

SFD26618
 PLAT-15216
 PUD



LOT 326 ✓

SCHEDULE NUMBER 5524115029 ✓

PLOT PLAN

APPROVED
 Plan Review

06/30/2026 10:11:15 AM
 dsdhills

EPC Planning & Community
 Development Department

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.



HAYLEY YOUNG, P.E.
 DATE: 05.14.26

I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.E.



T. CHRIS MADRID, P.L.S.
 DATE: 05.14.26

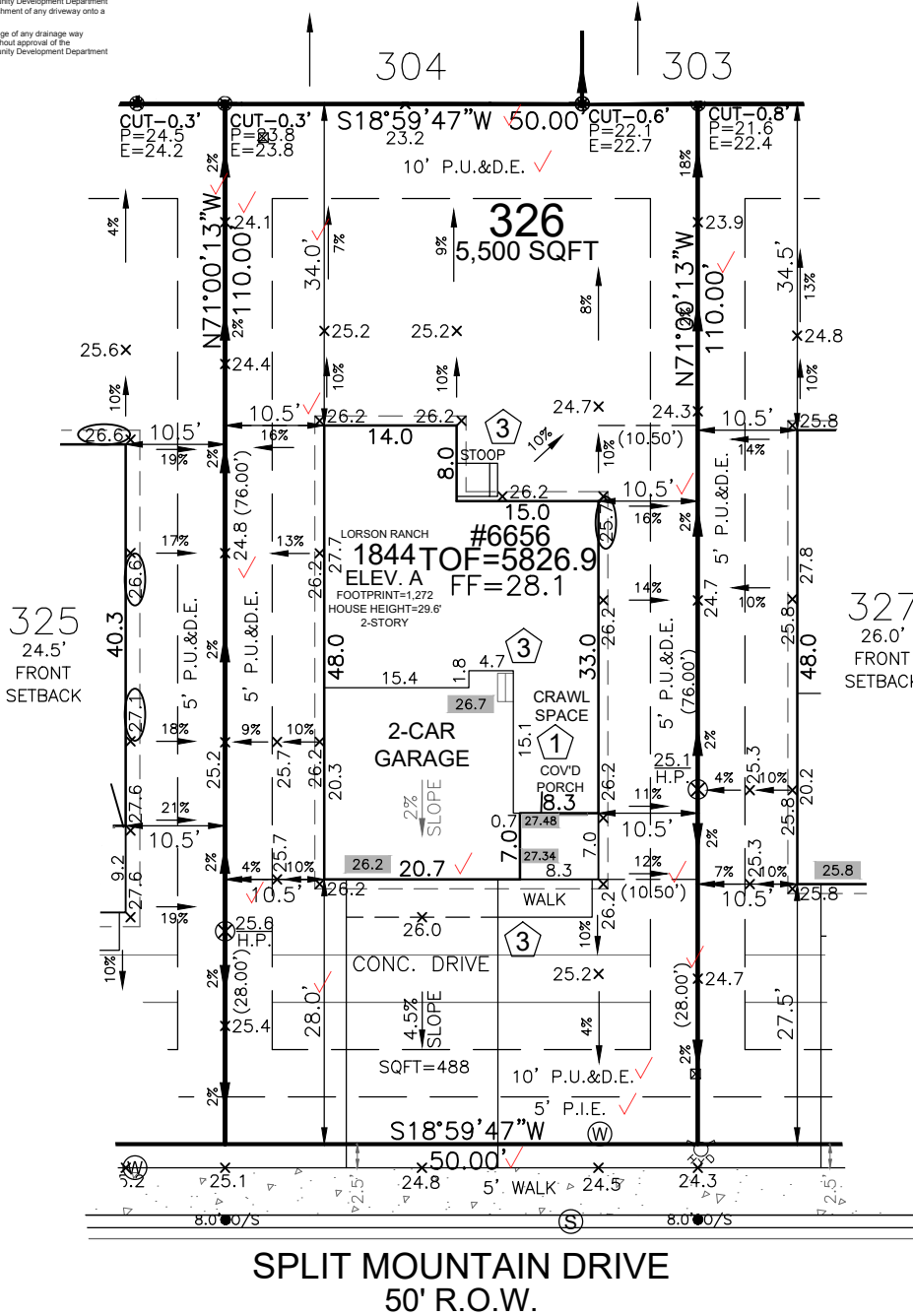
I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.L.S.

N/A
 06/26/2026 4:19:50 PM

CONSTRUCTION

SITE SPECIFIC PLOT PLAN NOTES:

- TOF = 26.9
- GARAGE SLAB = 26.2
- GRADE BEAM = 12" (26.9 - 26.2 = 0.7 * 12 = 8" + 4" = 12")
- *FROST DEPTH MUST BE MAINTAINED
- LOWERED FINISH GRADE ALONG HOUSE
- CUT/FILL AT LOCATIONS SHOWN FOR ADEQUATE DRAINAGE



SPLIT MOUNTAIN DRIVE
 50' R.O.W.

FRONT SETBACK DRIVE COVERAGE
 FRONT SETBACK= 1524 SF
 DRIVE COVERAGE IN
 FRONT SETBACK= 240 SF
 COVERAGE=15%

LEGEND

LOWERED FINISH GRADE:

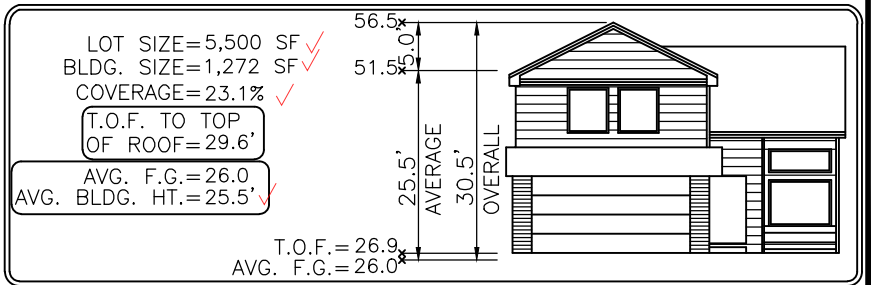
- (XX.X) HOUSE
- (XX.X) PORCH
- (XX.X) GARAGE/CRAWL SPACE
- (XX.X) FOUNDATION STEP
- (XX) CONCRETE
- (X) RISER COUNT
- (XX.XX) CONCRETE ELEVATION
- (XX.X) GRADING PLAN ELEVATION

Released for Permit

06/26/2026 10:16:11 AM



0 20 40
 SCALE: 1"=20'



Elevation view of building is an illustrative tool only to indicate the calculation for the average building height.

MODEL OPTIONS: 1844-A/2-CAR/CRAWL SPACE

SUBDIVISION: THE RIDGE AT LORSON RANCH FILING NO. 1 ✓

COUNTY: EL PASO

05.14.26 / LEFT / NAIL TO NAIL=68.00'
 Front 10': N=21727.0506 E=30361.9892
 Rear 10': N=21749.1852 E=30297.6926

ADDRESS: 6656 SPLIT MOUNTAIN DRIVE ✓

GENERAL NOTES:

- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
- PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
- EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
- PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
- LOT CORNER ELEVATION CHECK: 05.30.23

MINIMUM SETBACKS:

FRONT: 15' ✓ SIDE: 5' ✓
 GARAGE: 20' ✓
 REAR: 10' ✓
 CORNER: 10' ✓

DRAWN BY: BL

DATE: 05.14.26



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 Centennial, CO 80112 USA
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 Fax: (303) 850-0711
 E-mail: info@bjsurvey.net

SITE



2023 PPRBC
2021 IECC Amended

Address: 6656 SPLIT MOUNTAIN DR, COLORADO SPRINGS

Parcel: 5524115029

Plan Track #: 214642 

Received: 26-Jun-2026 (BECKYA)

Description:

RESIDENCE

Type of Unit:

Garage	541	
Lower Level 2	702	
Main Level	782	
Upper Level 1	1062	
	3087	Total Square Feet

Required PPRBD Departments (3)

Enumeration

APPROVED

BECKYA

6/26/2026 10:16:31 AM

Floodplain

(N/A) RBD GIS

Construction

N/A

06/26/2026 4:19:53 PM

justin!

CONSTRUCTION

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

06/30/2026 10:12:32 AM

dsdhill

**EPC Planning & Community
Development Department**

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.