

LEGAL:
 1) SITE 9.517 (R) SITE ADDITION TO
 CRYSTAL PARK SUBDIVISION NO. 2
 LOCATED IN THE WEST HALF OF
 SECTION 18, TOWNSHIP 70N, RANGE
 67E, WEST OF THE 6TH PT. BL.
 PASEO COUNTY, COLORADO

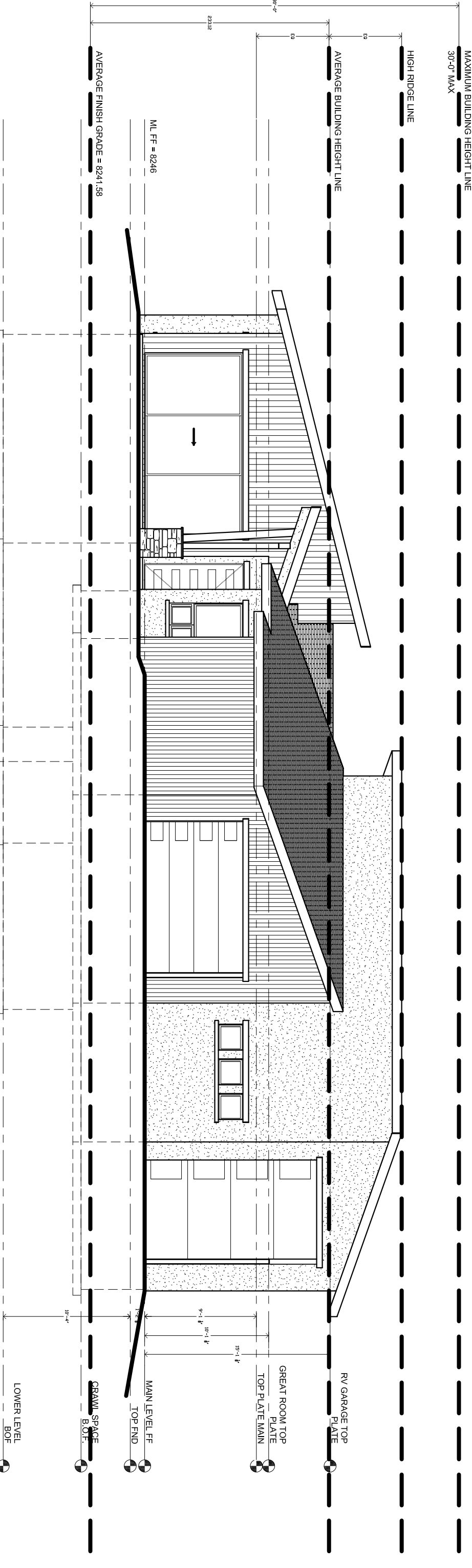
SITE DATA:
 LOT SIZE = 3056.1 SQ FT
 BUILDING FOOTPRINT =
 HOUSE = 1311 SQ FT
 PORCH = 148 SQ FT
 DECK = 276 SQ FT
 TOTAL = 2961 SQ FT

LOT COVERAGE = 10%
 ZONING = RUD
 TAX SCHEDULE = TBD
 BUILDING HEIGHT = SEE ELEVATIONS

SITE NOTES:
 1) Topographic information is to be
 used for grading and site work.
 2) Dashed lines indicate existing
 contours. Solid lines indicate proposed
 contours.
 3) Contractor to verify all setbacks.
 4) Contractor to limit cut and fill areas
 to the building areas in order to minimize
 vegetation and site disturbance.
 5) Contractor to provide erosion control
 measures on all areas to be graded.
 6) Use utilities and sit fencing to minimize
 erosion control as necessary.
 7) Contractor to provide erosion control
 measures on all areas to be graded.
 8) Contractor to provide erosion control
 measures on all areas to be graded.
 9) Contractor to provide erosion control
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 10) Contractor to provide erosion control
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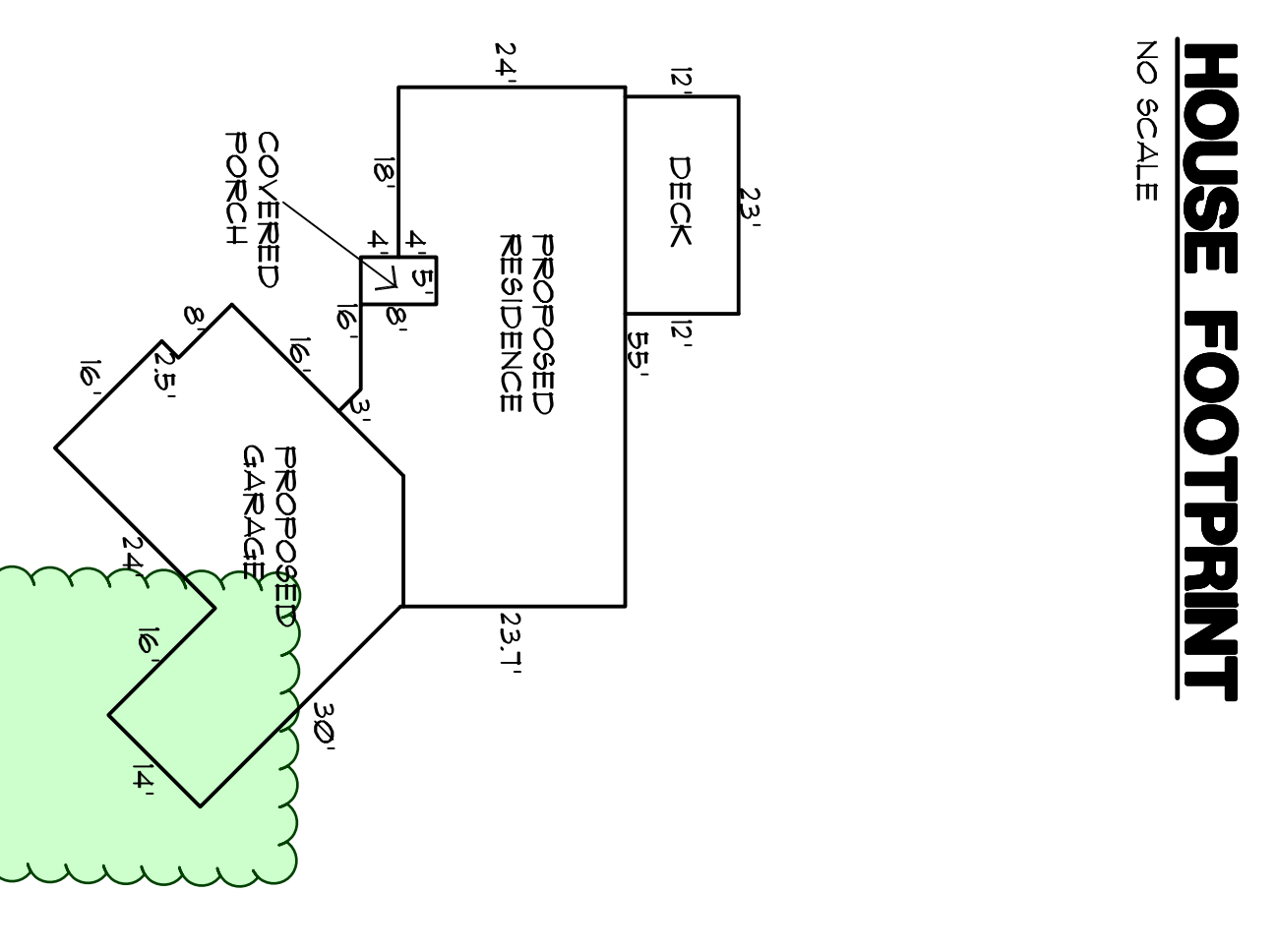
CONTRACTOR
PARAMOUNT HOMES
MIKE RICE
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 Colorado Springs, CO 80903
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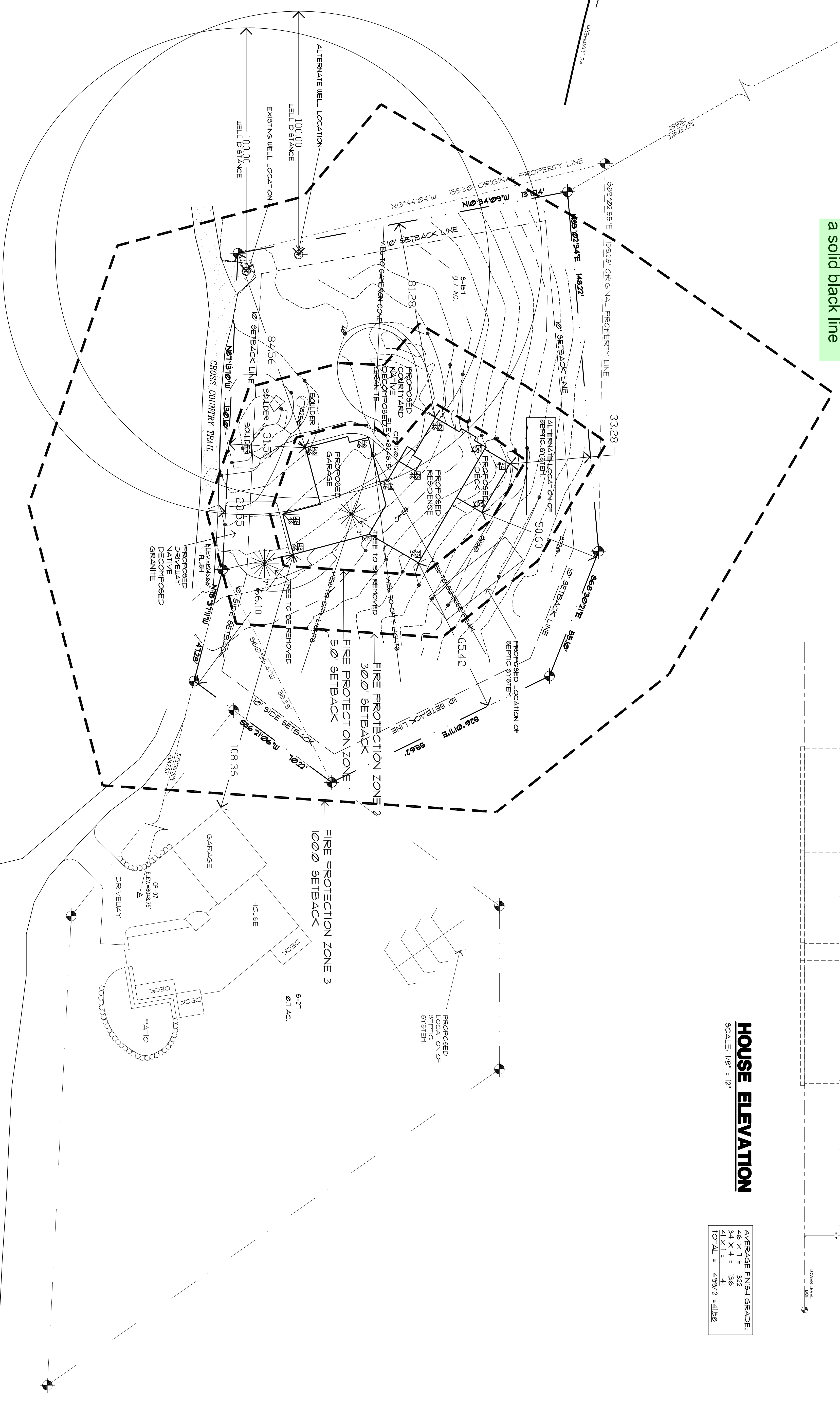
HOUSE ELEVATION
 SCALE: 1/8" = 1'

AVERAGE FINISH GRADE:	
48' X 1' = 122'	
41' X 1' = 41'	
41' X 1' = 41'	
TOTAL = 439'2" = 4158'	



HOUSE FOOTPRINT
 NO SCALE

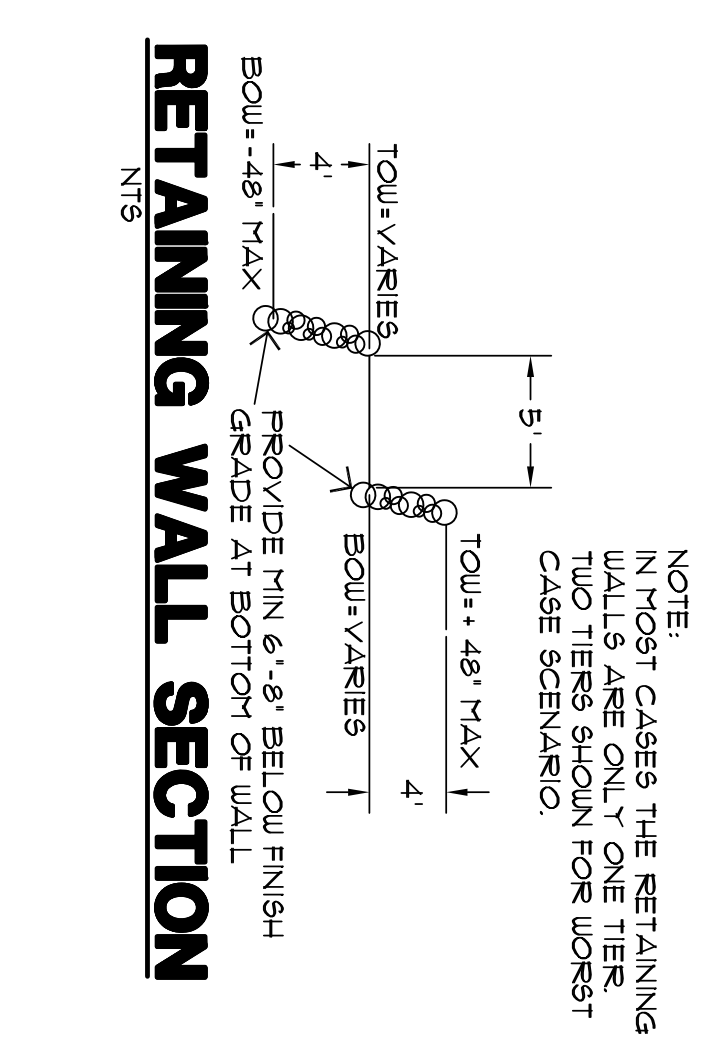
Please include the proposed access drive



Please clearly indicate the property line with a solid black line

HOUSE FOOTPRINT
 NO SCALE

Please include the proposed access drive

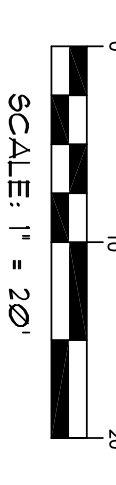


RETAINING WALL SECTION
 NO SCALE

NOTES TO SITE:

- 1) REVEGETATION/LANDSCAPE PLAN:
 - ALL DISTURBED AREAS WILL BE REVEGETATED WITH NATIVE GRASSES, INCLUDING AREAS ADJACENT TO FOUNDATION AND SPECIFICALLY OVER LEACH FIELD. TREES AND VEGETATION (EXISTING) TO BE REMOVED FROM WITHIN FOOTPRINT OF HOUSE AND SEPTIC ONLY OR PER WILDFIRE MITIGATION PLAN
- 2) PROPOSED RESIDENCE IS 300' (FEET) OR MORE AWAY FROM ADJACENT HOMES OR STRUCTURES
- 3) PROPOSED RESIDENCE IS NOT WITHIN ANY ACTIVE DRAINAGES

SITE PLAN



SITE INFO:
 151 CROSS COUNTRY TRAIL
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THE JEFFCOAT RESIDENCE
 157 CROSS COUNTRY TRAIL
 COMPUTER FILE # 22-2217

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SP1
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