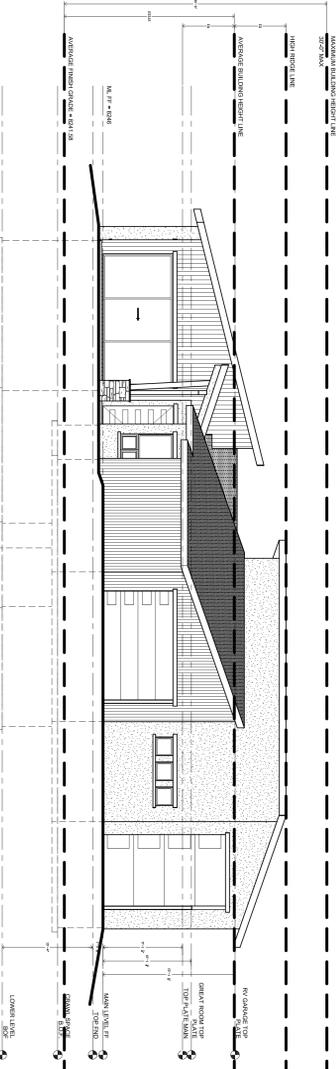


Condition of Approval  
 Applicant is responsible for all geological  
 hazards and mitigation of those  
 hazards.



**HOUSE ELEVATION**

SCALE: 1/8" = 1'

AVERAGE FINISH GRADE:

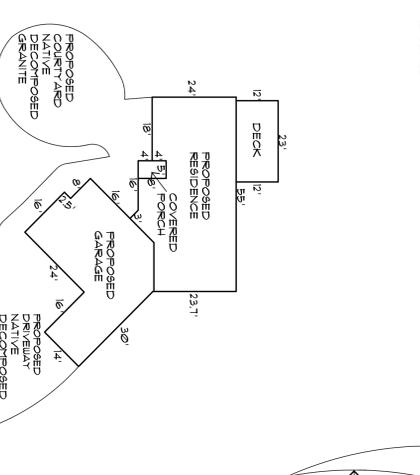
46' X 1' = 122'
41' X 1' = 41'
41' X 1' = 41'
<b>TOTAL = 439.12' ± 41.58'</b>

**Approved**  
 By: *Anna Jeffcoat*  
 Planning Manager  
 Date: 05/02/2024  
 El Paso County Planning & Community Development

**EXTERIOR MATERIAL COLORS:**  
 ROOF TYPE AND COLOR: Charley Shingles Black Oak  
 SIDING TYPE AND COLOR: Stucco Primary Black  
 NO POPOUTS  
 SOFFIT & FACIA: SUID05 Iron Ore  
 WINDOW FRAME TYPE & COLOR: Marvin Finishing Black  
 DECK & RAIL COLORS: Concrete decking, Stainless Steel  
 EXTERIOR DOOR(S) COLOR: Dark Walnut  
 CLOSET(S) COLOR: White  
 GARAGE DOOR COLOR: 1/2" Plank Panel with Vertical Clear Windows-Crison Oak Trim in SUID05 Iron Ore  
 GUTTER & DOWNSPOUT COLOR: CHG Dark Bronze  
 EXTERIOR WOOD TIMBERS: SUI542 Charwood  
 EXTERIOR LIGHTING: ALL DOWNLIGHTS

**HOUSE FOOTPRINT**

NO SCALE

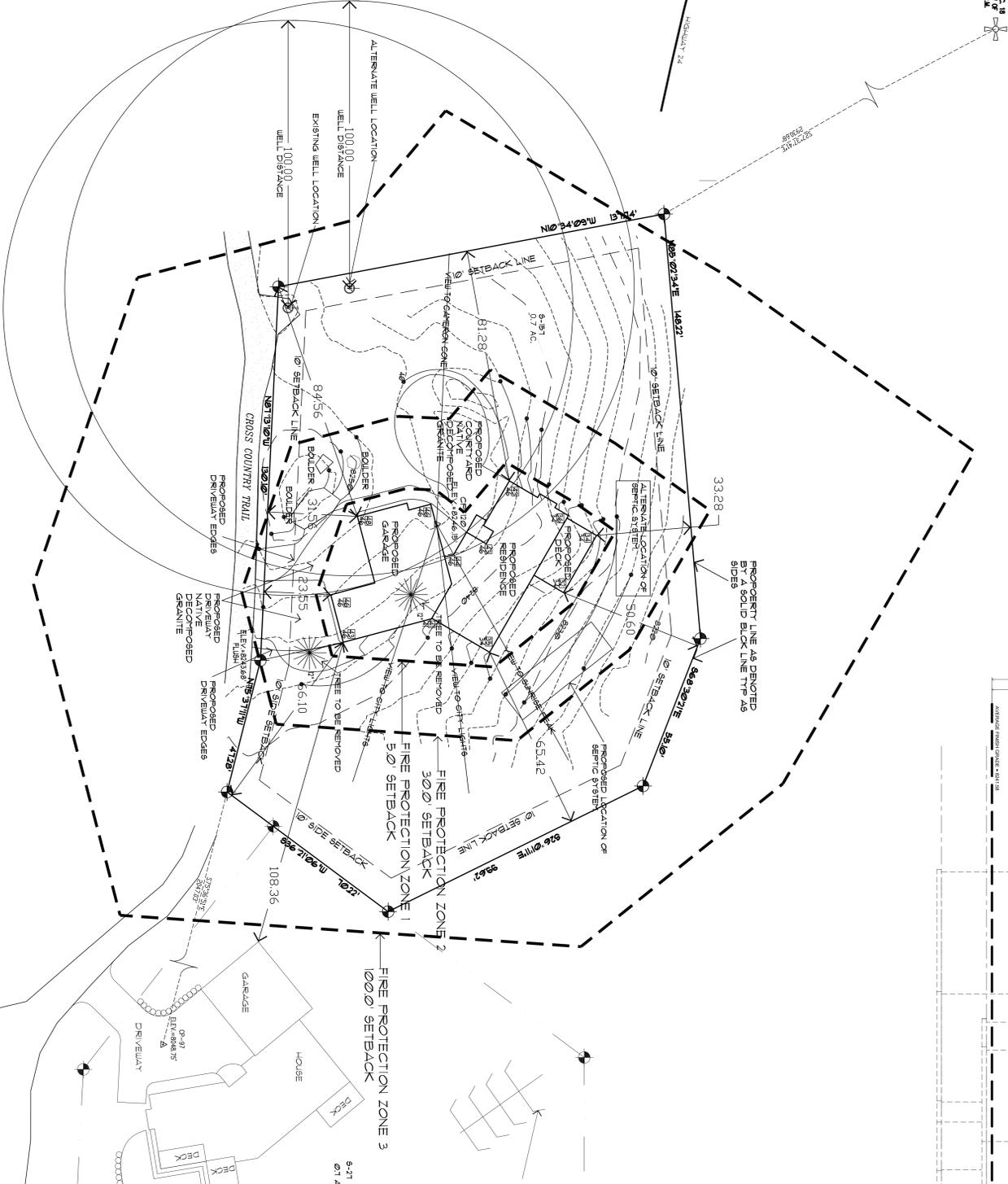


**HOUSE FOOTPRINT**

NO SCALE



**NOTES:**  
 IN HOIST CAREER THE RETAINING WALL SHALL BE CONCRETE WITH TWO TIER SLOIN FOR LOSEST CASE SCENARIO.  
 PROVIDE MIN. 6"-8" BELOW FINISH GRADE AT BOTTOM OF WALL.  
**RETAINING WALL SECTION**

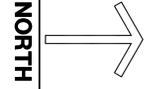


**NOTES TO SITE:**

- 1) REVEGETATION/LANDSCAPE PLAN: ALL DISTURBED AREAS WILL BE REVEGETATED WITH NATIVE GRASSES, INCLUDING AREAS ADJACENT TO FOUNDATION AND SPECIFICALLY OVER LEACH FIELD. TREES AND VEGETATION (EXISTING) TO BE REMOVED FROM WITHIN FOOTPRINT OF HOUSE AND SEPTIC ONLY OR PER WILDFIRE MITIGATION PLAN
- 2) PROPOSED RESIDENCE IS 300' (FEET) OR MORE AWAY FROM ADJACENT HOMES OR STRUCTURES
- 3) PROPOSED RESIDENCE IS NOT WITHIN ANY ACTIVE DRAINAGES

**SITE PLAN**

SCALE: 1" = 20'



**SITE INFO:**

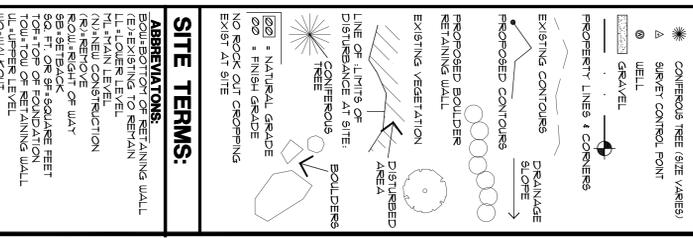
ADDRESS: 5920 CROSS COUNTRY TRAIL, LEGAL:  
 SITE 9-151 (R) SITE ADDITION TO CRYSTAL PARK SUBDIVISION NO. 2 LOCATED IN THE WEST HALF OF RANGE #1 WEST OF THE 6TH PT. E1, PASEO COUNTY, COLORADO

**SITE DATA:**  
 LOT SIZE = 3056.1 SQFT  
 BUILDING FOOTPRINT = HOUSE = 1311 SQFT  
 PORCH = 148 SQFT  
 DECK = 276 SQFT  
 TOTAL = 2561 SQFT  
 LOT COVERAGE = 10%  
 ZONING = RUD  
 TAX SCHEDULE = TBD  
 BUILDING HEIGHT - SEE ELEVATIONS

**SITE NOTES:**

- 1) Topographic information is to be used for grading.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify all setbacks.
- 4) Contractor to limit cut and fill areas to the building areas in order to minimize vegetation and site disturbance.
- 5) The Contractor/Owner shall be responsible for the Contractor/Owner's liability to the Contractor/Owner.
- 6) Use utilities and site fencing to minimize disturbance to existing trees and vegetation.
- 7) Contractor shall be responsible for erosion control as necessary.
- 8) Contractor shall be responsible for the removal of all debris from the site.
- 9) Contractor shall be responsible for the removal of all debris from the site.
- 10) Contractor shall be responsible for the removal of all debris from the site.
- 11) Contractor shall be responsible for the removal of all debris from the site.
- 12) Contractor shall be responsible for the removal of all debris from the site.
- 13) Contractor shall be responsible for the removal of all debris from the site.
- 14) Contractor shall be responsible for the removal of all debris from the site.
- 15) Contractor shall be responsible for the removal of all debris from the site.
- 16) Contractor shall be responsible for the removal of all debris from the site.
- 17) Contractor shall be responsible for the removal of all debris from the site.
- 18) Contractor shall be responsible for the removal of all debris from the site.
- 19) Contractor shall be responsible for the removal of all debris from the site.
- 20) Contractor shall be responsible for the removal of all debris from the site.

**SITE LEGEND:**



**SITE TERMS:**

**ABBREVIATIONS:**  
 EQUATION OF RETAINING WALL  
 LL-LOWER LEVEL  
 HL-HIGH LEVEL  
 NN-NEW CONSTRUCTION  
 ROW-RIGHT OF WAY  
 SB-SETBACK  
 SQ FT OR SQUARE FEET  
 TOL-TOTAL OF RETAINING WALL  
 UN-UNRAIL

**REFERENCE INFO:**

**TOPO INFO:**  
 RAMPART SURVEY'S, LLC  
 1050 TAMMACK BLVD.  
 COLORADO SPRINGS, CO  
 PH: 719.575.4444  
 EMAIL: JANE@RAMPARTS.COM  
 PROJECT # 27123

**CLIENT/OWNER INFO:**  
 ANNE & STEPHEN JEFFCOAT  
 5920 CROSS COUNTRY WAY  
 COLORADO SPRINGS, CO  
 PH: 719.575.9180  
 EMAIL: ANNE.JEFFCOAT@COFCASTNET

**THE VISIONS**  
  
**LGA STUDIOS**  
 201 E. Las Animas Street  
 Colorado Springs, CO 80903  
 Phone: (719) 535-0880  
 Email: info@lga.com  
 Website: www.lgastudios.com

**PARAMOUNT HOMES**  
**MIKE RICE**  
 201 E LAS ANIMAS ST STE 107,  
 Colorado Springs, CO 80903  
 Phone: (719) 331-6116  
 EMAIL: MIKE@PARAMOUNTHOMES.COM

**THE JEFFCOAT RESIDENCE**  
 5920 CROSS COUNTRY TRAIL  
 COMPUTER FILE # 22-2217

**SP1**  
 DRAWN BY: ROWER  
 CHECKED BY: LALABUDINE  
 PLOT 04/27/24 2:58 PM  
 SITE PLAN VIGNET MAP SITE NOTES  
 OF 1 SHEETS

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