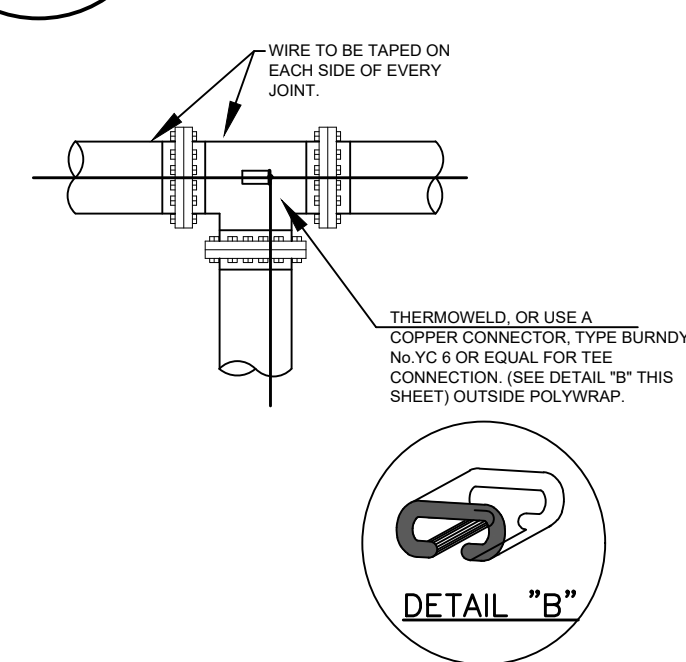
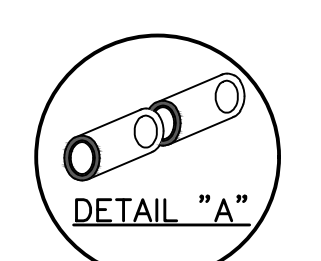
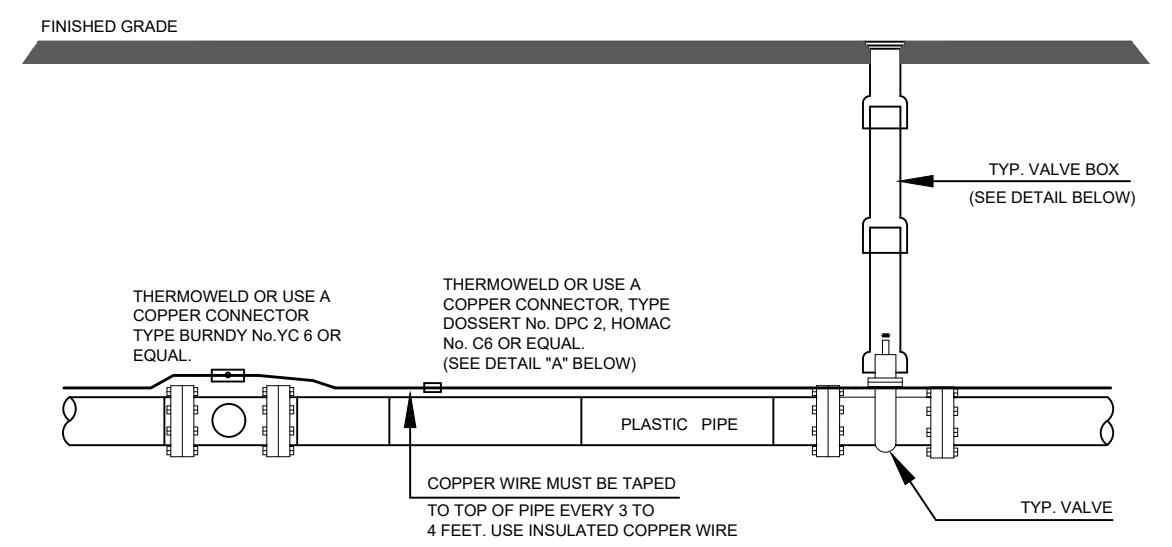
**ZINC ANODE AND CONNECTORS FOR 1" AND 2" WATER SERVICE**



**NOTES:**

1. All wire welds shall be minimum 3 inches apart.
2. Standard weld cartridges shall be used for steel surfaces.

**EXOTHERMIC WELD PROCESS**

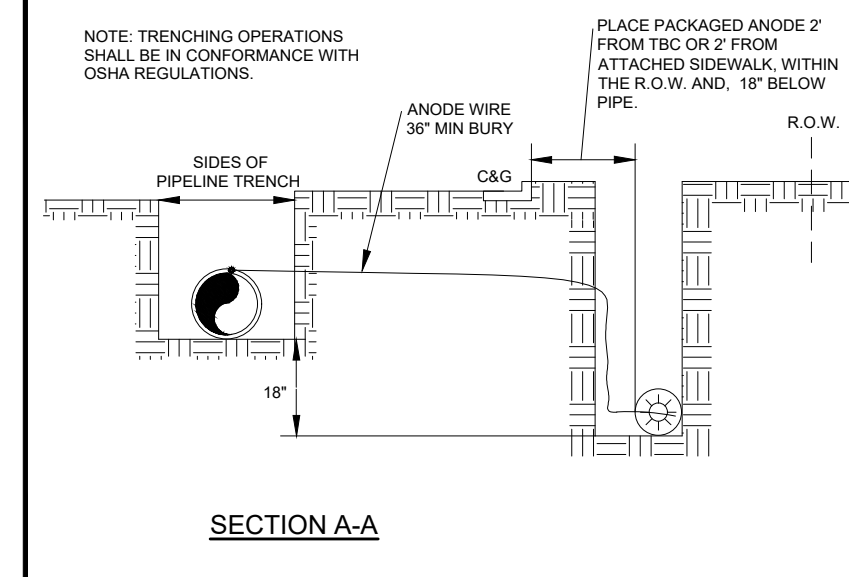


**Anode Design**

For use with DIP in conjunction with poly-wrap sleeves and piping in 1000 ohm-cm soil estimating a 5% holiday open.

Pipe Size Inches	Actual OD Inches	Anode Spacing Feet	Anode (see note 2)
4	4.3	76.3	17 lb
6	6.9	53.1	17 lb
8	9.05	40.5	17 lb
12	13.20	27.7	17 lb
16	16	21.0	32 lb
20	20	16.9	32 lb
24	24	14.2	48 lb
30	30	11.4	48 lb
36	36	9.5	48 lb
42	42	8.2	48 lb
48	48	7.2	48 lb
54	54	6.4	48 lb

The distance from the point of the beginning to the first anode shall not exceed one half the recommended spacing.



**NOTES**

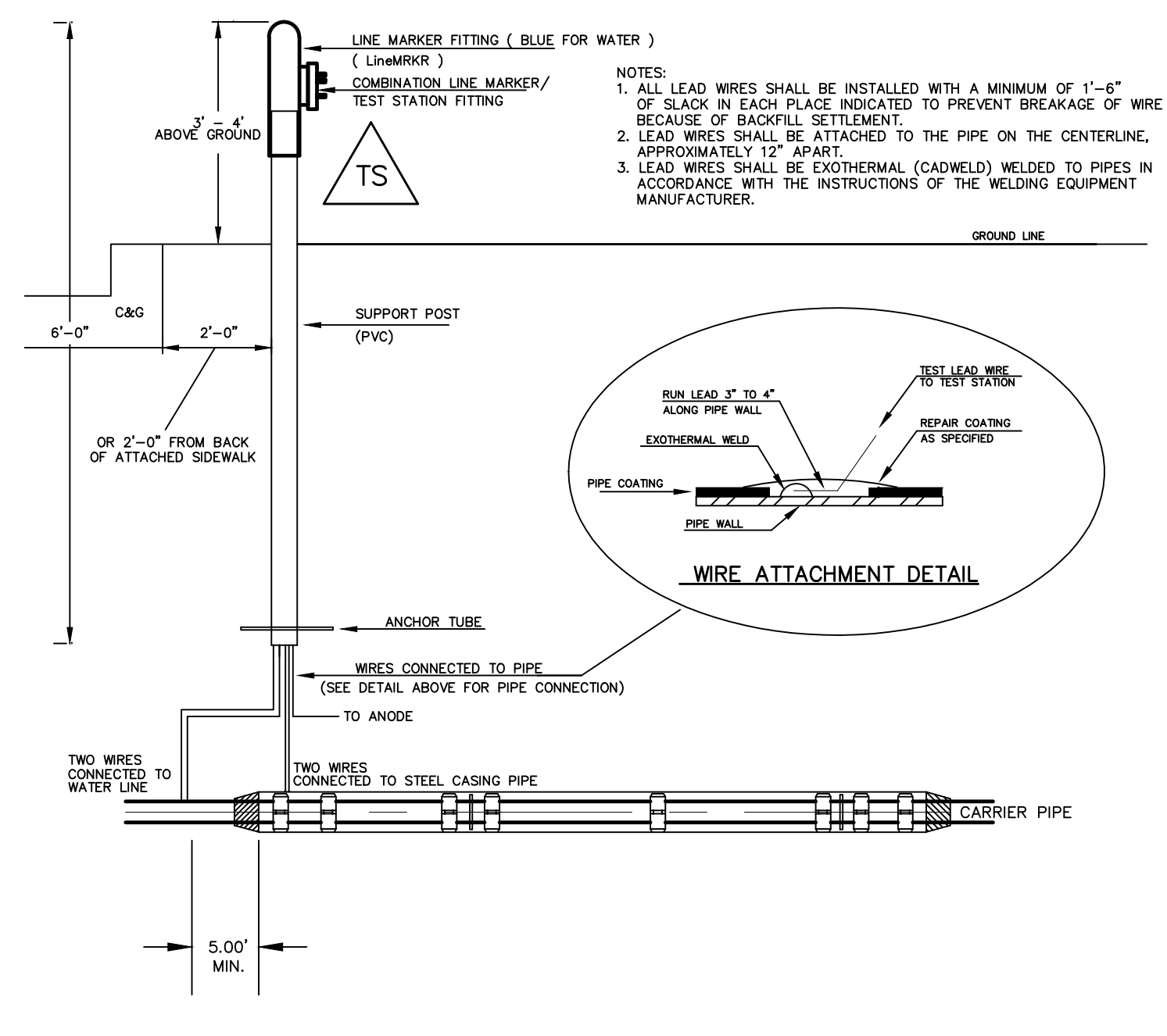
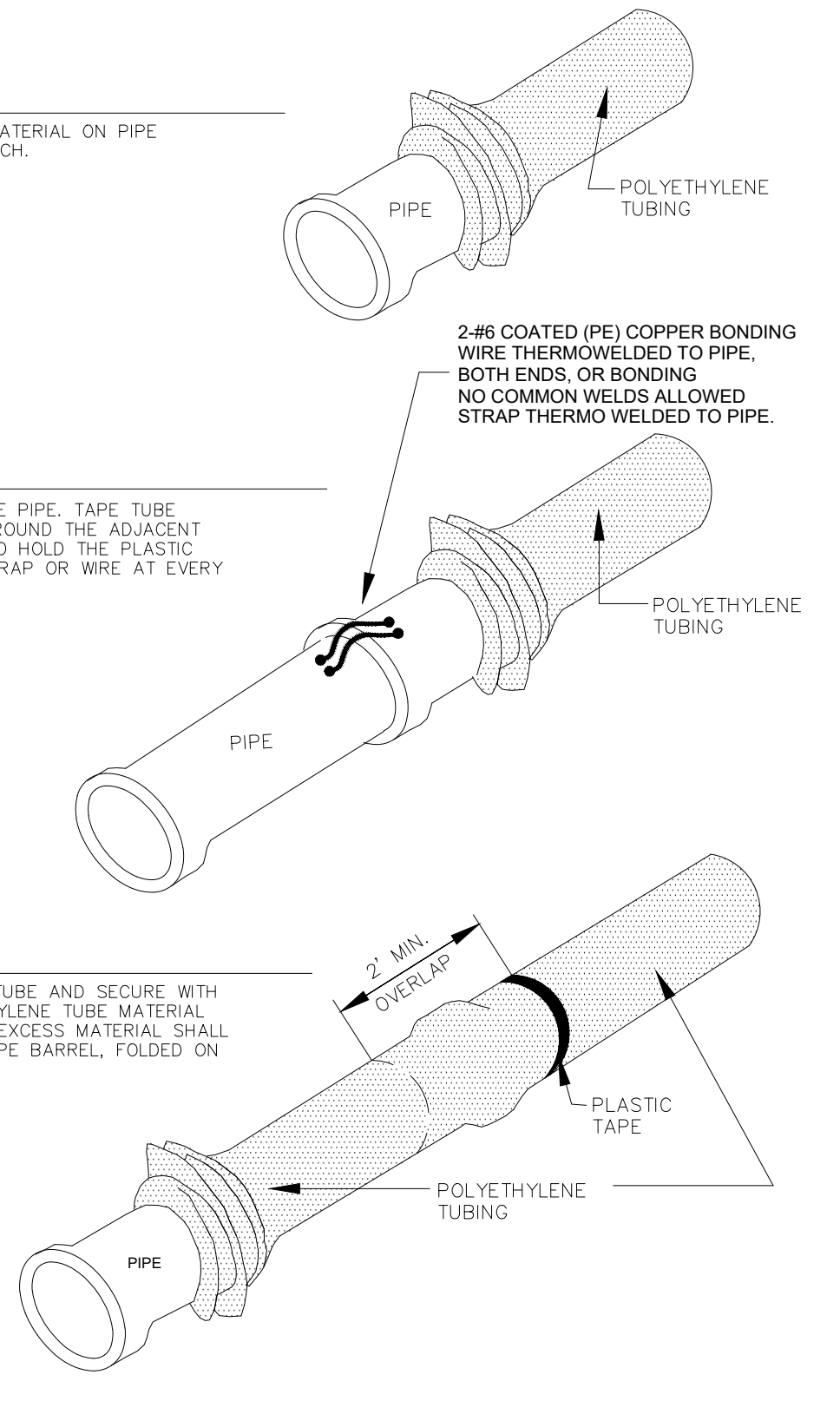
1. Cadweld connection to be primed and coated carefully. Packed anode should be covered with fine soil containing no rocks or dirt clumps, tamped.
2. When anodes are required with metal fittings and appurtenances together with PVC pipe installations, the anodes shall be placed and attached to the metal fittings in same manner as shown on this drawing. 9 lb anodes can be used on metal fittings when using PVC pipe.
3. Packaged anode to be wetted and covered with soil prior to backfilling.

**FIELD INSTALLATION OF POLYETHYLENE WRAP FOR DIP PIPE AND FITTINGS.**

**STEP 1:**  
 PLACE TUBE OF POLYETHYLENE MATERIAL ON PIPE PRIOR TO LOWERING IT INTO TRENCH.

**STEP 2:**  
 PULL TUBE OVER THE LENGTH OF THE PIPE. TAPE TUBE TO END AT JOINT. FOLD MATERIAL AROUND THE ADJACENT SPOOT END AND WRAP WITH TAPE TO HOLD THE PLASTIC TUBE IN PLACE. INSTALL BONDING STRAP OR WIRE AT EVERY JOINT OF PIPE PRIOR TO WRAPPING.

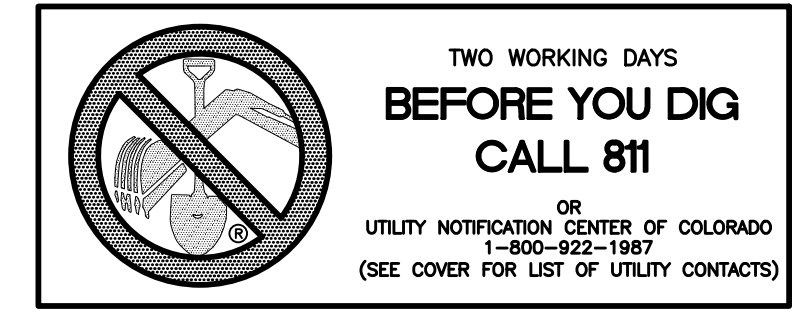
**STEP 3:**  
 OVERLAP FIRST TUBE WITH ADJACENT TUBE AND SECURE WITH PLASTIC ADHESIVE TAPE. THE POLYETHYLENE TUBE MATERIAL COVERING THE PIPE SHALL BE LOOSE. EXCESS MATERIAL SHALL BE NEATLY DRAWN UP AROUND THE PIPE BARREL, FOLDED ON TOP OF PIPE AND TAPED IN PLACE.



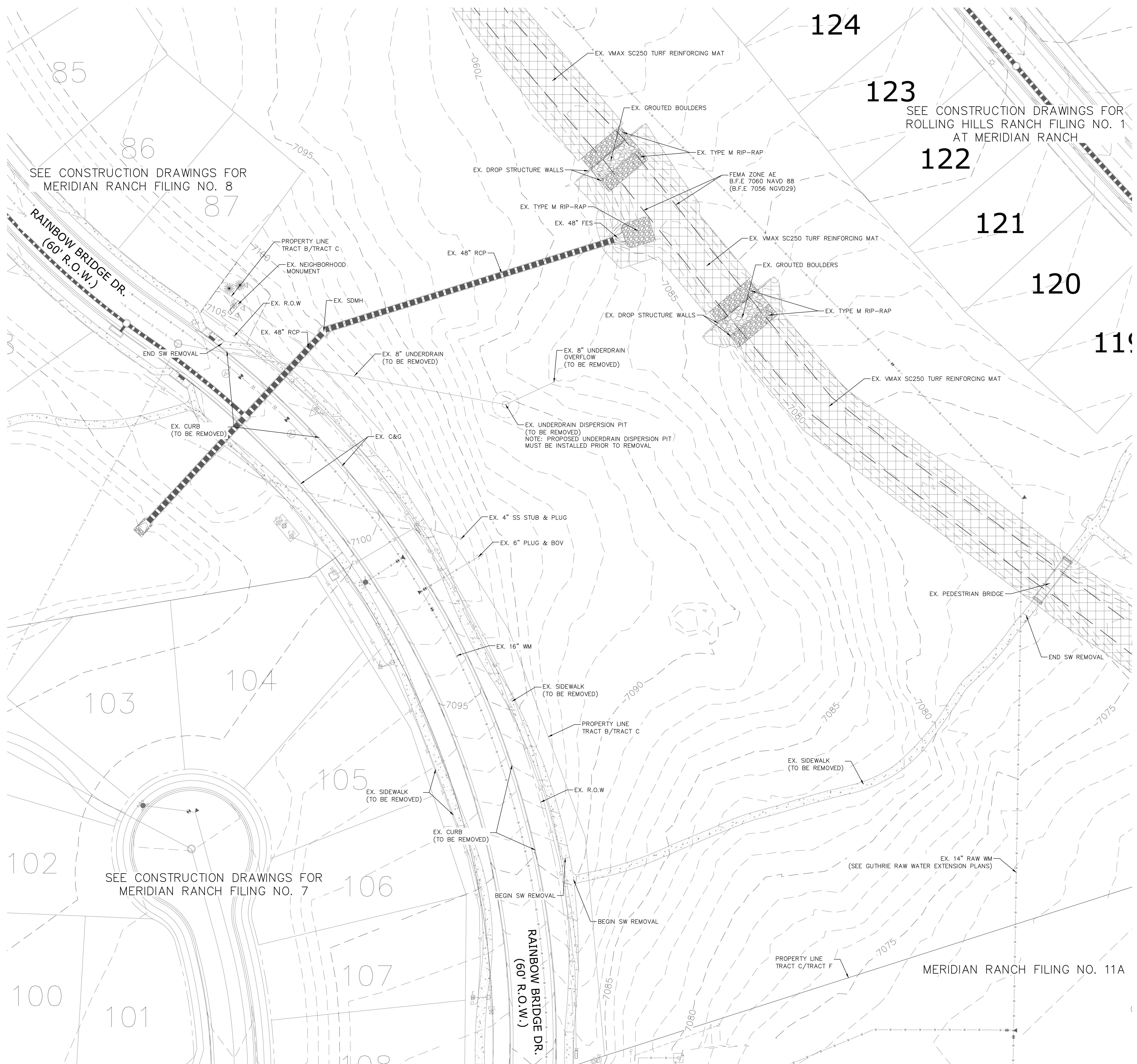
**TYPICAL DETAIL FOR TEST STATION WITH STEEL SLEEVE INSTALLATION**

**NOTES:**

- 1.) Lowerings to be cathodically protected under the direction of the MSMD Inspector, per standards (For anode size see detail above.)
- 2.) Example can vary due to site conditions and MSMD Inspector's direction's.
- 3.) Reference Colorado Springs Utilities Standard Detail Drawing No. A 8-6 - Steel Sleeve Installation.







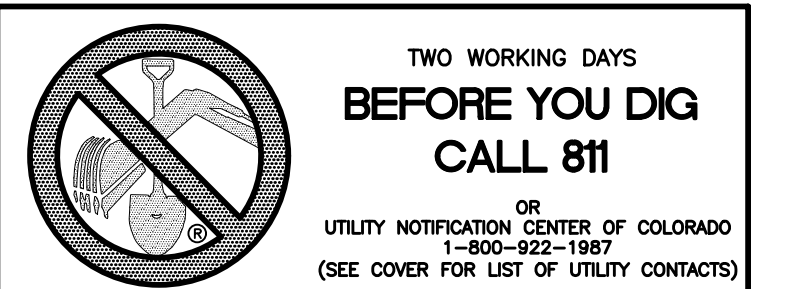
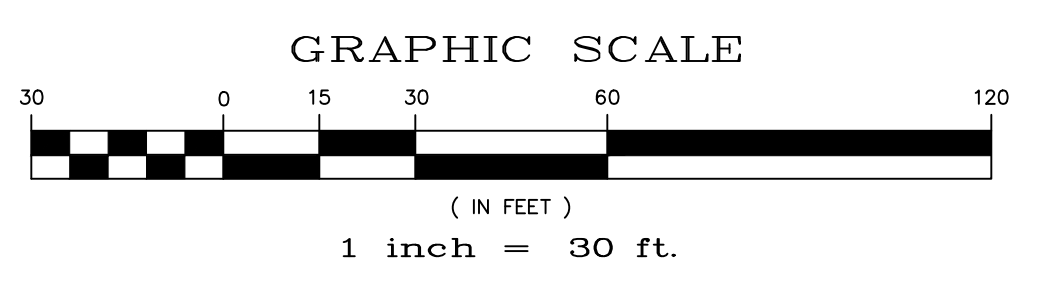
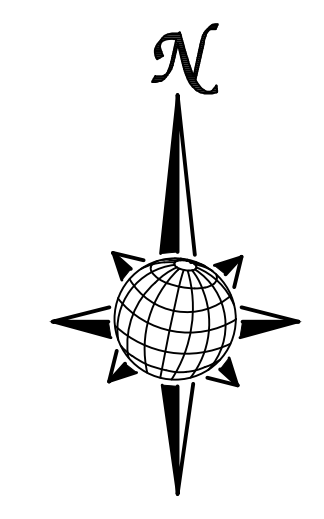
SEE CONSTRUCTION DRAWINGS FOR ROLLING HILLS RANCH FILING NO. 1 AT MERIDIAN RANCH

SEE CONSTRUCTION DRAWINGS FOR MERIDIAN RANCH FILING NO. 8

SEE CONSTRUCTION DRAWINGS FOR MERIDIAN RANCH FILING NO. 7

**GENERAL NOTES:**

- SEE SHEET C1.2 FOR LEGEND.
- SEE SHEET C1.1 FOR SITE GENERAL NOTES.
- CONTRACTOR TO COORDINATE UTILITY REMOVALS WITH RESPECTIVE UTILITY COMPANIES AND PLUMBING PLANS TO ENSURE CORRECT REMOVAL AND SHUTOFF. ALL MATERIALS SHALL BE REMOVED FROM SITE AND LEGALLY DISPOSED PER LOCAL CODES AND REGULATIONS.
- THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING COLORADO ONE CALL AT 1-800-922-1987 AND COORDINATING FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING AND UTILITY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL EXISTING FEATURES TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITIES TO EQUAL OR BETTER CONDITION, AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL ADJACENT STREETS FREE OF DEBRIS AND DIRT FROM THE JOB SITE.
- LOCATION AND ELEVATIONS OF EXISTING IMPROVEMENTS TO BE MET (OR AVOIDED) BY PROPOSED WORK SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE ENGINEER ANY DISCREPANCIES BETWEEN HIS MEASUREMENTS AND THESE PLANS.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY WILL BE NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS AS SHOWN ON THESE PLANS.
- CONTRACTOR TO OBTAIN TEMPORARY POWER, TELEPHONE AND WATER FOR THE SITE.



**Meridian Ranch Field House**

10559 & 10575 Rainbow Bridge Dr  
 Peyton, CO 80831  
 Meridian Service Metro District  
 11886 Stapleton Drive  
 Falcon, CO 80831

**L K A PART N E R S**  
 L . N . C . O . R . E . C . O . L . A . T . E . D .  
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 FALCON, CO 80831  
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 Colorado Springs Colorado 80903  
 tele: 719.473.8446 fax: 719.473.8448  
 web: www.lkapartners.com

**El Paso County  
 Major Commercial Site  
 Development Plan**

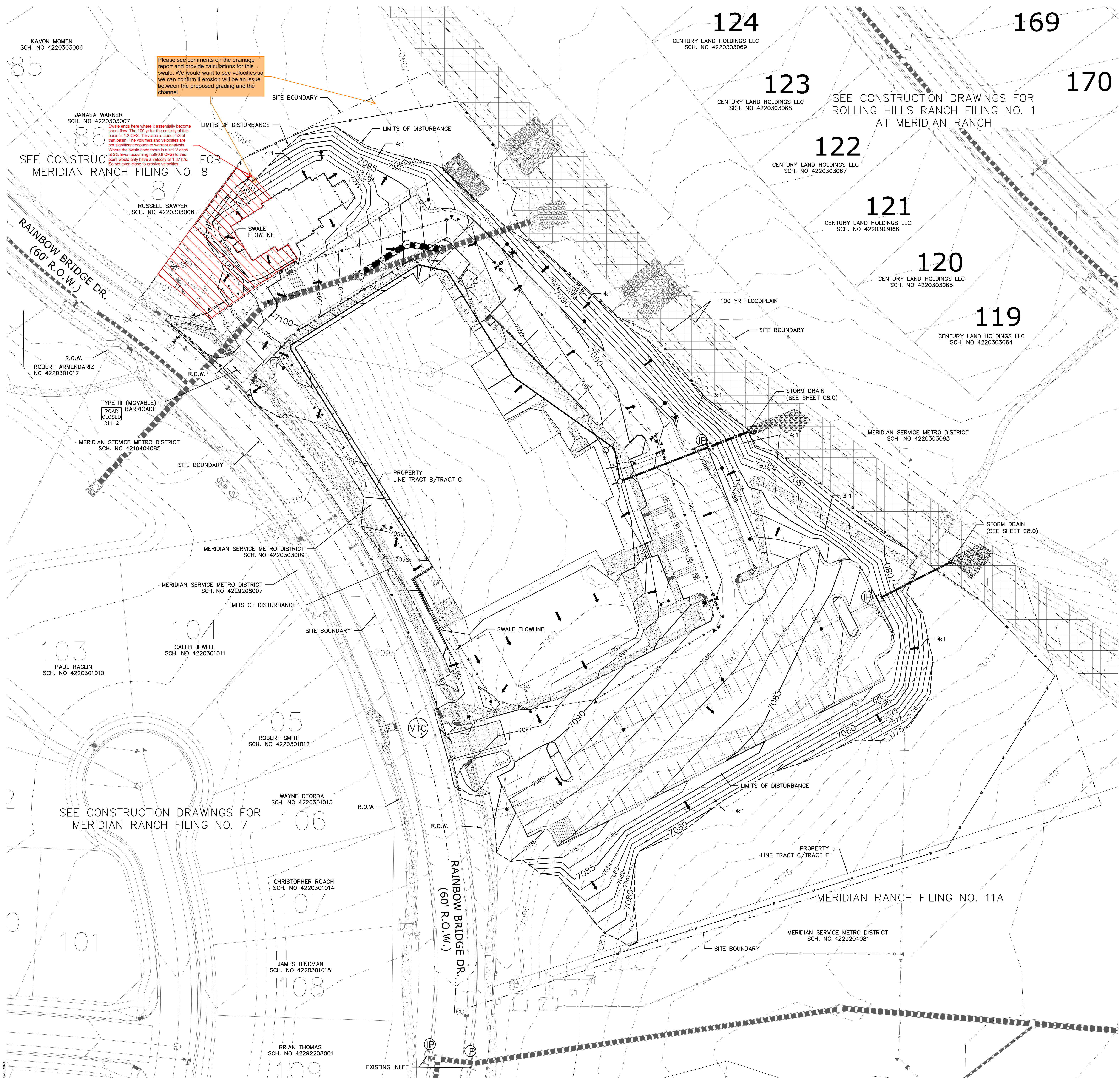
Drawn: \_\_\_\_\_ LCG  
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 Issued: \_\_\_\_\_ 08 MAY 2024  
 Revised: \_\_\_\_\_

**Area Key Plan**

**EXISTING CONDITIONS**

**C2.0**

Project No. 23.012  
 The LKA Partners Incorporated



Please see comments on the drainage report and provide calculations for this swale. We would want to see velocities so we can confirm if erosion will be an issue between the proposed grading and the channel.

Swale ends here where it essentially become sheet flow. The 100 yr flood velocity of this basin is 1.2 CFS. This area is about 1/3 of that basin. The volumes and velocities are not significant enough to warrant analyses. Where the swale ends there is a 4:1 slope at 2% slope. Even assuming half (0.6 CFS) to this point would only have a velocity of 1.87 ft/s. So not even close to erosive velocities.

SEE CONSTRUCTION DRAWINGS FOR ROLLING HILLS RANCH FILING NO. 1 AT MERIDIAN RANCH

SEE CONSTRUCTION DRAWINGS FOR MERIDIAN RANCH FILING NO. 8

RUSSELL SAWYER SCH. NO 4220303008

ROBERT ARMENDARIZ NO 4220301017

TYPE III (MOVABLE) ROAD CLOSED BARRICADE R11-2

MERIDIAN SERVICE METRO DISTRICT SCH. NO 4219404085

MERIDIAN SERVICE METRO DISTRICT SCH. NO 4220303009

MERIDIAN SERVICE METRO DISTRICT SCH. NO 4229208007

PAUL RAGLIN SCH. NO 4220301010

CALEB JEWELL SCH. NO 4220301011

ROBERT SMITH SCH. NO 4220301012

WAYNE REORDA SCH. NO 4220301013

CHRISTOPHER ROACH SCH. NO 4220301014

JAMES HINDMAN SCH. NO 4220301015

BRIAN THOMAS SCH. NO 4229208001

CENTURY LAND HOLDINGS LLC SCH. NO 4220303069

CENTURY LAND HOLDINGS LLC SCH. NO 4220303068

CENTURY LAND HOLDINGS LLC SCH. NO 4220303067

CENTURY LAND HOLDINGS LLC SCH. NO 4220303066

CENTURY LAND HOLDINGS LLC SCH. NO 4220303065

CENTURY LAND HOLDINGS LLC SCH. NO 4220303064

MERIDIAN SERVICE METRO DISTRICT SCH. NO 4220303093

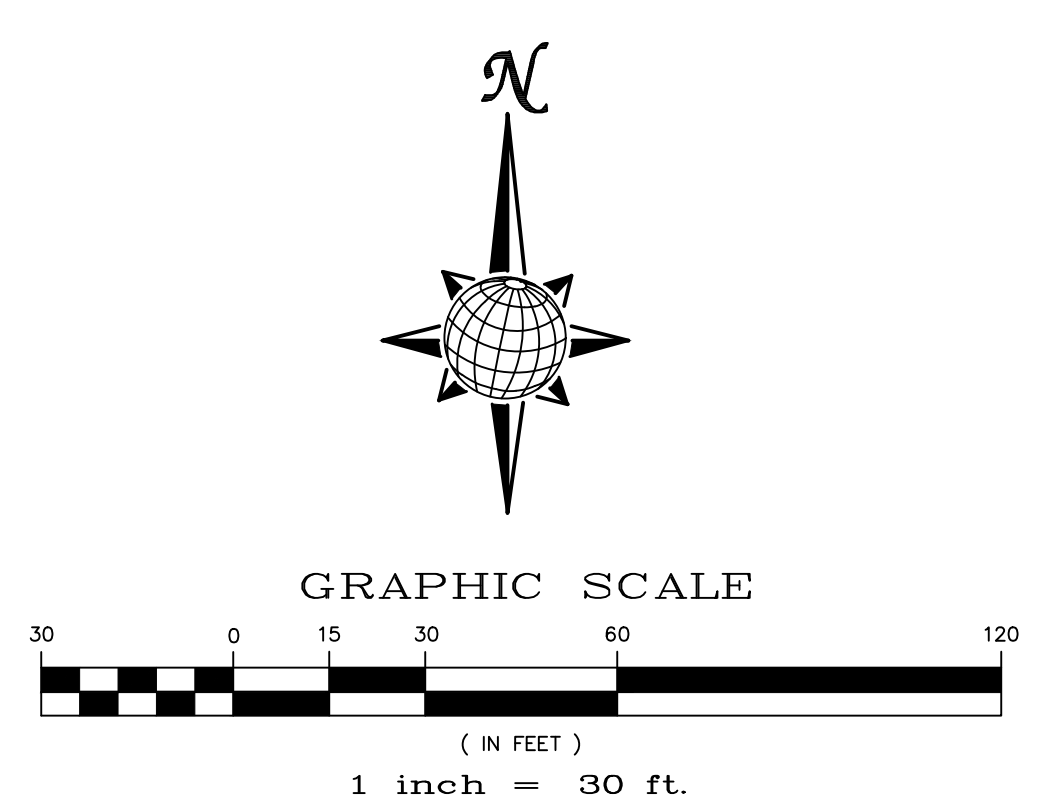
MERIDIAN SERVICE METRO DISTRICT SCH. NO 4229204081

SYMBOL	ACRONYM	DESCRIPTION
	RCP OR N12	REINFORCED CONCRETE PIPE OR N12 PIPE AS NOTED
	SF	SILT FENCE PER DETAIL SF-1, SF-2 & SF-3 DCM VOL. 2
	VTC	VEHICLE TRACKING CONTROL PER DETAIL VTC-2 DCM VOL. 2
	IP	INLET PROTECTION PER DETAIL SHEET C1.4
		LIMITS OF GRADING
		EXISTING CONTOUR (5')
		PROPOSED CONTOUR (5')
		PROPOSED CONTOUR (1')
		100 YEAR FLOODPLAIN
		SITE BOUNDARY
		STORMWATER FLOW ARROW

**GENERAL NOTES:**

- SEE SHEET C1.2 FOR ADDITIONAL LEGEND.
- SEE SHEET C1.1 FOR SITE GENERAL NOTES.
- SEE SHEET 1.4 FOR GRADING AND EROSION CONTROL NOTES AND CONTROL MEASURE PHASING..

EARTHWORK QUANTITIES		
NET YARDS	BALANCE	
TOTAL STRIPPINGS	4.34 AC.	2,334 CY
NET YARDS	CUT	FILL
	1,430 CY	18,538 CY
REQUIRED IMPORTED FILL = 17,108 CY		
20% COMPACTION FACTOR		



TWO WORKING DAYS BEFORE YOU DIG CALL 811 OR UTILITY NOTIFICATION CENTER OF COLORADO 1-800-452-1847 (SEE COVER FOR LIST OF UTILITY CONTACTS)

**L K A PART N E R S**  
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A Professional Corporation for Architecture and Planning  
15950 TORRALBA DRIVE SUITE 130  
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**Meridian Ranch Field House**  
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11886 Stapleton Drive  
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**El Paso County**  
Major Commercial Site  
Development Plan

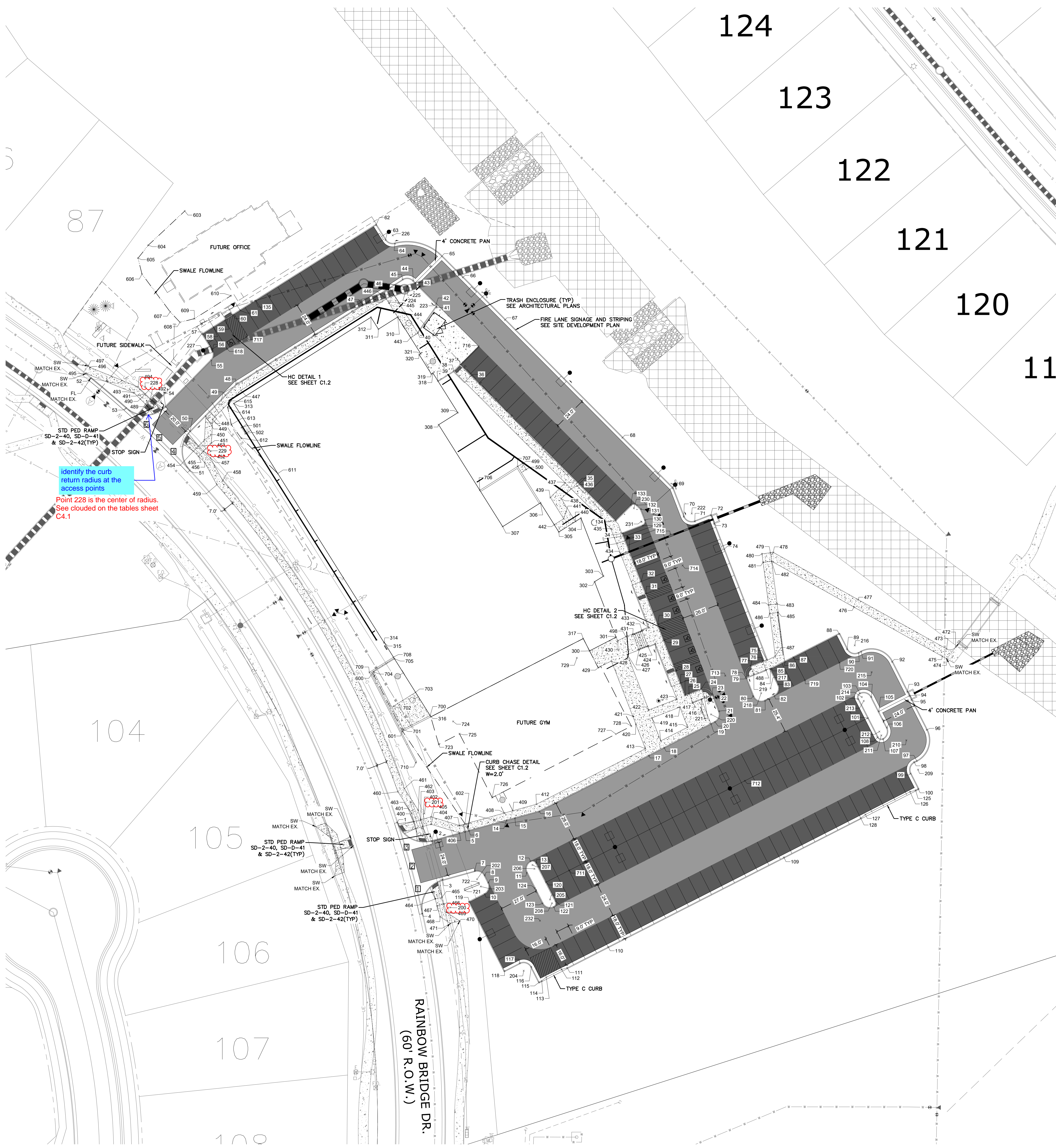
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Checked: JS  
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Revised:

**Area Key Plan**

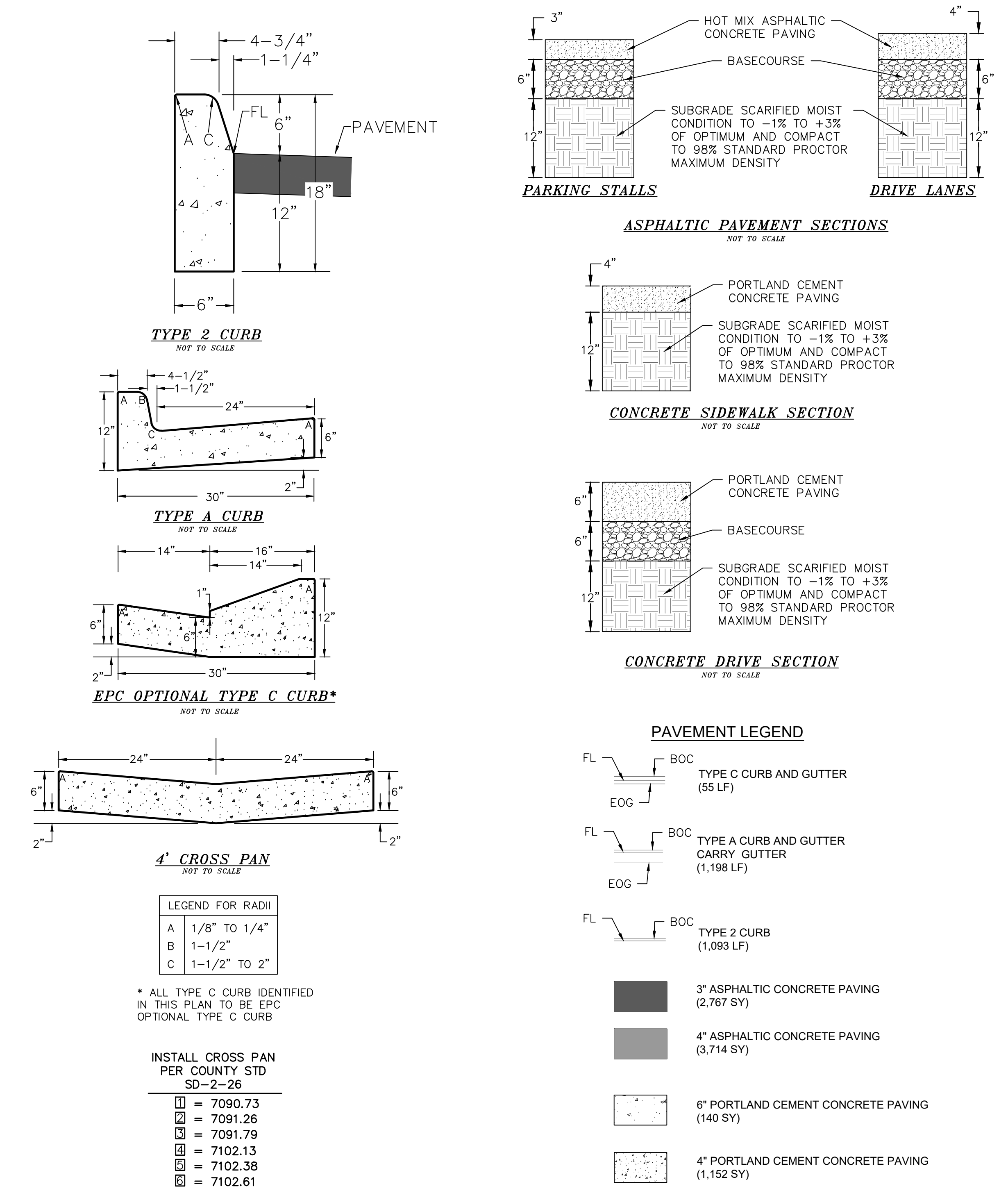
**EROSION CONTROL**

**C3.0**

Project No. 23.012  
The LKA Partners Incorporated



Identify the curb return radius at the access points  
 Point 228 is the center of radius.  
 See clouded on the tables sheet C4.1

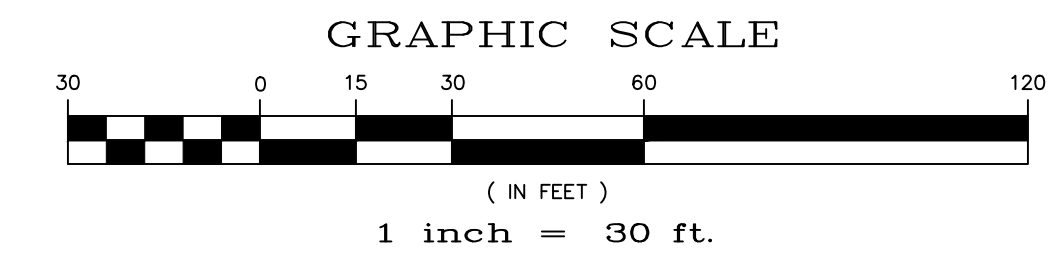
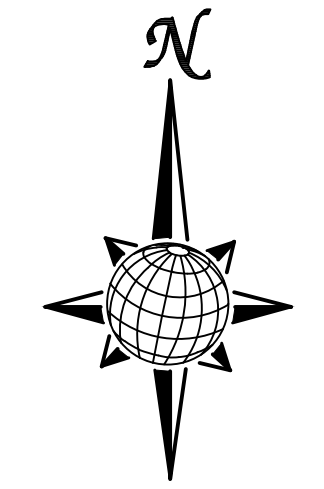


**STOP SIGN NOTES**

1. STOPS SIGNS PER MUTCD, STDS R1-1, CONVENTIONAL ROAD(30 x 30)
2. SIGNS SHALL BE MOUNTED AT A HEIGHT OF 7 FEET TO 1.75" x 1.75" x 10' OR 12' 12 GAUGE TELESPAR POST. SIGNS ATTACHED TO THE POST WITH OVERSIZED WASHERS. SIGN POST SHALL BE ATTACHED TO 2" x 2" x 3' ANCHOR/STUB, WHICH SHALL BE MADE OF SQUARE STEEL TUBE.

**PAVING NOTES**

1. SEE SHEET C1.1 FOR SITE GENERAL NOTES.
2. SITE PREPARATION, GRADING, PAVING RECOMMENDATIONS, AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS OUTLINED IN "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. JANUARY 10, 2024.
3. BUILDING LAYOUT SHOWN ON THIS PLAN WAS PROVIDED BY LKA PARTNERS, INC.
4. SEE ABOVE FOR PAVING DETAILS.
5. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF BUILDING UNLESS NOTED OTHERWISE.
6. REFER TO SHEET C1.2 FOR ACCESSIBLE STALL AND RAMP DETAILS.
7. REFER TO SHEET C8.0 FOR STORM DRAINAGE INFORMATION.
8. CONTRACTOR TO CONFIRM INSTALLATION OF IRRIGATION SLEEVES PRIOR TO PAVING.
9. REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR DETAILS REGARDING SITE LIGHTING.
10. ALL ACCESSIBLE PARKING STALLS SHALL MEET THE REQUIREMENTS OF ADAAG SECTION 4.6. ALL ACCESSIBLE PARKING SHALL BE CONSTRUCTED WITH A MAX SLOPE OF 2.00% IN ANY DIRECTION.
11. ALL ACCESSIBLE ROUTES SHALL MEET THE REQUIREMENTS OF ADAAG SECTION 4.3. ALL ACCESSIBLE ROUTES SHALL BE CONSTRUCTED WITH A MAX CROSS SLOPE OF 2.00% AND A MAX LONGITUDINAL SLOPE OF 5.00%.
12. ALL ACCESSIBLE RAMPS SHALL MEET THE REQUIREMENTS OF ADAAG SECTION 4.7 & 4.8.
13. REFER TO ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAILS & PATIO AREA DETAILS
14. MARK AN "X" ON TOP OF CURB AT ALL SLEEVE LOCATIONS. REFER TO LANDSCAPE PLANS FOR SLEEVE LOCATIONS.



TWO WORKING DAYS  
**BEFORE YOU DIG**  
 CALL 811

OR  
 UTILITY NOTIFICATION CENTER OF COLORADO  
 1-800-462-1807  
 (SEE COVER FOR LIST OF UTILITY CONTACTS)

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 11886 Stapleton Drive  
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**El Paso County**  
 Major Commercial Site  
 Development Plan

Drawn: LCG  
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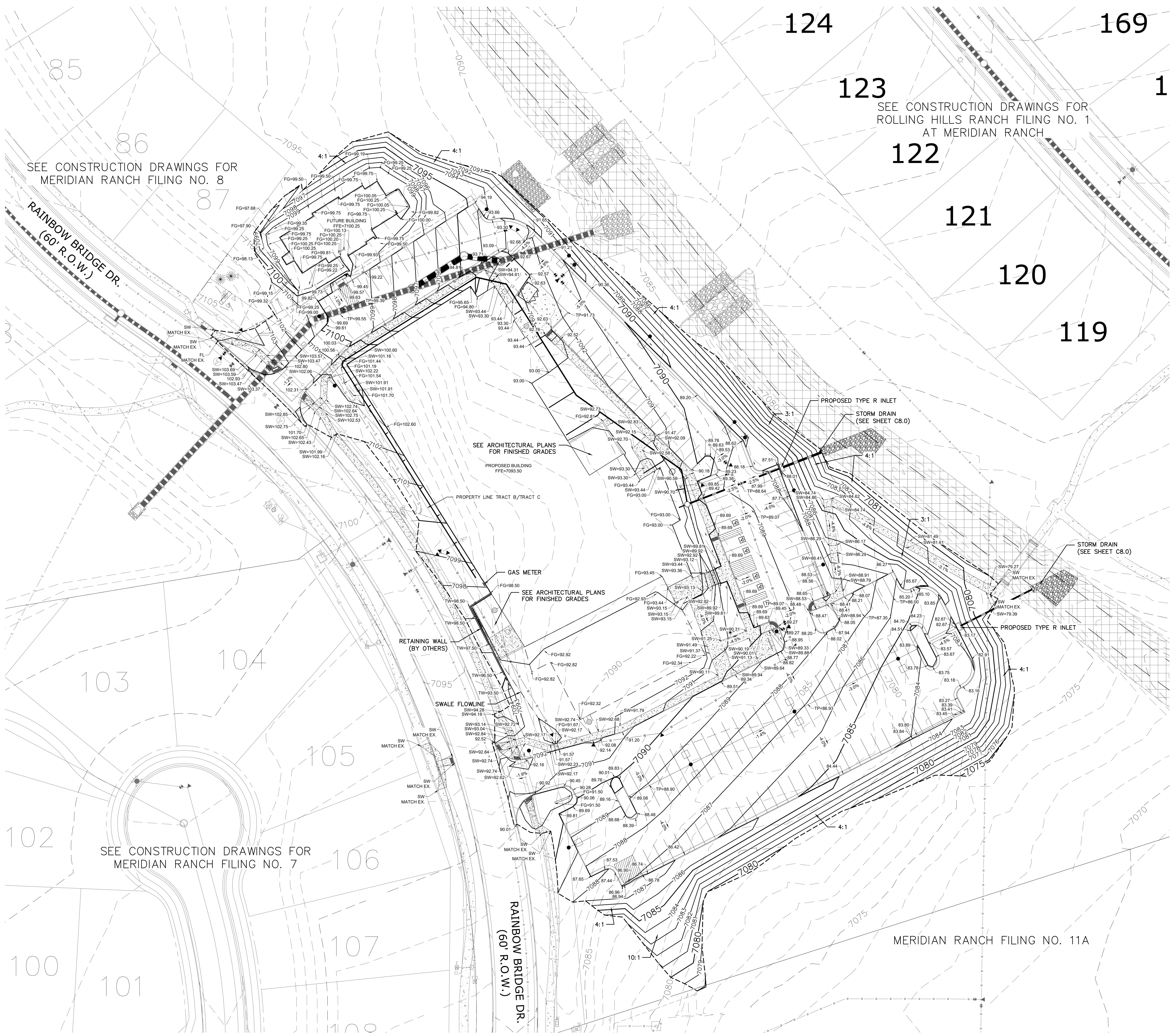
**Area Key Plan**

**HORIZONTAL CONTROL & PAVING**

**C4.0**  
 Project No. 23.012  
 The LKA Partners Incorporated  
 PPR-246







SEE CONSTRUCTION DRAWINGS FOR  
ROLLING HILLS RANCH FILING NO. 1  
AT MERIDIAN RANCH

SEE CONSTRUCTION DRAWINGS FOR  
MERIDIAN RANCH FILING NO. 8

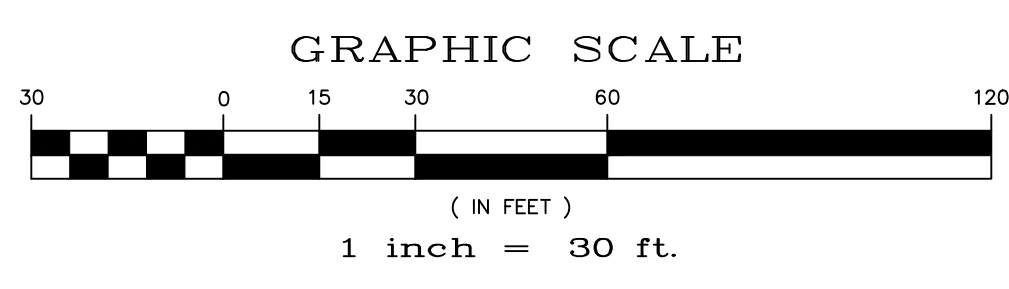
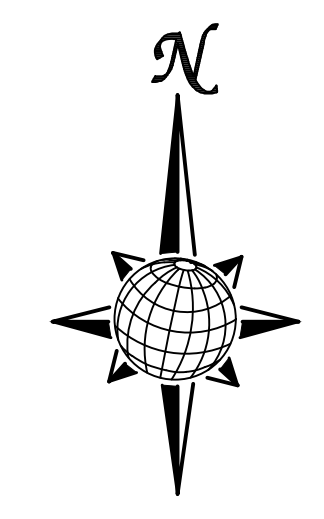
SEE CONSTRUCTION DRAWINGS FOR  
MERIDIAN RANCH FILING NO. 7

LEGEND		
SYMBOL	ACRONYM	DESCRIPTION
	RCP OR N12	REINFORCED CONCRETE PIPE OR N12 OR N12 PIPE AS NOTED
		LIMITS OF GRADING
		EXISTING CONTOUR (5')
		EXISTING CONTOUR (1')
		PROPOSED CONTOUR (5')
		PROPOSED CONTOUR (1')
		100 YEAR FLOODPLAIN

**NOTES:**

1. ALL ELEVATIONS ARE FLOWLINE UNLESS NOTED OTHERWISE.
2. ADD 7000 FT. TO ALL SPOT ELEVATIONS.
3. ALL CONTOURS SHOWN ARE FINISHED SURFACE.
4. REFER TO THE "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. JANUARY 10, 2024.

- TP = TOP OF PAVEMENT
- SW = SIDEWALK
- FG = FINISHED GRADE
- RIM = RIM ELEVATION
- FFE = FINISHED FLOOR ELEVATION
- EX = EXISTING



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Development Plan

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Revised:

**Area Key Plan**

GRADING PLAN

**C5.0**

Project No. 23.012  
The LKA Partners Incorporated



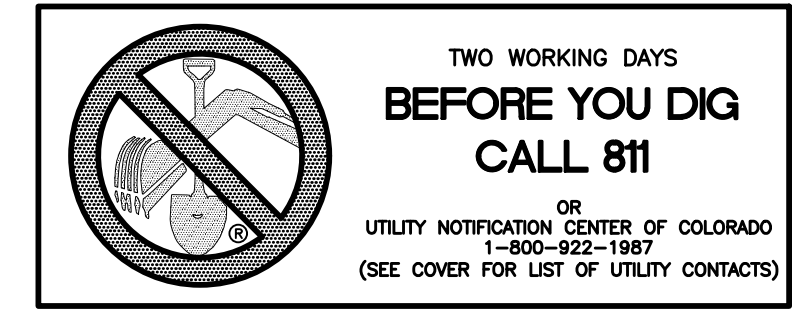
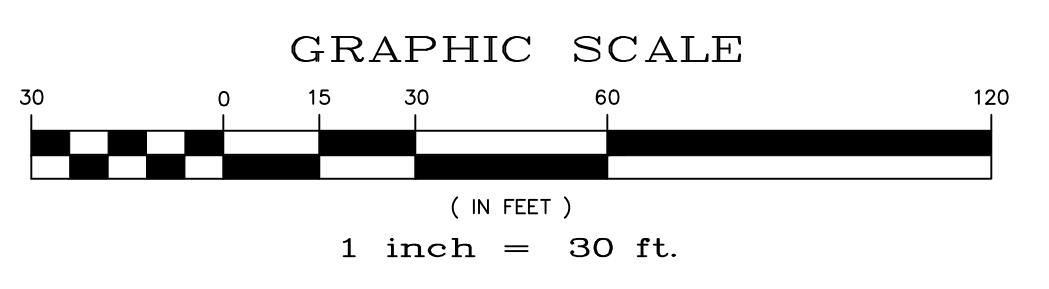
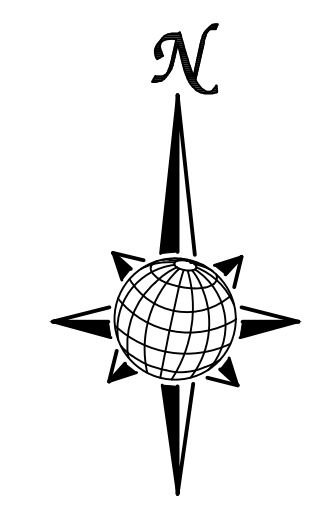
SEE CONSTRUCTION DRAWINGS FOR  
ROLLING HILLS RANCH FILING NO. 1  
AT MERIDIAN RANCH

SEE CONSTRUCTION DRAWINGS FOR  
MERIDIAN RANCH FILING NO. 8

SEE CONSTRUCTION DRAWINGS FOR  
MERIDIAN RANCH FILING NO. 7

LEGEND		
SYMBOL	ACRONYM	DESCRIPTION
	RCP OR 1/2	REINFORCED CONCRETE PIPE OR 1/2 PIPE, AS NOTED
LIMITS OF GRADING		
		EXISTING CONTOUR (5')
		PROPOSED CONTOUR (5')
		EXISTING CONTOUR (1')
		PROPOSED CONTOUR (1')

- AREAS OF CUT
- AREAS OF FILL



# Meridian Ranch Field House

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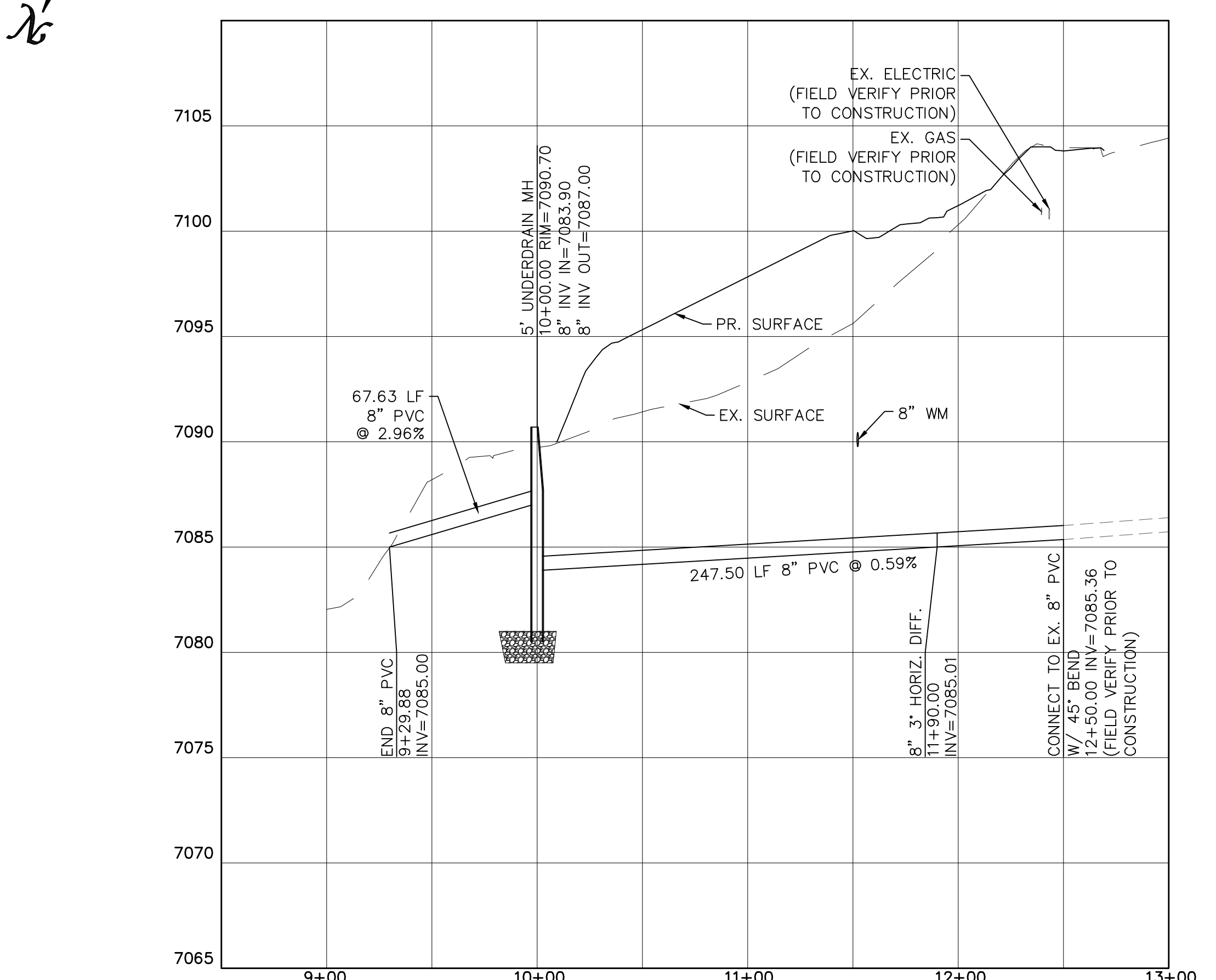
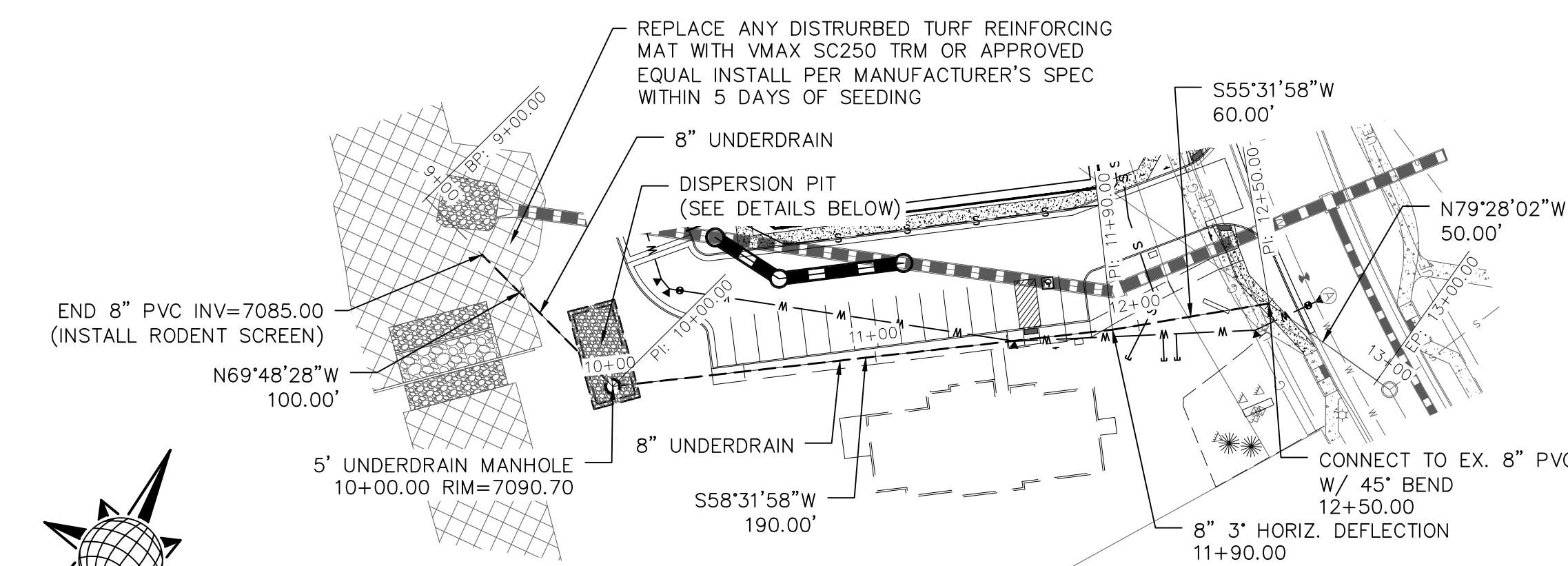
## Area Key Plan

## GRADING CUT-FILL

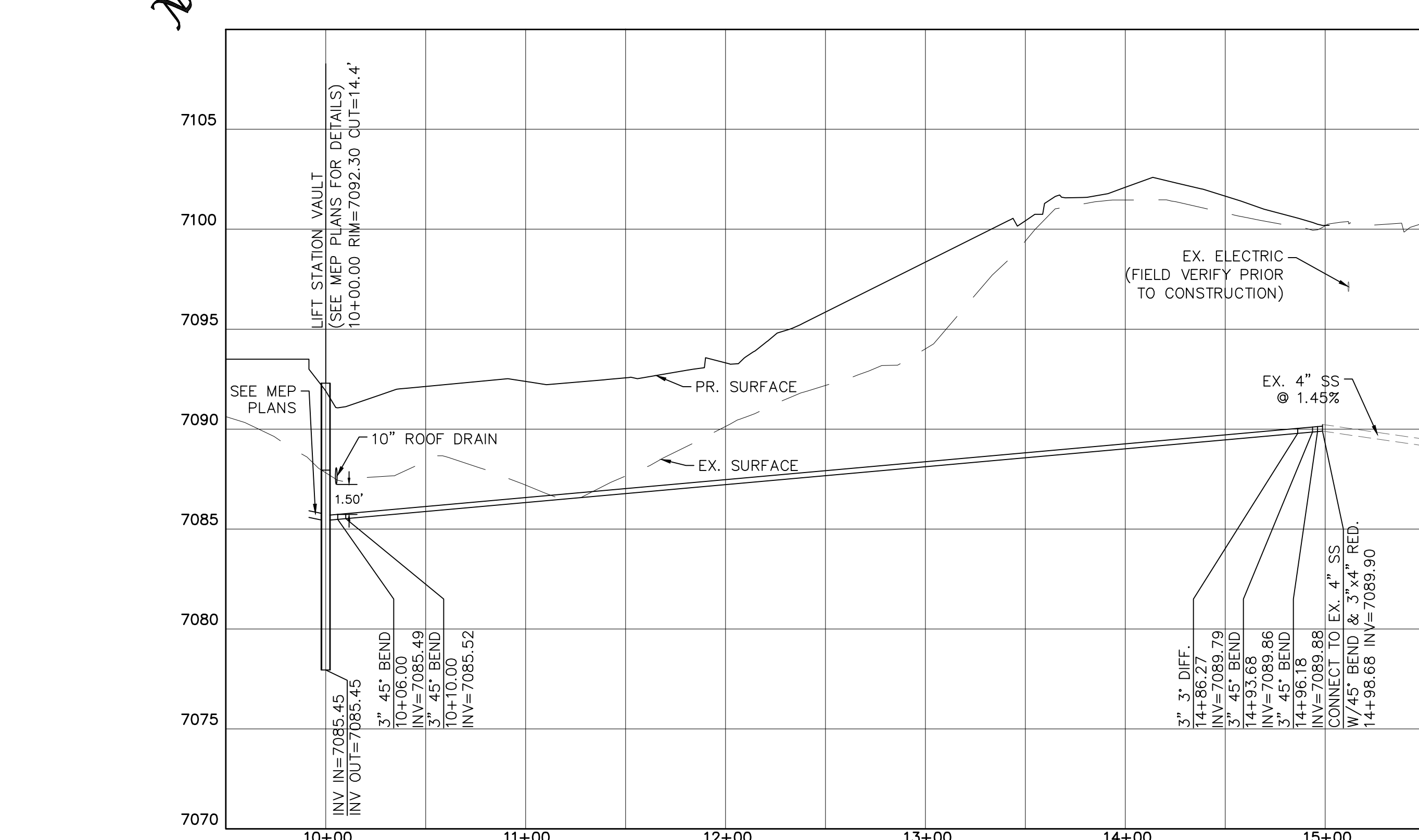
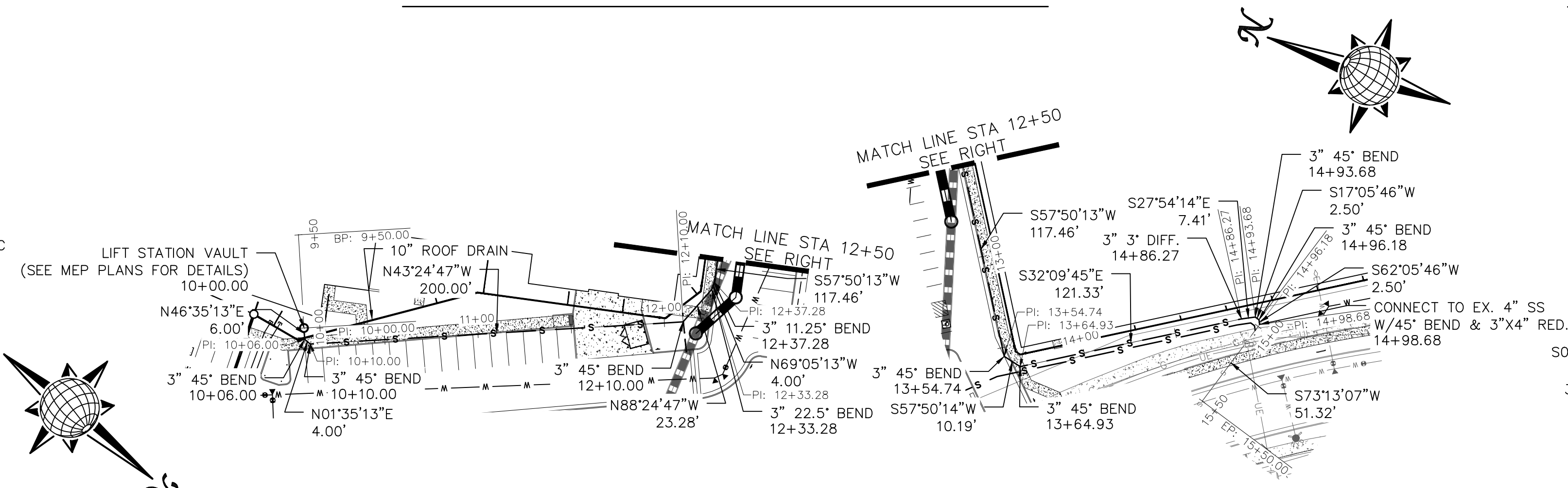
# C5.1

Project No. 23.012  
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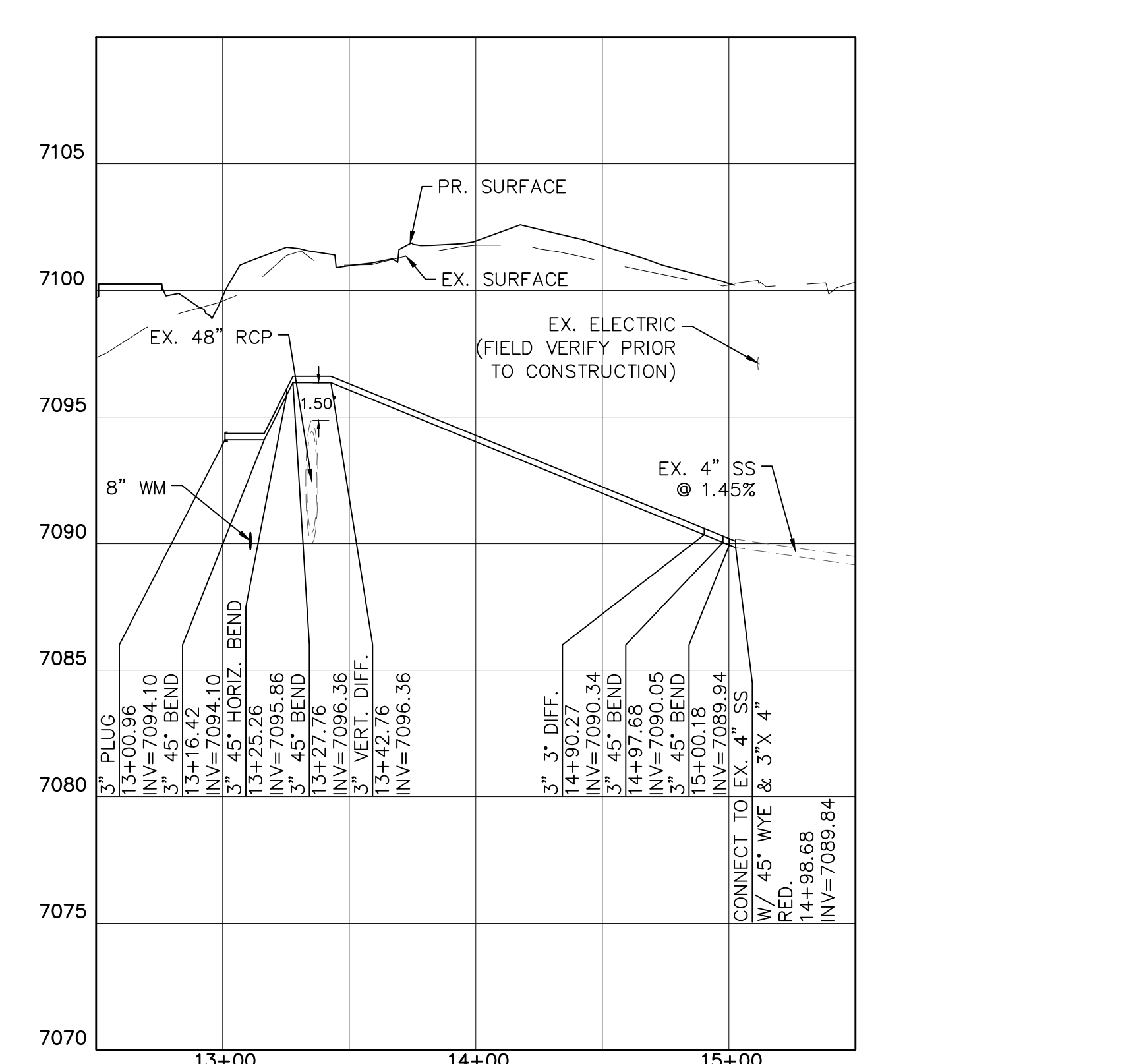
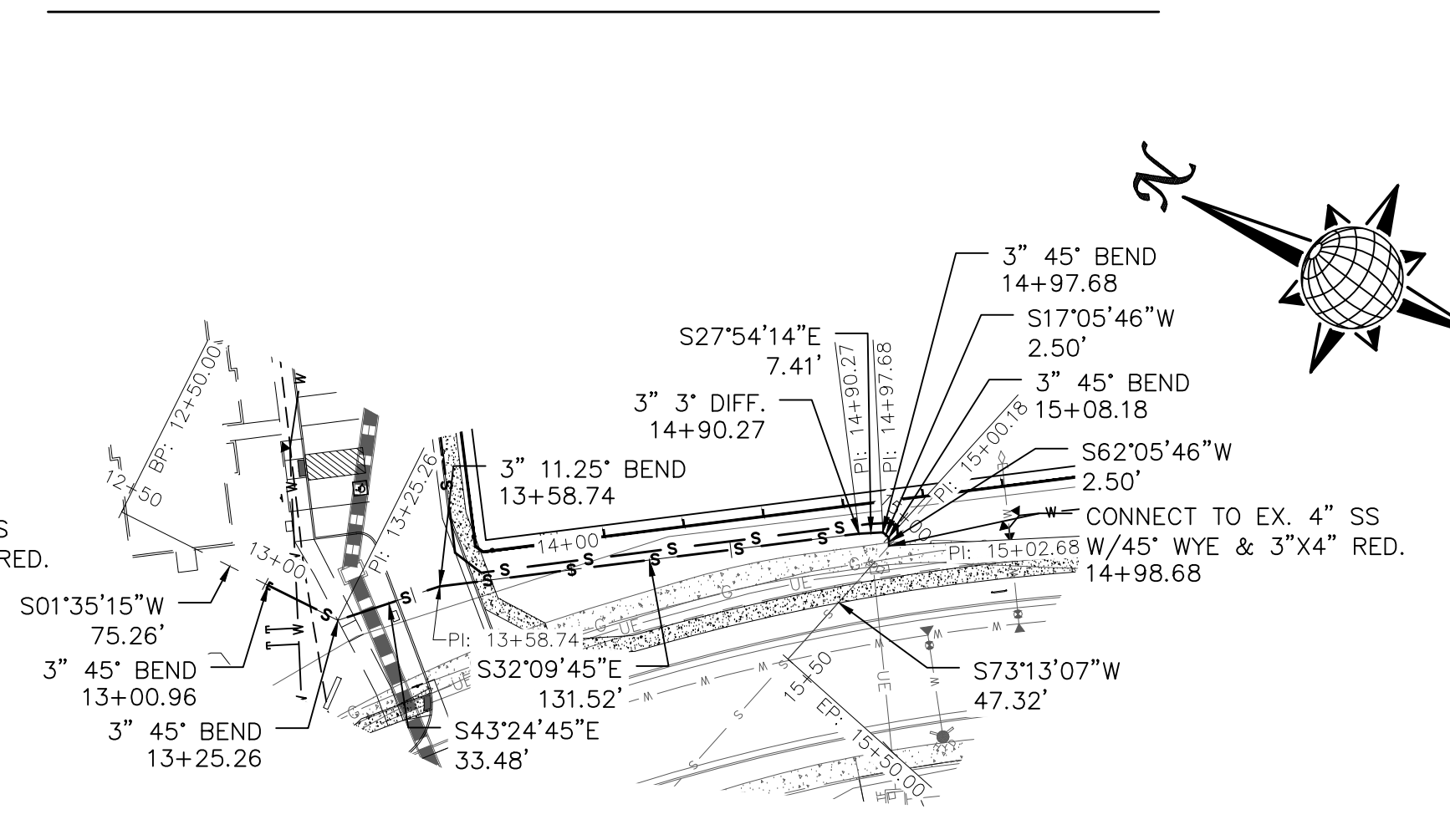
# UNDERDRAIN PROFILE



# SEWER PROFILE #1

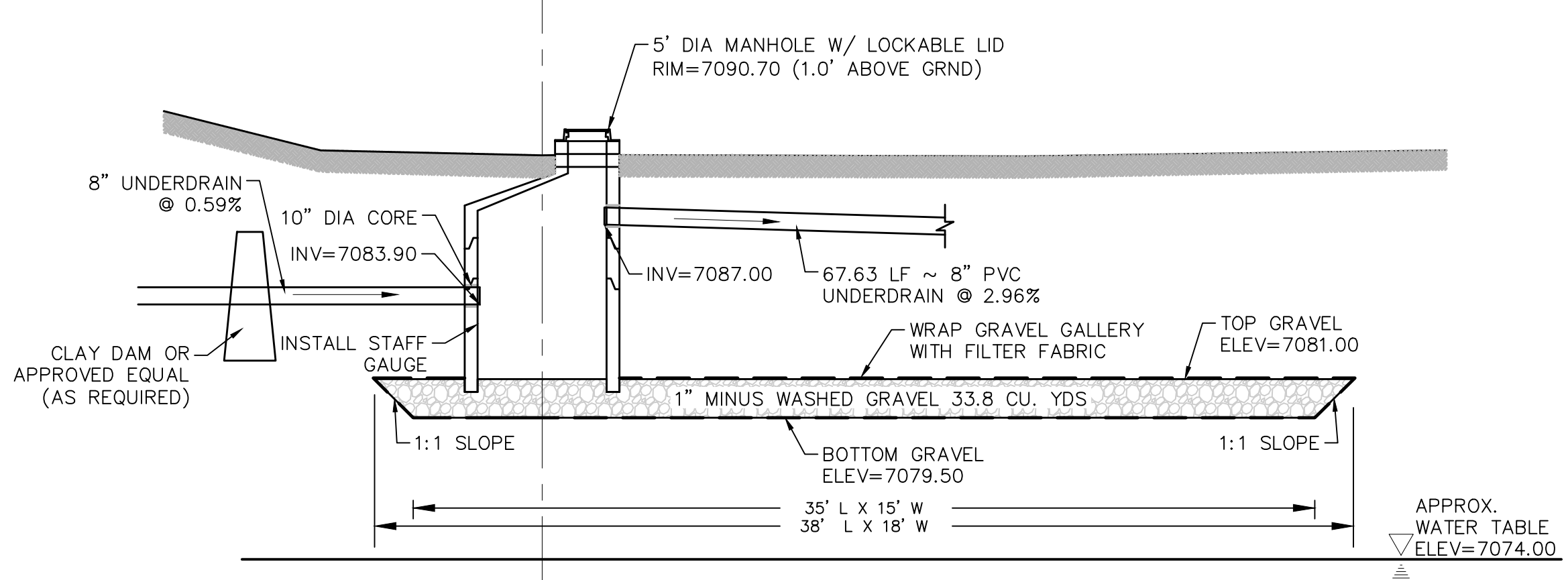
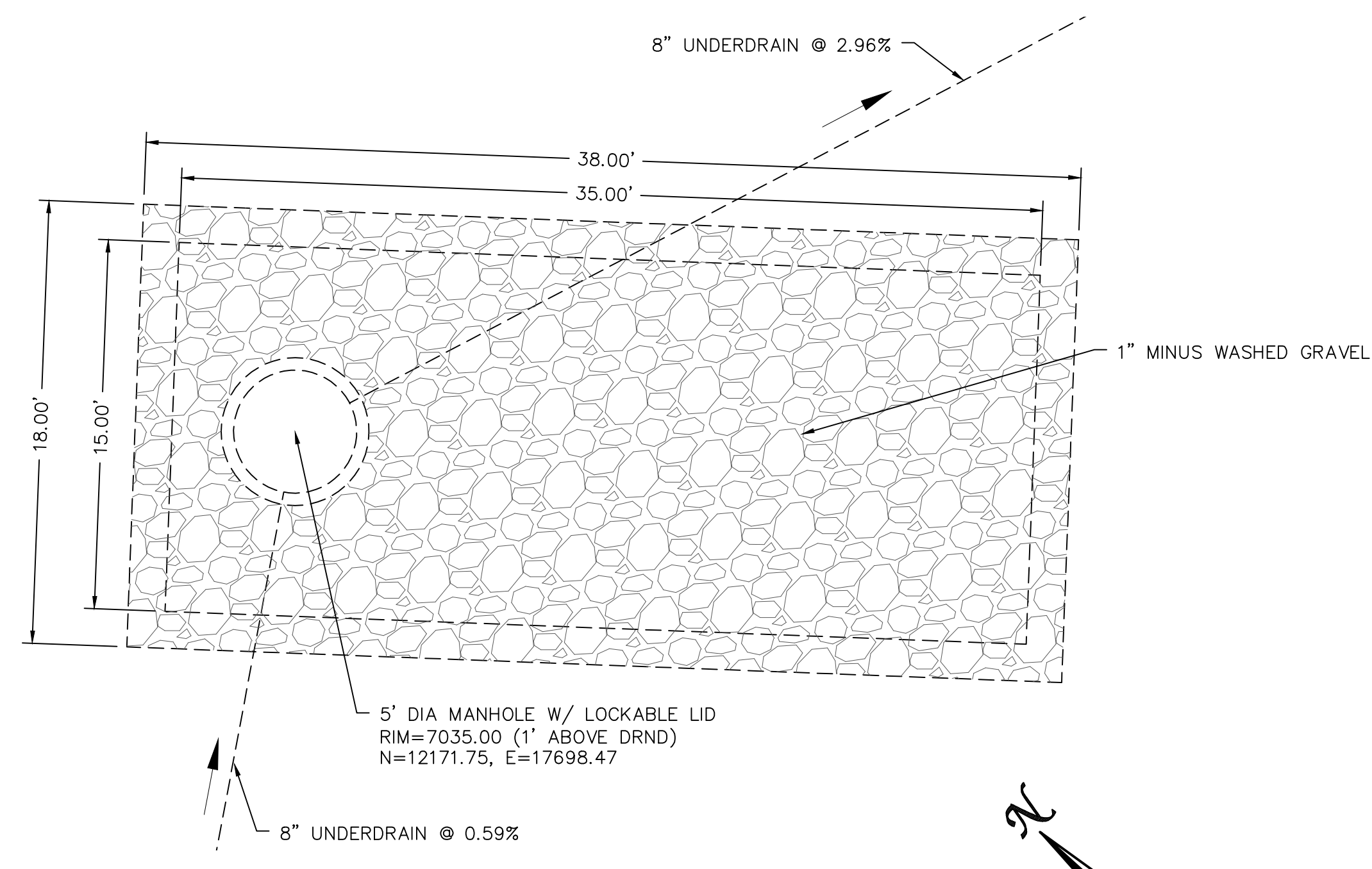


# SEWER PROFILE #2

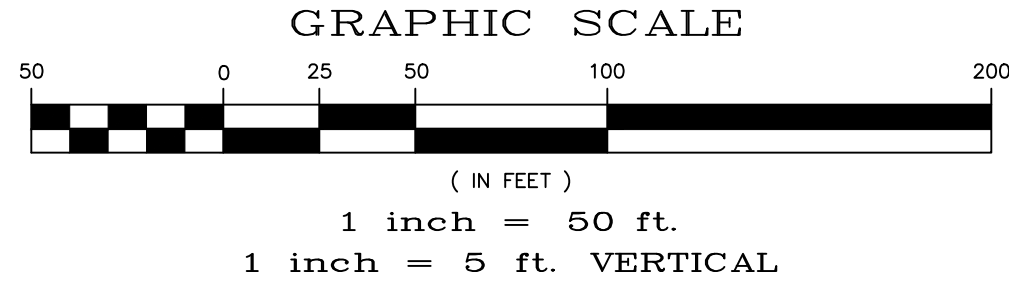


## NOTES:

- THE UNDERDRAIN SYSTEM SHALL BE PASSIVE, WATER TIGHT, NON-PERFORATED PIPE, WITH THE MAIN LINE SIZE DESIGNED BY THE ENGINEER. ALL UNDERDRAIN PIPES AND FITTINGS SHALL BE SDR 35 PVC, OR MSMD APPROVED EQUAL, INSTALLED PER THE SAME INSTALLATION STANDARDS AS OUTLINED BY CSUS FOR SANITARY SEWER SYSTEMS. THE UNDERDRAIN SYSTEM AT EACH SANITARY SEWER MANHOLE SHALL CONTAIN 6" CLEAN-OUTS IN EACH UNDERDRAIN MAIN DIRECTION PER THE CLEAN-OUT DETAIL.
- TESTING OF THE UNDERDRAIN SYSTEM WILL CONSIST OF VISUAL INSPECTIONS FOR WATER IN THE SYSTEM, ALONG WITH A VIDEO INSPECTION PERFORMED BY MSMD PERSONNEL. ALL UNDERDRAIN MAINS AND DOWNSTREAM INFILTRATION STRUCTURES SHALL BE CLEAN AND DEBRIS FREE UPON COMPLETION OF THE SYSTEM AND PRIOR TO CCTV. ALL UNDERDRAIN MAINS SHALL BE CCTV INSPECTED BY MSMD AND REVIEWED FOR APPROVAL. THE SPECIFICATION FOR ALLOWABLE STANDING WATER AND WATER INFILTRATION IN THE UNDERDRAIN SYSTEM SHALL BE THE SAME AS PER CSUS FOR SANITARY SEWER SYSTEMS. IF EXCESS WATER IS OBSERVED IN THE UNDERDRAIN SYSTEM, THE CONTRACTOR SHALL LOCATE THE SOURCE OF WATER INFILTRATION AND REPAIR AS NECESSARY TO MEET CSUS.
- IF THE UNDERDRAIN MAIN HAS LOW SPOTS THAT EXCEED CSUS STANDARDS, THE CONTRACTOR SHALL REPAIR THE LINE AS NECESSARY TO MEET CSUS. UNDERDRAIN MAINS THAT DO NOT MEET MSMD STANDARDS SHALL BE REPLACED AND OR REPAIRED AS NECESSARY. THE CONTRACTOR SHALL RE-CCTV INSPECT THE UNDERDRAIN MAIN LINES AFTER THE REPAIRS HAVE BEEN MADE WITH ONE VIDEO SUBMITTED TO MSMD FOR REVIEW AND APPROVAL.
- UNDER DRAIN MAIN LINES SHALL HAVE CONTINUOUS POSITIVE DRAINAGE TO THE POINT OF DISCHARGE INTO A BELOW GRADE AN APPROVED UNDERDRAIN INFILTRATION STRUCTURE WHEREVER POSSIBLE. UNDERDRAIN INFILTRATION STRUCTURES SHALL BE DESIGNED WITH OVERFLOW LINES FOR FUTURE EXPANSION AS NEEDED. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION OF THE INFILTRATION STRUCTURE, STOP INSTALLATION AND CONTACT THE DISTRICT ENGINEER FOR POSSIBLE ALTERNATE DESIGN.
- UNDERDRAINS WILL DAYLIGHT AT LOCATIONS SHOWN ON THE DRAWINGS.
- UNDERDRAIN CLEANOUTS SHALL BE 6 INCH AND SHALL BE LOCATED AT EVERY MANHOLE. UNDERDRAIN CLEANOUTS AND CLEANOUT CONSTRUCTION WILL LEAVE NO INFILTRATION WITHIN SEWER MANHOLES. MANHOLE PENETRATIONS TO BE FILLED WITH NON-SHRINKING GROUT. UNDERDRAIN SIZE WILL NOT BE REDUCED THROUGH THE MANHOLE.
- TRENCH DAMS WILL BE PROVIDED AT INTERVALS NO GREATER THAN 350 FEET IN SANITARY SEWER SECTIONS WHERE GROUNDWATER EXISTS OR WHERE DIRECTED BY THE ENGINEER. A TRENCH DAM WILL BE CONSTRUCTED WITHIN THE FIRST 100 FEET OF EITHER ENTERING OR EXITING GROUNDWATER. THE CONTRACTOR SHALL NOTIFY THE DISTRICT WHEN GROUNDWATER IS ENCOUNTERED TO REVIEW TRENCH DAM NEEDS, LOCATIONS, AND MATERIALS.
- TRENCH DAMS MAY BE CONSTRUCTED OF ON SITE MATERIALS IF APPROVED BY THE SOILS ENGINEER.
- TRENCH DAMS SHALL COMPLETELY INTERRUPT GRAVEL BEDDING AND STABILIZATION THE FULL WIDTH OF THE TRENCH FOR A LENGTH OF NO LESS THAN 4 FEET BUT NO GREATER THAN 8 FEET.
- TRENCH DAMS SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR AROUND THE SEWER AND UNDERDRAIN PIPELINES.
- IF ALTERNATE MATERIALS (CONCRETE) OR SOIL AMENDED TRENCH DAMS ARE NECESSARY OR REQUIRED BY THE ENGINEER, THE DAMS SHALL BE EXTENDED A MINIMUM OF 6 FEET ABOVE THE PIPELINE BUT IN NO CASE CLOSER THAN 6' FROM THE SURFACE.



DISPERSION PIT DETAIL  
AREA 4, TOTAL OF 404 RESIDENTIAL HOMES  
SCALE: N.T.S.



## Meridian Ranch Field House

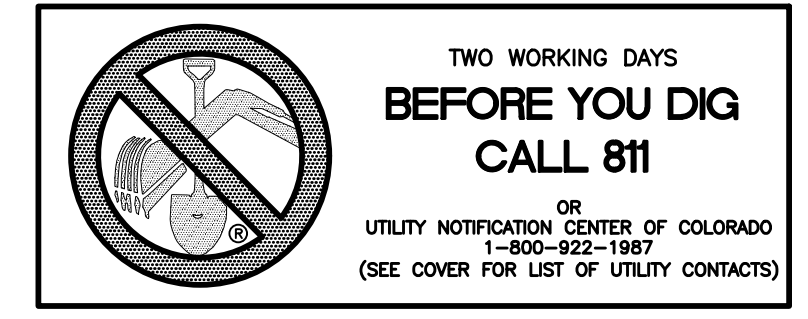
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## El Paso County Major Commercial Site Development Plan

Drawn: LCG  
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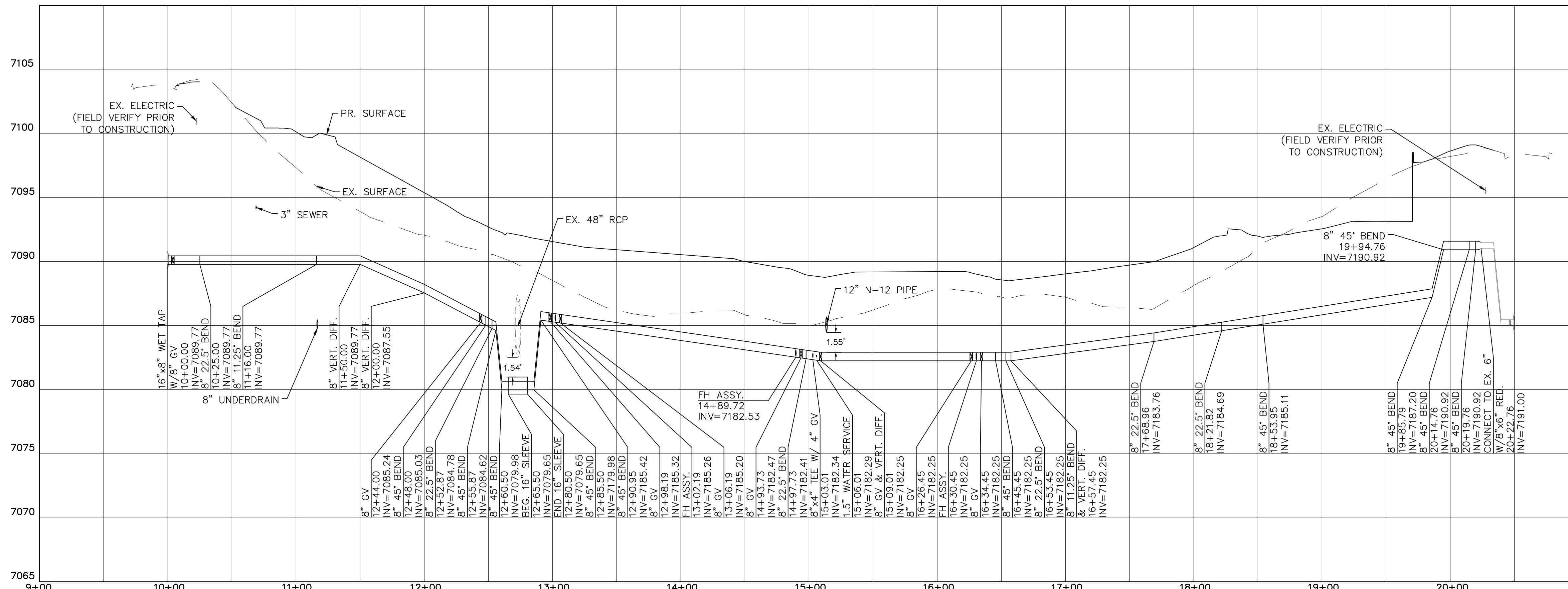
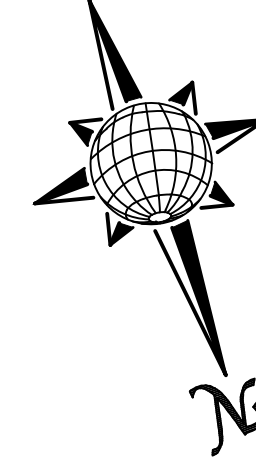
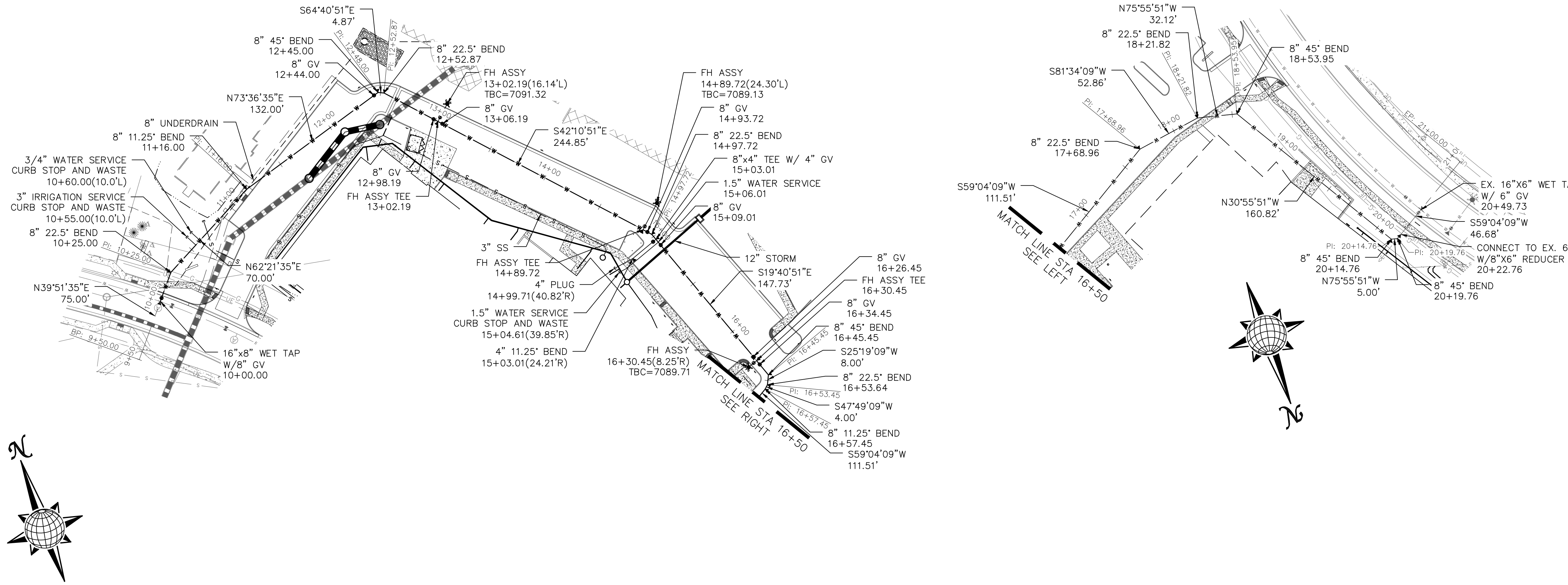
## SANITARY SEWER PLAN



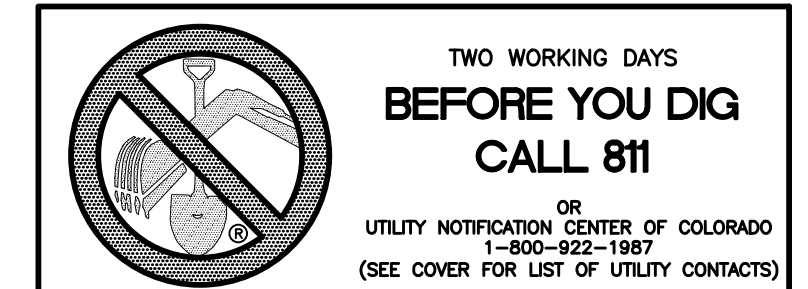
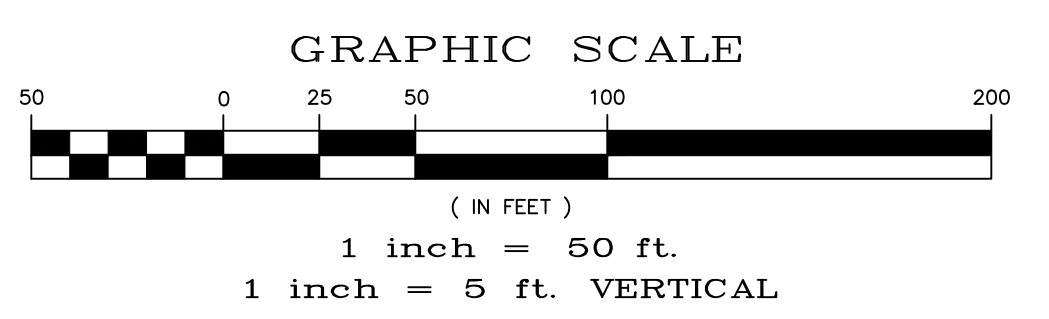
# C6.0

Project No. 23.012  
The LKA Partners Incorporated

# WATER PROFILE



- NOTES:**
1. MAINTAIN MINIMUM 5'-6" BURY FROM FINISHED SURFACE.
  2. SLEEVES TO RECEIVE MARKER BOARDS AT ENDS AND CURB MARKED WITH AN "X" ON TOP OF CURB AT ALL SLEEVE LOCATIONS.
  3. SLEEVES FOR IRRIGATION, GAS, ELECTRIC, PHONE, CABLE, ECT. TO BE LOCATED BY OTHERS.



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**Area Key Plan**

**WATER PLAN**

**C7.0**

Project No. 23.012  
 The LKA Partners Incorporated

**LKA PARTNERS**  
 L.N.C.O.R.E.C.O.L.A.T.E.D.

**TECH CONTRACTORS**  
 A Professional Corporation for Architecture and Planning  
 1595 TORRALBA DRIVE SUITE 130  
 FALCON, CO 80831  
 TELE: 719.485.7444

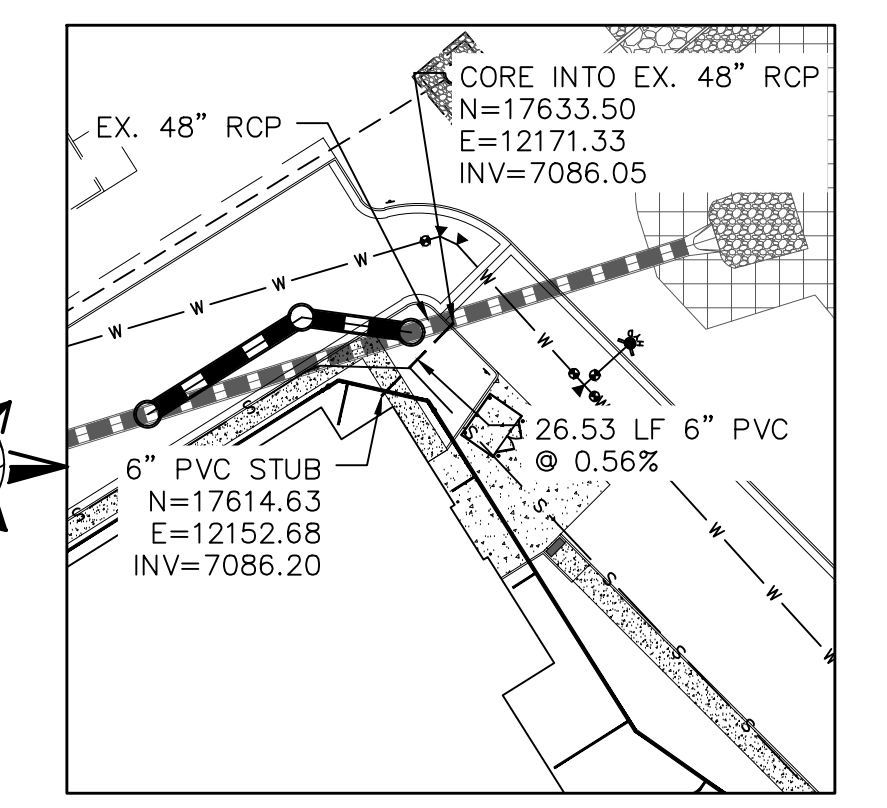
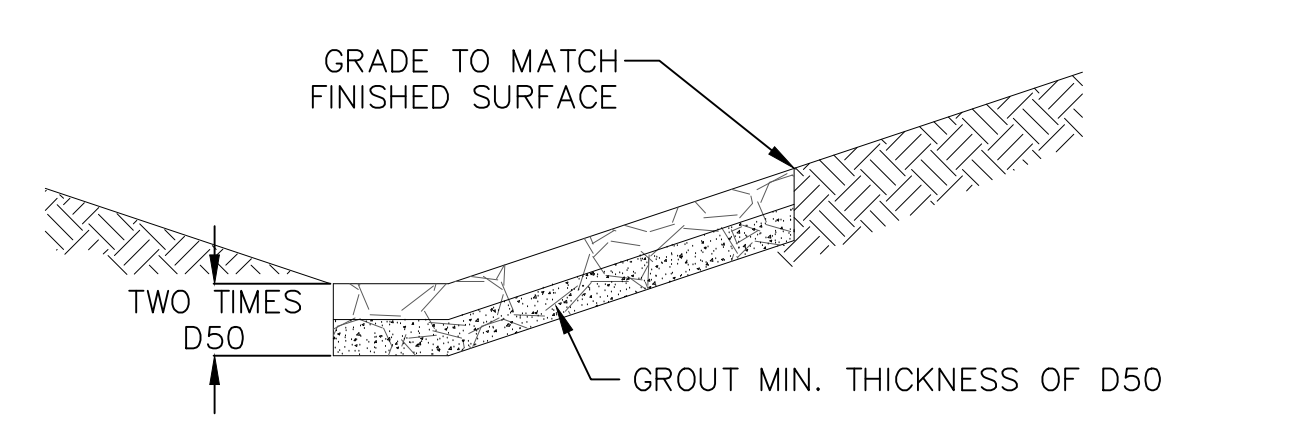
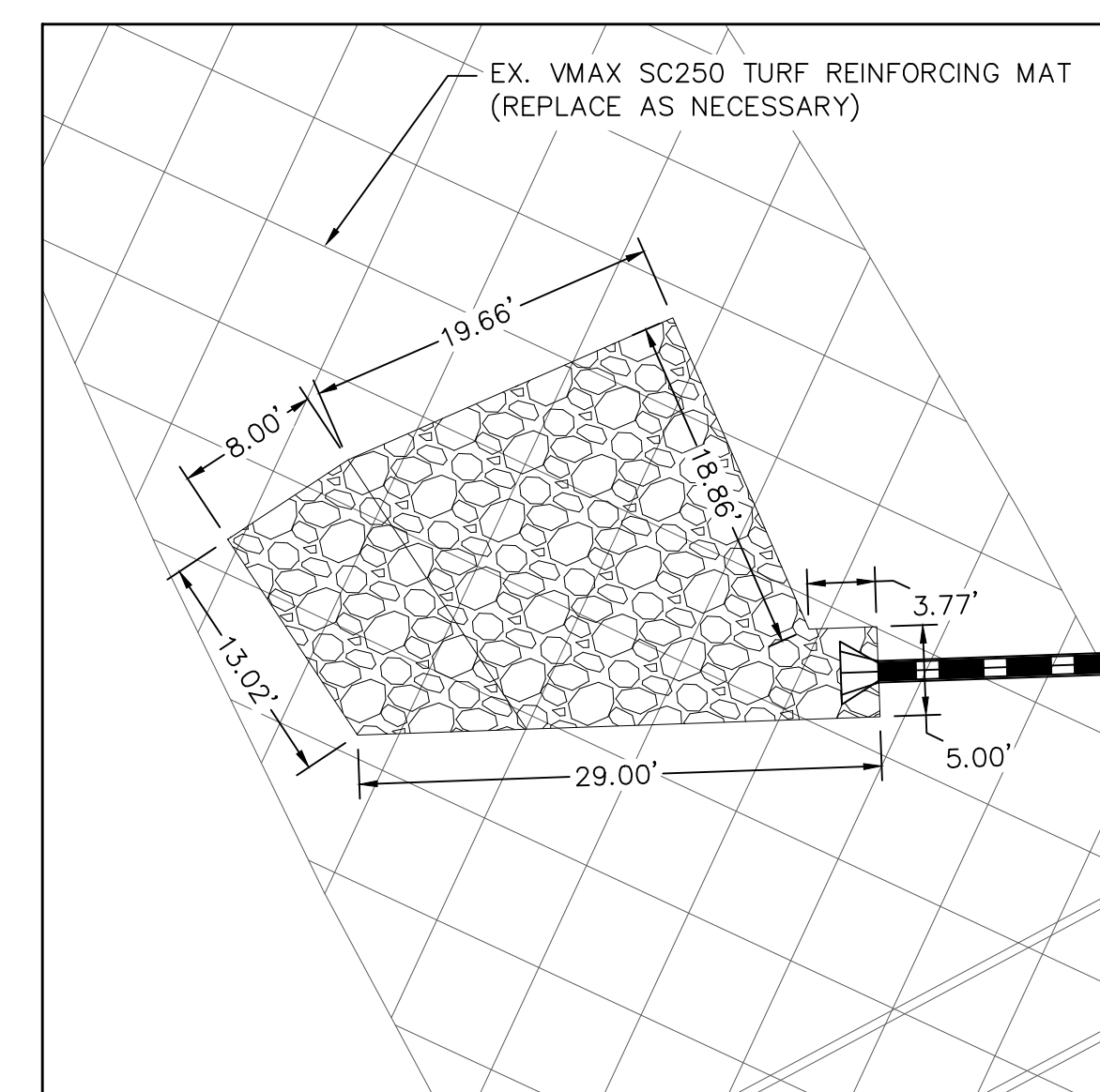
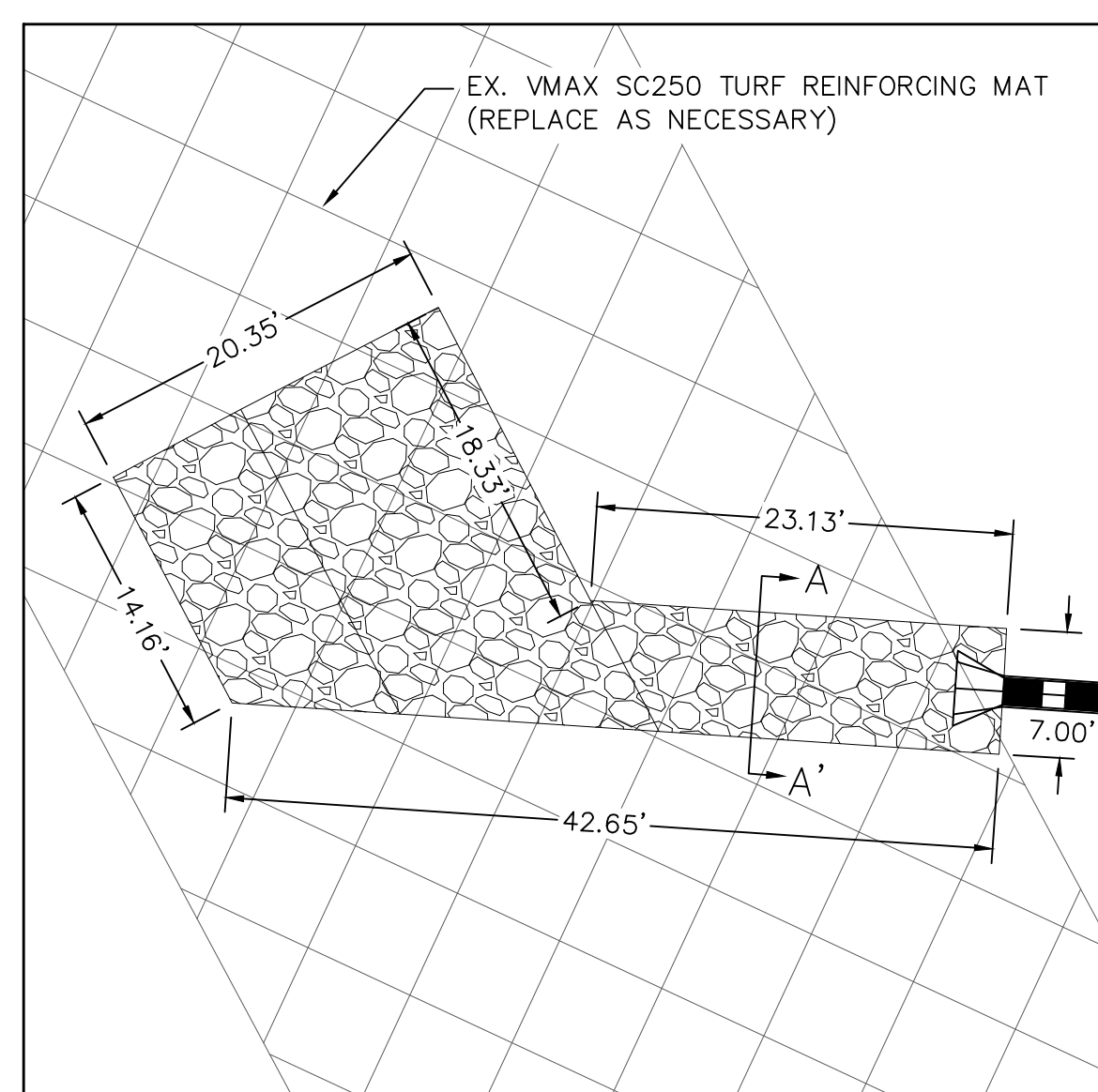
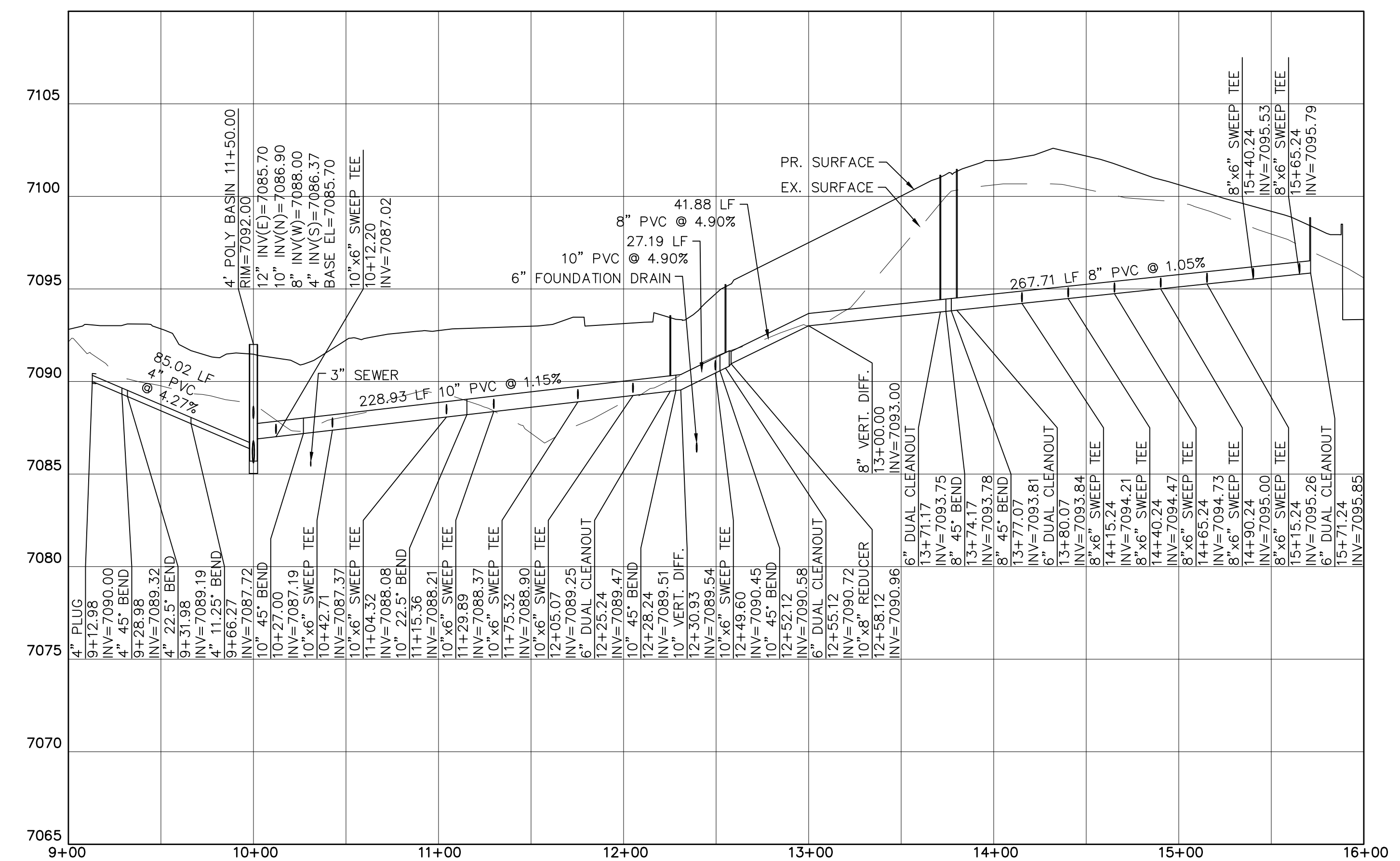
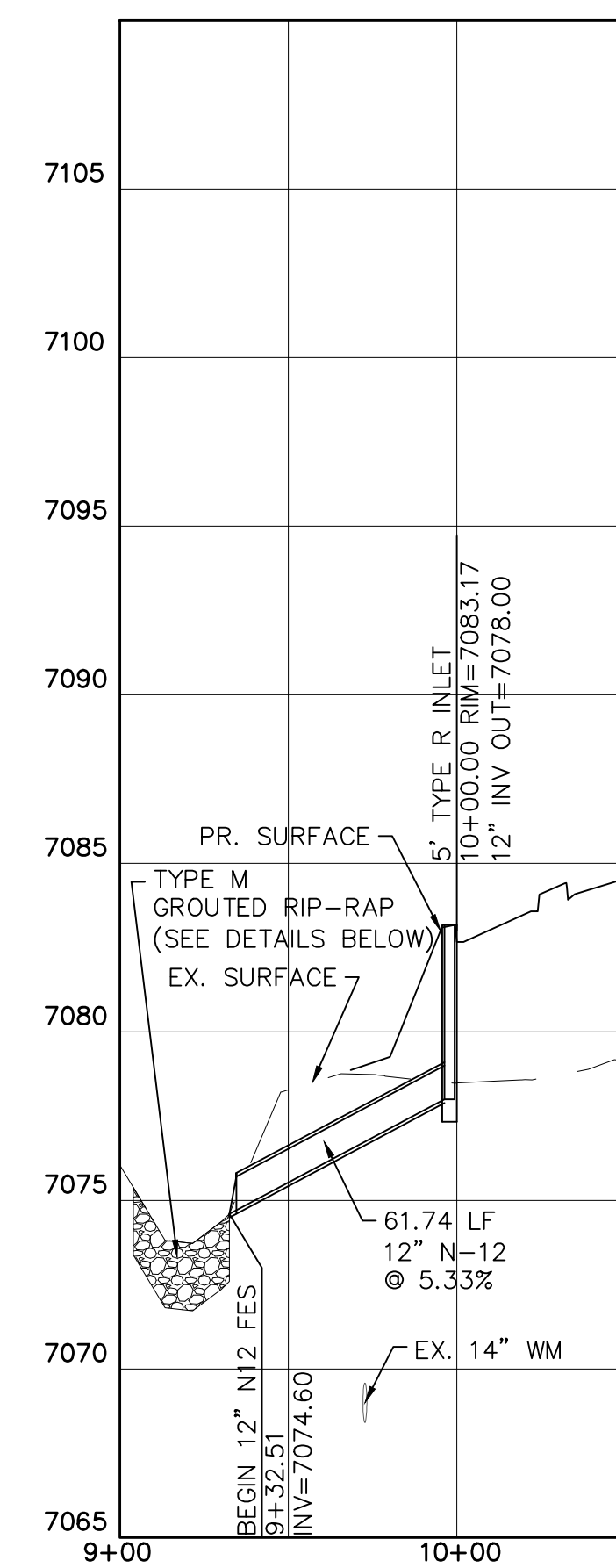
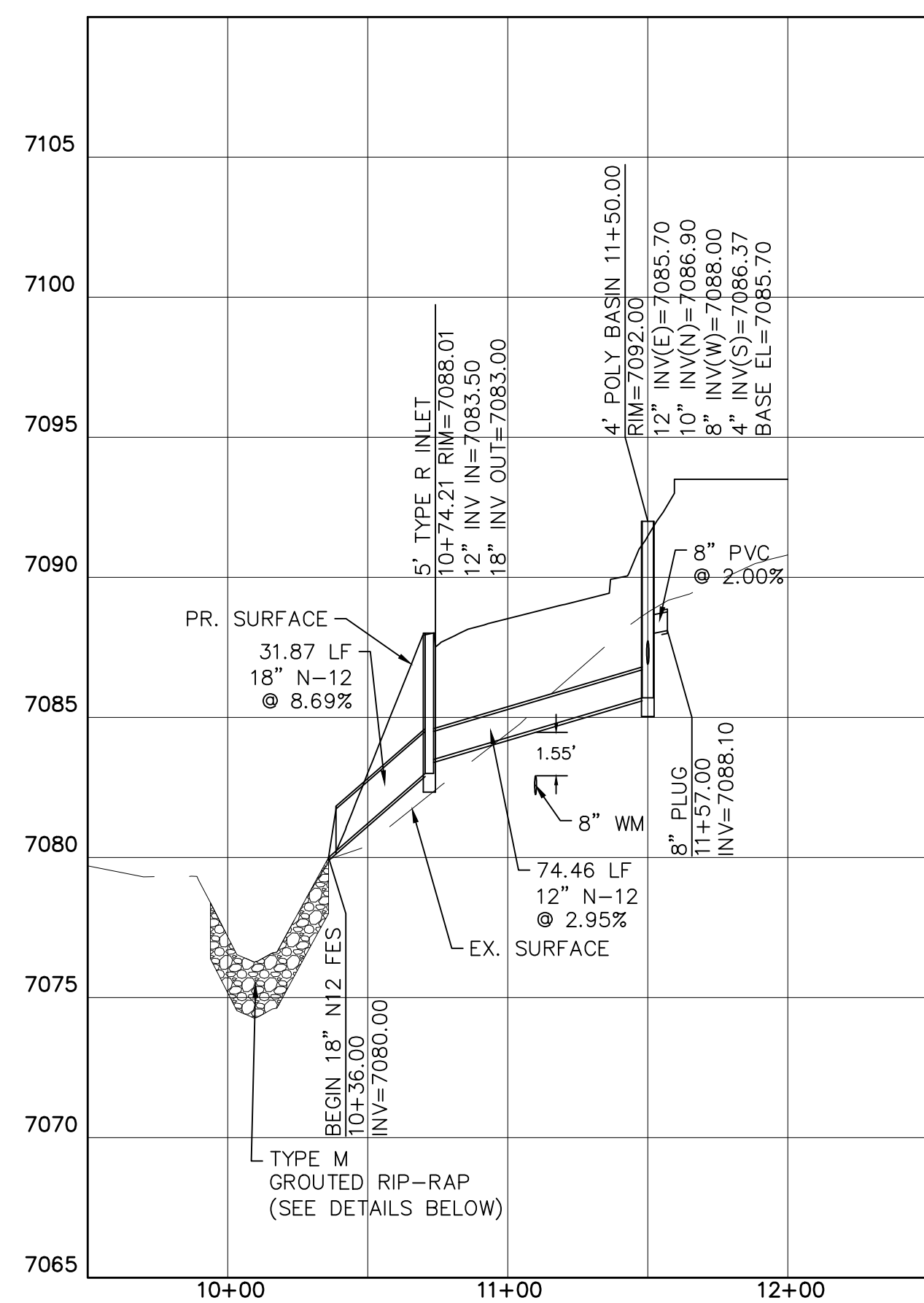
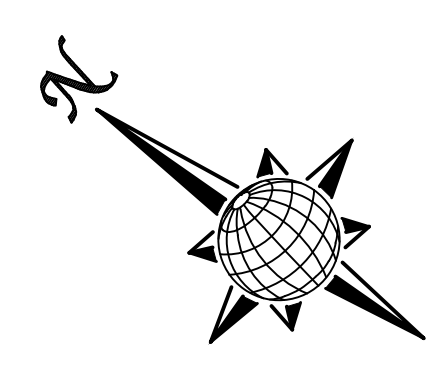
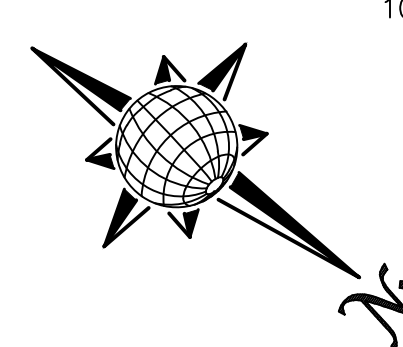
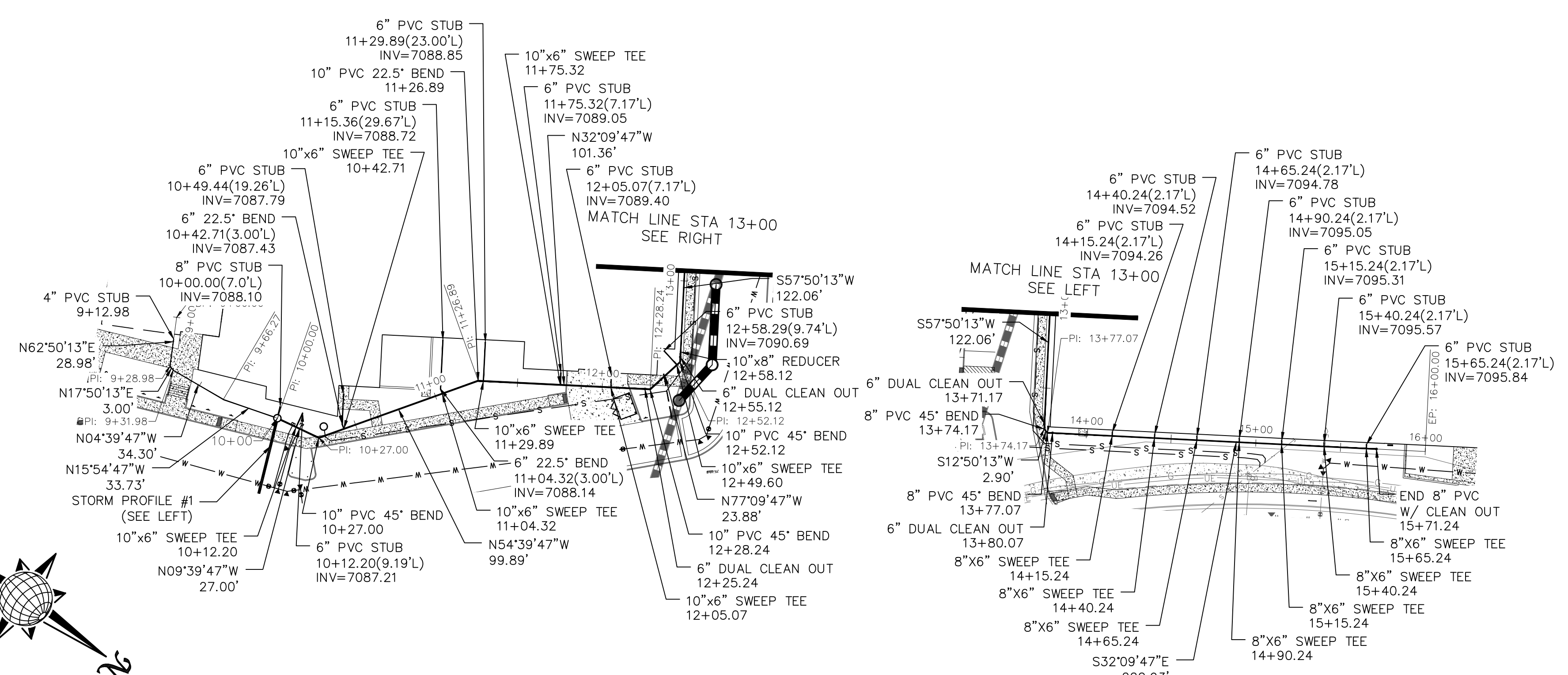
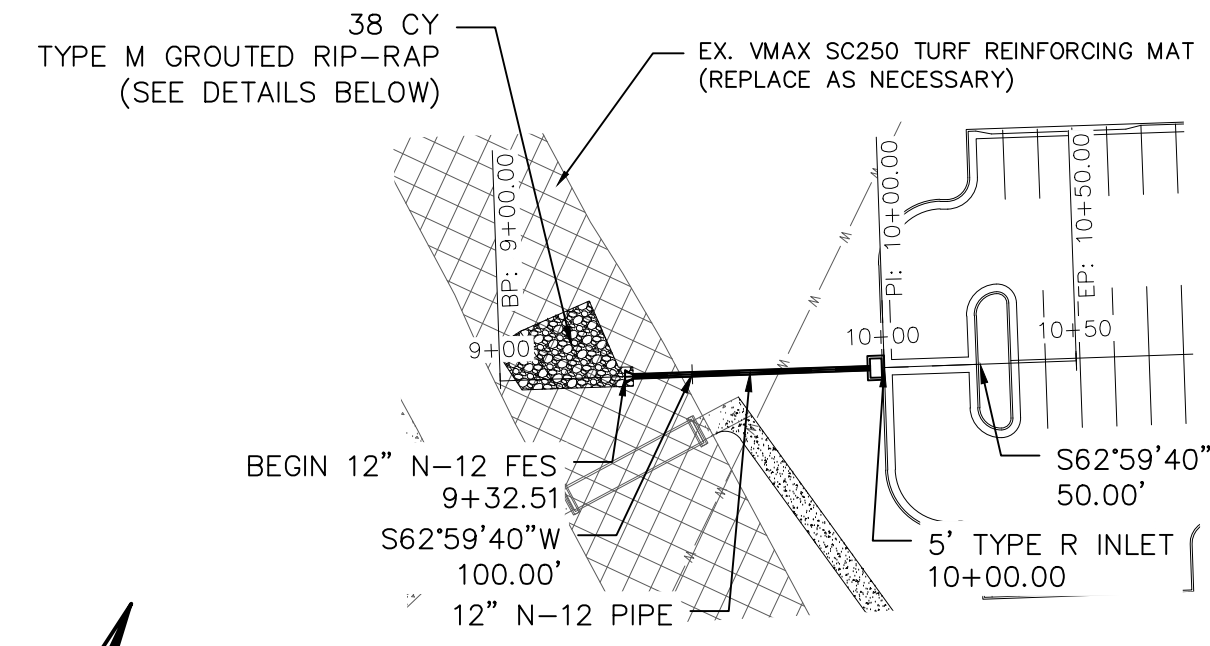
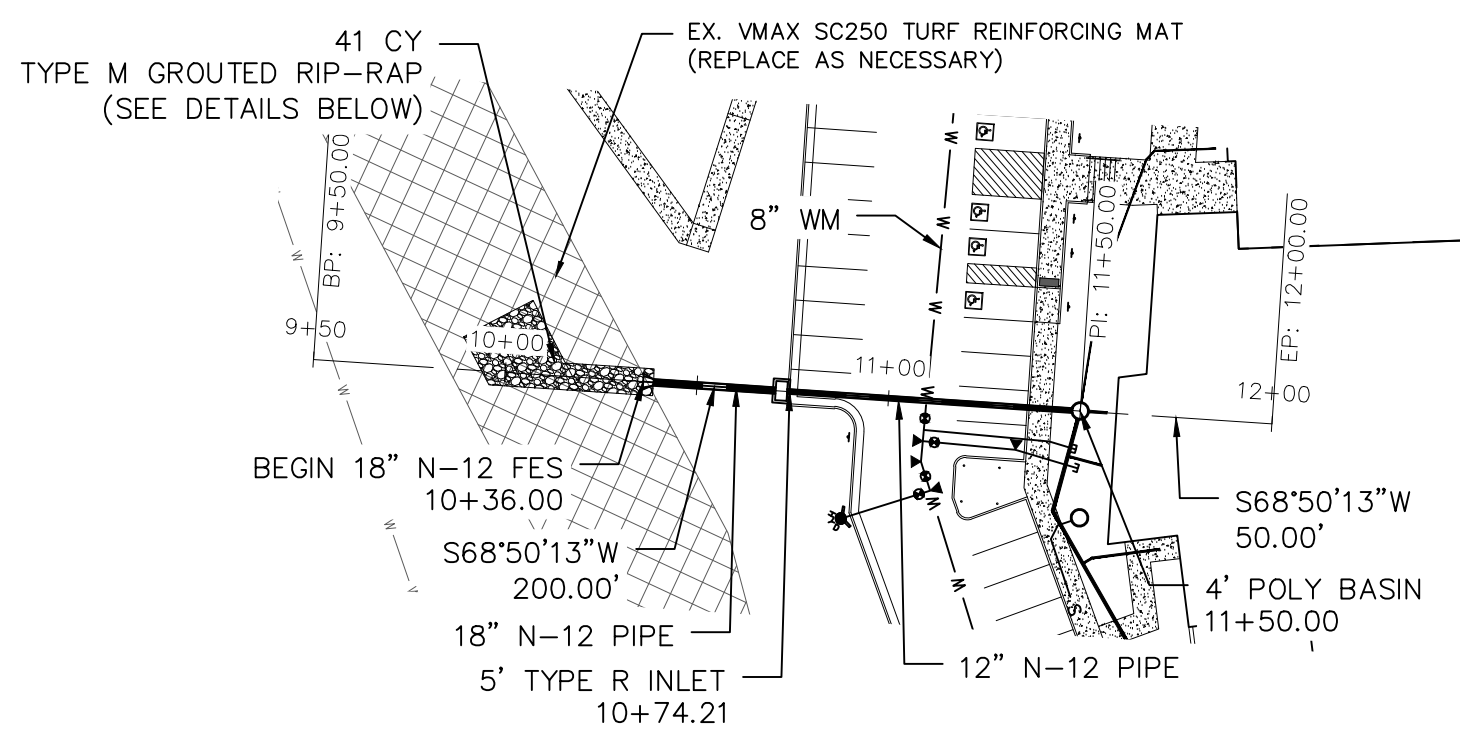
430 North Tejon Street Suite 208  
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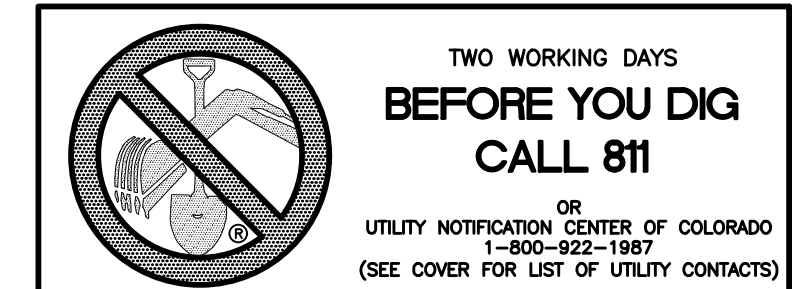
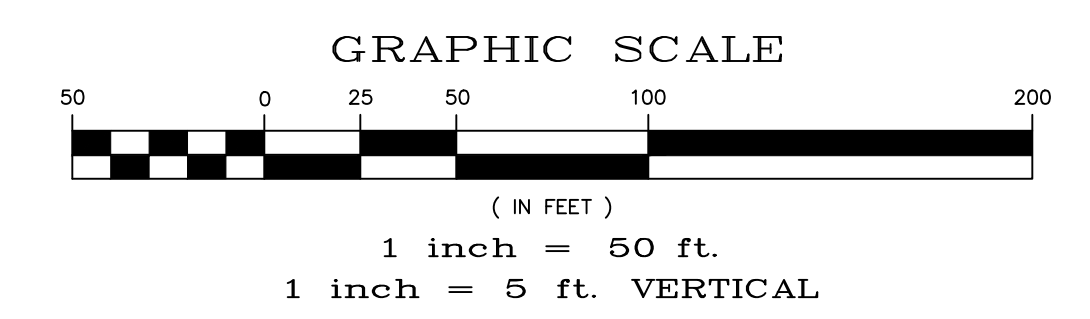
# STORM PROFILE #1

# STORM PROFILE #2

# ROOF DRAIN PROFILE



- NOTES:**
1. ALL JOINTS ON THE STORM PIPING SHALL BE WATERTIGHT JOINTS.
  2. REFER TO ARCHITECTURAL FOUNDATION PLANS AND TO THE "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. JANUARY 10, 2024. FOR FOUNDATION DRAIN.



## Meridian Ranch Field House

10555 & 10575 Rainbow Bridge Dr  
Peyton, CO 80831  
Meridian Service Metro District  
11886 Stapleton Drive  
Falcon, CO 80831

## El Paso County Major Commercial Site Development Plan

Drawn: LCG  
Checked: JS  
Issued: 08 MAY 2024  
Revised:

## Area Key Plan

## STORM SEWER PLAN

# C8.0

Project No. 23.012  
The LKA Partners Incorporated

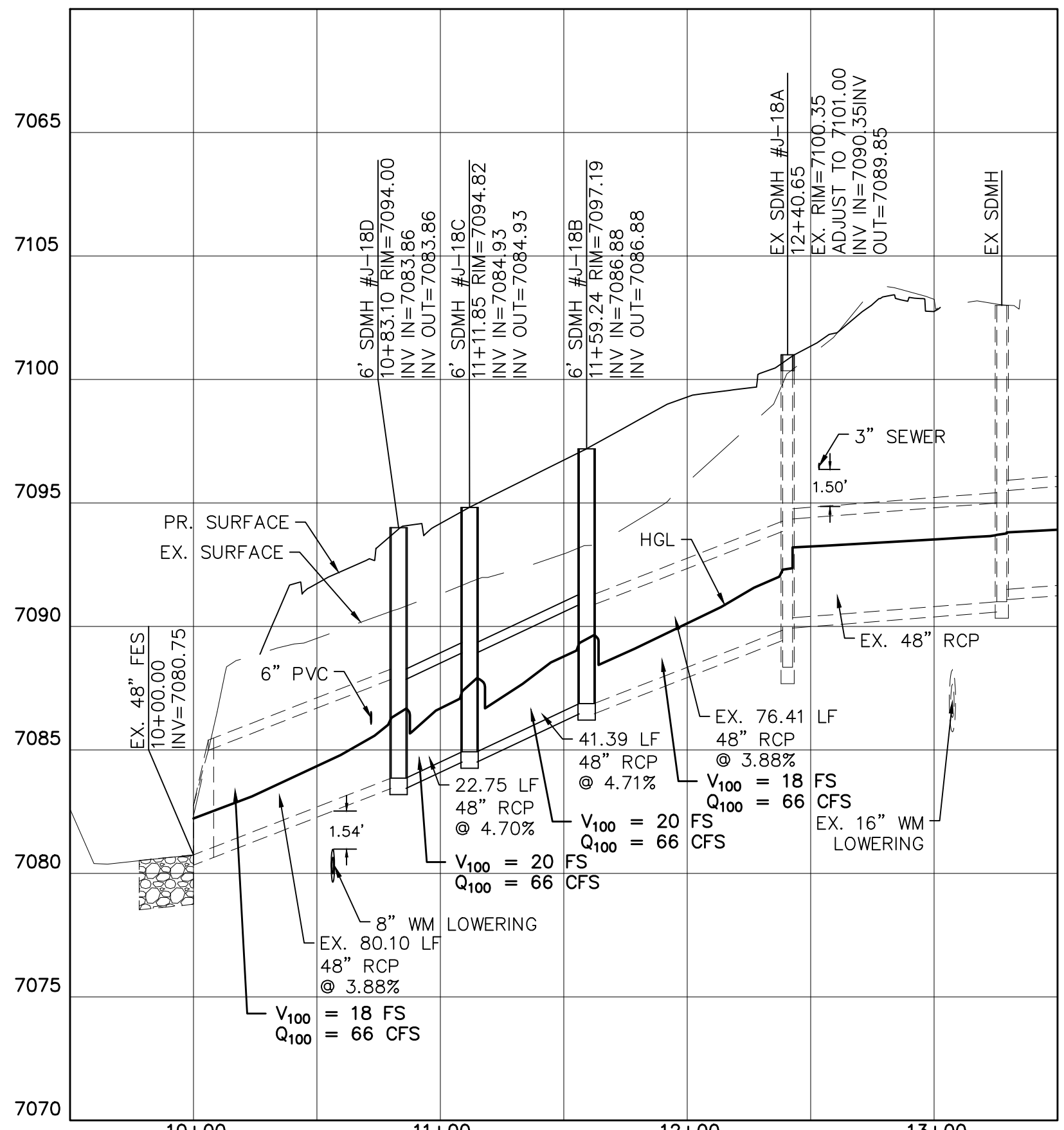
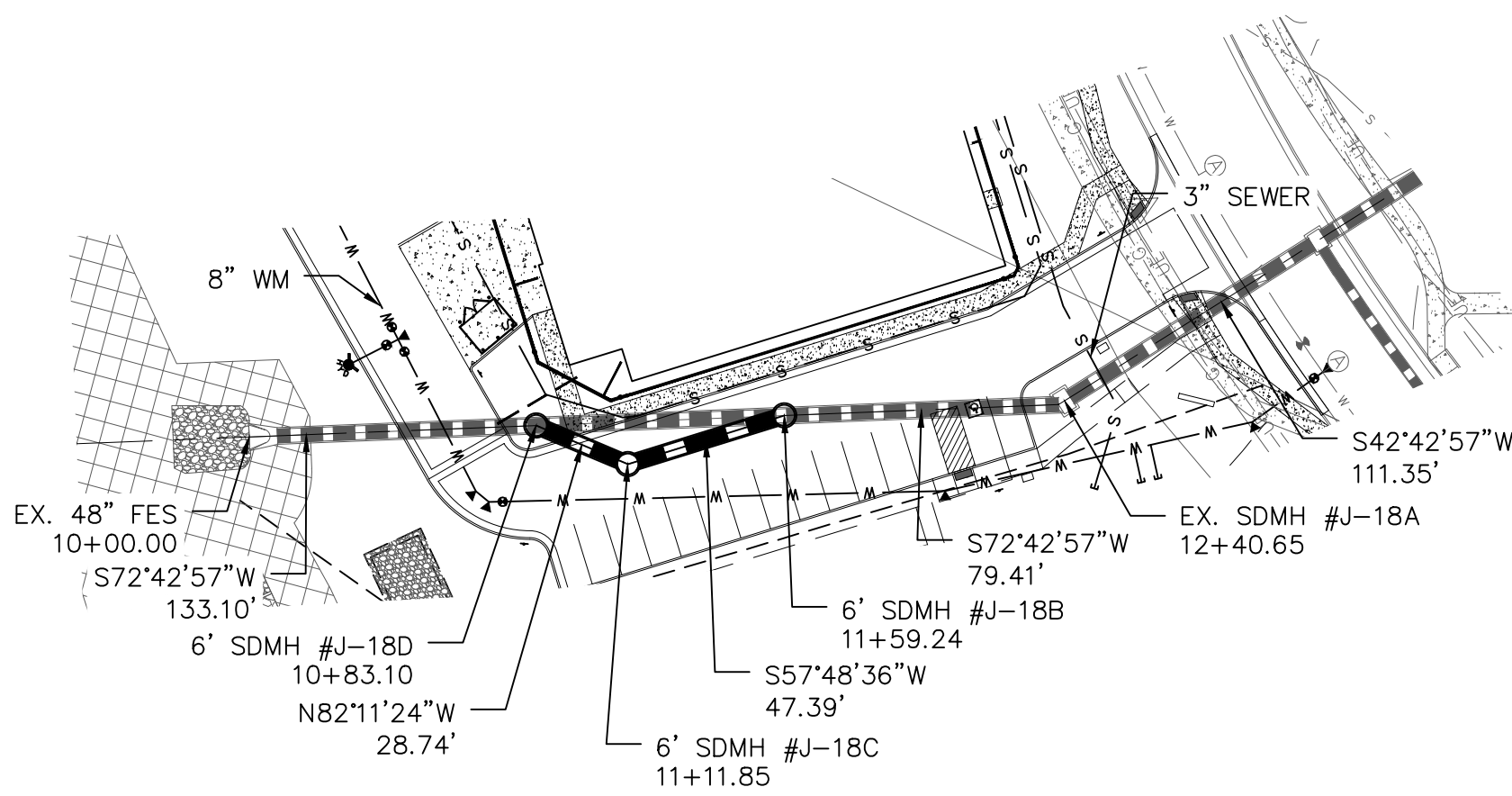
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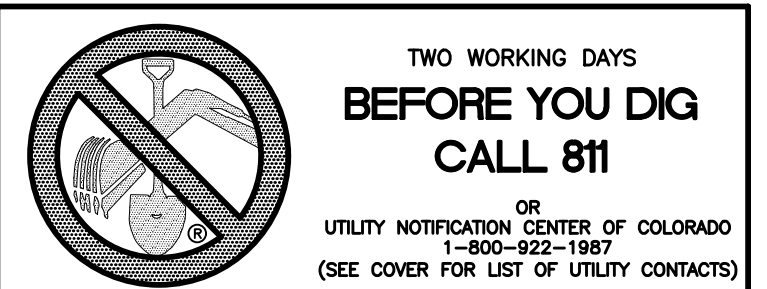
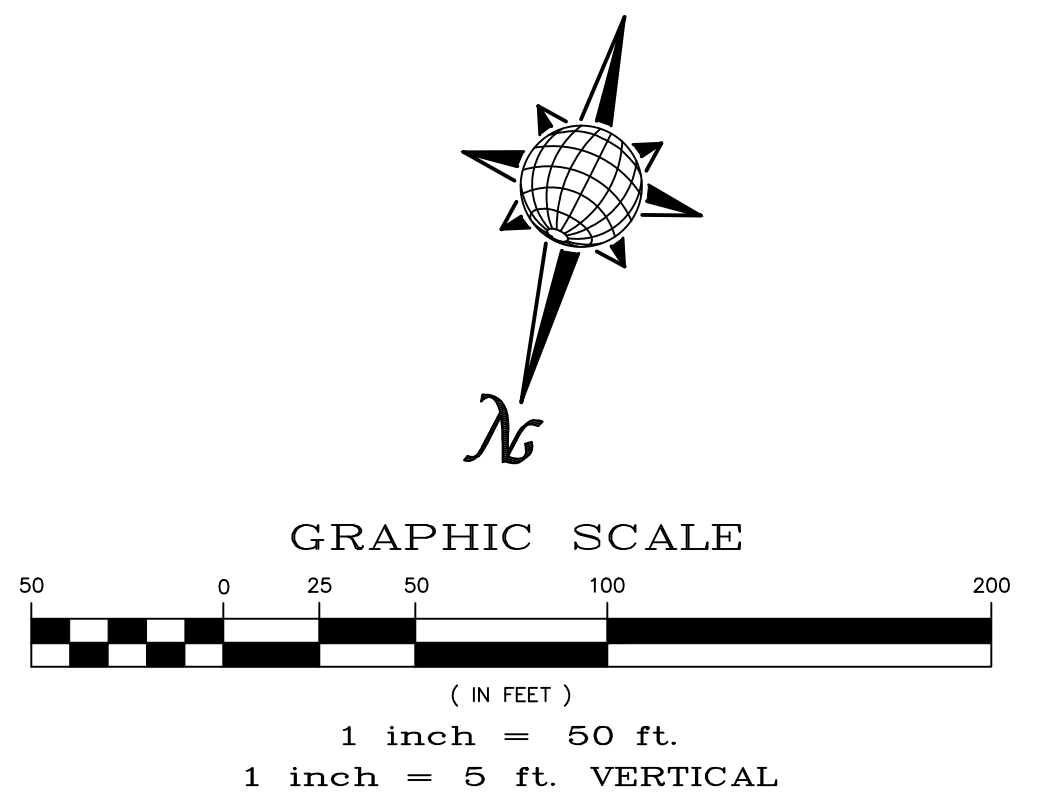
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# STORM PROFILE #3



- NOTES:**
1. ALL JOINTS ON THE STORM PIPING SHALL BE WATERTIGHT JOINTS.
  2. REFER TO ARCHITECTURAL FOUNDATION PLANS AND TO THE "GEOLOGICAL EVALUATION, MERIDIAN RANCH FIELD HOUSE, FALCON, COLORADO" PREPARED BY GROUND ENGINEERING CONSULTANTS, INC. JANUARY 10, 2024. FOR FOUNDATION DRAIN.



## Meridian Ranch Field House

10559 & 10575 Rainbow Bridge Dr  
 Peyton, CO 80831  
 Meridian Service Metro District  
 11886 Stapleton Drive  
 Falcon, CO 80831

## EI Paso County Major Commercial Site Development Plan

Drawn: LCG  
 Checked: JS  
 Issued: 08 MAY 2024  
 Revised:

## Area Key Plan

## STORM SEWER PLAN

# C8.1

Project No. 23.012  
 The LKA Partners Incorporated

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