

SITE PLAN

THE S1/2 OF THE NW1/4 OF THE SW1/4 OF THE SE1/4 OF SECTION 5,
12 SOUTH, RANGE 65 WEST OF THE 6th P.M., EL PASO COUNTY, COLO

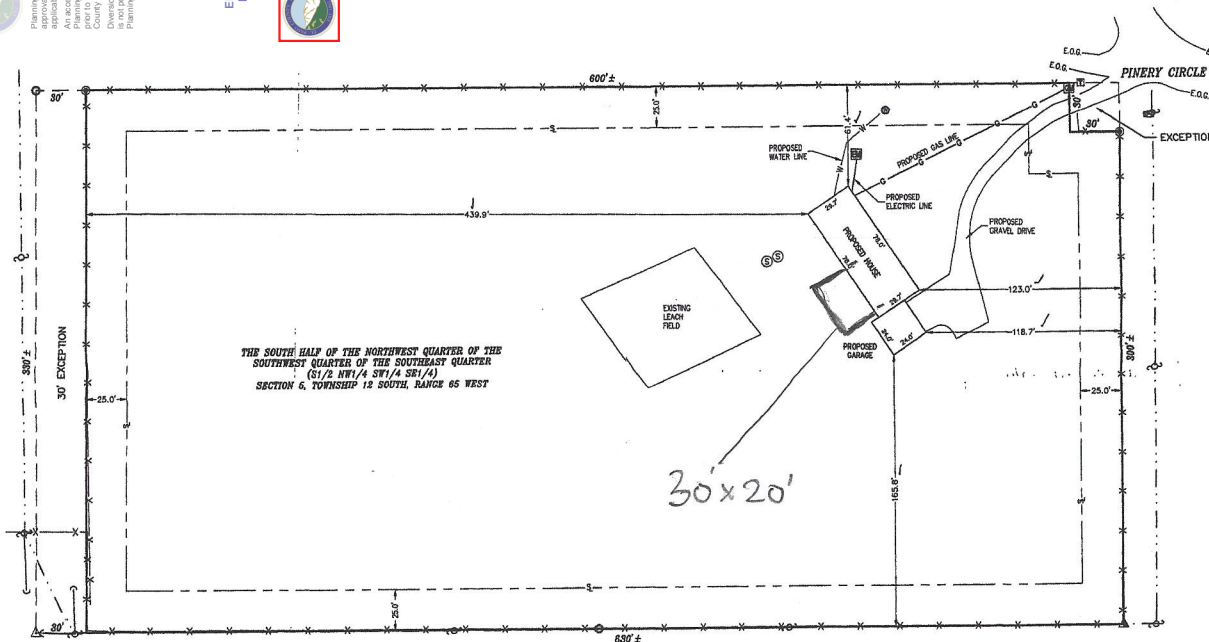
ADD20236
RR-5
BOA84080

APPROVED
Plan Review
05/13/2020 7:38:06 PM
Exchange
EPC Planning & Community
Development Department

ANY APPROVAL GIVEN BY
EL PASO COUNTY IS LIMITED
TO THE SPECIFIC PROJECT AND IS NOT APPLICABLE
TO ANY OTHER PROJECTS.
LAW ENFORCEMENT
AGENCIES SHALL BE NOTIFIED
PRIOR TO THE ESTABLISHMENT OF ANY DRIVEWAY ONTO A
DIVERGENT ROADWAY.
Approval is contingent upon compliance with all
applicable rules on the record plat.
Planning & Community Development Department
prior to the establishment of any driveway onto a
DIVERGENT ROADWAY.
Approval is not permitted without approval of the
Planning & Community Development Department

Not Required
BESQCP
05/13/2020 7:38:19 PM
Exchange
EPC Planning & Community
Development Department

It is the owner's responsibility to
coordinate with assessment bodies
to avoid impact to utilities that
may be located in the easements.



LEGAL DESCRIPTION:
THE SOUTH HALF OF THE NORTHWEST QUARTER
OF THE SOUTHEAST QUARTER (S1/2
SECTION 5, TOWNSHIP 12 SOUTH, RANGE 65 W
COUNTY OF EL PASO, STATE OF COLORADO, E
OF THE EAST 30 FEET THEREOF AND EXCEPT

OWNER:
JASON AND HOLLY LEBLANC
1335 SANDPPER
COLORADO SPRINGS, CO 80916

ADDRESS:
7535 PINERY CIRCLE
COLORADO SPRINGS, CO 80908

BUILDER:
SEGER HOMES INC.
3800 NORTH NEVADA
COLORADO SPRINGS, CO 80907
(719) 632-8085

BUILDING PLAN:
MANUFACTURED HOME

PROPOSED BUILDING AREA:
2,830 SQUARE FEET

LOT AREA:
217,800 SQUARE FEET

TOTAL LOT COVERAGE:
1.4% ✓

ZONING:
RR-5 (RESIDENTIAL RURAL) ✓

PROPOSED BUILDING HEIGHT:
19 FEET ✓

MAXIMUM BUILDING HEIGHT:
30 FEET ✓

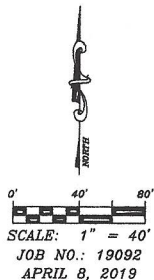
TAX SCHEDULE NO.:
52054-00-034 ✓

ADJACENT EXISTING AND PROPOSED USES:
SINGLE FAMILY RESIDENTIAL

EXISTING USE: UNDEVELOPED LAND
PROPOSED USE: SINGLE FAMILY RESIDENTIAL

RBD
ENUMERATORS

RR-5
4.75 acres
BOA 84080
SFO19923



LEGEND:

- ⊙ FOUND 1/2" REBAR (NO CAP)
- ▲ FOUND CARRIAGE BOLT
- △ FOUND 1-1/4" O.D. IRON PIPE
- FOUND 5/8" REBAR (NO CAP)
- ⊕ POWER/UTILITY POLE
- ⊖ GUY WIRE
- ⊞ ELECTRICAL BOX
- ⊞ ELECTRIC METER
- ⊞ TELEPHONE PEDESTAL
- ⊞ SEPTIC LID
- ⊞ GAS METER
- ⊞ WELL
- ⊞ SETBACK LINE
- E.O.G. EDGE OF GRAVEL
- X- FENCE
- - - OVERHEAD ELECTRIC/UTILITY LINE

NOTE: ALL LINEAL UNITS

SITE PLAN - S

T12S, R65W, 6th

RR-5

P.O. Box 5101

DRAWING: 19092

RESIDENTIAL



2017 PPRBC

Address: 7535 PINERY CIR, COLORADO SPRINGS

Parcel: 5205400034

Plan Track #: 128335 

Received: 12-May-2020 (BECKYA)

Map #: 315G

Description:

DECK - NEW

Contractor: GM HOMES

Type of Unit:

Required PPRBD Departments (2)


Floodplain

(N/A) RBD GIS

Construction
Released for Permit
05/12/2020 11:34:37 PM

ibennett
CONSTRUCTION

Required Outside Departments (1)

County Zoning
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05/13/2020 1:38:40 PM

EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.