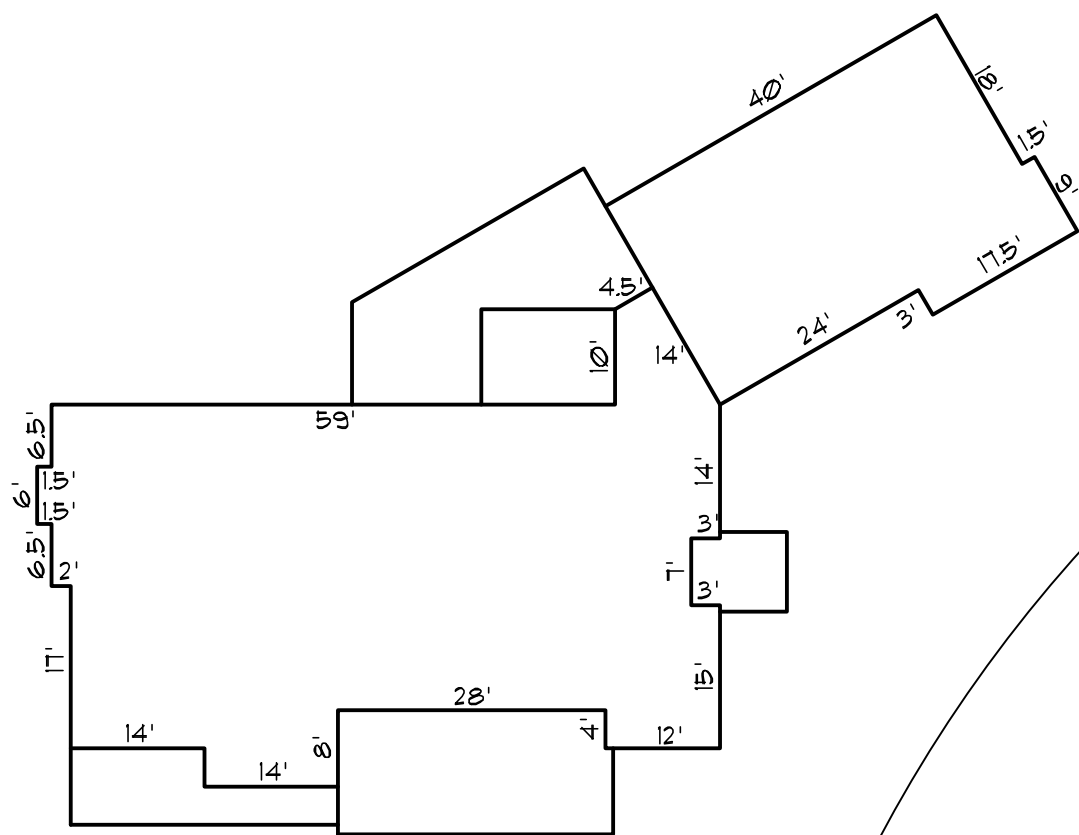


VICINITY MAP
NO SCALE

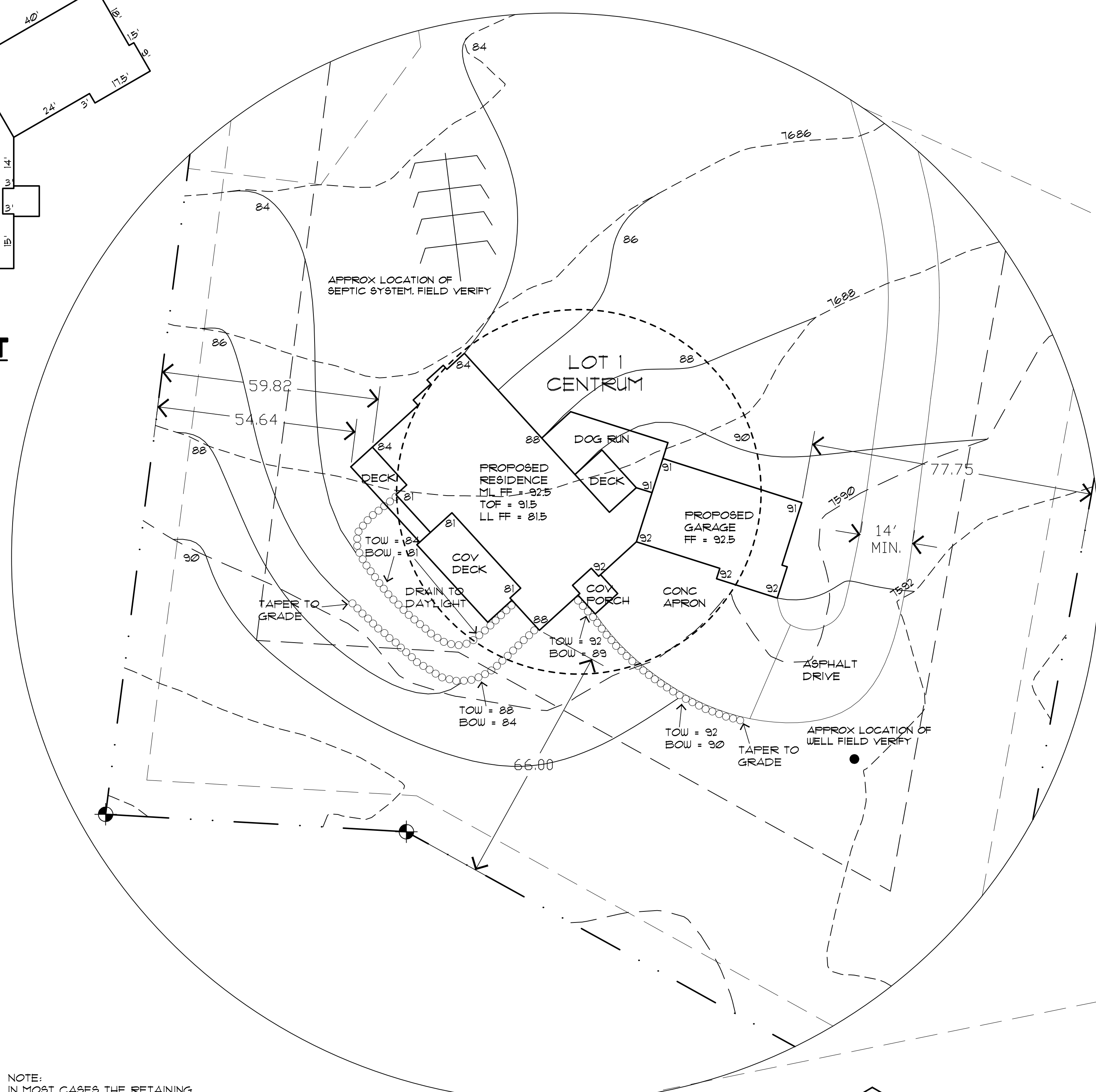


HOUSE FOOTPRINT
NO SCALE

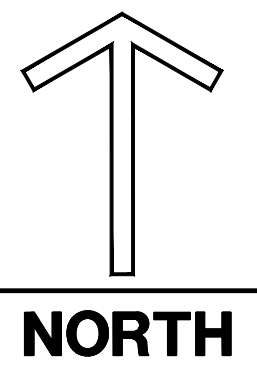
DISAPPROVED
Plan Review
08/16/2019 9:36:08 AM
dsdrangel
EPC Planning & Community
Development Department

Released for Permit
08/14/2019 10:29:45 AM
brnt
ENUMERATION

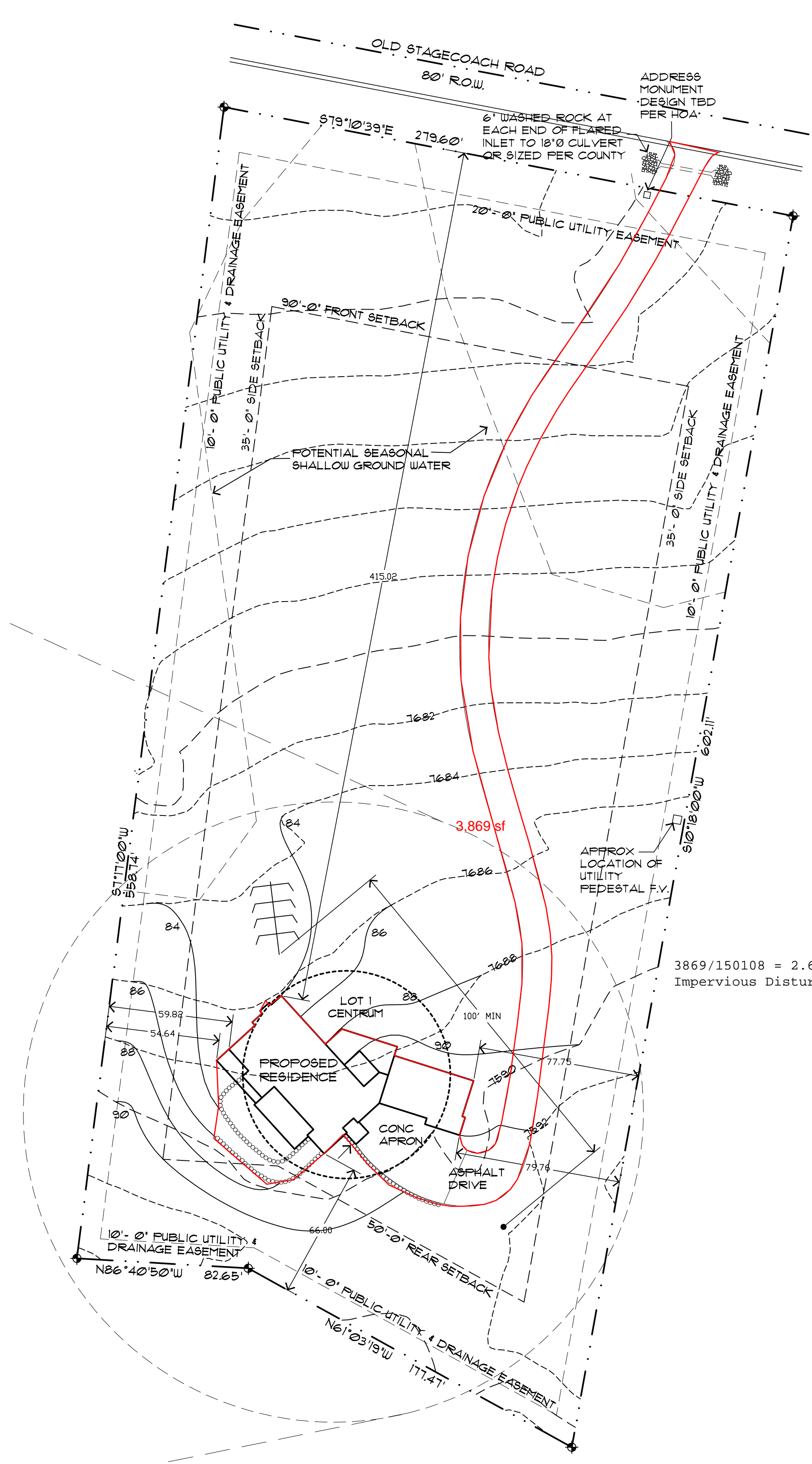
ENGINEERED STAMPED SITE PLAN REQUIRED



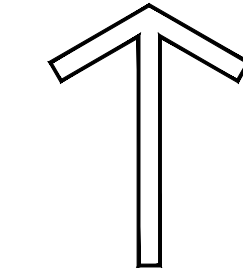
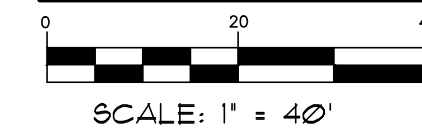
SITE PLAN



NORTH



SITE PLAN



NORTH

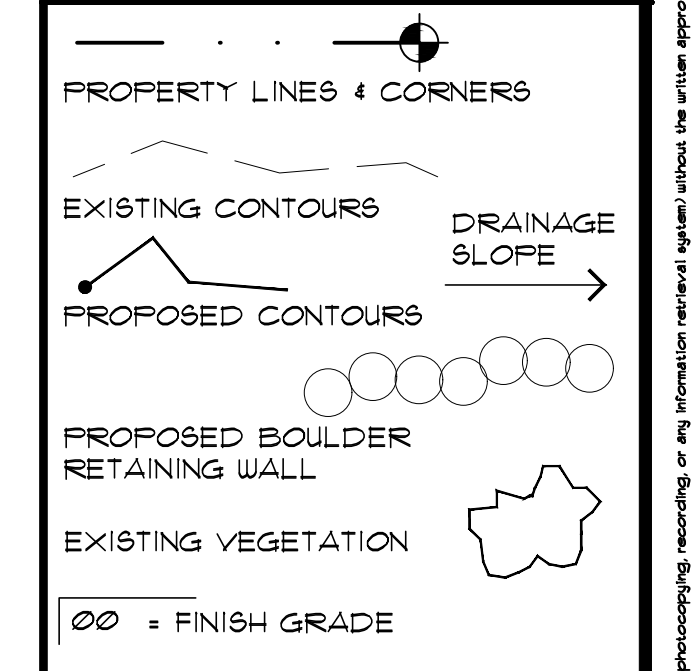
SITE INFO:

ADDRESS:
5315 OLD STAGECOACH ROAD
LEGAL:
LOT 1, FLYING HORSE NORTH,
FILING NO. 1A,
IN THE CITY OF COLORADO SPRINGS
EL PASO COUNTY, COLORADO.
SITE DATA:
LOT SIZE = 3.446 ACRES
(190,028 SF)
BUILDING FOOTPRINT =
HOUSE = 2,511 SQFT
GARAGE = 1,015 SQFT
PORCH = 79 SQFT
COV DECK = 372 SQFT
PATIO = 140 SQFT
DECK = 168 SQFT
TOTAL = 4,385 SQFT
LOT COVERAGE = 3%
ZONING = FUD
TAX SCHEDULE # = 61360-04-039
BUILDING HEIGHT = 23'-0" +/-

SITE NOTES:

- 1) Topographic information is as supplied by others. See below for info.
- 2) Dashed lines indicate existing contours. Solid lines indicate proposed contours.
- 3) Contractor to verify easements.
- 4) Contractor to limit cut and fill areas and limit material and vehicle storage to the building areas in order to minimize vegetation and site disturbance.
- 5) Final landscaping to be determined by the Contractor/Owner(s). It shall minimize impact to the site. All landscaping to be completed by the Contractor/Owner(s).
- 6) Use wattles and silt fencing to minimize erosion during construction. And also stabilize area with seeded blankets for erosion control as necessary.
- 7) Earth materials are not to be stockpiled on streets or sidewalks, but on site or staging areas.
- 8) Contractor is required to provide positive drainage away from and around structures in all directions as shown.
- 9) Any boulder retaining walls shown shall be 48" max high and 48"-60" min apart laterally if (2) or more retaining walls exist. Or retaining walls shall be engineered by a licensed CO soils engineer.
- 10) General Contractor, Subcontractors, Suppliers, and Owner(s) shall familiarize themselves & verify all notes, dimensions and information on drawing(s) prior to starting construction. It shall be the responsibility of those parties to report any changes and/or discrepancies to the Designer. Questions regarding these drawings such as: drawing interpretation, dimensions, notes, scale and other similar questions shall be brought to the attention of the Designer immediately, in writing. Failure to do any of the above shall relieve the designer of any errors. Designer shall not be responsible for any changes not noted in writing to this plan.

SITE LEGEND:



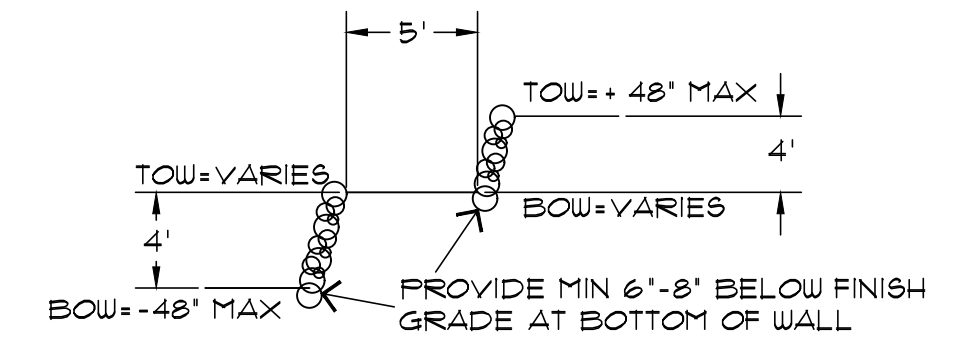
REFERENCE INFO:

TOPO INFO:
CLASSIC HOMES
6385 CORPORATE DRIVE
COLORADO SPRINGS, CO 80909
PHONE #191-592-9333

SITE TERMS:

ABBREVIATIONS:
BOU= BOTTOM OF RETAINING WALL
(E)= EXISTING TO REMAIN
LL= LOWER LEVEL
ML= MAIN LEVEL
(N)= NEW CONSTRUCTION
(R)= REMOVE
ROW= RIGHT OF WAY
SB= SETBACK
SQ. FT. OR SF= SQUARE FEET
TOP= TOP OF FOUNDATION
TOW= TOP OF RETAINING WALL
UL= UPPER LEVEL
WO= WALKOUT

NOTE:
IN MOST CASES THE RETAINING WALLS ARE ONLY ONE TIER. TWO TIERS SHOWN FOR WORST CASE SCENARIO.



RETAINING WALL SECTION
NTS

REVISIONS

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EMAIL: clous@streckertohomes.com

THE
PLAISTOWE/BROWN RESIDENCE
5315 OLD STAGECOACH ROAD
COMPUTER FILE #19-0641 SP

DRAWN BY: MDW

CHECKED BY: LGA
PLOT 08/08/19 9:12 AM

SITE PLAN
VICINITY MAP
SITE NOTES

Sheet #
SP1
OF 1 Sheets

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