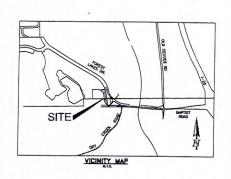


# EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT SIGN APPLICATION

# DATE: **Business** Name: FOREST LAKES ENTER Address: 2105 FOREST LAKES DRIVE Zone: Pup Legal Description: FOREST LAKES FILING NO. 1A Type of Sign Illuminated: Non-Illuminated: Valuation: \$ 120.000 Storefront Length &/or Width: 45 × 4-9" ACTUAL SIGNAGE Proposed Sign Sq. Ft. 123 Existing Sign Sq. Ft. N/A Total Sign Sq. Ft. (23)

Tax Schedule # 712600042
Please show major intersections.



# FOREST LAKES MONUMENT SIGN For Planning & Community Development Use Only Approved Date:

By:Raimere Fitzpatrick

El Paso County Planning & Community Development

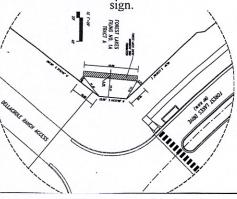
Date:10/09/2017

Sign Plan

(Please indicate dimensions and sign copy)

Elevation Drawing

Indicate storefront length & placement of



Name: CLASSIC HOMES

Address: 6385 GR. Bate OR. Cos., CO 86919

Phone: 719-499-3818

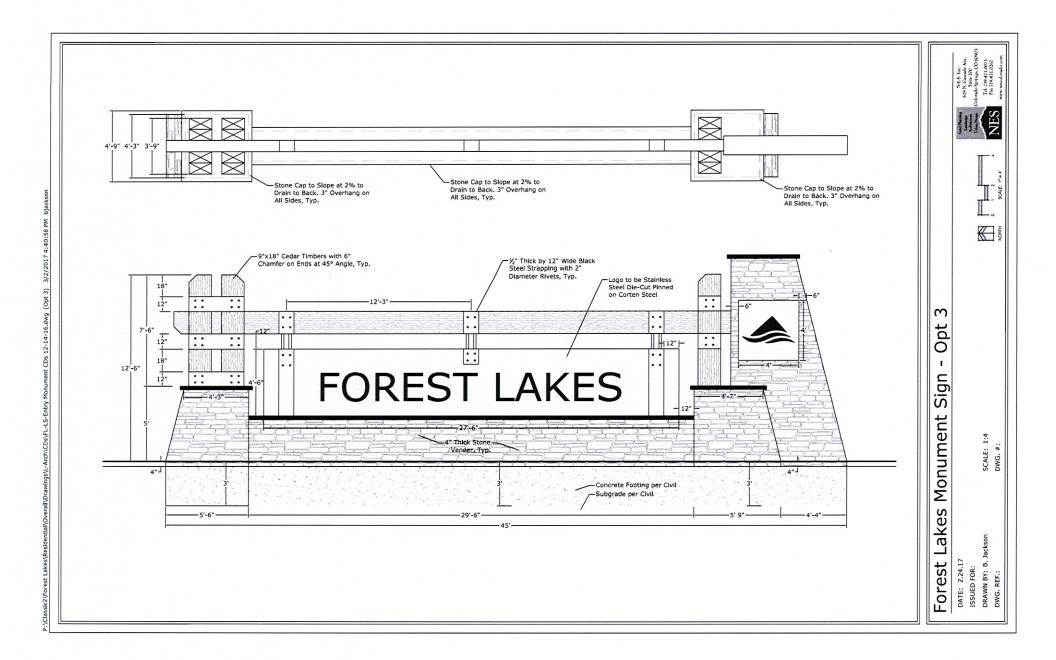
Type of License: A-2

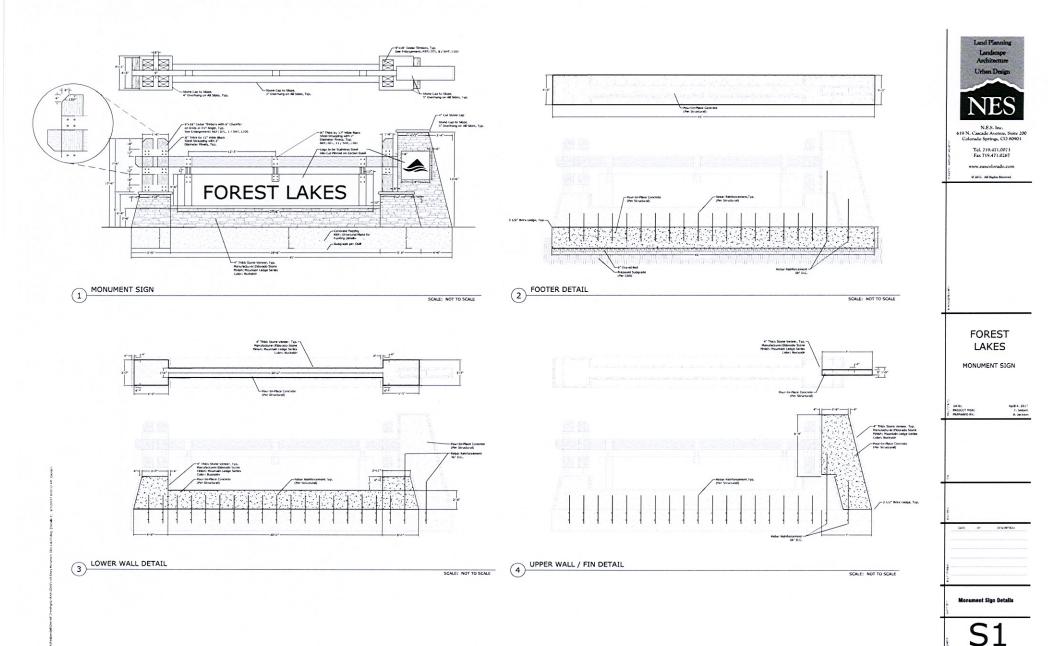
Contractor ID# 18167

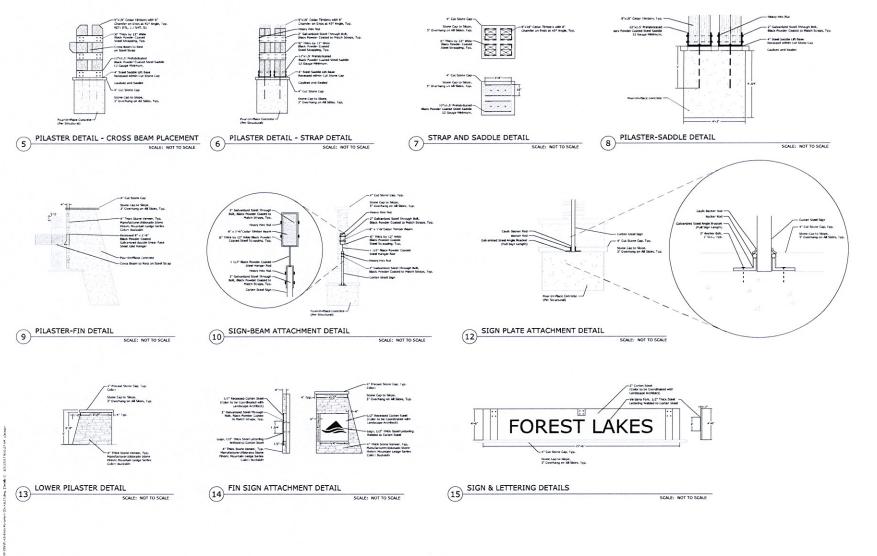
Fee of \$262.00 must accompany this Application. Additional signs at time of first Application are \$125.00. Make checks payable to El Paso County.

Denied Date:

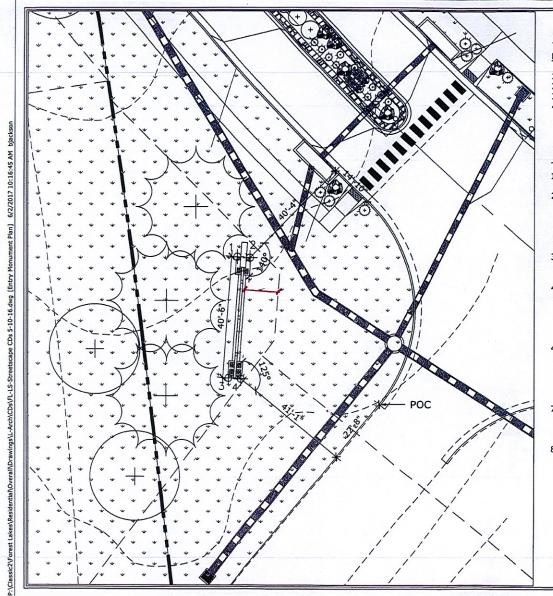
Comments:











# NORTHING/EASTING POINT SCHEDULE

POINT	DESCRIPTION	NORTHING	EASTING
1	NW CORNER	N 12893.8608	E 18815.7816
2	NE CORNER	N 12893.5400	E 18820.0195
3	SW CORNER	N 12853,4763	E 18812.7248
4	SE CORNER	N 12853.1555	E 18816.9627

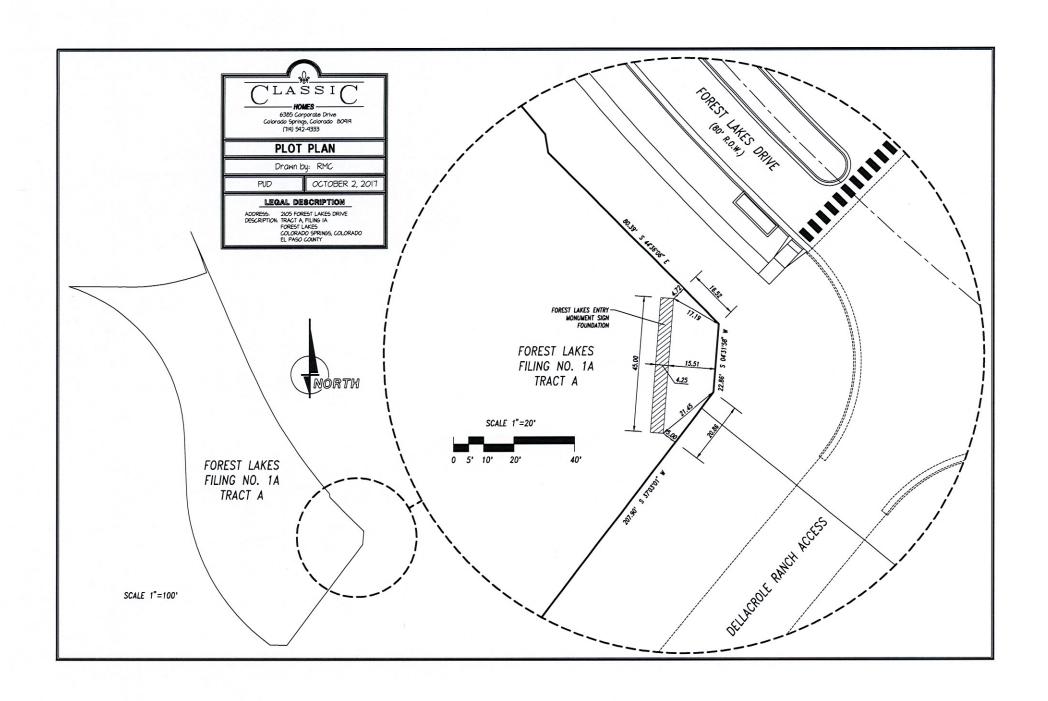
## **GENERAL CONSTRUCTION NOTES**

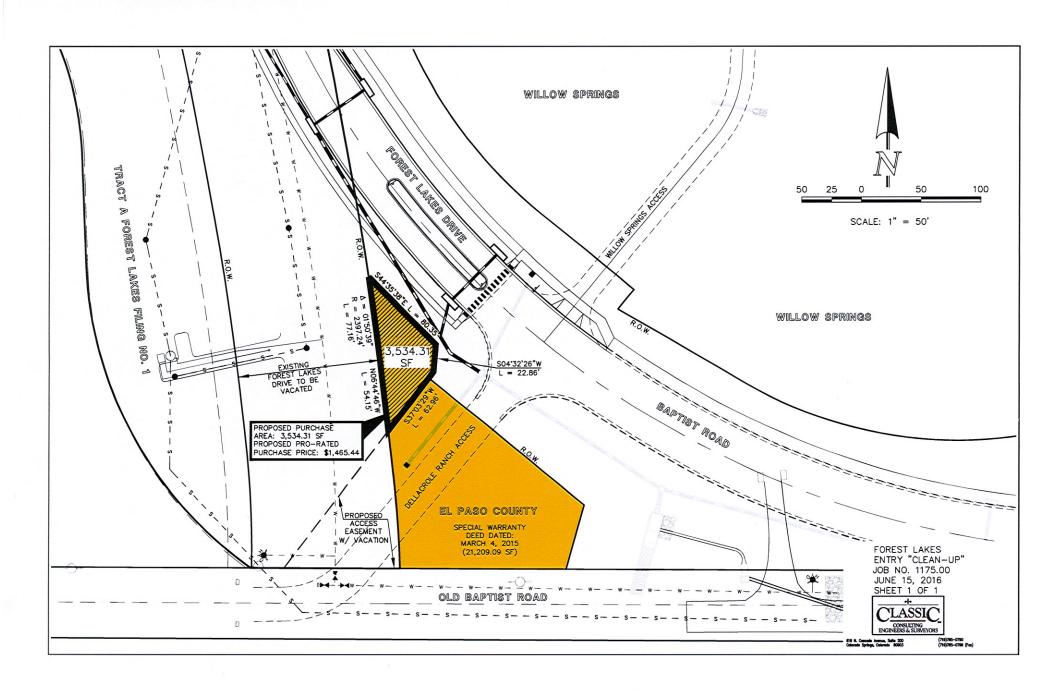
- CONTRACTOR TO FIELD VERIFY AND PROPERLY LOCATE ALL IMPROVEMENTS PRIOR TO CONSTRUCTION.
- 2. CONSTRUCTION STAKING FOR THIS PROJECT IS TO BE PROVIDED BY THE CONTRACTOR. STAKING SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND SUB-CONTRACTORS TO ESTABLISH SUFFICIENT CONTROL FOR CONSTRUCTION. ANY DETAILED LAYOUT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO CONSTRUCTION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) (811) OR 1-899-922-1987 A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION.
- 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE SITE. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES, BUILDINGS, FENCES, AND ROADWAYS FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE ABOVE WILL BE REPAIRED AT THE CONTRACTORS EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN AN ACCURATE "AS BUILT" RECORD OF ALL CONSTRUCTION AND SHALL PROVIDE SAME TO THE DESIGN PROFESSIONAL OF RECORD FOR HIS USE IN PREPARATION OF THE "AS BUILT" EXHIBITS.
- 8. THE CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS IN ACCORDANCE WITH TERMS AND CONDITIONS OF THE CONTRACT, BUT NO LESS THAN ONE (1) YEAR.

# Forest Lakes Monument Sign

SCALE: 1 DWG. #:

DWG.





Tract a and a portion of forest lakes drive as platted in forest lakes filing no. 1 recorded under reception no. 206712407 and a parcel of land described in a document recorded under reception no. 215058903, records of El Paso County, in Section 26, Township 11 South, Range 67 West of the Sixth Principal Meridian EL PASO COUNTY, COLORADO

### KNOW ALL MEN BY THESE PRESENTS:

NOW ALL MEN BY THESE PRESENTS:

HART FOREST LAKES METROPOUTAN DISTRICT, A QUASI MUNICIPAL CORPORATION AND POLITICAL SUBBINISION OF THE STATE OF COLORADO, AS TO PARCEL A; AND EL PASO COUNTY BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY, COLORADO, AS TO PARCELS B AND C, BEING THE OWNERS OF THE FOLLOWING DESCRIBED TRACT OF LAND TO

### LEGAL DESCRIPTION:

### DADCC: 4-

TRACT A, FOREST LAKES FILING NO. 1, COUNTY OF EL PASO, STATE OF COLORADO, RECORDED UNDER RECEPTION NO. 206712407. RECORDS OF EL PASO COUNTY, COLORADO.

### CONTAINING A CALCULATED AREA OF 1497 ACRES.

### PARCEI B-

A PARCEL OF LAND BEING A PORTION OF FOREST LAKES DRIVE AS PLATTED IN FOREST LAKES FILING NOT: RECORDED UNDER RECEPTION NO. 2007/12407, RECORDS OF EL PASS COUNTY, COCKRADO LOCATED IN THE SOUTHNEST CHARTER OF SECTION 28, TOWNSHEP IN 300H, RANCE 87 WEST OF THE SIXTH PRINCIPAL MEDIDIAN, EL PASO COUNTY, CO, ORADO,BEING MORE PARTICULARLY DESCRIBED AS FOLIONS:

BASS OF BEARDING THE SOUTH UNE OF THE SOUTHEAST QUARTER OF SECTION 27, TOWNSHIP SOUTH, RANGE 67 MEST OF THE SWITH PRINCIPAL MERICIAN, EL PROS COUNTY, COLORIDO SECTION 27, TOWNSHIP SOUTH, RANGE 27 MEST OF THE SWITH PRINCIPAL MERICIAN, EL PROS COUNTY, COLORIDO SECTION 27, TOWN COLORIDO SECTION 27, TOWN COLORIDO SECTION 27, TOWN CASTELLO SECTION 27, MEST DOS STANDARD STORE AT THE SOUTH COLARISE CORNER OF SAID SECTION 27, MESTING ASSUMED TO BEAR SIGNED STORE AT THE SOUTH COLARISE CORNER OF SAID SECTION 27, MESTING ASSUMED TO BEAR SIGNED STORE AT THE SOUTH COLARISE CORNER OF SAID SECTION 27, MESTING ASSUMED TO BEAR SIGNED STORE AT THE SOUTH COLARISE CORNER OF SAID SECTION 27, MESTING ASSUMED TO BEAR SIGNED STORE AT THE

COMMINGNO AT THE SOUTHMEST CORNER OF SECTION 28, TOWNSHIP 11 SOUTH, RANGE 67 MEST OF THE SERT PHINCIPAL MERIDAM, EL PASO COUNTY, COLORADO. OF THE SERT PHINCIPAL MERIDAM, EL PASO COUNTY, COLORADO. OF THE SERVICE OF THE SERVICE OF THE SOUTHMEST COUNTRY OF SAID SECTION 26, A DISTANCE OF SAID SECTION 26, A DISTANCE OF 20.78 FEET TO A POINT ON THE MORTH LINE OF SAPTIST ROOM, AS RECORDED IN BOOK 600.5 A PAGE 502 RECORDS OF EL PASO COUNTY, COLORADO. FEARO NO. 1. RECORDED UNDER RECEPTION NUMBER 2007/2467 SAID POINT BEING THE POINT OF BECOMING.

- TRACT A AS PARTED IN SAN FOREST LAKES FUNG NO. 1, THE FOLLOWING (7) SCENE CONSESS.

  ON THE ARC OF A CLIME TO THE LEFT WHOSE RADOS BEARS INSPIRATOR, MANING A RADIUS OF SPILOD FEET, A DELTA OF 072940° AND A DISTANCE OF 113,80 FEET TO A POWER OF THE TO A POWER TO THE LEFT. HAVING A DELTA OF CURVE.

  ON THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF CONTING. A RADIUS OF THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF CURVE.

  ON THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF CURVE.

  ON THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF CONTING. A RADIUS OF THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF CONTING. TO THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF CONTING. TO THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF ORD TO SURVE.

  ON THE ARC OF A CURVE, TO THE LEFT. HAVING A DELTA OF GON'S SY, A RADIUS OF STOOL THE THAN A DESTANCE OF FAULT THE TOTAL OF POWER OF THE CONTING.

THENCE S227007.4. A DISTANCE OF 246.15 FEET TO A POINT OF CHINKS.

THENCE S227007.4. A DISTANCE OF 246.15 FEET TO A POINT OF CHINKS.

THENCE ON THE ANC OF A CHINK TO THE LETT, HANNER A DILTA OF TOTYSTSO." A PARKED OF THE MESTERS IT WAS OF A PARKED OF THE MOST DESCRIBED AN DOCUMENT RECORDED WHORE RECORDING. 215059904.

RECORDING NO. 215059904.

THE MESTERS IT WAS OF A PARKED OF THAN DESCRIBED AN DESCRIBED AND DESCRIBED

THENCE CONTINUING IN SAID WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN A DOCUMENT RECORDED UNDER RECEPTION NO. 215058903 THE FOLLOWING (2) TWO COURSES

S06'44'46"E, A DISTANCE OF 89.75 FEET TO A POINT OF CURRY;

ON THE ARC OF A CURRY TO THE ROCHT, HAWGO A DELTA OF GOOG'13, A RADIUS OF S1000 FEET AND A DISTANCE OF 81.08 FEET TO A POINT ON SAID NORTHERLY RIGHT OF MAY LINE. OF BATTIST ROOM.

THENCE NB9'46'20'W ON SAID NORTHERLY RIGHT OF WAY LINE OF BAPTIST ROAD, A DISTANCE OF 124.75 FEET TO THE POINT OF BEGINNING:

CONTAINING A CALCULATED AREA OF 1.091 ACRES.

THAT PARCEL OF LAND DESCRIBED IN A SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 215058903 OF THE RECORDS OF EL PASO COUNTY, COLORADO.

CONTAINING A CALCULATED AREA OF 0.487 ACRES.

CONTAINING A TOTAL CALCULATED AREA OF 3.075 ACRES

### OWNERS CERTIFICATE:

OWNERS CERTIFICATE:

THE UNDESSORE BRIDE ALL THE OWNERS, MORTGACS, BENEFICIARIES OF DEEDS OF TRUST AND HOLDING OF OTHER HERRISTS IN THE LAND DESCRIBED HERRE, HAVE LAND OUT, SUBBOOKED, AND HEATED SAN CLANGE SITE THAT THE AND EXPENTED AS SOME DESCRIPTION AND FASTERS AND SOME OF THE AND THAT THE AND HERRIST OF THE AND THAT THE AND HERRIST AND SOME OWNERS OF HERRIST COUNTY AND HERRIST CHARLEST OF PUBLIC USE. AND SAND OWNERS DOS HERRIST COUNTY OWNERS THE HERRIST CHARLEST OWNERS THE COUNTY OWNERS TH

AS	OF	FOREST	LAKES	METROPOLITAN	DISTRICT
STATE OF COLORADO	)				
COUNTY OF EL PASO	) 55				

OF FOREST LAKES METROPOLITAN DISTRICT

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: NOTARY PUBLIC

AS \_\_\_\_\_\_ OF EL PASO COUNTY BOCC

STATE OF COLORADO ) COUNTY OF EL PASO ) 88 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ OF EL PASO COUNTY BOCC \_\_\_\_\_ AS

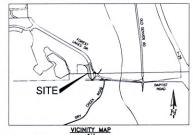
WITNESS MY HAND AND OFFICIAL SEAL.

### GENERAL NOTES:

1. DATE OF PREPARATION APRIL 7, 2017

2. BASS OF BRANCES THE SOUTH LEG OT THE SOUTHEAST QUARTER OF SECTION 27, TOMOGRAP 11 SOUTH, BANGE 67 WEST OF THE SIXTH PROMOTHAL MERIDAM, EL. PASO CAUSE AS SOUTH, BANGE 67 WEST OF THE SIXTH PROMOTHAL MERIDAM, EL. PASO CAUSE AS ASSOCIATES, INC. ESPORTED UNION RECEIPTON NO. 94400112; OF THE RECORDS OF EL. PASO COUNTY, COLONADO, MONUMENTED AT THE CAST END BY A SECTION 27 AND AT THE MEST END BY A MARKED STORE AT THE SOUTH QUARTER CORNER OF SAID SECTION 27, BENG ASSUMED TO BEAR SREDGED W, A DISTANCE OF 2627-34 FEET.

- THE TRACT OF LAND HEREIN PLATTED LIES WITHIN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL, MCRIDIAN.
- FLOODPLAIN STATEMENT: NO PORTION OF THIS SITE, FOREST LAKES FLUNG NO. 1A, IS WINN A DESCRATED F.E.M.A. FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, MAP NUMBER OBDATEOZEOF, DATED MARCH 17, 1997. (2004: X)
- 5. FIRE PROTECTION BY THE TRI-LAKES MONUMENT FIRE PROTECTION DISTRICT
- THE FOLLOWING REPORTS HAVE BEEN SUBMITTED IN ASSOCIATION WITH THE PRELIMINARY PLAN AND/OR PINAL PLAT FOR THIS SUBMISSION AND ARE ON FILE AT THE PLANNING AND COMMUNIST DEVELOPMENT DEPARTMENT PERSUMMARY/PLAN. DRAINER ERPORT, EROSION CONTROL REPORT.
- 8. THIS SURFET DOES NOT CONSTITUTE A TITLE SEARCH TO DETERMINE OWNERSHIP OR EASEMENTS OR RECORD FOR ALL INFORMATION RECORD FASSEMENTS, RIGHT-OF-WAY AND TITLE OF RECORD CASSES CORSULTING REGISTED AND RESIDENCES OF RECORD RELIED UPON COMMITMENTS FOR TITLE SURPLANCES (SURPLUS OF CAPSTONE TITLE, AS ACRET FOR STEMART TITLE QUARRANT COMPANY, FILE NO.: TORSY WITH MARK THEFTOR BOTT OF WARTH 30, 2017 AT 4 GO OM.



### GENERAL NOTES (CONT.):

- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A. CLASS TWO (2) MISDEMEANOR PUBSUANT TO CRS 18—508.
- 11. ALL PROPERTY OWNERS HEE RESPONSIBLE FOR MANTARING PROPER STORM WATER DRAHAGE IN THROUGH THEOR PROPERTY PUBLIC DRAHAGE CASEADITS STALL BE MAINTAINED BY THE INDIVIDU LOT OWNERS UNLESS OTHERWISE INDICATED. STRUCTURES, FEMCES, MATERIALS OR LANDSCAPING COULD IMPEDE THE FLOW OR RUMOTE SHALL NOT BE PLACED IN THE DRAHAGE EASEMONTS.
- COULD MATCH THE FLOW OR HANDEY SHALL NOT BE PLACED IN THE DRIANGE EXSEMPTS.

  NO LOT OR RITERST THEREIN SHALL BE SOAD, CONVEYED, OR PRANSFERRED WITHER BY DOED OF MATCH THE PLACE OF THE PLA
- ALL PROPERTY WITHIN THIS SUBDIMISION IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS FOR FOREST LAKES RESIDENTIAL, RECORDED UNDER RECEPTION NO. 215110474.
- ALL PROPERTY WITHIN THIS SUBDIVISION IS INCLUDED IN THE FOREST LAKES METROPOLITAN DISTRICT BY INSTRUMENTS RECORDED IN BOOK 5065 AT PAGE 1279 AND BOOK 5165 AT PAGE 326.
- ALL PROPERTY WITHIN THIS SUBDIVISION IS INCLUDED IN THE PINON PINES METROPOLITAN DISTRICT NO. 1 BY INSTRUMENTS RECORDED UNDER RECEPTION NO. 204033347 AND 208042748.
- THE ADDRESSES EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE.
- 17. TOTAL NUMBER OF LOTS BEING REPLATTED IN 1 TRACT.
- 18. BUTCLE THE PROPERTY WAY THE WANGER AND THE PROPERTY OF THE PROPERTY WAS THE PROPERTY OF TH
- 19. NOTICE THIS PROPERTY MAY BE IMPACTED BY MOSE AND OTHER EFFECTS OF COMBAT FIELD TRAINING CONDUCTED AT THE UNITED STATES ARE FORCE ACADEMY'S CADET'S BASIC TRAINING, LOCK'S VALLEY TRAINING AREA. IN COMMANDED WITH THIS MOTICE, THE GRANTORS (FOREST LAKES METROPUTHAN DISTRICT. A QUASY MUNICIPAL CORPORATION AND POLITICAL SUBJENCISOR OF THE STATE OF COLORADO, AND EL PASO COUNTY BY AND POLITICAL SUBDIVISION OF THE STATE OF CLORADO, AND EL PASO COUNTY BY AND HEROLOGY THE ROBUST OF COUNTY COMMISSIONATES OF EL PASO COUNTY AGREE TO WAVE AND RELIZED AND THE COUNTY OF THE PASO COUNTY AGREE TO WAVE AND AND THE COUNTY OF THE PASO OF TH
- 20. UNLESS SHOWN OTHERWISE, THE FOLLOWING EASEMENTS ARE HEREBY PLATTED:
- A. A 5.00 FOOT WIDE PUBLIC UTILITY AND PUBLIC IMPROVEMENT EASEMENT ALONG THE FRONT LINES OF EACH LOT.
- B. A 10.00 FOOT WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG THE REAR LINES OF EACH LOT.
- C. A 5.00 FOOT WIDE PUBLIC UTILITY AND DRAINAGE EASEMENT ALONG BOTH SIDE LOT LINES OF EACH LOT.
- THE SOLE RESPONSIBILITY FOR THE SURFACE MAINTENANCE OF EASEMENTS IS HEREBY VESTED WITH THE INDIVIDUAL PROPERTY OWNER UNLESS OTHERWISE NOTED.
- E. A 15.00 FOOT WIDE EASEMENT FOR PUBLIC UTILITIES ALONG THE FRONT LINES OF EACH

OUT OF A STATEMENT IS A DISTRIBUTION OF THE STATE OF COLORADO, DO I, DOUGLAS P. REPREIL A DUTY CHOSCOS PROFESSIONAL LAND SUPERIOR IN THE STATE OF COLORADO, DO I, DOUGLAS P. REPREIL A DUTY CHOSCOS THE REPRESENT THE RESEARCH OF A SURVEY MAD OF AN OFFICE AND THE STATE OF A SURVEY MAD OF AN OFFICE AND THE STATEMENT OF THE STATEMENT

I ATTEST THE ABOVE ON THIS \_\_\_\_\_DAY OF

DOUGLAS P. REINELT, PROFESSIONAL LAND SURVEYOR DATE COLORADO P.L.S. NO. 30118 FOR AND ON BEHALF OF CLASSIC CONSULTING, ENGINEERS AND SURVEYORS, T.C.

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THESE YEARS AFTER YOU FIRST DISCORES SUCH DEFECT. IN NO COVET, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HERCON.

### BOARD OF COUNTY COMMISSIONERS CERTIFICATE

PRESIDENT, BOARD OF COUNTY COMMISSIONERS DATE DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT DATE

CLERK AND RECORDERS

COUNTY OF EL PASO )

RECORDER: CHUCK BROERMAN, RECORDER DEPUTY FEE:

BRIDGE FEE: PARK FEE DRAINAGE FEE:

> PRELIMINARY THIS DOCUMENT HAS NOT BEEN PLAT CHECKED

### OWNERS:

FOREST LAKES METROPOLITAN DISTRICT, A QUASI MUNICIPAL CORPORATION AND POLITICAL SUBDIVISION OF THE STATE 1111 MAIN ST. STE. 1600 KANSAS CITY, MO 64105-2116

EL PASO COUNTY BY AND THROUGH THE BOARD OF COUNTY COMMISSIONERS OF EL PASO COUNTY 200 S. CASCADE AVE. COLORADO SPRINGS, CO 80903-2202

REVISION 1 COUNTY COMMENTS 5/26/17 3 COUNTY COMMENTS 7/26/17 4 COUNTY COMMENTS 9/5/17

FOREST LAKES FILING NO. 1A JOB NO. 1175.00 APRIL 7, 2017 SHEET 1 OF 2

4 CLASSIC CONSULTING ENGINEERS & SURVEYORS

619 N. Coscode Avenue, Suite 200 Colorado Springe, Colorado 80903

PCDD FILE NO. VR-17-003

# **VACATION AND REPLAT** FOREST LAKES FILING NO. 1A

Tract a and a portion of forest lakes drive as platted in forest lakes filing no. 1 recorded under reception no. 203712407 and a parcel of land described in a document RECORDED UNDER RECEPTION NO. 215058903. RECORDS OF EL PASO COUNTY, IN SECTION 26, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN

