



# EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT SIGN APPLICATION

DATE: \_\_\_\_\_

### Business

Name: FOREST LAKES ENTRY  
Address: 2105 FOREST LAKES DRIVE

Zone: PUD  
Legal Description: FOREST LAKES FILING NO. 1A TRACT A

### Type of Sign

Illuminated: X  
Non-Illuminated: \_\_\_\_\_  
Valuation: \$120,000

Storefront Length &/or Width: 45' x 4'-9"  
ACTUAL SIGNAGE  
Proposed Sign Sq. Ft. 123

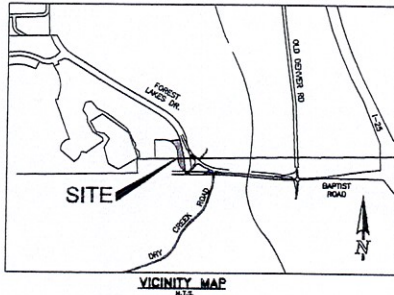
Existing Sign Sq. Ft. N/A  
Total Sign Sq. Ft. 123

### Contractor Information

Name: CLASSIC HOMES  
Address: 6385 CORPORATE DR., CO. 80919  
Phone: 719-499-3818  
Type of License: A-2  
Contractor ID# 18167

### Vicinity Map

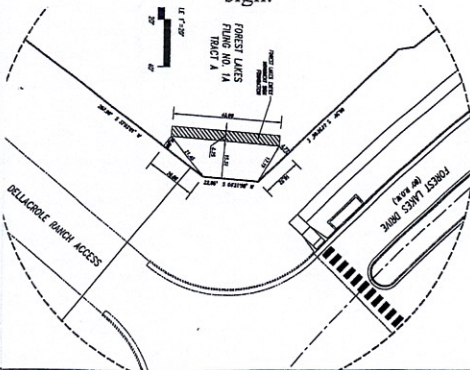
Tax Schedule # 7126000042  
Please show major intersections.



VICINITY MAP  
A-1.2

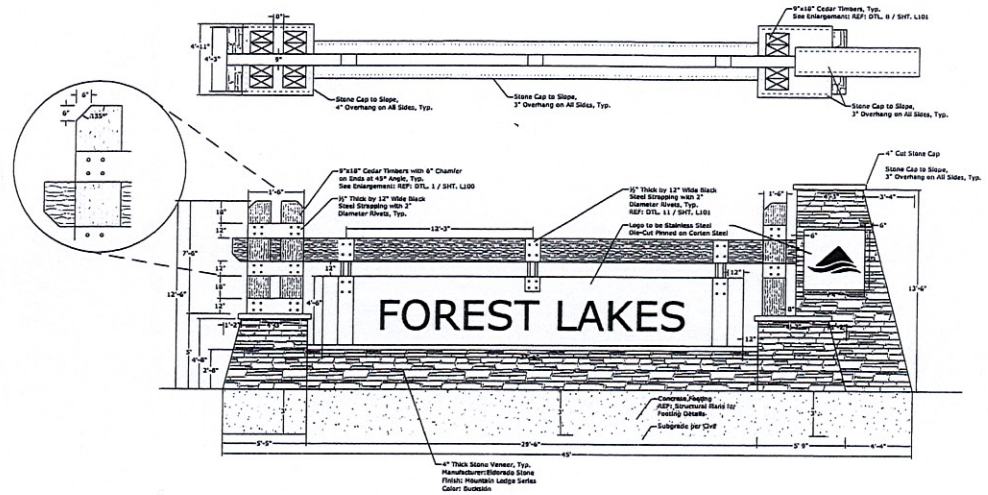
### Elevation Drawing

Indicate storefront length & placement of sign.



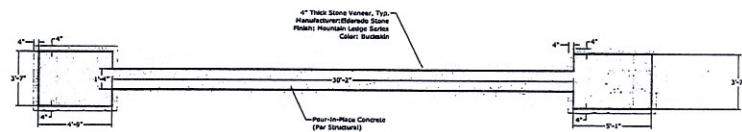
### Sign Plan

(Please indicate dimensions and sign copy)



1 MONUMENT SIGN

SCALE: NOT TO SCALE



### For Planning & Community Development Use Only

Approved Date: \_\_\_\_\_  
Denied Date: \_\_\_\_\_  
Comments: \_\_\_\_\_

Approved

By: Raimere Fitzpatrick  
Date: 10/09/2017



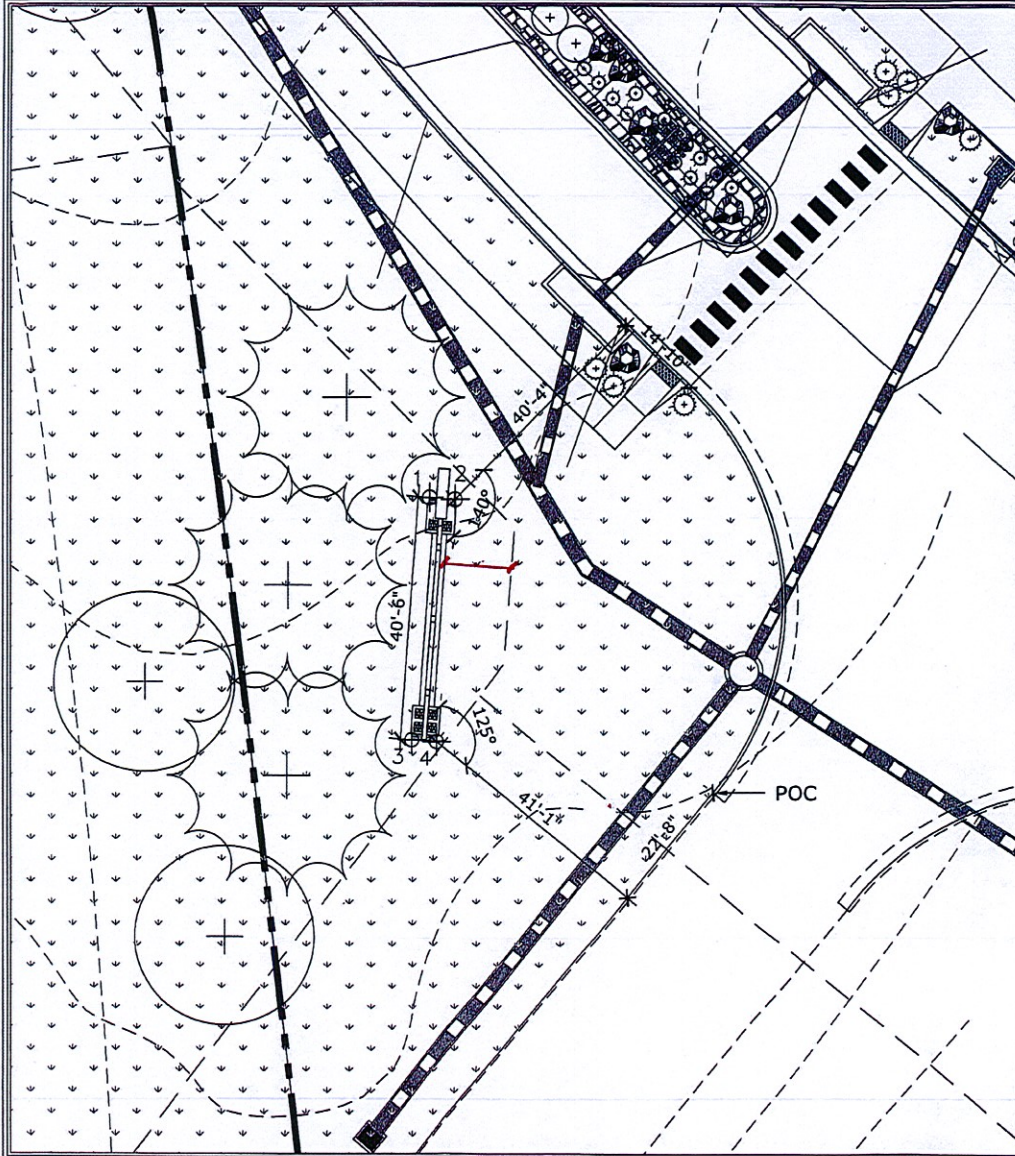
El Paso County Planning & Community Development

Fee of \$262.00 must accompany this Application. Additional signs at time of first Application are \$125.00. Make checks payable to El Paso County.









## NORTHING/EASTING POINT SCHEDULE

POINT	DESCRIPTION	NORTHING	EASTING
1	NW CORNER	N 12893.8608	E 18815.7816
2	NE CORNER	N 12893.5400	E 18820.0195
3	SW CORNER	N 12853.4763	E 18812.7248
4	SE CORNER	N 12853.1555	E 18816.9627

## GENERAL CONSTRUCTION NOTES

1. CONTRACTOR TO FIELD VERIFY AND PROPERLY LOCATE ALL IMPROVEMENTS PRIOR TO CONSTRUCTION.
2. CONSTRUCTION STAKING FOR THIS PROJECT IS TO BE PROVIDED BY THE CONTRACTOR. STAKING SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND SUB-CONTRACTORS TO ESTABLISH SUFFICIENT CONTROL FOR CONSTRUCTION. ANY DETAILED LAYOUT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. PRIOR TO CONSTRUCTION, CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) (811) OR 1-899-922-1987 A MINIMUM OF 72 HOURS PRIOR TO ANY EXCAVATION.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE SITE. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NON-EXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES, BUILDINGS, FENCES, AND ROADWAYS FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE ABOVE WILL BE REPAIRED AT THE CONTRACTORS EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE "AS BUILT" RECORD OF ALL CONSTRUCTION AND SHALL PROVIDE SAME TO THE DESIGN PROFESSIONAL OF RECORD FOR HIS USE IN PREPARATION OF THE "AS BUILT" EXHIBITS.
8. THE CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS IN ACCORDANCE WITH TERMS AND CONDITIONS OF THE CONTRACT, BUT NO LESS THAN ONE (1) YEAR.

N.E.S. Inc.  
619 N. Cascade Ave.  
Suite 100  
Colorado Springs, CO 80901  
Tel. 719.475.0277  
Fax 719.471.0297  
www.nesinc.com



## Forest Lakes Monument Sign

DATE: 6.1.17  
ISSUED FOR:  
DRAWN BY: B. Jackson  
DWG. REF.:

SCALE: 1:20  
DWG. #:

**CLASSIC**  
**HOMES**  
 6385 Corporate Drive  
 Colorado Springs, Colorado 80914  
 (719) 542-4333

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**PLOT PLAN**

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Drawn by: RMC

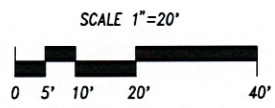
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PUD      OCTOBER 2, 2017

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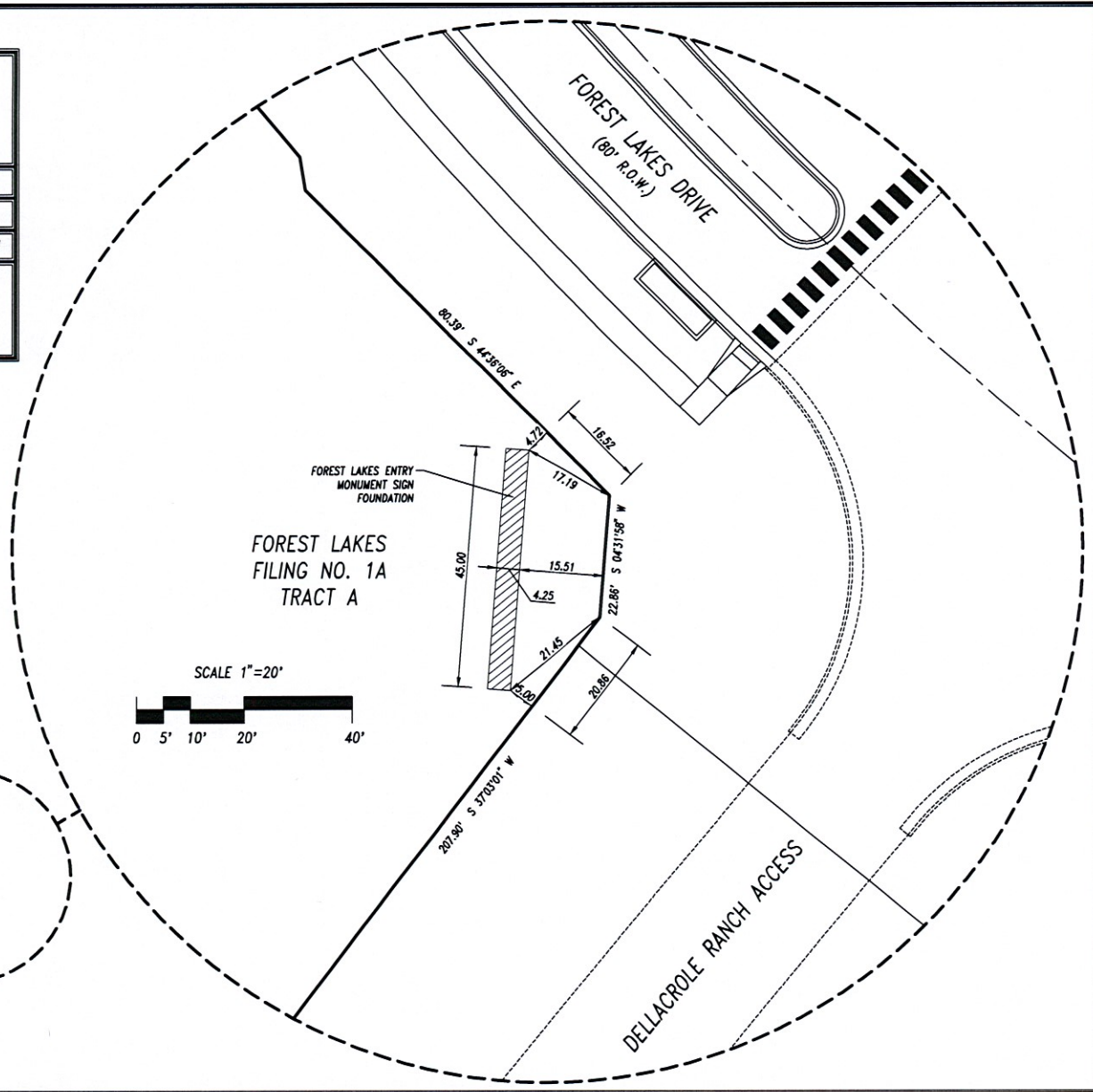
**LEGAL DESCRIPTION**

ADDRESS: 2105 FOREST LAKES DRIVE  
 DESCRIPTION: TRACT A, FILING 1A  
 FOREST LAKES  
 COLORADO SPRINGS, COLORADO  
 EL PASO COUNTY



FOREST LAKES  
 FILING NO. 1A  
 TRACT A

SCALE 1"=100'



WILLOW SPRINGS



50 25 0 50 100

SCALE: 1" = 50'

TRACT A FOREST LAKES FILING NO. 1

FOREST LAKES DRIVE

WILLOW SPRINGS ACCESS

WILLOW SPRINGS

BAPTIST ROAD

EL PASO COUNTY

SPECIAL WARRANTY  
DEED DATED:  
MARCH 4, 2015  
(21,209.09 SF)

OLD BAPTIST ROAD

$S44^{\circ}35'36''E$   $L = 80.35'$   
 $\Delta = 01^{\circ}50'39''$   
 $R = 2397.24'$   
 $L = 77.16'$

3,534.31 SF

$S04^{\circ}32'26''W$   
 $L = 22.86'$

$N06^{\circ}44'46''W$   
 $L = 54.15'$

$S37^{\circ}03'29''W$   
 $L = 82.99'$

PROPOSED PURCHASE  
AREA: 3,534.31 SF  
PROPOSED PRO-RATED  
PURCHASE PRICE: \$1,465.44

PROPOSED  
ACCESS  
EASEMENT  
W/ VACATION

DELLACROLE RANCH ACCESS

EXISTING  
FOREST LAKES  
DRIVE TO BE  
VACATED

FOREST LAKES  
ENTRY "CLEAN-UP"  
JOB NO. 1175.00  
JUNE 15, 2016  
SHEET 1 OF 1



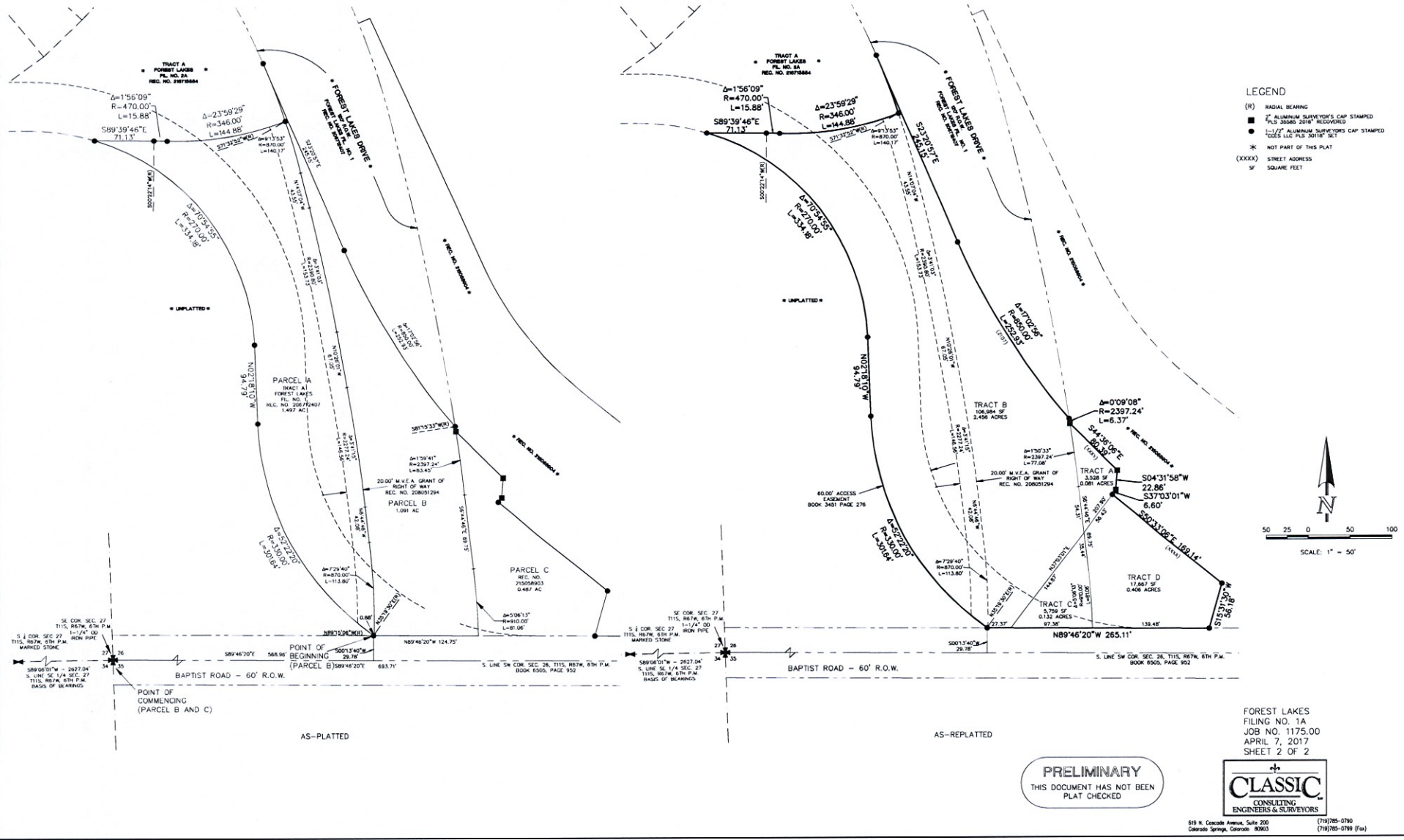
618 N. Cascade Avenue, Suite 202  
Colorado Springs, Colorado 80903 (719)785-0790  
(719)785-0788 (Fax)



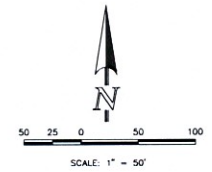


# VACATION AND REPLAT FOREST LAKES FILING NO. 1A

TRACT A AND A PORTION OF FOREST LAKES DRIVE AS PLATTED IN FOREST LAKES FILING NO. 1 RECORDED UNDER RECEPTION NO. 206712407 AND A PARCEL OF LAND DESCRIBED IN A DOCUMENT RECORDED UNDER RECEPTION NO. 215068903, RECORDS OF EL PASO COUNTY, IN SECTION 26, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN  
EL PASO COUNTY, COLORADO



- LEGEND**
- (R) RADIAL BEARING
  - ALUMINUM SURVEYOR'S CAP STAMPED "PLS 3088 2016" RECORDED
  - 1-1/2" ALUMINUM SURVEYOR'S CAP STAMPED "COLES LLC PLS 3018" SET
  - \* NOT PART OF THIS PLAT
  - (XXXX) STREET ADDRESS
  - sq SQUARE FEET



**PRELIMINARY**  
THIS DOCUMENT HAS NOT BEEN  
PLAT CHECKED

**CLASSIC**  
CONSULTING  
ENGINEERS & SURVEYORS

619 N. Cascade Avenue, Suite 200  
Colorado Springs, Colorado 80903 (719)785-0790  
(719)785-0798 (fax)

FOREST LAKES  
FILING NO. 1A  
JOB NO. 1175.00  
APRIL 7, 2017  
SHEET 2 OF 2

N:\117502\DRAWINGS\117502\_P\117502\_P1.dwg 9:20:20 4/2/17 PW: JLS