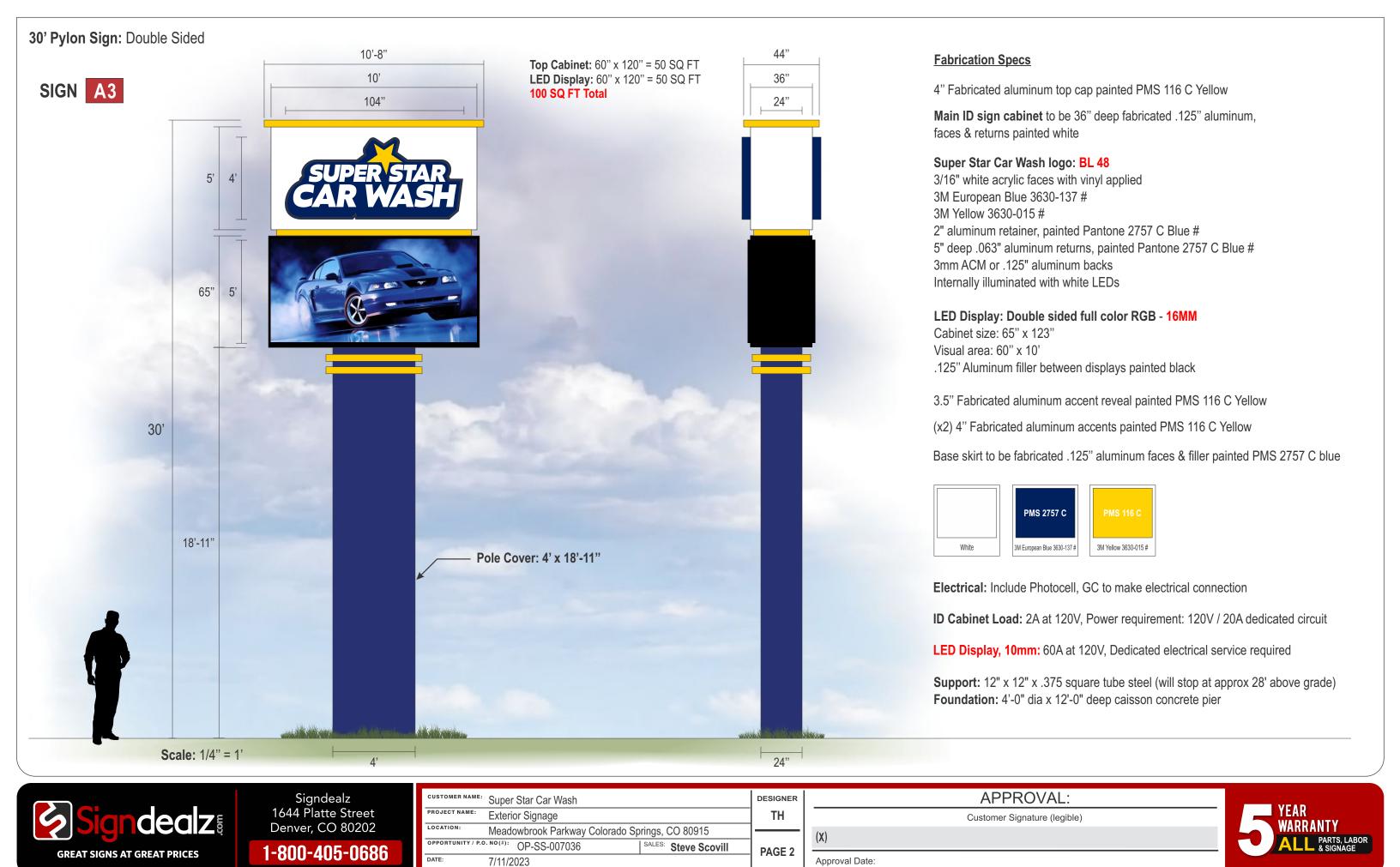
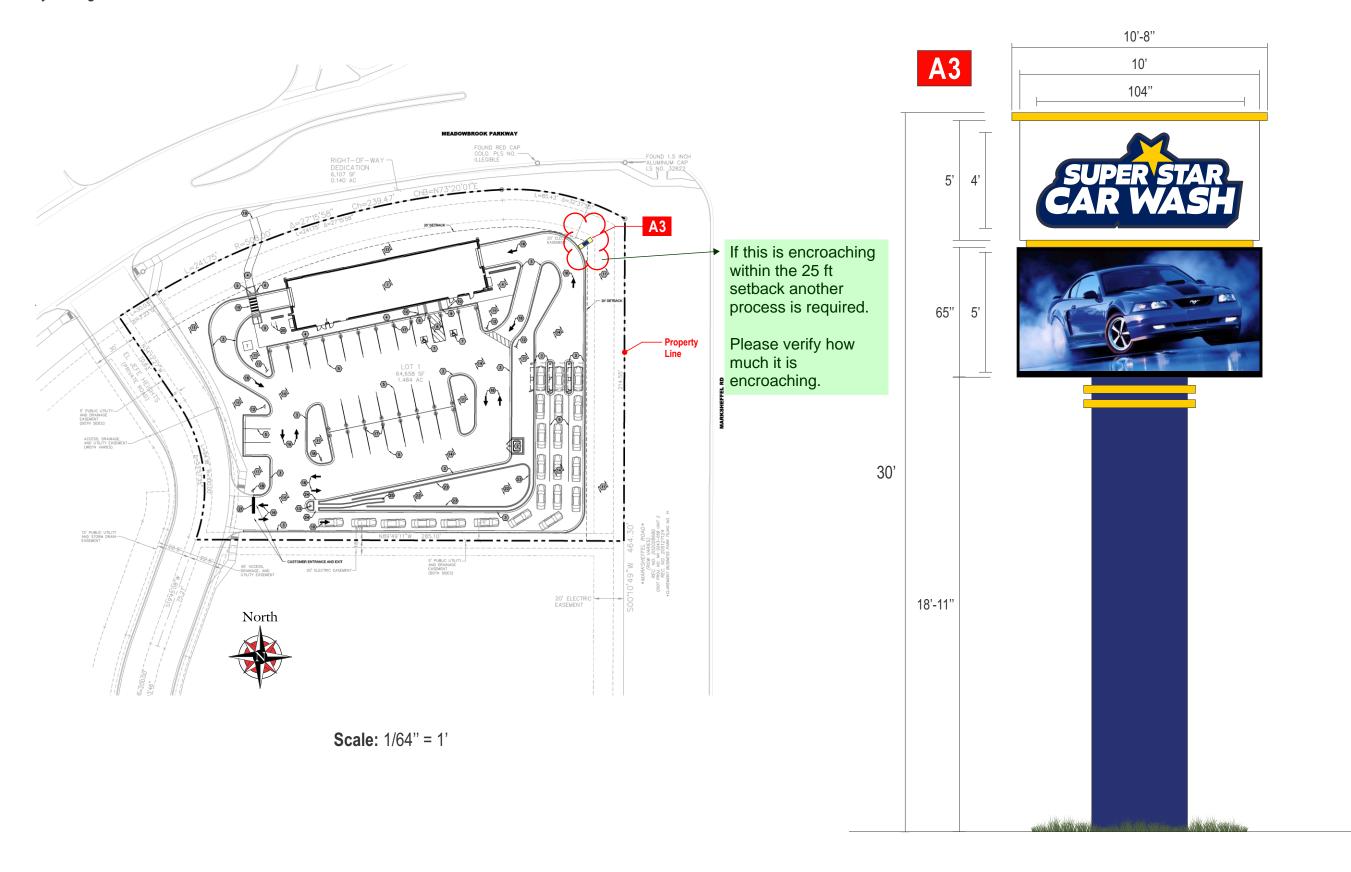


Meadowbrook Parkway, Colorado Springs, CO 80915









Signs installed over any easements require approval in writing by the entity or entities having jurisdiction over the easement



Site Plan: 30' Pylon Sign

Code summary: Freestanding signs:

Number of Freestanding Signs = Commercial Lot or Parcel Less than 10 Acres in Area 1 sign is allowed per road frontage.

Area of Freestanding Signs = Commercial Lot or Parcel Less than 8 Acres in Area the maximum area of each sign shall be 40 square feet.

LED display: Submit proposal for review

Variation in Size of Sign.

Allowable Freestanding Sign Area Not Associated with a Building: The maximum freestanding sign area shall be 40 square feet where no building is present.

Reduction in Freestanding Sign Area: When an attached sign and/or flag and freestanding sign are located along the same building wall, the total allowable area of the freestanding sign shall, when combined with the area of attached signs and/or flag, not exceed the maximum size allowed under the General Freestanding Section above.

Increase in Freestanding Sign Area Along Arterial: When a freestanding sign is located along an arterial or expressway identified in the MTCP, the allowable freestanding sign area shall be 125% of the sign area otherwise allowed by this Code. The 25% increase shall be added after determining the maximum sign area allowed by this Code.

Increase in Freestanding Sign Address Provision: If freestanding sign copy includes an address, up to 20 square feet of the area of the sign devoted to the address will not count against the allowable sign area.

Increase in Freestanding Sign Area Associated with Drive-Thu. 2 additional signs up to 32 square feet in size each and no more than 7 feet in height are permitted in association with a commercial drive-thru.

Location of Freestanding Signs.

Low Profile Signs may be located in a setback area, but shall be located no closer than 3 feet from a lot, parcel, or tract line.

All other freestanding signs exceeding 6 feet in height shall be setback a minimum of 10 feet from a lot, parcel, or tract line.

Height of Freestanding Signs. The maximum height of a freestanding sign shall not exceed the height of the building with which the sign is associated.

If located adjacent to or within 300 feet of a grade-separated intersection or interstate highway, the maximum height of the sign shall not exceed the maximum height allowed in the zoning district.

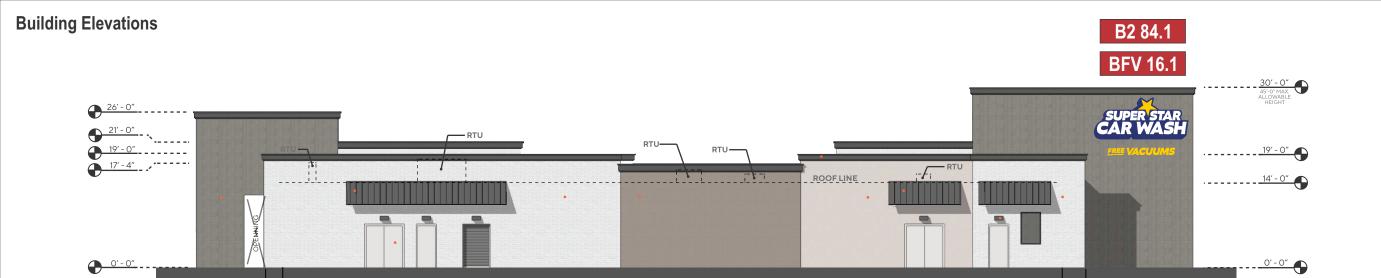
Minimum Separation of Freestanding Signs. No freestanding sign shall be closer than 500 feet to any other freestanding sign along the same road frontage is the signs are located in the same commercial center or industrial center.



Signdealz 1644 Platte Street Denver, CO 80202 **1-800-405-0686**

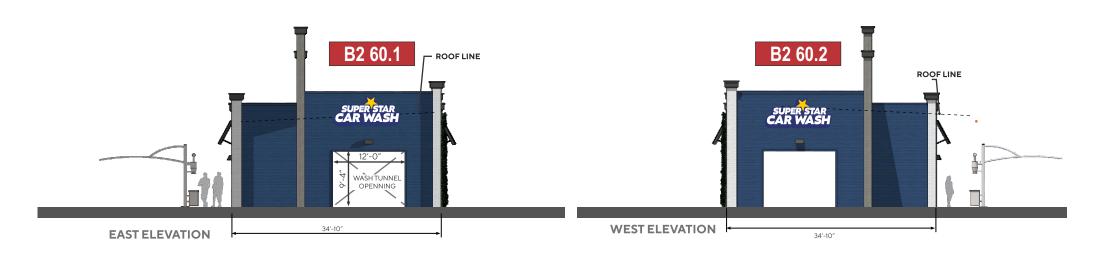
			1
CUSTOMER NAME:	Super Star Car Wash		DESIGNER
PROJECT NAME:	Exterior Signage		TH
LOCATION:	Meadowbrook Parkway Colorado Sp	orings, CO 80915	
OPPORTUNITY / P.O	OP-SS-007036	SALES: Steve Scovill	PAGE 4
DATE:	7/11/2022		IAGET





130'-0" WASH TUNNEL





Scale: 1/16" = 1'

Code summary

Building signs:
No maximum # of signs

Maximum Sign Area Per Building Wall:

Building Walls within 300 Feet of Lot Line in Commercial Zoning Districts or Industrial Zoning Districts: 1½ square feet of attached signage is allowed per linear foot of building wall, or 300 square feet, whichever is less.

N&S elevations (166' long) = 249 SF per elevation E&W elevations (34.10" wide) = 52 SF per elevation $34.10 \times 1.5 = 51.15$, rounding to 51.2 ft not 52 ft.



SOUTH ELEVATION

Main ID Signs: North & South Elevations





Fabrication Specs

"SUPER STAR CAR WASH": Illuminated channel letters 3/16" white acrylic faces
1" trimcap aluminum, painted Pantone 2757 C Blue #
5" deep .063" aluminum returns, painted Pantone 2757 C Blue #

"STAR": Illuminated channel letter 3/16" white acrylic face with 3M Yellow 3630-015 Yellow # 1" trimcap aluminum, painted Pantone 116 C Yellow # 5" deep .063" aluminum returns, painted Pantone 116 C Yellow #

3mm ACM or .125" aluminum backs Internally illuminated with white LEDs Power supplies housed inside backer panel

Flush mounted to contour backer panel

Backer panel: .125" aluminum faces with 4" deep returns painted Pantone 2757 C Blue # Flush mounted with 3/8" expansion anchors, 6 typical

Exact attachment as per field conditions / code requirements

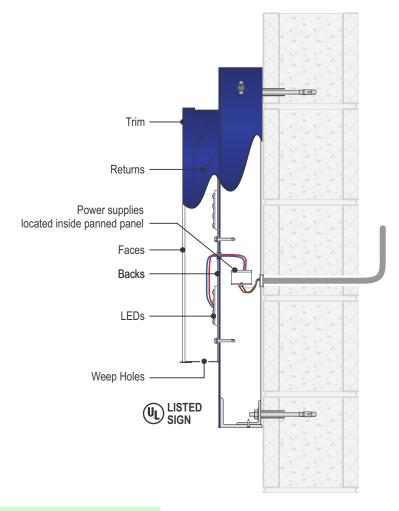






Electrical: Include Photocell, GC to make electrical connection **Load:** 4A at 120V, Power requirement: 20A dedicated circuit

Attachment: 3/8" expansion anchors, 6 typical Exact attachment as per field conditions / code requirements



15 ft and 9 inches x 7 ft = 110.25 sq ft, please revise





Signdealz 1644 Platte Street Denver, CO 80202

1-800-405-0686

CUSTOMER NAME: Super Star Car Wash

PROJECT NAME: Exterior Signage

LOCATION: Meadowbrook Parkway Colorado Springs, CO 80915

OPPORTUNITY / P.O. NO(#): OP-SS-007036 | SALES: Steve Scovill

DATE: 7/11/2023

APPROVAL:
Customer Signature (legible)
(X)
Approval Date:



SIGN TYPE BFV 16

11'-4"

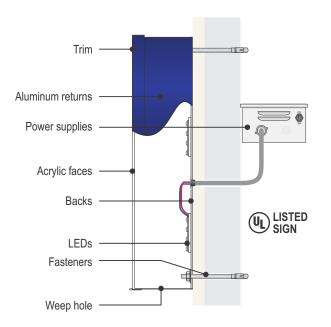
15 SQ FT

11'-4"

15 SQ FT

11'-4"

5" deep .040" aluminum returns, painted PMS 2757 C Blue #



QTY: 2

Fabrication Specs:

Standard flush mounted, face lit channel letters

3/16" white acrylic faces with vinyl applied 3M 3630-015 Yellow # 1" trimcap, painted Pantone 2757 C Blue # 5" deep .040" aluminum returns, painted PMS 2757 C Blue # 3mm ACM or .063" aluminum backs Internally illuminated with white LEDs

Attachment: 3/8" expansion anchors, 3-4 per letter Exact attachment as per field conditions / code requirements

Electrical: Include Photocell, GC to make electrical connection Load: 2A at 120V, Power requirement: 20A dedicated circuit









Signdealz 1644 Platte Street Denver, CO 80202 **1-800-405-0686**

CUSTOMER NAME:	Super Star Car Wash		DESIGNER
PROJECT NAME:	Exterior Signage		TH
LOCATION:	Meadowbrook Parkway Colorado Sp		
OPPORTUNITY / P.C	OP-SS-007036	SALES: Steve Scovill	PAGE 7
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Main ID Signs: East & West Elevations





Fabrication Specs

"SUPER STAR CAR WASH": Illuminated channel letters 3/16" white acrylic faces
1" trimcap aluminum, painted Pantone 2757 C Blue #
5" deep .063" aluminum returns, painted Pantone 2757 C Blue #

"STAR": Illuminated channel letter 3/16" white acrylic face with 3M Yellow 3630-015 Yellow # 1" trimcap aluminum, painted Pantone 116 C Yellow # 5" deep .063" aluminum returns, painted Pantone 116 C Yellow #

3mm ACM or .125" aluminum backs Internally illuminated with white LEDs Power supplies housed inside backer panel

Flush mounted to contour backer panel

Backer panel: .125" aluminum faces with 4" deep returns painted Pantone 2757 C Blue # Flush mounted with 3/8" expansion anchors, 6 typical

Exact attachment as per field conditions / code requirements

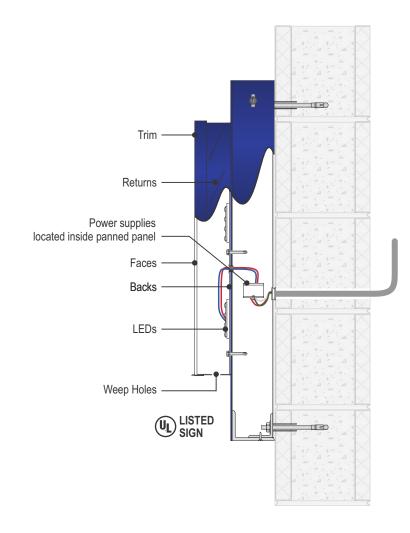
White

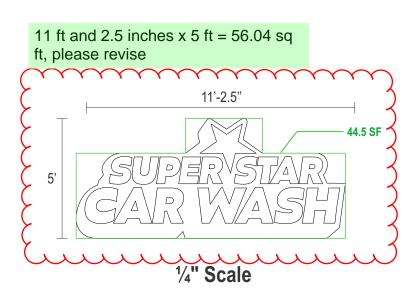




Electrical: Include Photocell, GC to make electrical connection **Load:** 4A at 120V, Power requirement: 20A dedicated circuit

Attachment: 3/8" expansion anchors, 6 typical Exact attachment as per field conditions / code requirements







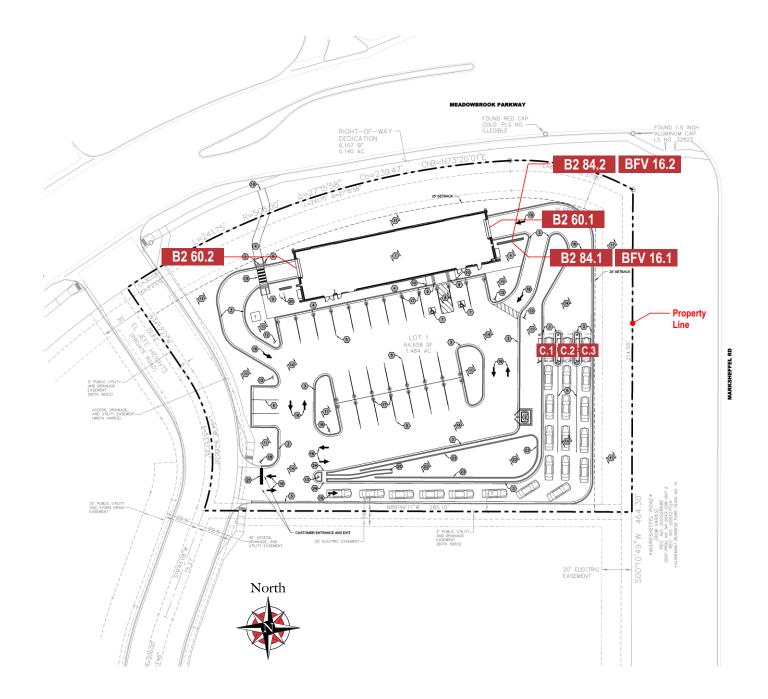
Signdealz 1644 Platte Street Denver, CO 80202

1-800-405-0686

CUSTOMER NAME:	Super Star Car Wash		DESIGNER	
PROJECT NAME:	Exterior Signage		TH	
LOCATION:	Meadowbrook Parkway Colorado Sp	rings, CO 80915		
OPPORTUNITY / P.O	OP-SS-007036	SALES: Steve Scovill	PAGE 8	
DATE:	7/11/2023		IAGE	

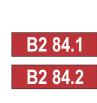


Site Plan: Building Signs



Scale: 1/64" = 1'







BFV 16.1 BFV 16.2



15 SQ FT each





44.5 SF each











C.3

LEFT LANE

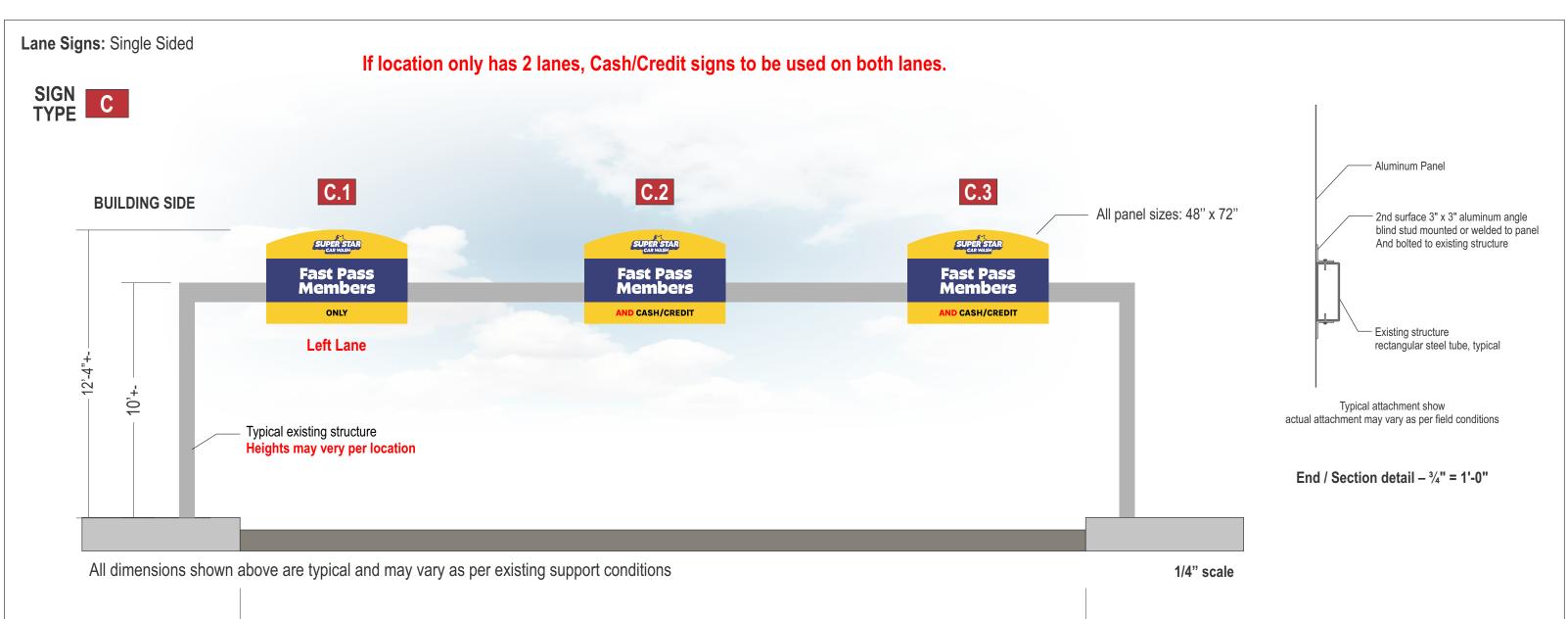
Code summary: Building signs

No maximum # of signs

Maximum Sign Area Per Building Wall:

Building Walls within 300 Feet of Lot Line in Commercial Zoning Districts or Industrial Zoning Districts: 1½ square feet of attached signage is allowed per linear foot of building wall, or 300 square feet, whichever is less.

N&S elevations (166' long) = 249 SF per elevation E&W elevations (34.10" wide) = 52 SF per elevation



35'0" to 36'-0" (Typical)

QTY: 3

Fabrication Specs

Panels: .125" painted aluminum with cast, printed vinyl applied as required

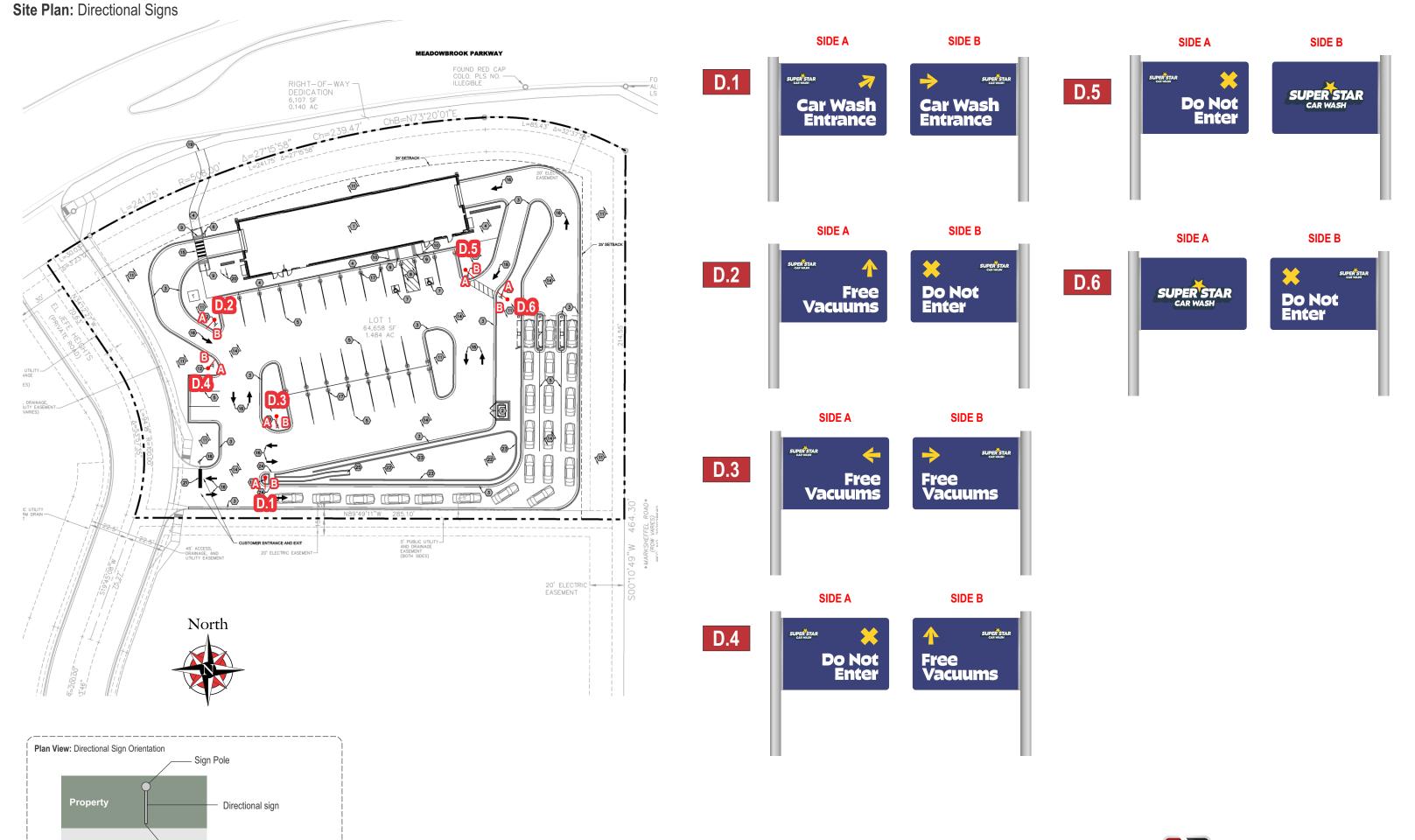
Printed vinyl to have UV laminate Backs painted PMS 2757 C Blue #

Signdealz §	Signidealz	CUSTOMER NAME: Super Star Car Wash PROJECT NAME: Exterior Signage LOCATION: Meadowbrook Parkway Colorado Springs, CO
GREAT SIGNS AT GREAT PRICES	1-800-405-0686	OPPORTUNITY / P.O. NO(#): OP-SS-007036 SALES: S1

ISTOMER NAME:	Super Star Car Wash		DESIGNER	APPROVAL:
OJECT NAME:	AME: Exterior Signage		TH	Customer Signature (legible)
CATION:	Meadowbrook Parkway Colorado Springs, CO 80915			- (x)
PORTUNITY / P.O	OP-SS-007036	SALES: Steve Scovill	PAGE 10	
TE:	7/11/2023		FAGE 10	Approval Date:







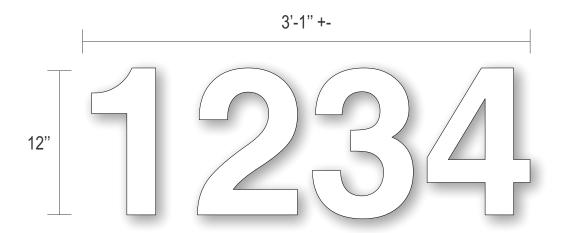
Sign "Flag"

12" Maximum from street/drive/sidewalk

Street/Drive/Sidewalk



Building Address Numbers: Typical



Scale: 1-1/2" - 1'

Fabrication Specs:

12" high. formed plastic, 1" deep **Font**: Helvetica

Color will vary per site, typically black for light colored fascias, white for dark colored fascias

Stud mounted flush, include paper pattern



Signdealz 1644 Platte Street Denver, CO 80202 1-800-405-0686

CUSTOMER NAME: Super Star Car Wash

PROJECT NAME: Exterior Signage

LOCATION: Meadowbrook Parkway Colorado Springs, CO 80915

OPPORTUNITY / P.O. NO (#): OP-SS-007036

DATE: 7/11/2023

DESIGNER

TH

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CUSTOMER (ONLY)

Color Disclaimer Note

By Initialing this Box, Customer "Agrees" that He/She "Approves" of the following Colors and Materials specifications listed.

Customer "Agrees" that Signdealz is "not" responsible for Color Accuracy if Physical Samples have "not" been provided. It is the Customers responsibility to Request Physical Samples.

COLORS & MATERIALS







LIGHTING

White LED's

APPROVAL OF COLOR(S) & MATERIAL(S):





CUSTOMER (ONLY)

Electrical Disclaimer Note:

Unless otherwise Noted in Contract, Electrical "Runs" or Final Electrical Connection Charges are not included. Illuminated Displays are Wired for 120V unless otherwise indicated on Drawing.

Electrical Disclaimer Acknowledgement:

Customer Initials

Approval Date:

Sign Removal / Structure Repair Disclaimer Note:

Unless otherwise Noted in Contract, No repair / refinishing of existing structure(s) is included with any sign removals.

Signdealz recommends any repair / refinishing be completed by customer between sign removal and new sign install

Sign Removal / Structure Repair
Acknowledgment:

Customer Initials

Approval Date:

LANDLORD/MANAGEMENT (ONLY)

Landlord / Mgmt. Approval Required:

As the Manager / Landlord / Homeowners Association Representative / Owner of the above mentioned property, I (we) represent that I (we) have the authority to sign this Approval Authorization and hereby do "Authorize" installation of Outdoor Signage at the above-mentioned address by Signdealz, Inc. of their authorized subcontractor. I (we) have reviewed the Sign Specification package, and "Approve" the modifications to the property listed on the Sign Specifications package.

Landlord / Mgmt. Initials	Approval Date:

Landlord / Management:

Print Name:	
Address:	
Phone:	
Email:	



Signdealz 1644 Platte Street Denver, CO 80202 **1-800-405-0686**

CUSTOMER NAME:	Super Star Car Wash		DESIGNER
PROJECT NAME:	Exterior Signage		TH
LOCATION:	Meadowbrook Parkway Colorado Sp	rings, CO 80915	
OPPORTUNITY / P.O	· NO(#): OP-SS-007036	SALES: Steve Scovill	PAGE 14
DATE:	7/11/2023		I AGE 14

