

Colorado Springs, CO

Planning and Development
30 S. Nevada Ave., Suite 701
Colorado Springs, CO 80903



Final Report - Corrections Required **Application No. DEPN-24-0160**

Report Date: 11/08/2024

Description : Multi-family development with 170 rental duplex units on one development lot. Also a request for alternate landscape compliance related to placement of streamside overly and property boundary buffer plantings, and to be allowed to provide 9.4% active open space where 10% is required.

Address : 2210 Old Ranch RD Colorado Springs CO 80920

Record Type : Development Plans

Document Filename : Cottages at Kettle Creek DP_1st_Submittal_101524.pdf

Comment Author Contact Information:

Reviewer Name	Reviewer Email	Reviewer Phone No.:
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Don Smith	donald.smith@asd20.org	-
Amy Vanderbeek	amy@pprbd.org	-
Matthew Alcuran	malcuran@csu.org	-
Caroline Miller	Caroline.Miller@coloradosprings.gov	719-385-6089
Allison Stocker	Allison.Stocker@coloradosprings.gov	-
Austin Cooper	Austin.Cooper@coloradosprings.gov	-
Steve Smith	steven.smith@coloradosprings.gov	-
Joel Dagnillo	Joel.Dagnillo@coloradosprings.gov	-
Gregory Stachon	gregory.stachon@coloradosprings.gov	719-385-5613
Jonathan Scherer	Jonathan.Scherer@coloradosprings.gov	-

General Comments

Comment ID	Reviewer : Department	Review Comments
46	Jonathan Scherer : City Engineering - SWENT	Info Only: Please contact the Lead Reviewer, Jonathan, with any questions. Please reference the Planning review number in all communications. jonathan.scherer@coloradosprings.gov
47	Jonathan Scherer : City Engineering - SWENT	The drainage memo (STM-REV24-1079) was approved 9/26/24.
48	Jonathan Scherer : City Engineering - SWENT	A PDR/FDR is required for this project. The PDR (STM-REV24-1247) has been reviewed. All major comments on the PDR must be resolved prior to approval of this DP.

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49	Jonathan Scherer : City Engineering - SWENT	<p>Info Only: The Stormwater Enterprise (SWENT) has recently updated Criteria regarding required submittals.</p> <p>For all Development Plans (DPs) which previously required a Final Drainage Report (FDR) submittal (generally, all DPs with 1 acre or more of earth disturbance proposed), a Preliminary Drainage Report (PDR) submittal is now acceptable instead of an FDR submittal. This change in Criteria allows for such DPs to be approved without requiring detailed, final drainage design calculations at the planning stage of the project.</p> <p>For DPs with less than 1 acre of earth disturbance proposed, a Final Drainage Letter (FDL) submittal is required.</p> <p>A PDR submittal is now acceptable instead of an FDR submittal in support of a Final Plat (FP). The PDR must be approved before the FP can be recorded.</p> <p>An FDR may still be submitted in support of DP or FP approval if final design information is available at the time of the DP or FP submittal. FDR Addendums are no longer accepted. All required final calculations must be included in the FDR prior to FDR approval.</p> <p>FDR approval is still a prerequisite for Construction Drawing (CD) approval (e.g., GEC Plan, Drainage Plan/Profile, PCM Plan, etc.).</p> <p>Master Development Drainage Plans (MDDPs) are no longer required for DPs with 10 or more acres of earth disturbance proposed.</p> <p>Please see SWENT's website for updated checklists: https://coloradosprings.gov/stormwater-enterprise/page/stormwater-review</p>
50	Jonathan Scherer : City Engineering - SWENT	It appears that a portion of the floodway is on the Site, revise floodplain statement too.
51	Jonathan Scherer : City Engineering - SWENT	The Four Step Process and detention requirements must be met for this site, as disturbance is greater than 1 acre. Show provisions for WQ/Detention or provide a note on the cover sheet stating the name and location of the existing facility that provides water quality and detention for the site. The note must include the full FDR name that designed the PCM, who prepared that report, and the approval date of the report. If this Site is a redevelopment, detention may not be required if the downstream drainage system is shown to have capacity for the proposed developed flow.
52	Jonathan Scherer : City Engineering - SWENT	This development is adjacent to Kettle Creek. Per the DPBS, stream improvements may be required. Please reach out to SWENT to determine if channel improvements are required.
53	Jonathan Scherer : City Engineering - SWENT	A portion of the development appears to be within the 100-year floodplain. Please coordinate with the PPRBC floodplain administrator on any requirements needed for work within the floodplain. Please include all related correspondence and/or approval from floodplain administrator in the PDR/FDR for this site.
82	Austin Cooper : Planning	Please provide an Amendment History Table stating the City File #, Approval Date, and Purpose.
84	Austin Cooper : Planning	Upon resubmittal, please go to your Accela project page by looking up your application record number (ex. DEPN-24-0000 or SUBD-24-0000). Once there, select the button that says "Digital Projects". This will take you to a page where all open reviewer comments will be displayed and you will have the option to type in responses. You are required to respond to all open review comments before you can resubmit. After entering all responses, the website will prompt you to move forward and upload your revised documents. Please reach out to your Planner if you have any questions or issues with your resubmittal.
85	Austin Cooper : Planning	Please include your signed copy of the public notice affidavit with the resubmittal package. The project will not be approved until this document has been provided back to your Planner.
86	Austin Cooper : Planning	Staff reserves the right to provide additional comments with new or updated information provided in subsequent submittals.

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87	Austin Cooper : Planning	Staff is still receiving comments from the neighborhood at the time the review letter is being sent. Staff will send a completed list of comments to the applicant that they will need to respond to in a comment response letter due at time of resubmittal.
21	Amy Vanderbeek : Regional Building-Enumerations	<p>1. Note: There are only 2 of the standalone services to duplexes and house panel service meters.</p> <p>2. The trash enclosure does not meet the requirement based on height to have an address assigned and separate permit issued.</p> <p>3. Provide the location of the irrigation meter so that an address can be assigned.</p> <p>4. I am only seeing 6 garages not 7. Please label the 7th.</p> <p>5. Regarding the shaded seating area, how is it shaded? Gazebo, canopy?</p> <p>6. Each duplex structure will be assigned a single address with unit numbers 101 & 201. Contact me when you are ready to have the area addressed.</p> <p>Amy Vanderbeek Enumerations Plans Examiner Pikes Peak Regional Building Department O: 719-327-2930 E: Amy@pprbd.org</p>

Corrections in the following table need to be applied before a permit can be issued

Comment ID	Page Reference	Reviewer : Department	Review Comments
15	2	Zaker Alazzeh : City Eng - Traffic Engineering	<p>1- The developer shall dedicate approximately 13 feet of ROW and 5 feet easement along the southern lot side on Old Ranch Road.</p> <p>2- Please add the following note to the development plan: "The developer will be required to construct an eastbound left turn lane at Old Ranch Road and the proposed site access intersection. This turn lane will need to contain 155 feet turn lane and 160 feet long transition taper."</p> <p>3- The details of the signing and striping of the future public roadway improvements will be addressed during the construction plans review.</p>
54	1	Jonathan Scherer : City Engineering - SWENT	Include the Plat title in the title or cover sheet of the Development Plan.
55	1	Jonathan Scherer : City Engineering - SWENT	DEPN-24-0160
56	2	Jonathan Scherer : City Engineering - SWENT	Green Infrastructure: the Planned Infiltration Area (PIAs) need to be delineated with a line or a hatch. There must be a leader calling it out as a "Planned Infiltration Area" or it must be included in the legend as "Planned Infiltration Area.". This must match what is being shown in the PDR/FDR. The PIAs should be shown on the Landscape Plans, Grading Plans, and Utility Plans. Please see the revised Development Plan checklist for further clarification: https://coloradosprings.gov/system/files/2023-06/development_plan_checklist.pdf
59	3	Jonathan Scherer : City Engineering - SWENT	The access road must be included in the total disturbed area in the PDR.

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60	4	Jonathan Scherer : City Engineering - SWENT	Info Only: It appears there is runoff from disturbed area flowing offsite without being treated. Please note that no more than 5% of the total area of disturbance (totaling no more than 1 acre) shall flow offsite without receiving WQ treatment.
61	4	Jonathan Scherer : City Engineering - SWENT	The invert of the outfall pipe must be set to 1-2 feet above the flowline of the channel.
62	4	Jonathan Scherer : City Engineering - SWENT	Info Only: The erosion protection of the outfall must be modeled in the FDR to show stability in the 100-year channel flow event.
63	5	Jonathan Scherer : City Engineering - SWENT	None of the utilities are labeled as PR or EX, please clarify what is being proposed.
64	5	Jonathan Scherer : City Engineering - SWENT	All swale, detention basin, and proposed storm infrastructure calculations must be included in the PDR.
65	5	Jonathan Scherer : City Engineering - SWENT	Adjust leaders and callouts so all components of the pond can be reviewed.
66	5	Jonathan Scherer : City Engineering - SWENT	Erosion protection for the spillway must be shown to a stabilized surface (I.e. back of curb).
67	5	Jonathan Scherer : City Engineering - SWENT	All areas associated with the installation on the outfall pipe must be included in the total disturbed area in the PDR.
68	9	Jonathan Scherer : City Engineering - SWENT	Please show and label all private and public easements as applicable on all sheets.
69	9	Jonathan Scherer : City Engineering - SWENT	Ensure this matches the plans.
71	1	Joel Dagnillo : City Engineering Dev Review	Please revise the previous geological hazard validation letter for this development (previously approved 4-30-24 with #DEPN-23-01086) to reflect the updated project layout, and submit in Project Dox for City review/approval.
72	1	Joel Dagnillo : City Engineering Dev Review	General Note 18 will be revised accordingly once updated geological hazard validation letter has been reviewed and approved by the City.
74	1	Joel Dagnillo : City Engineering Dev Review	Prior to installing the public ROW improvements, submit street and signage construction plans to EDRD and Traffic Engineering through our electronic review system called ProjectDox for review and approval. Financial assurances for all public ROW improvements shall be posted to the City prior to approving the construction plans. The amount to be submitted to the City will be agreed upon at that time. The public ROW improvements will follow EDRD's probationary and final street acceptance procedures. Reference Chapter 11 in the Subdivision Policy Manual for information.
75	2	Joel Dagnillo : City Engineering Dev Review	KETTLE CREEK RD.
76	2	Joel Dagnillo : City Engineering Dev Review	Call this out as an Emergency Access Only if that is intent
73	4	Joel Dagnillo : City Engineering Dev Review	Add a note stating that upon submittal of construction plans for turn lanes, an amount will be collected by the City for future ultimate installation of Type 1 Curb/Gutter, pedestrian ramps at access and 10' trail along property frontage to be installed with future PPRTA Project.
26	5	Matthew Alcuran : Col Springs Utilities	Action Item: Water service 4" & larger is considered main line. Label as such.
27	5	Matthew Alcuran : Col Springs Utilities	Action Item: Call out easement to include width.

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28	5	Matthew Alcuran : Col Springs Utilities	Action Item: Wastewater needs to be minimum of 5' from gutter. Provide dimension to confirm.
29	5	Matthew Alcuran : Col Springs Utilities	Action Item: Call out overall height of retaining wall. Provide section view to confirm.
30	5	Matthew Alcuran : Col Springs Utilities	Action Item: Please revise to ensure 10-foot horizontal separation between water and wastewater is provided or notate secondary containment where applicable.
31	5	Matthew Alcuran : Col Springs Utilities	Action Item: Please revise to ensure 10-foot horizontal separation between water and storm is provided or notate secondary containment where applicable, typical.
32	5	Matthew Alcuran : Col Springs Utilities	Action Item: Add note "A minimum of 3-foot clearance around the circumference of all fire hydrants will be kept clear of any physical or visual obstructions to the hydrant."
33	5	Matthew Alcuran : Col Springs Utilities	Action Item: Keep manhole placement center of drive lane.
34	5	Matthew Alcuran : Col Springs Utilities	Action Item: Add note "CSU Field Engineer to determine final gas/electric meter, transformer and service line locations. Contact Field Engineering at 719-668-4985 (Gas) or 719-668-5564 (Electric) with any questions."
35	5	Matthew Alcuran : Col Springs Utilities	Action Item: Gas and electric meter locations on plan view and building elevations must be shown and labeled.
36	5	Matthew Alcuran : Col Springs Utilities	Action Item: Please show and label any proposed EV chargers and upload Load Data.
37	5	Matthew Alcuran : Col Springs Utilities	Action Item: Add note "Fencing shall not stop access to utility lines or conflict with utility equipment."
38	5	Matthew Alcuran : Col Springs Utilities	CSU staff reserves the right to add new comments on subsequent submittals.
39	5	Matthew Alcuran : Col Springs Utilities	<p>Please add and acknowledge the following:</p> <p>Information Items:</p> <ol style="list-style-type: none"> 1.Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development. In instances where metered water and/or wastewater connections existed on the property, please contact UDS to discuss distribution of Water and/or Wastewater Development Charges to eligible lots. 2.When new water meters are proposed to serve the project or additional demand added to existing water meters, a Commercial Water Meter Sizing Form will be required to be submitted to CSU prior to Service Contract issuance and plan set approval. 3.CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985. 4.CSU may require an extension contract and payment of contributions-in-aid of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. With regard to natural gas extensions, CSU may require an extension contract and advance payment for the estimated costs to construct the necessary gas extensions. 5.Improvements, structures and trees must not be located directly over or within 6 feet of any underground gas or electric distribution facilities and shall not violate any provision of the National Electric Safety Code (NESC) or any applicable natural gas regulations or CSU' policies.

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			6.Improvements, structures and trees shall not be located under any overhead utility facility, shall not violate NESC clearances, and shall not impair access or the ability to maintain utility facilities. 7.Landscaping shall be designed to provide the required clearances for utility facilities, to allow continuous access for utility equipment, and to minimize conflicts with such facilities. 8.CSU requires wastewater and water construction drawings when new wastewater and water facilities are proposed. Plans can be submitted electronically to UDS via www.csu.org .
40	7	Matthew Alcuran : Col Springs Utilities	Action Item: Add CSU Note: Verify location and depth of all underground utilities prior to start of work. Call 811 for utility locates. Tree trunk placement shall be 6' minimum distance from any gas or electric and 10' from gas mains rated at 150 PSI. For sanitary sewer and water mainlines trees shall not be located within easements and within 15' of any mainline. Any conflict between tree locations and utilities shown on plans shall be resolved with general contractor prior to planting. All electrical vaults and transformers shall be kept clear from plant material per Colorado Springs Utilities (CSU) Guidelines "Landscaping around electrical equipment". See CSU Construction Standards drawings 18-302 for specific clearance requirements. All shrubs to be located 3' clear of all fire hydrants at mature size.
41	8	Matthew Alcuran : Col Springs Utilities	Action Item: Correct scale to 1" = 30'
42	9	Matthew Alcuran : Col Springs Utilities	Action Item: Correct scale to 1" = 30'
43	10	Matthew Alcuran : Col Springs Utilities	Action Item: Provide brief Pet Waste Station operation for review.
44	16	Matthew Alcuran : Col Springs Utilities	Action Item: Gas and electric meter locations on plan view and building elevations must be shown and labeled.
45	16	Matthew Alcuran : Col Springs Utilities	Action Item: Add note " Gas meters must be a minimum of 3-feet from doors, operable windows, or any vents or openings in walls."
77	1	Steve Smith : Fire	Add a note that states a maximum of 100 units will be constructed with a single access point. Once a secondary access point, meeting applicable fire code requirements is provided, the remainder of the site may be constructed.
78	8	Steve Smith : Fire	Change to Rock Mulch around all hydrants. Rock Cobble is difficult to walk/work on.
16	1	Allison Stocker : Planning	Reference LUPL
22	1	Caroline Miller : Planning	Please revise PLDO chart to one row per unit per structure type - so, category: 2-4 units, # of units 170.
23	1	Caroline Miller : Planning	Informational - A Park, School, and CDI fee estimate has been uploaded to this Accela file for applicant review in coordination of Park, School, and CDI fees due with the associated Annexation Agreement. Fees are subject to change, and are due at time of building permit.
79	1	Austin Cooper : Planning	Add standard note per zoning code section 7.4.102.H.2 related to ADA Site Accessibility: "The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner."
80	1	Austin Cooper : Planning	provide plan number that you are changing
81	1	Austin Cooper : Planning	show guest parking calculations
24	2	Caroline Miller : Planning	Confirm adjacency, by City GIS, City owned Open Space is adjacent to this site.

Comment ID	Page Reference	Reviewer : Department	Review Comments
2	7	Gregory Stachon : Planning	final landscape plan? other sheets say "preliminary"
4	7	Gregory Stachon : Planning	note alternative adjustments per COS landscape manual appendix F format. The letter is fine but alt. adjustment is required to be documented on the plan.
5	7	Gregory Stachon : Planning	DEPN-24-0160
6	7	Gregory Stachon : Planning	verify the ground plane is 75% vegetation. Lots of areas of bare rock on plan
12	7	Gregory Stachon : Planning	confirm and document that at least 70% of the chosen plants are from the current Selected plants for Colorado Springs as shown in Appendix A. (7.4.904.D.1.a.2)
8	8	Gregory Stachon : Planning	If any retaining walls are planned for the site, show, and label all locations on the plans and provide general heights for each wall. Also provide a detail of the wall. (PLP check list #10)
9	8	Gregory Stachon : Planning	missing hatch?
11	8	Gregory Stachon : Planning	what do blue and green areas represent? Ground plane legend would be helpful on this page
1	10	Allison Stocker : Planning	Regarding Water Capture Volume and the SS-O, did you previously have discussions with SWENT / Planning Staff to confirm that the water quality on site meets the criteria for this added max impervious coverage? If this was not discussed and not "approved", then we should clarify that up to 25% is permitted IF Planning and SWENT sign off on the Water Quality Capture Volume methods on site. Otherwise the max is 10%.
17	10	Allison Stocker : Planning	Please show the storm sewer outlet pipe that encroaches into the SS-O buffer areas on SS-O plan.
20	10	Allison Stocker : Planning	Please add a note related to the storm outfall pipe that describes what replanting efforts and other mitigation will be provided to offset impact of pipe installation. Please note species of plants that may be installed in these areas. You may want to discuss with Greg Stachon to confirm that the species are viable and acceptable for this purpose.
3	11	Gregory Stachon : Planning	follow COS landscape manual Appendix F format.
83	22	Austin Cooper : Planning	EIFS shall not be used to cover more than fifty (50) percent of any façade of a building (excluding façade areas occupied by windows and doors) facing a highway or a public or private street, unless the façade is not visible from that highway or public or private street due to changes in terrain or intervening permitted structures (not including landscaping, fences, and walls).
25	1	Don Smith : School Districts	Academy District 20 is in receipt of File #DEPN-24-0160 for approval of the Cottages at Kettle Creek . The District is requesting fees in lieu of land dedication per the existing City Code for all residential units within this development. The District is experiencing ongoing residential development. The District gained approximately 12,000 new residential units between 2018 and 2024 which included 5,278 Single Family, 1,156 Single Family Attached, and 5,576 Apartments as reported to the District by local developers. During that same timeframe, the District only experienced a total membership increase of 138 students. This information is updated annually in October. A drop in the birth rate plus the significant increase in the cost of housing has contributed to the slowed student growth in the District. The District is able to serve each student who is a resident of District 20. If you need additional information, please contact me. Don Smith Planning Consultant

COTTAGES AT KETTLE CREEK

CITY OF COLORADO SPRINGS, COLORADO

DEVELOPMENT PLAN

Include the Plat title in the title or cover sheet of the Development Plan.

LEGAL DESCRIPTION

A PARCEL OF LAND BEING ALL OF THAT PROPERTY RECORDED UNDER RECEPTION NO. 221030892 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, LOCATED IN THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE 6TH P.M., MONUMENTED AT NORTHEAST CORNER OF SECTION 28 BY A 3-1/4" ALUMINUM CAP STAMPED "LS 10956", AND AT THE NORTH QUARTER OF SECTION 28 BY A 1-1/2" BRASS CAP STAMPED "LS 2078", SAID LINE BEARS N89°12'01" E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE.

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 66 WEST OF THE 6TH P.M.

THENCE ON THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 28 S00°15'22"E A DISTANCE OF 308.91 FEET, TO THE SOUTHEAST CORNER OF LOT 2, BLOCK 1 OF THE PENDELTON SUBDIVISION, RECORDED UNDER RECEPTION NO. 719194 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, SAID POINT BEING THE POINT OF BEGINNING;

THENCE CONTINUING ON SAID WEST LINE, S00°15'22"E A DISTANCE OF 466.40 FEET, TO A POINT ON THE CENTERLINE OF VACATED BURGESS ROAD RECORDED IN BOOK 3173 AT PAGE 561;

THENCE ON THE CENTERLINE OF SAID VACATED BURGESS ROAD, THE FOLLOWING FOUR (4) COURSES:

- N89°3'46"W A DISTANCE OF 87.08 FEET;
- S71°12'16"W A DISTANCE OF 222.56 FEET;
- S50°22'37"W A DISTANCE OF 224.95 FEET;
- S60°45'31"W A DISTANCE OF 234.30 FEET;

THENCE S20°14'29"E A DISTANCE OF 30.21 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF OLD RANCH ROAD AS RECORDED IN BOOK 2288 AT PAGE 416, SAID POINT BEING A POINT OF NON-TANGENT CURVE;

THENCE ON SAID NORTHERLY RIGHT-OF-WAY LINE, THE FOLLOWING TWO (2) COURSES:

- ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS N06°41'58"W, HAVING A RADIUS OF 3779.80 FEET, A CENTRAL ANGLE OF 00°04'54" AND AN ARC LENGTH OF 5.39 FEET, TO A POINT OF NON-TANGENT-2. S06°45'22"W
- A DISTANCE OF 191.51 FEET, TO THE SOUTHEASTERLY CORNER OF LOT 1, BLOCK 1, OF SAID PENDELTON SUBDIVISION RECORDED UNDER RECEPTION NO. 719194;

THENCE ON THE EASTERLY LINE OF SAID PENDELTON SUBDIVISION, THE FOLLOWING TWO (2) COURSES:

- N01°10'01"E A DISTANCE OF 051.86;
- N80°40'16"E A DISTANCE OF 872.71 FEET, TO THE POINT OF BEGINNING CONTAINING A CALCULATED AREA OF 483,833 SQUARE FEET OR 11.1073 ACRES.

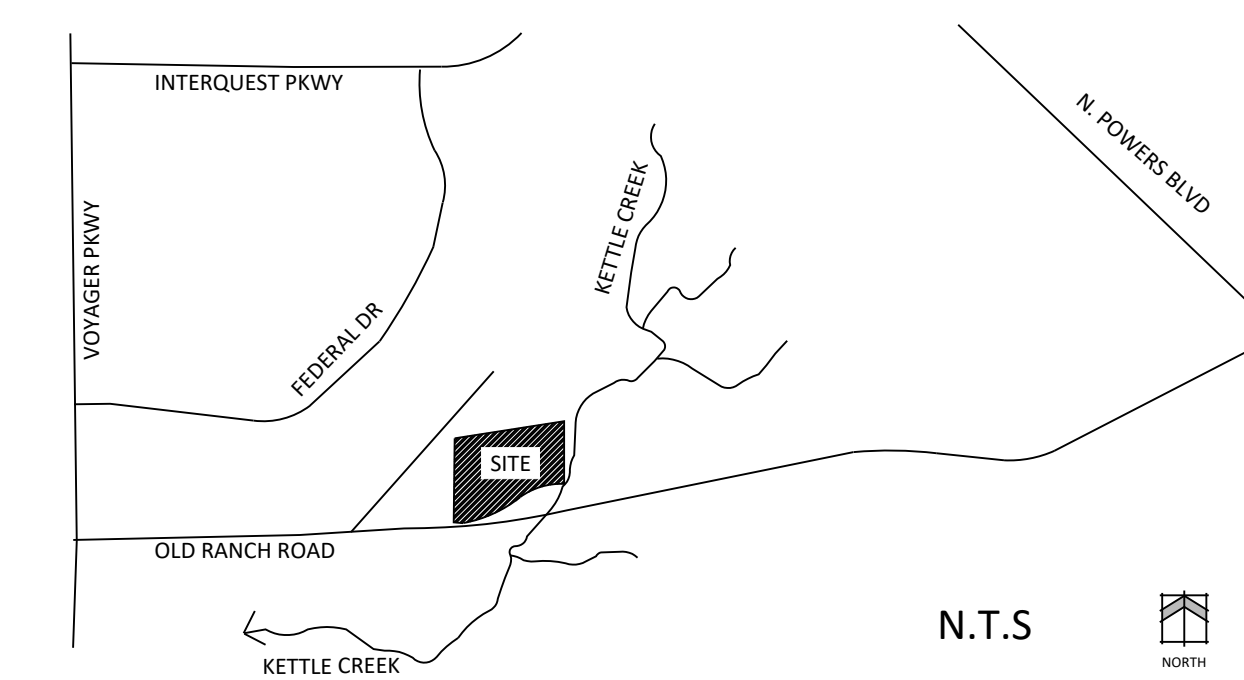
GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS. ALL EXTERIOR LIGHTING SHALL BE ARRANGED TO MITIGATE LIGHT DIRECTED AWAY FROM ADJACENT PROPERTIES AND ANY PUBLIC RIGHT-OF-WAY. AN AGREEMENT TO THIS PLAN MAY BE REQUIRED IF THE LIGHTING TYPE IS CHANGED.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5' CONCRETE UNLESS OTHERWISE SPECIFIED.
- PRIVATE DRIVES ARE TO BE PAVED ASPHALT WITH CONCRETE CURBS.
- SIGNAGE IS NOT APPROVED PER THIS PLAN. A SEPARATE SIGN PERMIT IS REQUIRED. CONTACT DEVELOPMENT REVIEW ENTERPRISE AT 719-385-5982, 2880 INTERNATIONAL CIRCLE FOR SIGN PERMIT APPLICATION.
- ALL EXISTING CURB, GUTTER, PEDESTRIAN RAMPS, CROSSPANS POSING A SAFETY HAZARD, DAMAGED, EXHIBITING EXCESSIVE DETERIORATION OR NOT MEETING CURRENT CITY ENGINEERING STANDARDS ALONG PUBLIC STREETS, SIDEWALKS, AND DRIVEWAY APRONS ADJACENT TO THE SITE WILL NEED TO BE REMOVED AND REPLACED PRIOR TO ISSUING THE CERTIFICATE OF OCCUPANCY (C.O.). AN ON SITE MEETING CAN BE SET UP WITH THE ENGINEERING DEVELOPMENT REVIEW INSPECTOR TO DETERMINE WHAT, IF ANY, IMPROVEMENTS ARE REQUIRED. THE INSPECTOR CAN BE REACHED AT 719-385-5977.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PRIVATE ROADS WILL BE BUILT TO MEET A MINIMUM OF 27000LBS SINGLE AXLE WEIGHT AND 75000LB TOTAL APPARATUS WEIGHT.
- PRIOR TO CERTIFICATE OF OCCUPANCY OF THE FIRST BUILDING, A FIRE INSPECTION TO VERIFY FIRE LANE MARKING INSTALLATION SHALL OCCUR. A FIRE INSPECTION MAY BE REQUESTED BY CALLING 719-385-5978.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN BOTH THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR FLIGHT TRAINING PURPOSES, OR UNTIL ALL AIRPORTS ON THE AIR FORCE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.
- AN AVIGATION EASEMENT AFFECTING THE SUBJECT PROPERTY AND DEVELOPMENT WILL BE RECORDED WITH THE SUBDIVISION PLAT. SAID EASEMENT SHALL BE CONSIDERED A PUBLIC EASEMENT AND IS SUBJECT TO THE TERMS AND CONDITIONS AS SPECIFIED IN THE INSTRUMENT RECORDED UNDER RECEPTION NO. OF THE RECORDS OF EL PASO COUNTY, COLORADO. ALL OTHER EASEMENTS OR INTERESTS OF RECORD AFFECTING ANY OF THE PLATTED PROPERTY DEPICTED HEREON SHALL NOT BE AFFECTED AND SHALL REMAIN IN FULL FORCE AND EFFECT.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0506G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
- ACCESSIBLE ROUTES, INCLUDING RAMPS AND SIDEWALKS, WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PER THE CITY'S STANDARD DRAWINGS AND SPECIFICATIONS. CITY'S ENGINEERING DEVELOPMENT REVIEW INSPECTOR WILL HAVE THE FINAL AUTHORITY ON ACCEPTING THE PUBLIC IMPROVEMENTS.
- INSTALLATION OF ELECTRICAL DEVICES IN THE PUBLIC ROW SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY SPECIFICATION SECTION 3001 AND COMPLETE THE COLORADO SPRINGS UTILITIES' "ELECTRIC INSPECTION IN THE RIGHT-OF-WAY CERTIFICATE" IN ACCORDANCE WITH UTILITIES' REQUIREMENTS FOR ELECTRIFICATION. THE CERTIFICATE SHALL ALSO BE PROVIDED TO THE CITY INSPECTOR.
- ALL IMPROVEMENTS DEPICTED WITHIN THIS PLAN ARE REQUIRED BY CITY CODE AND/OR ARE A CONDITION OF APPROVAL TO ENSURE COMPLIANCE WITH THE CITY'S REVIEW CRITERIA. ANY PRIVATE IMPROVEMENTS PROVIDED AS EXTRA AND WILL NOT BE INCLUDED IN THE CALCULATED AMOUNT REQUIRED FOR A FINANCIAL ASSURANCE.
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/OR THEIR ASSIGNS.
- ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN ROW WILL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
- SCHOOL SITE DEDICATION ORDINANCE IS TO BE MET THROUGH FEES IN LIEU LAND DEDICATION.
- THIS PROPERTY IS SUBJECT TO THE FINDINGS, SUMMARY AND CONCLUSIONS OF A GEOLOGIC HAZARD WAIVER PREPARED BY CTL THOMPSON, DATED MAY 23, 2024. A COPY OF SAID WAIVER HAS BEEN PLACED WITHIN FILE DEPN-24-0073, OR WITHIN THE SUBDIVISION FILE OF THE CITY OF COLORADO SPRINGS PLANNING AND DEVELOPMENT TEAM. CONTACT THE PLANNING AND DEVELOPMENT TEAM, 30 SOUTH NEVADA AVE., SUITE 701, COLORADO SPRINGS, CO, IF YOU WOULD LIKE TO REVIEW SAID WAIVER.

SITE DATA

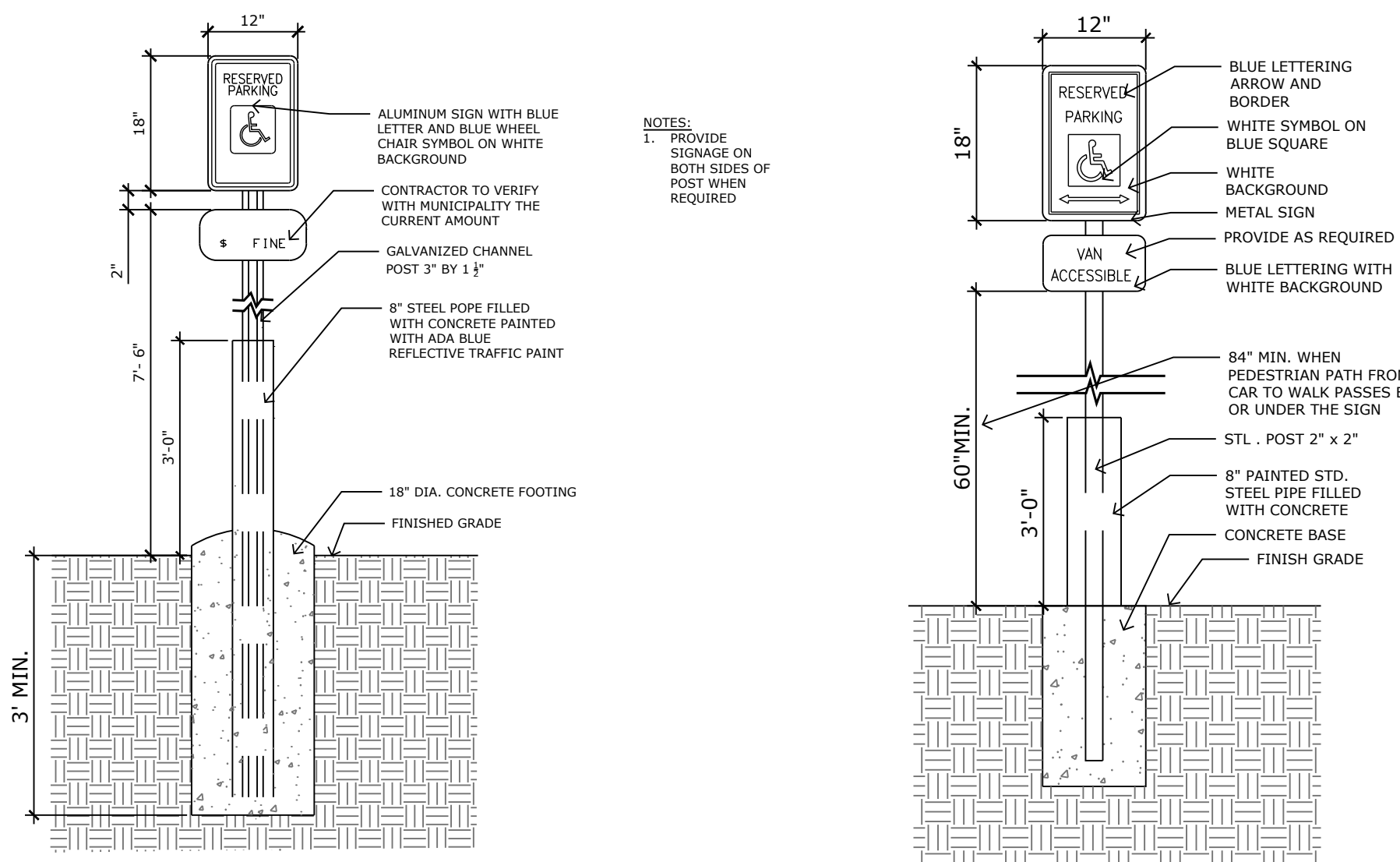
Tax ID Number:	6228001007
Total Area:	11.11 ACRES
Concept Plan:	Reference LUPL
Development Schedule:	
Drainage Basin:	
Current Zoning:	R-5 / SSO / AFO
Current Use:	Single Family Residential
Proposed Use:	Multi Family Residential
No. of Units:	
Proposed Density:	15.30 DU/AC
Maximum Lot Coverage:	40%
Proposed Lot Coverage:	141,451 SF (29.2%)
Maximum Building Height:	45'
Proposed Building Height:	26'
Building Setbacks:	
Front (Old Ranch Road):	20'
Side (Western/Eastern Boundary):	5'
Rear (Northern Boundary):	15'
Landscape Buffers and Setbacks:	
Old Ranch Road:	20' Setback
North Boundary:	15' Buffer
South Boundary:	15' Buffer
West Boundary:	15' Buffer
Parking:	
Formula:	1/Studio, 1/One Bedroom, 1.5/Two Bedrooms, 2/Three or more Bedrooms
Required:	Studio: 26 Units = 26 Spaces 1 Bedroom: 92 Units = 92 Spaces Two bedrooms: 52 Units = 78 Spaces Total = 196 Required
Total Stalls Provided:	207 provided
ADA Formula:	Table 7.4.10-C
Required:	151-200 Parking Spaces: 6 ADA are required
Provided:	12 (6 Standard ADA Spaces and 6 Garage ADA Spaces)
Required Van Accessible:	1
Provided Van Accessible:	6
Bicycle Parking:	
Formula:	0.5 stalls per 1,000 gross building sqft (20% of which shall be secure long-term if there are more than 100 DU)
Required:	55483 sqft of GFA requires 28 Bicycle Spaces
Required Bicycle Spaces:	28
Provided Bicycle Spaces:	28
Required Long-Term Storage:	20% = 6 spaces
Provided Long-Term Storage:	24 Garage Units

VICINITY MAP

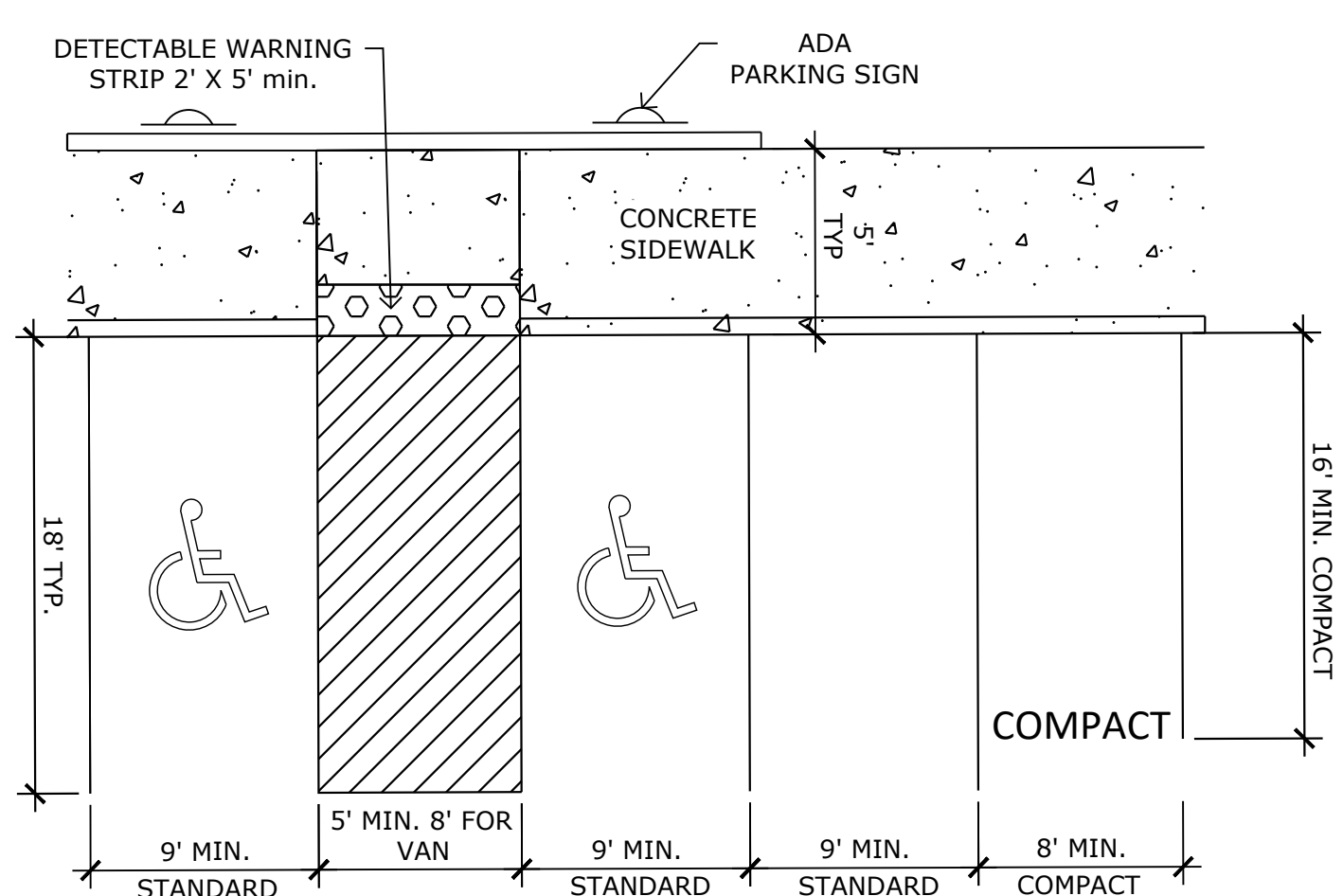


PLDO CHART

PARKLAND OBLIGATION CALCULATION					
PLDO NOTE: PLDO is to be met through fees in lieu of land dedication, to be due at time of building permit					
B. FEE IN LIEU FORMULA FOR NEIGHBORHOOD & COMMUNITY PARKS					
CATEGORY	# of Units	Neighborhood Dedication (per unit)	Total Neighborhood Dedication (AC)	Community Dedication (per unit)	Total Community Dedication (AC)
STUDIO	26	0.0053	0.14	0.0064	0.1664
ONE BEDROOM	92	0.0053	0.49	0.0064	0.5888
TWO BEDROOM	52	0.0053	0.28	0.0064	0.3328
TOTAL	170		0.90		1.088



ADA / VAN ACCESSIBLE PARKING SIGNS



PARKING STALL LAYOUT DETAILS

PROJECT TEAM

OWNER:	Highlander Development LLC 11005 S Holmes Rd Colorado Sprigs, CO 80908
DEVELOPER:	GK Development LLC 8685 Explorer Dr Suite 250 Colorado Springs, CO 80920
APPLICANT/ LANDSCAPE ARCHITECT:	N.E.S. Inc. 619 N. Cascade Ave., Suite 200 Colorado Springs, CO 80903
CIVIL:	All Terrain Engineering LLC 1004 W Van Buren St Colorado Springs, CO 80907
ARCHITECT:	Design Edge 482 S. Broadway Suite 100 Denver, CO 80209
PHOTOMETRIC:	Plant Engineering Consultants, Inc. 320 West Fillmore St Colorado Springs, CO 80907

SHEET INDEX

Sheet 1 of 24:	Cover Sheet
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Sheet 3 of 24:	Grading Plan
Sheet 4 of 24:	Preliminary Utility and Public Facilities Plan
Sheet 5 of 24:	Preliminary Utility and Public Facilities Plan
Sheet 6 of 24:	Final Landscape Plan Schedules & Notes
Sheet 7 of 24:	Final Landscape Plan
Sheet 8 of 24:	Final Landscape Plan
Sheet 9 of 24:	Final Landscape Plan
Sheet 10 of 24:	Streamside Landscape Plan
Sheet 11 of 24:	Landscape Diagrams
Sheet 12 of 24:	Land Suitability Analysis
Sheet 13 of 24:	Land Suitability Analysis
Sheet 14 of 24:	Final Landscape Plan Details
Sheet 15 of 24:	Final Landscape Plan Details
Sheet 16 of 24:	Architectural Elevations
Sheet 17 of 24:	Architectural Elevations
Sheet 18 of 24:	Architectural Elevations
Sheet 19 of 24:	Architectural Elevations
Sheet 20 of 24:	Architectural Elevations
Sheet 21 of 24:	Architectural Elevations
Sheet 22 of 24:	Site Lighting Plan
Sheet 23 of 24:	Photometric Plan
Sheet 24 of 24:	Lighting Cut Sheets

DEPN-24-0160



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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COTTAGES AT KETTLE CREEK

DEVELOPMENT PLAN

2210 OLD RANCH ROAD
COLORADO SPRINGS, CO 80920

DATE: 10.15.24
PROJECT MGR: K. JOHNSON
PREPARED BY: A. ROMAN

PROJECT TEAM

OWNER:	Highlander Development LLC 11005 S Holmes Rd Colorado Sprigs, CO 80908
DEVELOPER:	GK Development LLC 8685 Explorer Dr Suite 250 Colorado Springs, CO 80920
APPLICANT/ LANDSCAPE ARCHITECT:	N.E.S. Inc. 619 N. Cascade Ave., Suite 200 Colorado Springs, CO 80903
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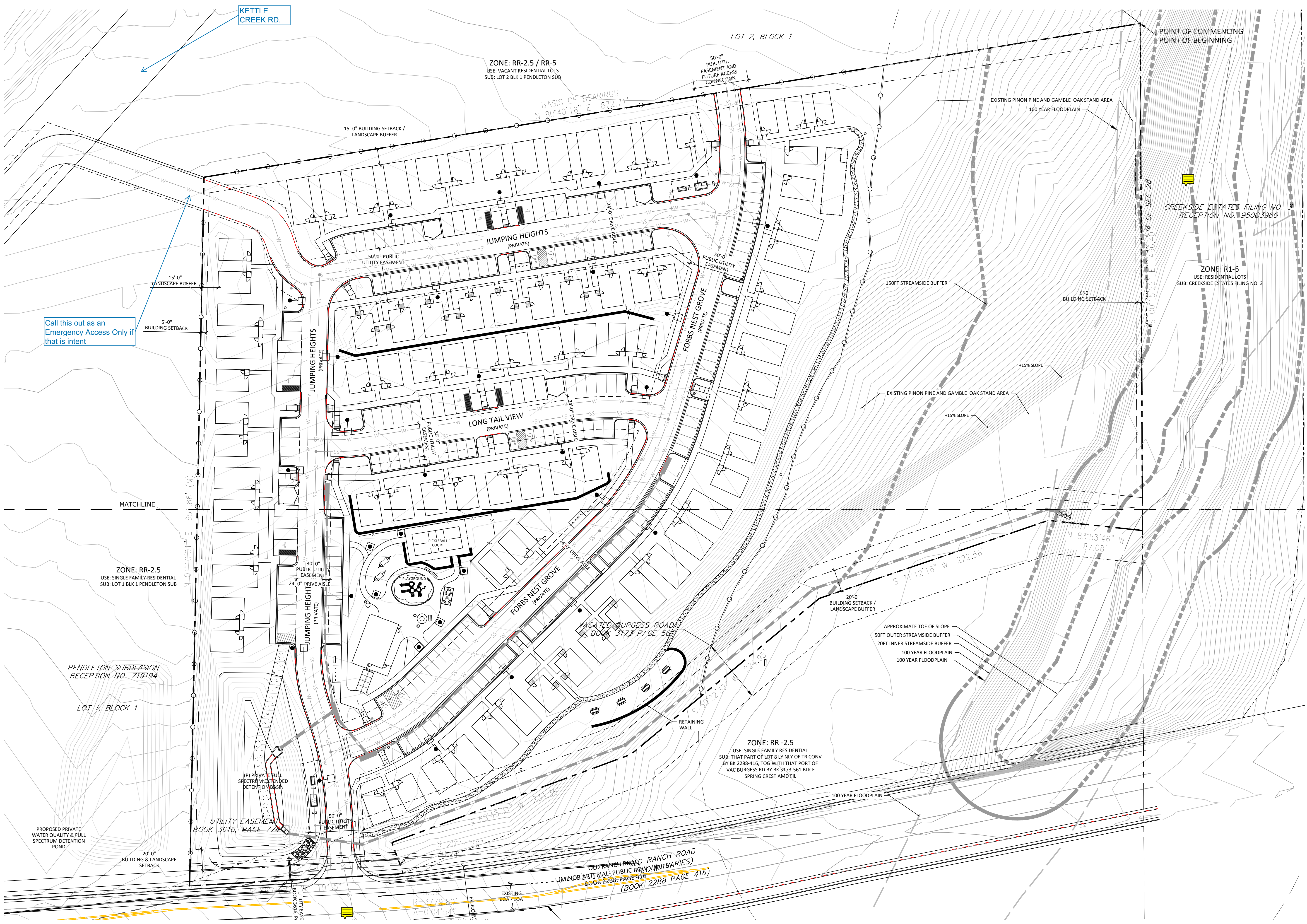
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COVER SHEET

1 OF 24

DEPN-24-0160



Call this out as an Emergency Access Only if that is intent

KETTLE CREEK RD.

LOT 2, BLOCK 1

ZONE: RR-2.5 / RR-5
USE: VACANT RESIDENTIAL LOTS
SUB: LOT 2 BLK 1 PENDLETON SUB

POINT OF COMMENCING
POINT OF BEGINNING

BASIS OF BEARINGS
N 80°40'16" E 872.71'

ZONE: RR-2.5
USE: SINGLE FAMILY RESIDENTIAL
SUB: LOT 1 BLK 1 PENDLETON SUB

ZONE: R1-6
USE: RESIDENTIAL LOTS
SUB: CREEKSIDE ESTATES FILING NO. 3

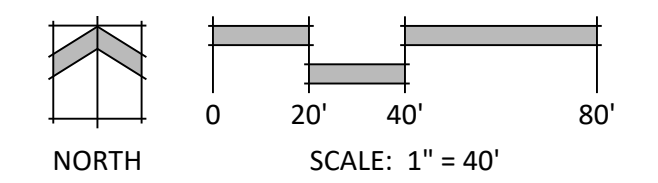
CREEKSIDE ESTATES FILING NO. 3
RECEPTION NO. 195003960

PENDLETON SUBDIVISION
RECEPTION NO. 719194

LOT 1, BLOCK 1

ZONE: RR-2.5
USE: SINGLE FAMILY RESIDENTIAL
SUB: THAT PART OF LOT 8 LY NLY OF TR CONV
BY BK 2288-416, TOG WITH THAT PORT OF
VAC BURGESS RD BY BK 3173-561 BLK E
SPRING CREST AMD FIL

OLD RANCH ROAD RANCH ROAD
(MINOR ARTERIAL PUBLIC ROW/ALLEYWAYS)
BOOK 2288, PAGE 416
(BOOK 2288 PAGE 416)



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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COTTAGES AT KETTLE CREEK DEVELOPMENT PLAN

DATE: 10/15/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: A. ROMAN

ENTITLEMENT

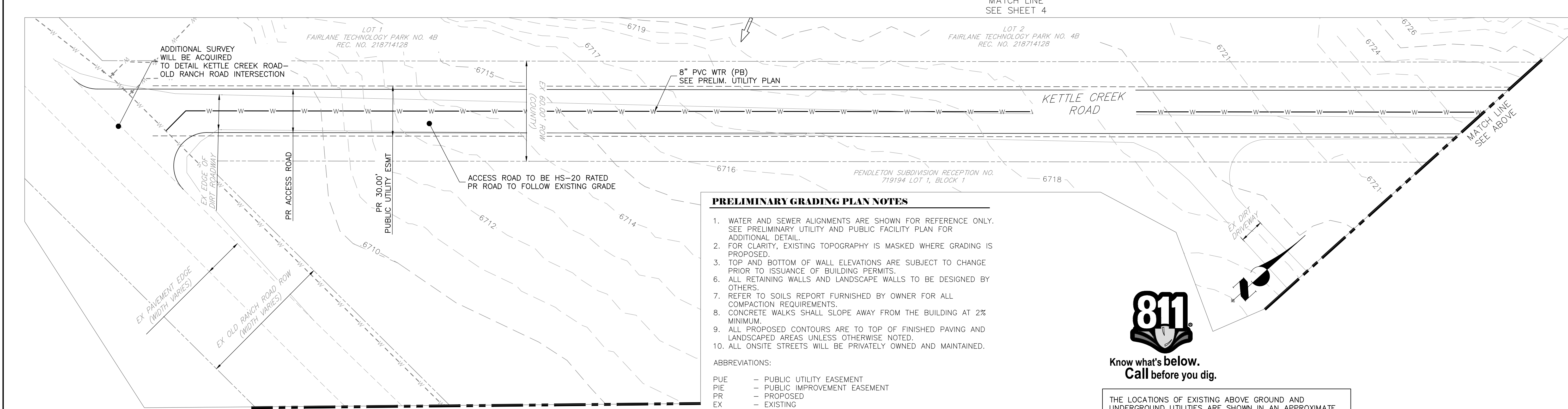
DATE:	BY:	DESCRIPTION:

SITE PLAN

2

2 OF 24

P:\Graham Knight\Cottages at Kettle Creek\Drawings\Arch\Site Plan - 2_10152024 2:09:02 AM AROMAN



PRELIMINARY GRADING PLAN NOTES

1. WATER AND SEWER ALIGNMENTS ARE SHOWN FOR REFERENCE ONLY. SEE PRELIMINARY UTILITY AND PUBLIC FACILITY PLAN FOR ADDITIONAL DETAIL.
2. FOR CLARITY, EXISTING TOPOGRAPHY IS MASKED WHERE GRADING IS PROPOSED.
3. TOP AND BOTTOM OF WALL ELEVATIONS ARE SUBJECT TO CHANGE PRIOR TO ISSUANCE OF BUILDING PERMITS.
4. ALL RETAINING WALLS AND LANDSCAPE WALLS TO BE DESIGNED BY OTHERS.
5. REFER TO SOILS REPORT FURNISHED BY OWNER FOR ALL COMPACTION REQUIREMENTS.
6. CONCRETE WALKS SHALL SLOPE AWAY FROM THE BUILDING AT 2% MINIMUM.
7. ALL PROPOSED CONTOURS ARE TO TOP OF FINISHED PAVING AND LANDSCAPED AREAS UNLESS OTHERWISE NOTED.
8. ALL ONSITE STREETS WILL BE PRIVATELY OWNED AND MAINTAINED.

ABBREVIATIONS:
 PUE - PUBLIC UTILITY EASEMENT
 PIE - PUBLIC IMPROVEMENT EASEMENT
 PR - PROPOSED
 EX - EXISTING
 PVT - PRIVATE
 PB - PUBLIC
 TW/BW - TOP OF WALL/BOTTOM OF WALL



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.

CITY FILE NO:



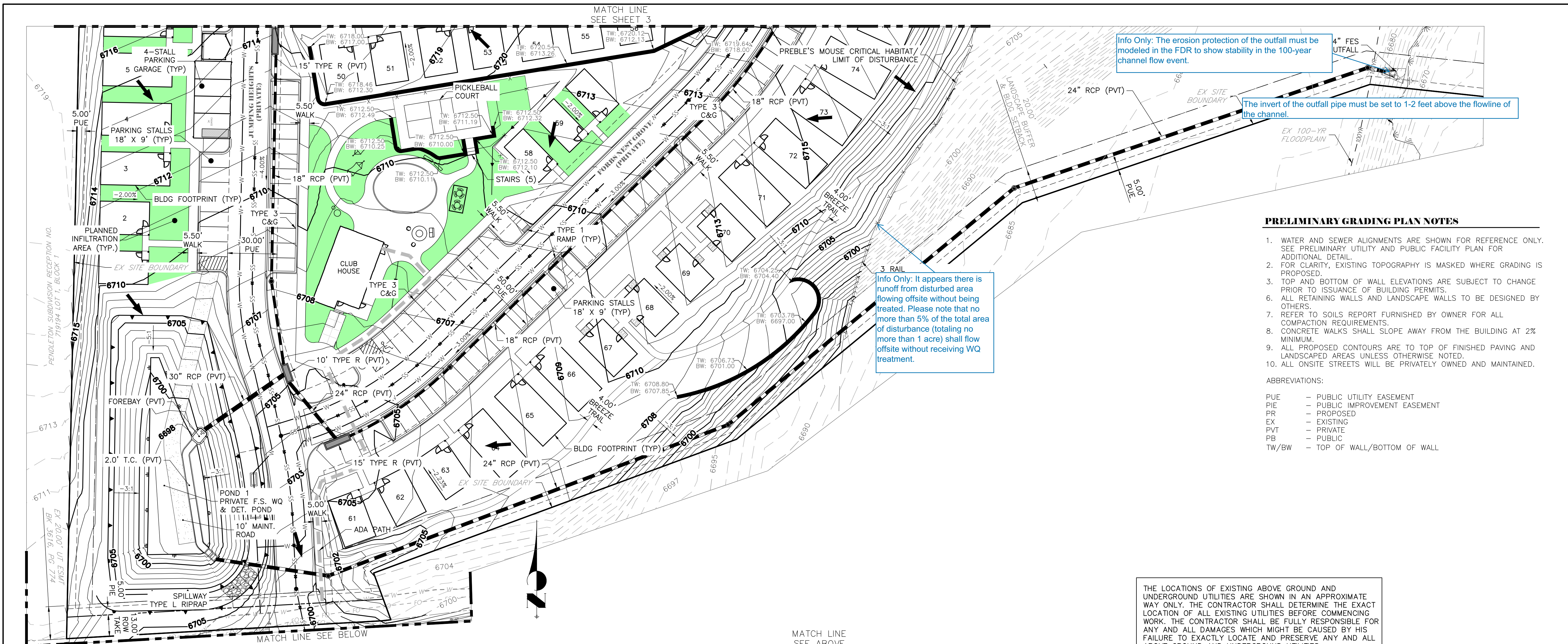
PREPARED FOR:
 GOODWIN KNIGHT
 8805 EXPLORER DRIVE, SUITE 250
 COLORADO SPRINGS, CO 80920
 ATTN: DAVE MORRISON
 (719) 598-5190
 DMORRISON@GOODWINKNIGHT.COM

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, ALL TERRAIN ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

REV	DESCRIPTION	DATE

JOB NO: 24026 LOCATION: COS
 COTTAGES AT KETTLE CREEK
 PRELIMINARY GRADING PLAN

DESIGN: NJJ
 REVIEW: REB
 DATE: 10/15/2024
 H-SCALE: 1" = 30'
 V-SCALE: N/A
 SHEET
 3 OF 24



Info Only: The erosion protection of the outfall must be modeled in the FDR to show stability in the 100-year channel flow event.

The invert of the outfall pipe must be set to 1-2 feet above the flowline of the channel.

Info Only: It appears there is runoff from disturbed area flowing offsite without being treated. Please note that no more than 5% of the total area of disturbance (totaling no more than 1 acre) shall flow offsite without receiving WQ treatment.

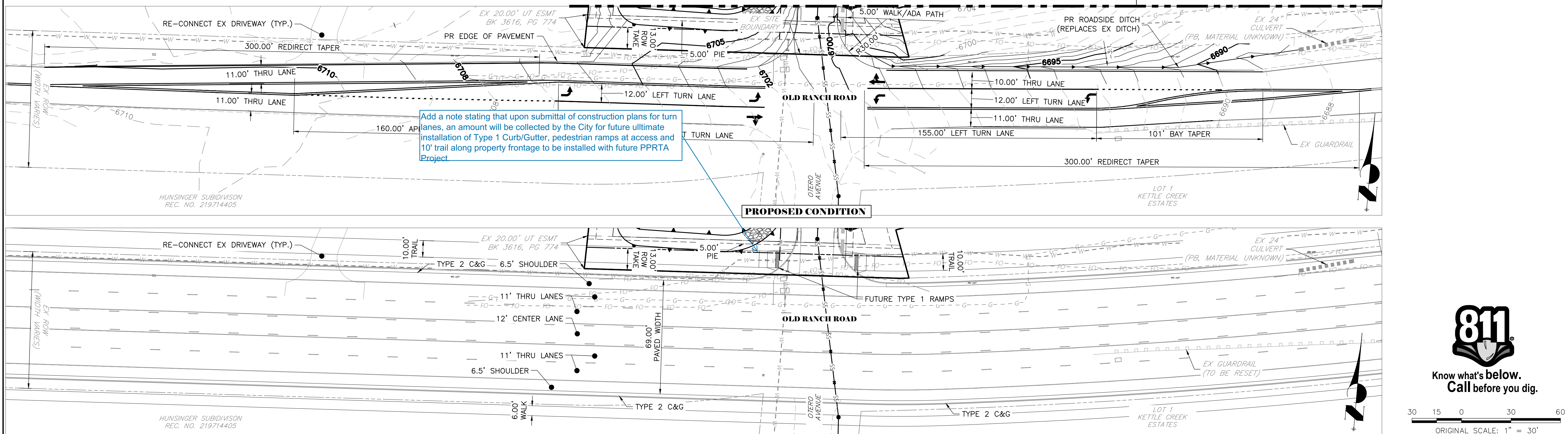
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Add a note stating that upon submittal of construction plans for turn lanes, an amount will be collected by the City for future ultimate installation of Type 1 Curb/Gutter, pedestrian ramps at access and 10' trail along property frontage to be installed with future PPRTA Project.

FUTURE CONDITION (SHOWN FOR REFERENCE ONLY. IMPROVEMENTS NOT A PART OF THIS PROJECT)



PREPARED FOR:
 GOODWIN KNIGHT
 8805 EXPLORER DRIVE, SUITE 250
 COLORADO SPRINGS, CO 80920
 ATTN: DAVE MORRISON
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UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, ALL TERRAIN ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

REV	DESCRIPTION	DATE

LOCATION: COS
 JOB NO: 24026
 COTTAGES AT KETTLE CREEK
 PRELIMINARY GRADING PLAN

DESIGN: NQJ
 REVIEW: REB
 DATE: 10/15/2024

H-Scale: 1" = 30'
 V-Scale: N/A



Know what's below. Call before you dig.



PREPARED FOR: GOODWIN KNIGHT 8805 EXPLORER DRIVE, SUITE 250 COLORADO SPRINGS, CO 80920 ATTN: DAVE MORRISON (719) 598-5190 DMORRISON@GOODWINKNIGHT.COM

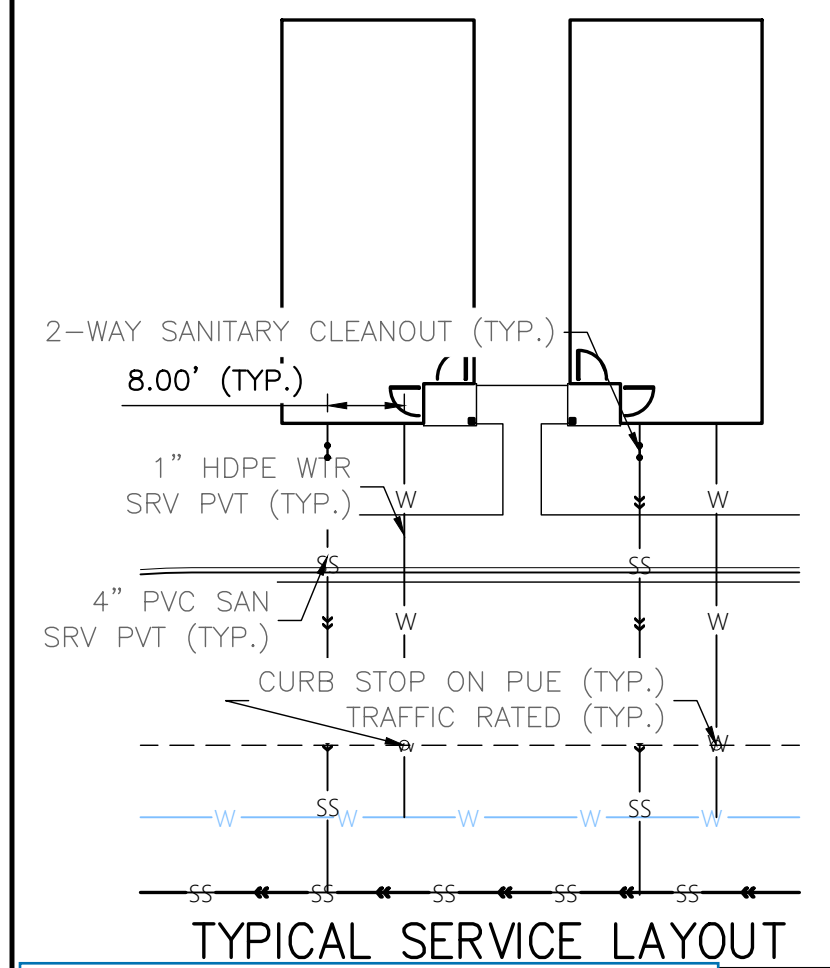
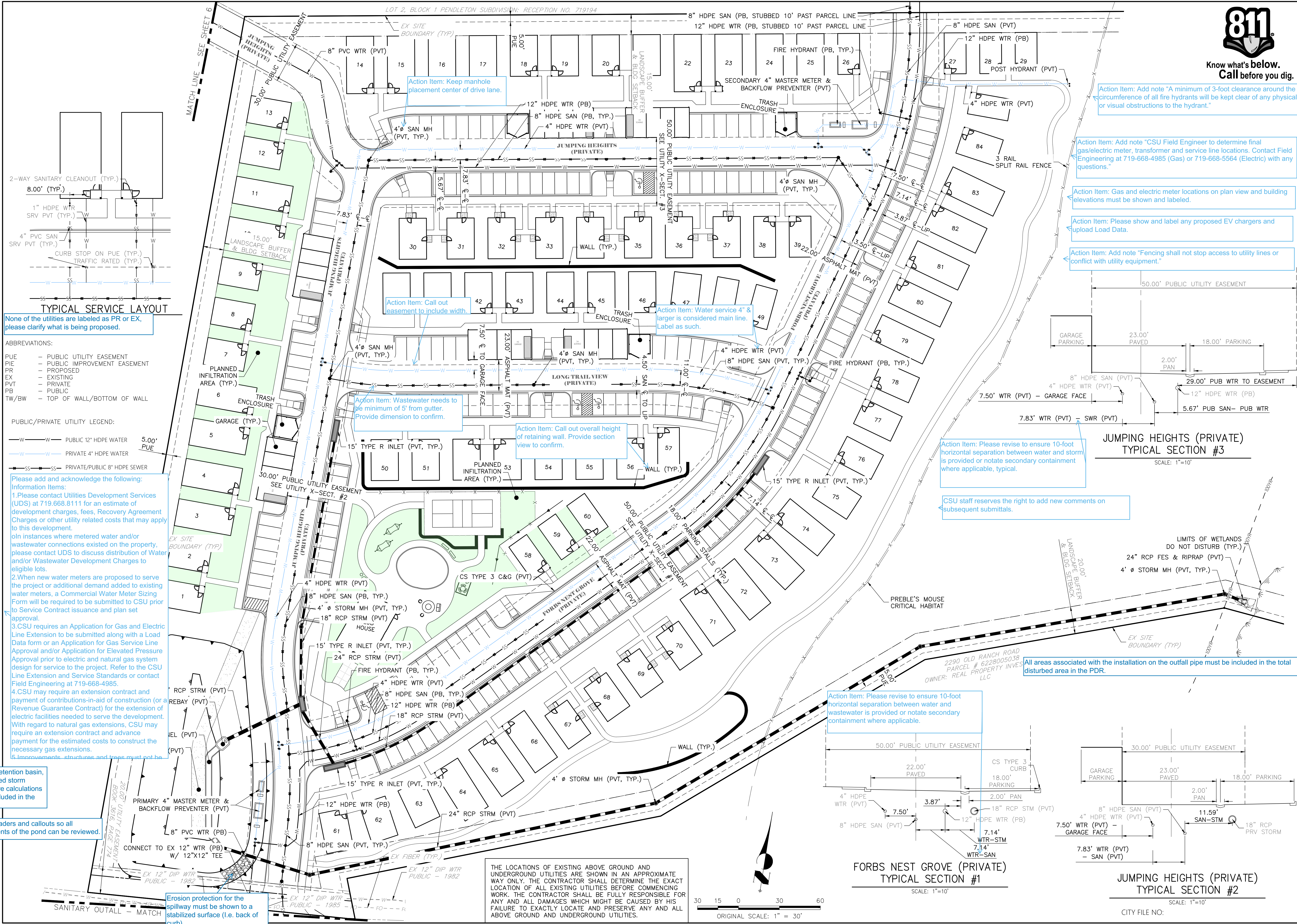
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Table with columns: DATE, REV, DESCRIPTION, LOCATION: COS

COTTAGES AT KETTLE CREEK PRELIMINARY UTILITY & PUBLIC FACILITIES PLAN

DESIGN: NQJ REVIEW: REB DATE: 10/15/2024 H-SCALE: VARIES V-SCALE: N/A SHEET 5 OF 24

LOT 2, BLOCK 1 PENDELTON SUBDIVISION: RECEPTION NO. 719194



None of the utilities are labeled as PR or EX, please clarify what is being proposed.

- ABBREVIATIONS: PUE - PUBLIC UTILITY EASEMENT, PIE - PUBLIC IMPROVEMENT EASEMENT, PR - PROPOSED, EX - EXISTING, PVT - PRIVATE, PB - PUBLIC, TW/BW - TOP OF WALL/BOTTOM OF WALL. PUBLIC/PRIVATE UTILITY LEGEND: W - PUBLIC 12" HDPE WATER, P - PRIVATE 4" HDPE WATER, S - PRIVATE/PUBLIC 8" HDPE SEWER.

Please add and acknowledge the following: Information Items: 1. Please contact Utilities Development Services (UDS) at 719.668.8111 for an estimate of development charges, fees, Recovery Agreement Charges or other utility related costs that may apply to this development. 2. When new water meters are proposed to serve the project or additional demand added to existing water meters, a Commercial Water Meter Sizing Form will be required to be submitted to CSU prior to Service Contract issuance and plan set approval. 3. CSU requires an Application for Gas and Electric Line Extension to be submitted along with a Load Data form or an Application for Gas Service Line Approval and/or Application for Elevated Pressure Approval prior to electric and natural gas system design for service to the project. Refer to the CSU Line Extension and Service Standards or contact Field Engineering at 719-668-4985. 4. CSU may require an extension contract and payment of contributions-in-aid of construction (or a Revenue Guarantee Contract) for the extension of electric facilities needed to serve the development. With regard to natural gas extensions, CSU may require an extension contract and advance payment for the estimated costs to construct the necessary gas extensions. 5. Improvements, structures and traps must not be

All swale, detention basin, and proposed storm infrastructure calculations must be included in the PDR.

Adjust leaders and callouts so all components of the pond can be reviewed.

Erosion protection for the spillway must be shown to a stabilized surface (i.e. back of curb).

Action Item: Keep manhole placement center of drive lane.

Action Item: Call out easement to include width.

Action Item: Water service 4" & larger is considered main line. Label as such.

Action Item: Wastewater needs to be minimum of 5' from gutter. Provide dimension to confirm.

Action Item: Call out overall height of retaining wall. Provide section view to confirm.

Action Item: Please revise to ensure 10-foot horizontal separation between water and storm is provided or notate secondary containment where applicable, typical.

CSU staff reserves the right to add new comments on subsequent submittals.

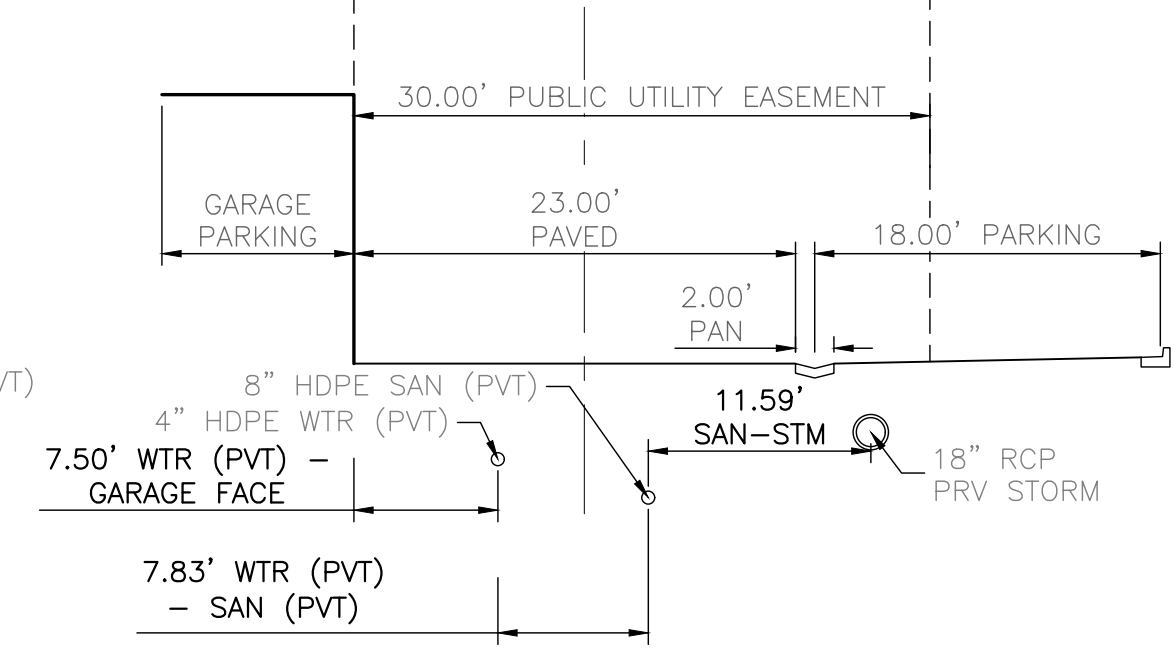
Action Item: Please revise to ensure 10-foot horizontal separation between water and wastewater is provided or notate secondary containment where applicable.

All areas associated with the installation on the outfall pipe must be included in the total disturbed area in the PDR.

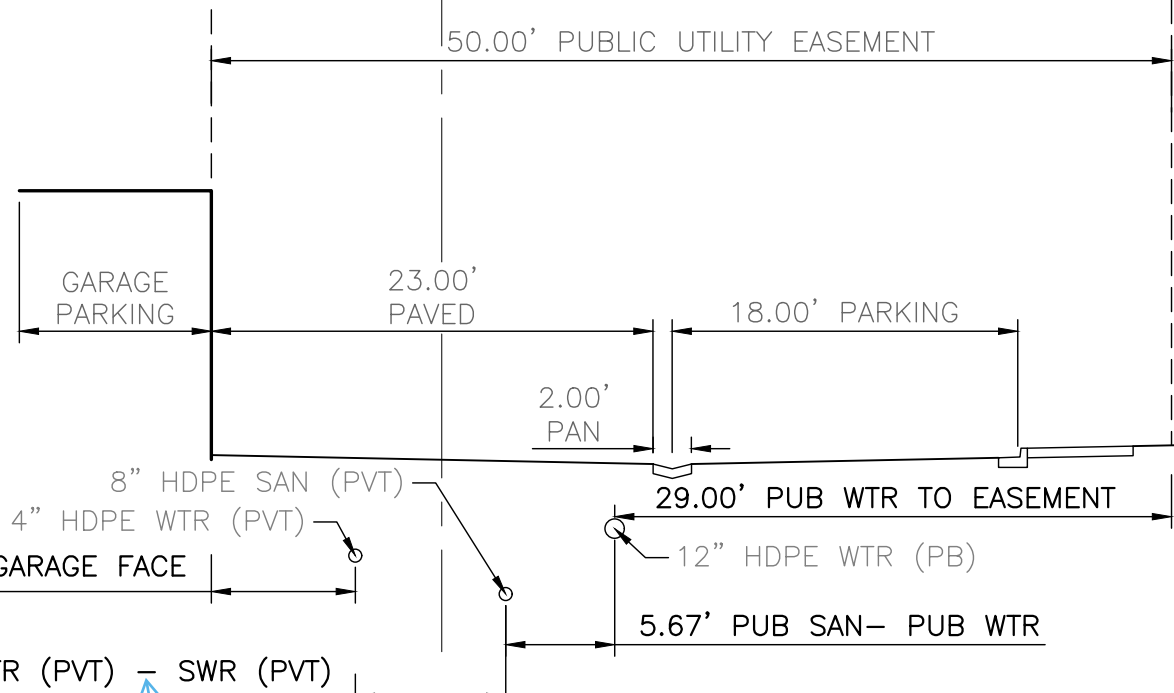
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FORBS NEST GROVE (PRIVATE) TYPICAL SECTION #1 SCALE: 1"=10'



JUMPING HEIGHTS (PRIVATE) TYPICAL SECTION #2 SCALE: 1"=10'



JUMPING HEIGHTS (PRIVATE) TYPICAL SECTION #3 SCALE: 1"=10'

LANDSCAPE NOTES

- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 SF AREA OF "PREMIUM 3 ORGANIC COMPOST", OR APPROVED EQUAL, ON BLUEGRASS TURF AREAS. INCORPORATE 2 CUBIC YARDS/1000 SF AREA OF ORGANIC COMPOST (DECOMPOSED MANURE) TO ALL NATIVE SEED AREAS. TILL INTO TOP 8" OF SOIL. FOR PLANTING PIT AMENDMENTS, SEE LANDSCAPE DETAILS.
RECOMMENDED SOIL AMENDMENT FOR PLANTING PITS:
TRI-MIX III as supplied by C&C Sand
-To be applied as backfill in planting pits
- FERTILIZER REQUIREMENTS BELOW ARE BASED ON SOIL ANALYSIS:
NITROGEN 0 LBS/1000SF
PHOSPHORUS (P2O5) 0 LBS/1000SF
POTASSIUM (K2O) 0 LBS/1000SF
SULFUR (S04-S) 0 LBS/1000SF
MANGANESE 0 LBS/1000SF
SEED 0 LBS/1000SF
SHRUB-BROADLEAF 0 LBS/1000SF
SHRUB-CONIFER 0 LBS/1000SF
*NATIVE SEED FERTILIZER NOTE - APPLY NITROGEN AND OTHER FERTILIZER JUST PRIOR TO THE BEGINNING OF SPRING GROWTH, AFTER GRASS HAS ESTABLISHED. APPLYING NITROGEN TOO EARLY CAN STIMULATE COOL SEASON GRASSES AND WEEDS, THUS LIMITING SEED YIELDS.
3. A SIGNED AFFIDAVIT ATTESTING TO THE SOIL AMENDMENTS INCORPORATED TO CORRECT DEFICIENCIES SHALL BE INCLUDED WITH THE SOIL ANALYSIS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAIL. TILL INTO TOP 8" OF SOIL.
- FOR GRADING PLAN, REFER TO CIVIL ENGINEER'S DRAWINGS.
- FOR STANDARD LIGHTING AND LOCATIONS, REFER TO PHOTOMETRIC PLAN.
- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHOULD BE USED IN THIS APPLICATION. SUBMIT PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTING AREAS AND SPRAY ANY TURF. IRRIGATION PLAN WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, AND NOTES RATES FOR NEWLY PLANTED PLANTS VS. ESTABLISHED PLANTS AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS (SPRING AND FALL).
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS. ALL FIRE HYDRANTS WILL NOT BE OBSTRUCTED VISUALLY OR PHYSICALLY DUE TO VEGETATION.
- ALL FIRE DEPARTMENT CONNECTIONS (FDC) SHALL NOT BE VISUALLY OR PHYSICALLY OBSTRUCTED BY LANDSCAPING.
- NATIVE SEED AREAS TO USE SEED MIX SPECIFIED. ALL SEED MIXES SHALL BE IRRIGATED UNTIL ESTABLISHMENT. SUBMIT SEED MIX PRODUCT INFORMATION TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- EROSION CONTROL BLANKET TO BE APPLIED ON ALL SEED AREAS WITH GREATER THAN 3:1 SLOPES.
- ALL PLANTS AND TREES NOT INSTALLED IN PLANTING BEDS TO RECEIVE 3 INCH DEPTH WOOD MULCH RING UNLESS OTHERWISE SPECIFIED. MULCH RINGS TO BE SIZED PER PLANTING DETAILS.
- SOD SHALL BE KENTUCKY BLUEGRASS BLEND.
- ALL SOD/TURF, ROCK, & SHRUB BEDS TO BE SEPARATED BY SOLID STEEL EDGING. ALL SHRUB BEDS TO BE ENCLOSED BY STEEL EDGING. SEPARATION BETWEEN SOD AND NATIVE SEED, AND BETWEEN ALTERNATIVE TURF AND NATIVE SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING. USE SOLID STEEL EDGING EXCEPT WHERE NOTED ON THE PLANS.
- ALL TREES TO BE STAKED WITH WOOD STAKES. FOR 3" CAL. DECIDUOUS TREES AND EVERGREEN TREES OVER 8" USE 3 WOOD STAKES (STAKE TO GROUND LEVEL). SUBMIT STAKING MATERIALS PRODUCT INFO TO L.A. FOR APPROVAL PRIOR TO INSTALLATION.
- ALL TREES TO BE STAKED FOR A MINIMUM OF 18 MONTHS. REMOVE STAKING MATERIALS ONCE TREE IS ESTABLISHED, WHICH MAY DEPEND ON TREE SPECIES, MATURITY AND SITE CONDITIONS.
- ROCK MULCH: 1 1/2" DIAMETER SADDLEBACK SWIRL. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, MAY BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION. REVIEW AND APPROVAL OF THESE PLANS SHALL OCCUR THIRTY (30) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST. UPON REQUEST BY THE APPLICANT, AN IRRIGATION PLAN, WITH APPLICABLE SUPPORT MATERIAL, SHALL BE SUBMITTED NINETY (90) DAYS SUBSEQUENT TO BUILDING PERMIT ISSUANCE AND APPROVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- INSPECTION AND APPROVAL: NOTIFICATION FOR IRRIGATION INSPECTION AFFIDAVIT SHALL BE GIVEN DURING CONSTRUCTION WHILE TRENCH IS OPEN AND AFTER COMPLETION OF SYSTEM INSTALLATION PRIOR TO SEEDING OR SODDING. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CLIENT SEEKING CERTIFICATE OF OCCUPANCY FOR FINAL LANDSCAPE INSPECTION AFFIDAVIT.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR CITY APPROVAL OF AN AMENDED DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR CITY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.

STANDARD CITY OF COLORADO SPRINGS LANDSCAPE NOTES

- A FINAL LANDSCAPE AND IRRIGATION PLAN, WITH APPLICABLE SUPPORTING MATERIAL, SHALL BE SUBMITTED AT TIME OF BUILDING PERMIT APPLICATION AND SHALL BE APPROVED BEFORE ANY BUILDING PERMIT APPROVAL, ANY LANDSCAPE OR IRRIGATION CONSTRUCTION, AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL PROPOSED LANDSCAPING SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM WHICH WILL PROVIDE DRIP IRRIGATION TO ALL SHRUB BEDS AND TREES WITHIN NATIVE SEED AREAS AND SPRAY IRRIGATION TO ALL HIGH-WATER USE TURF AND NATIVE SEED AREAS.
- THE OWNER OR DEVELOPER IS REQUIRED TO PROVIDE INSPECTION AFFIDAVITS EXECUTED BY THE COLORADO LICENSED LANDSCAPE ARCHITECT OR CERTIFIED IRRIGATION DESIGNER OF RECORD FOR THE PROJECT, WHICH CERTIFIES THAT THE PROJECT WAS INSTALLED AND IN COMPLIANCE WITH THE APPROVED FINAL LANDSCAPE AND IRRIGATION PLAN ON FILE IN CITY PLANNING. THIS SHOULD REQUIRE LIMITED CONSTRUCTION OBSERVATION VISITS TO ACCURATELY COMPLETE THE AFFIDAVITS. WHEN READY TO CALL FOR INSPECTION AND SUBMIT AFFIDAVITS, FIRST CONTACT THE CITY PLANNER OF RECORD FOR THE PROJECT (719-385-3905) AND, AS NECESSARY OUR OFFICE (719-385-5982).
- COPIES OF RECEIPTS/DELIVERY TICKETS FOR SOIL AMENDMENTS INSTALLED ON THE PROJECT ARE REQUIRED TO BE PROVIDED WITH THE INSPECTION AFFIDAVITS.
- IF SOIL IN THE PARKING LOT HAS BEEN COMPACTED BY GRADING OPERATIONS, THE SOIL WITHIN THE PLANTER SHALL BE TILLED, OR REMOVED TO A DEPTH OF THIRTY (30) INCHES AND REPLACED WITH AN ACCEPTABLE GROWING MEDIUM FOR THE SPECIES BEING INSTALLED.
- TILLING OF THE EXISTING SOIL TO INCORPORATE AMENDMENTS AND COUNTER ANY COMPACTION OR SOIL CONSOLIDATION SHALL BE REQUIRED FOR ALL LANDSCAPE PLANTING AREAS.

LANDSCAPE REQUIREMENTS - MULTI-FAMILY

Landscape Setbacks

Street Name or Zone Boundary	Street Classification	Width (in Ft.)	Linear Footage	Tree/Feet Required	No. of Trees Req. / Prov.
Old Ranch Road	Minor Arterial	20' / 20'	197'	1 / 25'	8 / 8
Shrub Substitutes Required / Provided	Ornamental Grass Sub. Required / Provided	Setback Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Provided		
x / x	0 / 0	OR	75% / 75%		

Motor Vehicle Lots

No. of Vehicles Spaces Provided	Shade Trees (1/15 spaces) Required / Provided	Plant Abbr. on Plan
179	12 / 12	MV

Landscape Buffer & Screens

Street Name or Property Line	Width (in Ft.) Req. / Prov.	Linear Footage	Length of 6' Opaque Structure Required	Length of 6' Opaque Structure Provided	
Northern Boundary	15 / 15	582'	Required - 582'	Provided - 582'	
Western Boundary	15 / 15	652'	Required - 652'	Provided - 652'	
Southern Boundary	15 / 15	317'			
Buffer Trees (1/20') Required / Provided	Evergreen Trees Req. (50%) / Prov.	Buffer Tree Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.		
30 / 30	15 / 15	NB	75% / 100%		
33 / 33	17 / 17	WB	75% / 100%		
16 / 16	8 / 8	SB	75% / 100%		

Internal Landscaping

See Code Section/Policy 7.4.908 & Appendix F

Gross Site Area (SF) Excluding Limits of Disturbance	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided	Internal Trees (N) 1/500 SF Required / Provided
362,419 S.F.	15% (MF)	54,362 / 54,362	75 / 75
Shrub Substitutes Required / Provided	Ornamental Grass Substitutes Required / Provided	Internal Plant Abbr. Denoted on Plan	Percent Ground Plane Veg. Req. / Prov.
x / x	0 / 0	IN	75% / 75%

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
DECIDUOUS TREES								
	Af	11	Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple	50'	20'	2" Cal.	B&B	Park/ROW
	Ct	16	Corylus colurna / Turkish Filbert	30'	20'	2" Cal.	B&B	Park/ROW/Median
	Gt	13	Gleditsia triacanthos / Honey Locust	30'	30'	2" Cal.	B&B	Park/ROW/Median
	Qs	17	Quercus robur 'Fastigiata' / Skyrocket® English Oak	50'	15'	1.5" Cal.	B&B	Park/ROW/Median
	Tc2	26	Tilia cordata / Littleleaf Linden	30'	15'	2" Cal.	B&B	ROW
EVERGREEN TREES								
	Jm	28	Juniperus monosperma / One-seed Juniper	15'	10'	6" HT	B&B	Screen/Wall/Trash
	Je	11	Juniperus virginiana / Eastern Redcedar	20'	18'	6" HT	B&B	Screen/Wall/Trash
	Ph2	11	Pinus heldreichii / Bosnian Pine	25'	15'		B&B	Screen/Wall/Trash
ORNAMENTAL TREES								
	Ac	6	Amelanchier canadensis / Canadian Serviceberry	15'	15'	1.5" Cal.	B&B	STREAM
	Cc	2	Cercis canadensis / Eastern Redbud	20'	20'	1.5" Cal.	B&B	ROW
	Pc	17	Pyrus calleryana / Callery Pear	15'	15'	1.5" Cal.	B&B	ROW
DECIDUOUS SHRUBS								
	As	63	Amelanchier alnifolia / Serviceberry	5'	5'	5 GAL	CONT	WALL
	Bt	56	Berberis thunbergii / Japanese Greenleaf Barberry	4'	4'	5 GAL	CONT	Screen/Wall
	Cb	66	Caryopteris x clandonensis / Bluebeard	4'	4'	5 GAL	CONT	--
	Ca	64	Cotoneaster apiculatus / Cranberry Cotoneaster	3'	3'	5 GAL	CONT	--
	Sp	42	Syringa pubescens patula 'Miss Kim' / Miss Kim Korean Lilac	5'	5'	5 GAL	CONT	Screen/Wall
	Vj	74	Viburnum x juddii / Judd Viburnum	3'	3'	5 GAL	CONT	Screen/Wall
EVERGREEN SHRUBS								
	Ee	106	Ephedra equisetina / Bluestem Joint Fir	4'	3'	5 GAL	CONT	Wall/Screen/Trash
	Jt	70	Juniperus sabina 'Tamariscifolia New Blue' / New Blue Tamarix Juniper	4'	6'	5 GAL	CONT	SCREEN
	Jb	40	Juniperus scopulorum 'Blue Arrow' / Blue Arrow Juniper	8'	2.5'	5 GAL	CONT	Wall/Screen/Trash
GRASSES								
	Mu	50	Muhlenbergia reverchonii 'PUND01S' / Undaunted® Ruby Muhly	3'	3'	5 GAL		
	Pv	106	Panicum virgatum / Switch Grass	3'	1.5'	5 GAL	CONT	SCREEN
PERENNIALS								
	Aa	11	Agastache x 'Acapulco Trio' / Acapulco Anise Hyssop	2'	1'			
	Gs	19	Gaura lindheimeri 'Sparkle White' / Sparkle White Gaura	3'	1'			

Streamside Criteria

Type III Stream Channel

Buffer Zone	Width (in Ft.)	Linear Footage	Impervious Area Provided*	
Inner Buffer Zone	20'	49'	0%	
Outer Buffer Zone	50'	173'	0%	
Streamside Trees Required / Provided	Shrub Substitutes Required / Provided	Streamside Tree Abbr. Denoted on Plan		
(1/20) 3/x	0 / 0	IB		
(1/30) 6/x	0 / 0	OB		

*Up to 25% Allowed with Water Quality Capture Volume

	Impervious Area *The impervious surface allowance for any lot that has the streamside overlay on the lot will be 25% of the area on the lot that is overlaid with the streamside overlay buffer.		Slopes Greater than 15%
--	---	--	-------------------------

Action Item: Add CSU Note:
Verify location and depth of all underground utilities prior to start of work. Call 811 for utility locates. Tree trunk placement shall be 6' minimum distance from any gas or electric and 10' from gas mains rated at 150 PSI. For sanitary sewer and water mainlines trees shall not be located within easements and within 15' of any mainline. Any conflict between tree locations and utilities shown on plans shall be resolved with general contractor prior to planting. All electrical vaults and transformers shall be kept clear from plant material per Colorado Springs Utilities (CSU) Guidelines "Landscaping around electrical equipment". See CSU Construction Standards drawings 18-302 for specific clearance requirements. All shrubs to be located 3' clear of all fire hydrants at mature size.

CONCEPT PLANT SCHEDULE

	ROCK COBBLE 2-4" Arkansas Tan River Rock	46,093 sf
	ROCK MULCH 1 1/2" Denver Granite	42,024 sf
	NATIVE SEED MIX - DOB PARK Wear Tolerant Turf Seed by Arkansas Valley Seed Co Seed Mix: 90% Rhizome-rich Turf Tall Fescues 10% Kentucky Bluegrass Seeding Rate: Drill Seed @ 8 lbs. per 1000 sf	3,128 sf
	NATIVE SEED MIX Custom El Paso County Low Grow Mix 29% Sideoats Grama 25% Buffalograss 20% Blue Grama 20% Western Wheatgrass 5% Green Needlegrass 1% Sand Dropseed Drilled at 21 PLS/acre, Hydroseed on slopes 3:1 & greater at 42 PLS/acre.	43,322 sf
	SOD	8,110 sf
	RETENTION SEED MIX El Paso County Conservation District All Purpose Mix Big Bluestem - 20% Blue Grama - 10% Green Needlegrass - 10% Western Wheatgrass - 20% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Hydroseed @ 19.3 PLS/acre	24,926 sf
	TREATED MULCH	1,756 sf
	BREEZE Saddleback Swirl	3,517 sf



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www.nescolorado.com

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COTTAGES AT KETTLE CREEK DEVELOPMENT PLAN

DATE: 10/15/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: A. ROMAN

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

FINAL LANDSCAPE PLAN NOTES

7

7 OF 24

DEPN-24-0160



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

COTTAGES AT KETTLE CREEK DEVELOPMENT PLAN

PROJECT INFO

DATE: 10/15/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: A. ROMAN

STAMP

ISSUE INFO

DATE:	BY:	DESCRIPTION:

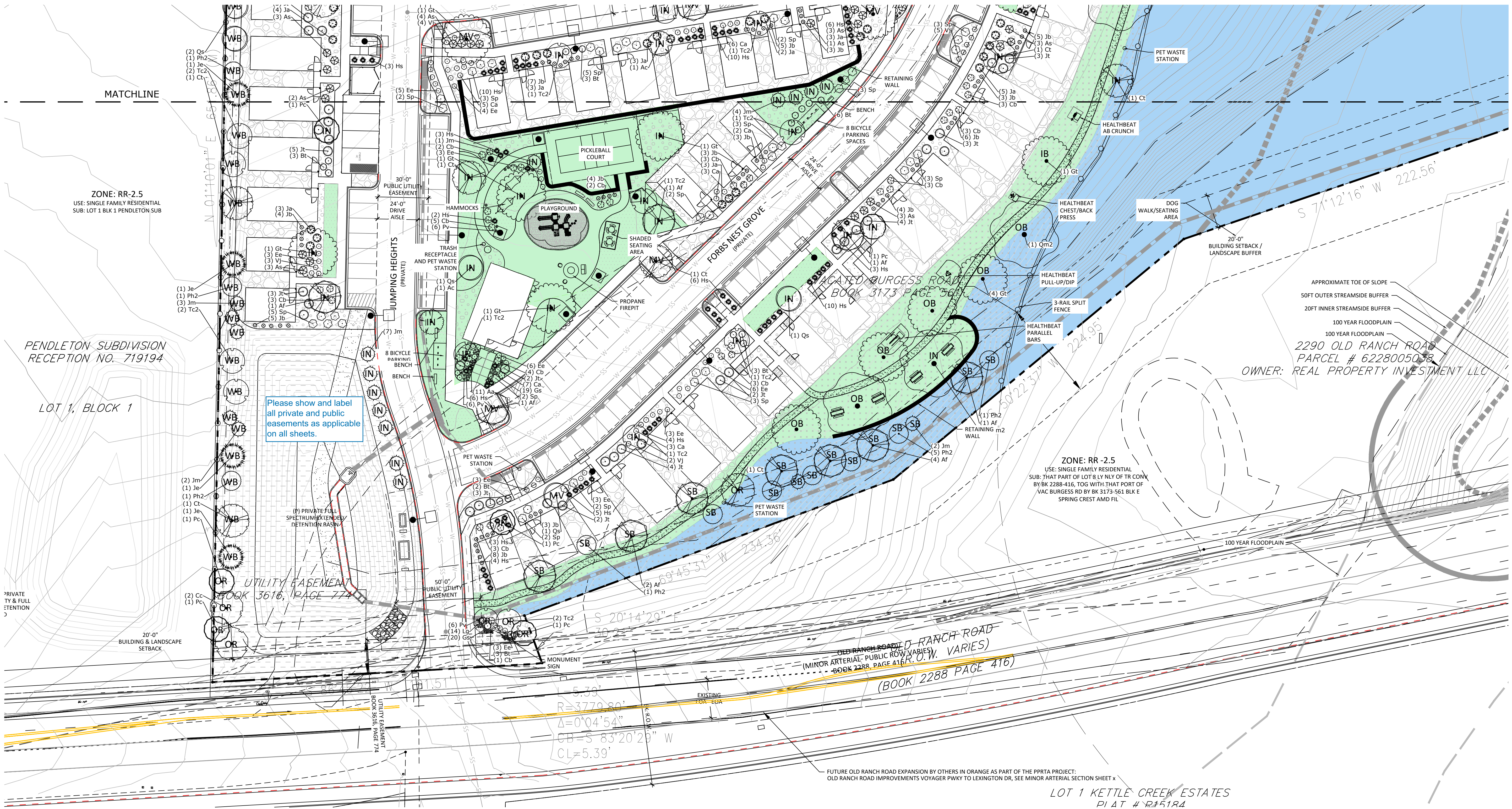
SHEET TITLE

PRELIMINARY LANDSCAPE PLAN

PLAN FILE #

9

9 OF 24



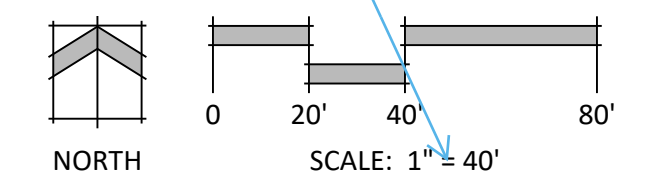
LINE TYPE LEGEND

- ADA ROUTE
- EASEMENT
- SETBACK
- SIDEWALK
- FENCE
- FIRELANE
- LINE OF SIGHT
- PROPERTY BOUNDARY
- PREBLE MOUSE CRITICAL HABITAT

Ensure this matches the plans.

Action Item: Correct scale to 1" = 30'

PLANNED INFILTRATION AREA (PIA)



P:\Growth\Kettle\Cottages at Kettle Creek\Drawings\Aerial\PLP\Cottages at Kettle Creek_PLP\Format\PLP\Cottages at Kettle Creek_PLP.dwg (Landscape Plan S - 9) 10/15/2024 2:09:18 PM ARD/AMM

STREAMSIDE REVIEW CRITERIA

1. HAS THE NATURAL LANDFORM BEEN MAINTAINED WITHIN THE OVERLAY AREA AND DOES GRADING CONFORM TO THE SPECIFIC GRADING LIMITATIONS OF THIS SECTION AS WELL AS ALL OTHER CITY GRADING AND FILLING REGULATIONS?

THE DEVELOPMENT PLAN RETAINS ALL OF THE STREAMSIDE AREA NATURAL OPEN SPACE, EXCEPT FOR GRADING RELATED TO A STORM SEWER OUTLET PIPE FROM THE NEW ON-SITE DETENTION POND TO THE CREEK. AS SUCH, THE MAJORITY OF THE STREAMSIDE BUFFER AREAS WILL BE LEFT IN A NATURAL STATE, WHICH PROTECTS THE STREAM ECOSYSTEM. THE SITE IS DESIGNED TO HAVE MINIMUM IMPACT ON THE CREEK AND ADJACENT STREAMSIDE BUFFERS, BUT WILL TAKE ADVANTAGE OF THE VIEWS OF THE NATURAL AREA, WHICH HELPS TO INCLUDE THE STREAM IN THE DEVELOPMENT FOR PATRONS.

2. DOES THE DEVELOPMENT INCORPORATE THE STREAM ECOSYSTEM INTO THE PROJECT DESIGN AND COMPLEMENT THE NATURAL STREAMSIDE SETTING? HAS THE PROJECT BEEN DESIGNED TO LINK AND INTEGRATE ADJACENT PROPERTIES WITH THE STREAM CORRIDOR USING ACCESSWAYS, CREEK FRONT PLAZAS, EMPLOYEE RECREATIONAL AREAS OR OTHER SITE PLANNING AND LANDSCAPING TECHNIQUES WHICH INCLUDE THE STREAM CORRIDOR AS AN AMENITY?

THE SITE IS DESIGNED TO HAVE MINIMUM IMPACT ON THE CREEK AND ADJACENT STREAMSIDE BUFFERS, BUT WILL TAKE ADVANTAGE OF THE VIEWS OF THE NATURAL AREA, WHICH HELPS INCORPORATE AND BRING ATTENTION TO THE STREAM. THERE IS A VAST NATURAL OPEN SPACE, THROUGH WHICH THE STREAM TRAVERSES, TO THE EAST OF THE SUBJECT PROPERTY. WHILE THIS LAND IS PRIVATELY OWNED, AND WILL LIKELY BE DEVELOPED AT SOME POINT, THE PORTION OF THAT PROPERTY IS NARROW AND WILL LIKELY BE LEFT IN OPEN SPACE JUST AS THE AREA ON THE SUBJECT PROPERTY. BECAUSE THE AREA ADJACENT TO THE STREAM ON THE SUBJECT PROPERTY IS HABITAT FOR THE PREBBLE'S MEADOW JUMPING MOUSE, NO TRAILS OR OTHER ACCESSWAYS ARE PROPOSED.

3. HAS THE PROJECT BEEN DESIGNED TO MINIMIZE IMPACT UPON WILDLIFE HABITAT AND THE RIPARIAN ECOSYSTEM WHICH EXISTS ON OR ADJACENT TO THE SITE? DOES THE PROJECT DESIGN PROTECT ESTABLISHED HABITAT OR ANY KNOWN POPULATIONS OF ANY THREATENED OR ENDANGERED SPECIES OR SPECIES OF SPECIAL CONCERN?

BOTH THE INNER AND OUTER BUFFERS ARE DESIGNATED AS CRITICAL HABITAT FOR THE PREBBLE'S MEADOW JUMPING MOUSE. NO GRADING OR DEVELOPMENT IS PROPOSED WITHIN THESE AREAS. WHILE SOME GRADING AND BUILDINGS AREA PROPOSED WITHIN THE BROADER HABITAT AREA ON THE SITE, SUCH DEVELOPMENT ACTIVITY HAS BEEN MINIMIZED. THE US DEPARTMENT OF FISH AND WILDLIFE SERVICES HAS REVIEWED A REPORT RELATED TO THE PREBBLE'S MEADOW JUMPING MOUSE HABITAT ON THE PROPERTY, AND THEY HAVE CONCURRED WITH THE DEVELOPMENT LIMITS.

4. HAVE EXISTING OR POTENTIAL COMMUNITY TRAIL NETWORKS AND OTHER RECREATIONAL OPPORTUNITIES BEEN IDENTIFIED AND INCORPORATED INTO THE PROJECT DESIGN?

THERE ARE NO PLANNED TRAILS WITHIN THE STREAMSIDE OVERLAY BUFFERS WITHIN THE PROJECT. THE DEVELOPER HAS DISCUSSED THIS AREA WITH THE CITY OF COLORADO SPRINGS PARKS AND OPEN SPACE STAFF, AND IT WAS DECIDED THAT THE CITY DID NOT WISH TO ACQUIRE THE PROPERTY, AND DID NOT REQUEST THE PROVISION OF FORMAL TRAIL CONSTRUCTION DUE TO THE PREBBLE'S MEADOW JUMPING MOUSE HABITAT ON THE PROPERTY.

5. HAS THE PROJECT BEEN DESIGNED TO PROTECT THE SUBJECT PROPERTY FROM POTENTIAL FLOOD DAMAGE AND TO ACCOMMODATE FLOOD STORAGE AND CONVEYANCE NEEDS?

THE PROPERTY HAS BEEN DESIGNED IN CONFORMANCE WITH THE CITY'S ENGINEERING CRITERIA MANUAL FOR STORMWATER MANAGEMENT. ON-SITE PONDING IS PROPOSED TO ACCOMMODATE HISTORIC DRAINAGE THROUGH THE PROPERTY AS WELL AS NEW RUNOFF FROM THE DEVELOPMENT. AN ADDITIONAL DESIGN WAS DEVELOPED TO ACCOMMODATE THE 100-YEAR STORM EVENT. THE POND WILL OUTLET TO THE STREAM, WHICH WILL BE CONVEYED BY PIPE FROM THE POND TO THE STREAM.

6. HAVE ALL SIGNIFICANT NATURAL FEATURES WITHIN THE PROJECT STREAMSIDE AREA BEEN IDENTIFIED, AND HAS THE PROJECT BEEN DESIGNED TO MINIMIZE THE IMPACT ON THESE FEATURES?

THERE ARE NO SIGNIFICANT NATURAL FEATURES IN THIS STREAMSIDE AREA. ADDITIONAL LANDSCAPING/TREE PLANTING IS PROPOSED TO ENHANCE THE EXISTING VEGETATION.

7. DOES THE PROJECT IDENTIFY AND IMPLEMENT THE RECOMMENDATIONS OF ANY APPROVED SUBAREA PLANS (SUCH AS THE CITY GREENWAY MASTER PLAN, CITY OPEN SPACE PLAN OR A SPECIFIC DRAINAGE PLAN STUDY) AND OF ANY APPROVED PUBLIC WORKS PROJECTS AND HABITAT CONSERVATION PLANS?

THE PROJECT IS WITHIN THE KETTLE CREEK DRAINAGE BASIN. THE DRAINAGE REPORT FOR THE PROJECT ADDRESSES THE RECOMMENDATIONS OF THE KETTLE CREEK DRAINAGE BASIN PLAN, AND IS INCLUDED WITH THIS SUBMITTAL.

8. DOES THE PROJECT DESIGN:

A. IMPLEMENT A RIPARIAN BUFFER OF SPECIFIED WIDTH BETWEEN THE DEVELOPED PORTIONS OF THE SITE AND THE ADJACENT WATERWAY TO ASSIST IN PREVENTING POINT AND NONPOINT SOURCE POLLUTANTS AND SEDIMENT FROM ENTERING THE WATERWAY?

THE REQUIRED BUFFERS ARE NOTED ON THE STREAMSIDE PLAN THAT FORMS PART OF THE DEVELOPMENT PLAN. THE PROPOSED DEVELOPMENT DOES NOT IMPACT THE INNER OR OUTER BUFFER, EXCEPT FOR GRADING AND INSTALLATION OF A DRAINAGE PIPE THAT OUTLETS TO THE CREEK. THE ON-SITE DETENTION POND, WHICH IS LOCATED ON THE OPPOSITE SIDE OF THE DEVELOPMENT FROM THE STREAM, INCLUDES WATER QUALITY WHICH IS INTENDED TO PREVENT SEDIMENT ENTERING THE WATERWAY.

B. EXCLUDE IMPERVIOUS SURFACES FROM THE INNER BUFFER ZONE AND MEET IMPERVIOUSNESS RESTRICTIONS ACROSS THE ENTIRE OVERLAY?

YES.

C. INCORPORATE ALL STORMWATER BMPs REQUIRED BY CITY ENGINEERING THROUGHOUT THE DEVELOPED SITE AND ADJACENT TO THE BUFFER TO ENCOURAGE ON-SITE FILTRATION OF STORMWATER AND PROTECT WATER QUALITY?

THE DRAINAGE REPORT IDENTIFIES ALL BMPs REQUIRED BY CITY ENGINEERING AND THESE WILL BE IMPLEMENTED WITH THE DEVELOPMENT. ON-SITE DETENTION AND WATER QUALITY IS PROPOSED AND MEETS CITY ENGINEERING REQUIREMENTS.

D. INCORPORATE VISUAL BUFFER OPPORTUNITIES OF THE STREAM BETWEEN IDENTIFIED EXISTING AND/OR PROPOSED PROJECTS ON OPPOSITE SIDES OF THE STREAM?

ADDITIONAL LANDSCAPING IS PROPOSED TO THE SOUTH AND EAST OF THE CHAPEL BUILDING, WHICH WILL PROVIDE A BUFFER TO THE STREAM AND THE PROPERTIES ON THE OPPOSITE SIDE OF KETTLE CREEK.

9. ARE INNER AND OUTER BUFFER ZONE LANDSCAPING STANDARDS MET? HAVE DISTURBED AREAS BEEN REVEGETATED TO MINIMIZE EROSION AND STABILIZE LANDSCAPE AREAS AND DOES THE PROJECT LANDSCAPING DESIGN SPECIFY PLANTS SELECTED FROM THE RIPARIAN PLANT COMMUNITIES AS SET FORTH IN APPENDIX A OF THE LANDSCAPE POLICY MANUAL? DOES THE PROPOSAL MEET ALL OTHER REQUIREMENTS OF THE CITY'S LANDSCAPE CODE?

ADDITIONAL TREE AND SHRUB PLANTINGS ARE PROPOSED TO MEET THE INNER AND OUTER BUFFER ZONE LANDSCAPING REQUIREMENTS. THE PROPOSAL MEETS ALL OTHER REQUIREMENTS OF THE CITY'S LANDSCAPE CODE.

10. HAVE STREAM BANK AND SLOPE AREAS BEEN IDENTIFIED (PARTICULARLY THOSE OVER 15 PERCENT SLOPE)? HAS THE DISTURBANCE TO THESE AREAS AND ANY PROTECTIVE OR STABILIZING VEGETATION COVER BEEN MINIMIZED? DOES THE PLAN PROVIDE FOR THE SUITABLE REVEGETATION AND STABILIZATION OF ANY DISTURBED AREAS?

ALL DISTURBED AREAS HAVE BEEN REVEGETATED TO MINIMIZE EROSION AND ADDITIONAL TREE AND SHRUB PLANTINGS ARE PROPOSED TO MEET THE INNER AND OUTER BUFFER ZONE LANDSCAPING REQUIREMENTS. PROPOSED TREES ARE CONSISTENT WITH THE RIPARIAN PLANT COMMUNITIES IDENTIFIED IN THE LANDSCAPE POLICY MANUAL. THE PROPOSAL MEETS ALL OTHER REQUIREMENTS OF THE CITY'S LANDSCAPE CODE.

11. HAVE OPPORTUNITIES TO RECLAIM THE DRAINAGEWAY BEEN IDENTIFIED AND IMPLEMENTED WHERE PRACTICAL? FOR THIS CRITERION, RECLAMATION CONSTITUTES ANY ACTION THAT IMPROVES THE QUALITY OF THAT DRAINAGEWAY VISUALLY, FUNCTIONALLY OR RECREATIONALLY, AND BRINGS THAT DRAINAGEWAY INTO A MORE NATURAL CONDITION.

STREAM BANK AND SLOPE AREAS HAVE BEEN IDENTIFIED, AND SLOPES OVER 15% ARE NOTED ON THE STREAMSIDE PLAN INCLUDED AS PART OF THE DEVELOPMENT PLAN. THE AREA OF THE STREAMSIDE TO BE DISTURBED IN THE INNER AND OUTER BUFFER IS RELATED TO GRADING FOR A DRAINAGE PIPE THAT OUTLETS FROM THE NEW DETENTION POND TO THE STREAM. REVEGETATION AND BANK STABILIZATION MEASURES WILL BE IMPLEMENTED AS NEEDED IN THE INNER BUFFER. NATIVE GRASSES ARE PROPOSED FOR THE DISTURBED PORTION OF THE OUTER BUFFER AREA.

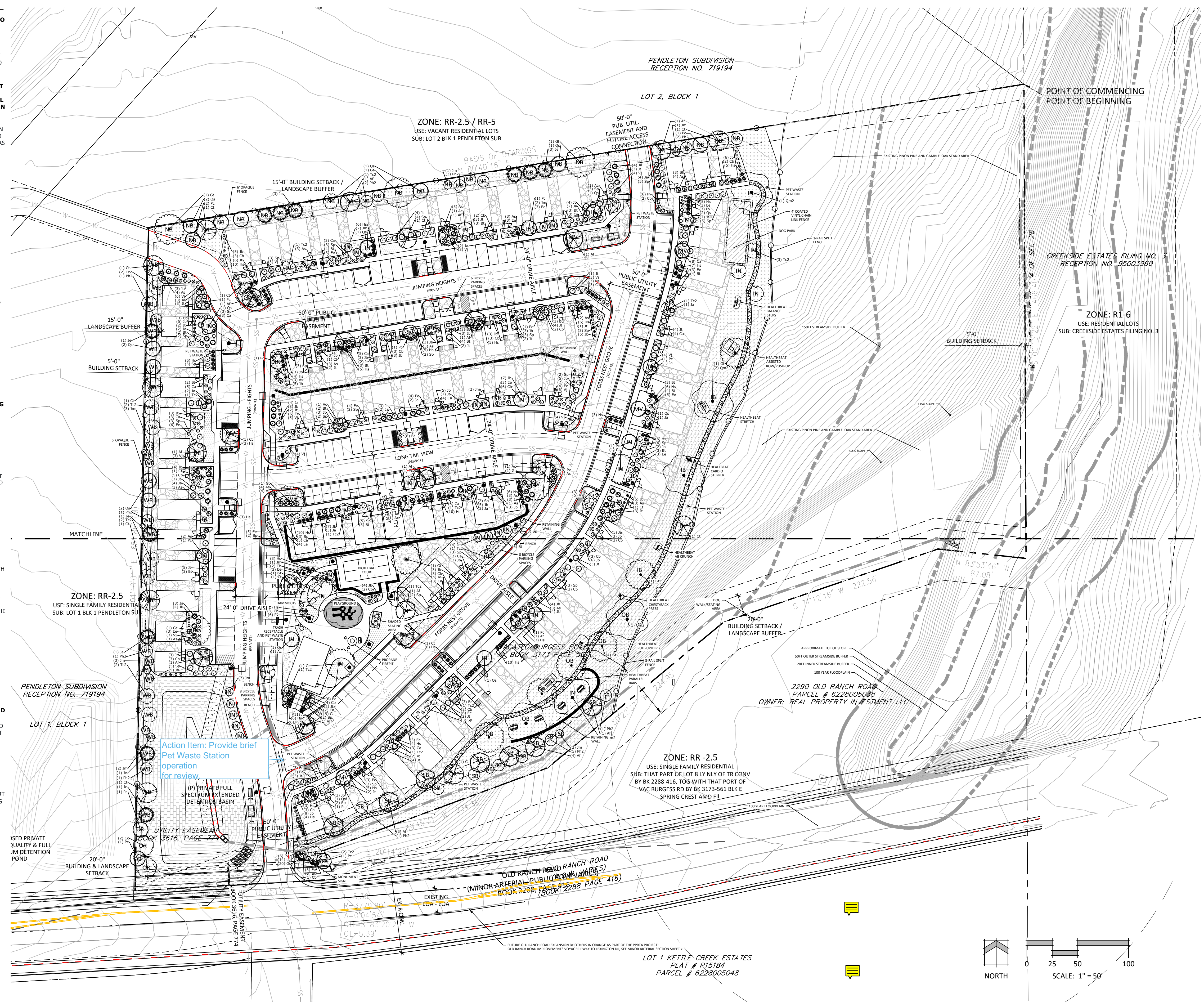
STREAMSIDE CRITERIA

Type I Stream Channel	Linear Footage	Impervious Area Provided*	Streamside Trees Required / Provided	Shrub Substitutes Required / Provided	Streamside Tree Abbr. Denoted on Plan
Buffer Zone	Width (in Ft.)				
Inner Buffer Zone	20'	49'	0%	0 / 0	IB
Outer Buffer Zone	50'	173'	0%*	0 / 0	OB
Streamside Trees Required / Provided					
(1/20) 3 / 3					IB
(1/30) 6 / 6					OB

*Up to 25% Allowed with Water Quality Capture Volume

STREAMSIDE NOTES

- ALL NECESSARY CHANNEL IMPROVEMENTS WILL BE FULLY CONSTRUCTED BY THE BRADLEY HEIGHTS METROPOLITAN DISTRICT AND ACCEPTED FOR THE PROBATIONARY PERIOD BY THE CITY'S PUBLIC WORKS DEPARTMENT OR ASSURANCES POSTED FOR 10% OF THE PUBLIC IMPROVEMENT COST PRIOR TO THE FIRST BUILDING PERMIT BEING ISSUED. ANY DEVIATION FROM THE STANDARD PROCESS WILL REQUIRE A DEVELOPMENT AGREEMENT BETWEEN THE DEVELOPER AND THE CITY.
- CHANNEL IMPROVEMENTS ARE NOT FINALIZED AND PROPOSED TREE LOCATIONS ARE SUBJECT TO CHANGE.
- PRIOR TO ANY DEVELOPMENT, INCLUDING GRADING, VEGETATION REMOVAL, OR ANY OTHER IMPROVEMENTS, A DEVELOPMENT PLAN MUST BE APPROVED, AND THE INNER BUFFER ZONE MUST BE FENCED OR APPROPRIATELY FLAGGED BY THE PROPERTY OWNER OR DEVELOPER TO DENOTE THE STREAM CORRIDOR. NO HEAVY EQUIPMENT OR OTHER POTENTIALLY DAMAGING ACTIVITIES ARE PERMITTED IN THE PROTECTED AREA. THE FLAGS ARE TO REMAIN IN PLACE UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETE.



Action Item: Provide brief Pet Waste Station operation for review

(P) PRIVATE FULL SPECTRUM EXTENDED DETENTION BASIN

UTILITY EASEMENT BOOK 3616, PAGE 277

20'-0" BUILDING SETBACK / LANDSCAPE BUFFER

50'-0" PUBLIC UTILITY EASEMENT

20'-0" BUILDING SETBACK / LANDSCAPE BUFFER

50'-0" PUBLIC UTILITY EASEMENT

20'-0" BUILDING SETBACK / LANDSCAPE BUFFER

50'-0" PUBLIC UTILITY EASEMENT



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COTTAGES AT KETTLE CREEK DEVELOPMENT PLAN

DATE: 10/15/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: A. ROMAN

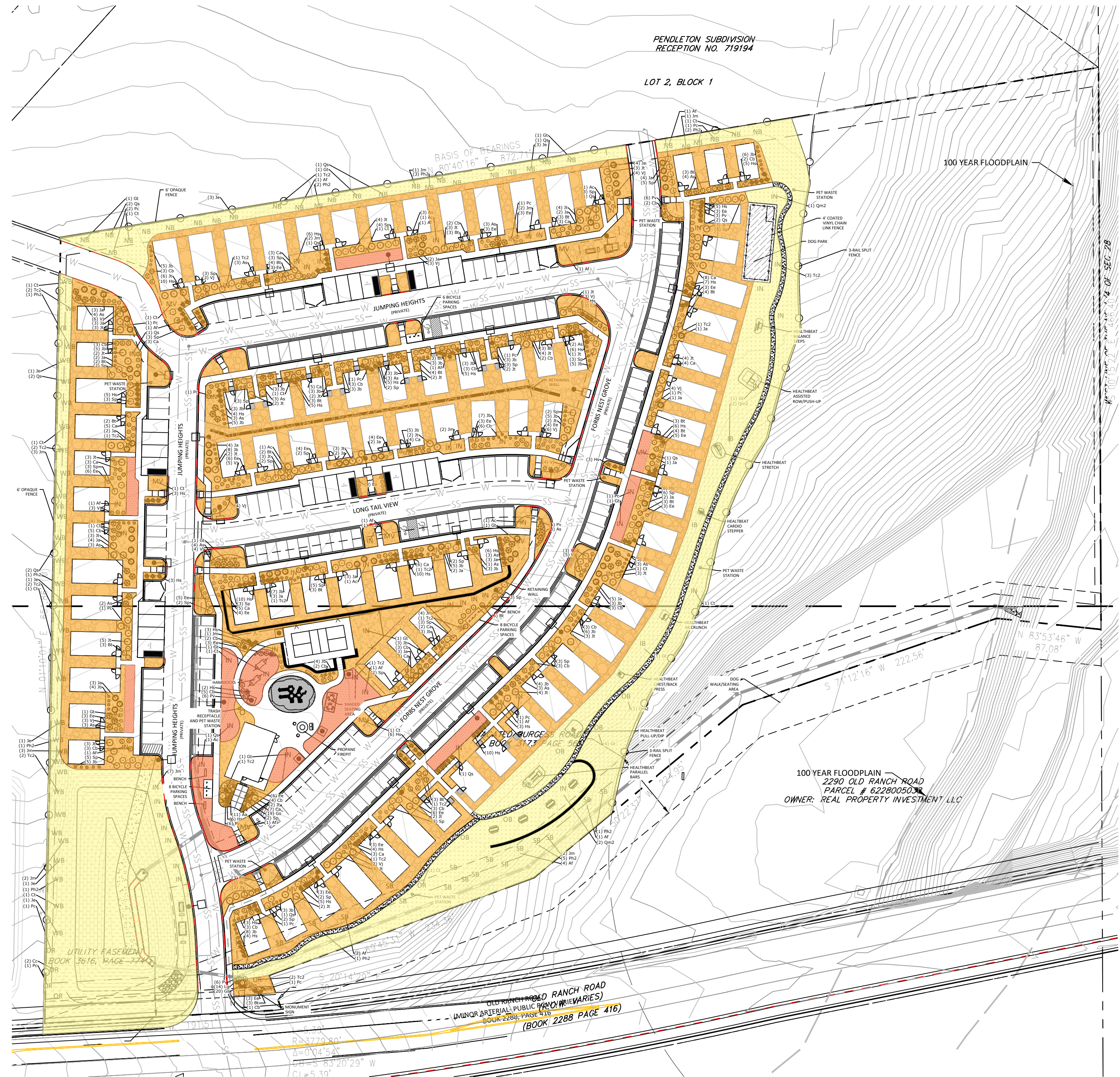
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DATE: BY: DESCRIPTION:


STREAMSIDE OVERLAY PLAN

10

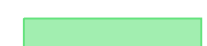
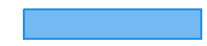
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HYDROZONE PLAN DIAGRAM

	L.-- Low (Native Seed)	43% / 71,376 SF
	M.-- Moderate (Shrub Beds w/ Plantings)	53% / 88,117 SF
	H.-- High (High-Water Turf/Sod)	4% / 8,110 SF
Sub-Total of All Irrigated Areas		(167,603 SF)

ACTIVE AND NON-ACTIVE OPEN SPACE DIAGRAM

HATCH DEFINITION	REQUIRED / PROVIDED
Active Green Space 	Active Green Space Required : 48,395.2 SF (10%) Active Green Space Provided: 45,294 SF* (9.3%)
Non-Active Green Space 	Non-Active Green Space Required : 24,197.6 SF (5%) Non-Active Green Space Provided: 148,311 SF* (30.6%)

See alternative compliance request

follow COS landscape manual Appendix F format.

P:\Gordon\Knight\Cottages at Kettle Creek\Drawings\Arch\Site\Cottages at Kettle Creek_Landscape Diagrams - 111_10/15/2024 2:19:21 PM ARDMAN



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com
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COTTAGES AT KETTLE CREEK
DEVELOPMENT PLAN

DATE: 10/15/2024
PROJECT MGR: K. JOHNSON
PREPARED BY: A. ROMAN

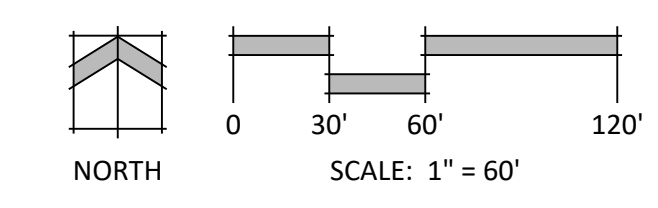
ENTITLEMENT

DATE:	BY:	DESCRIPTION:

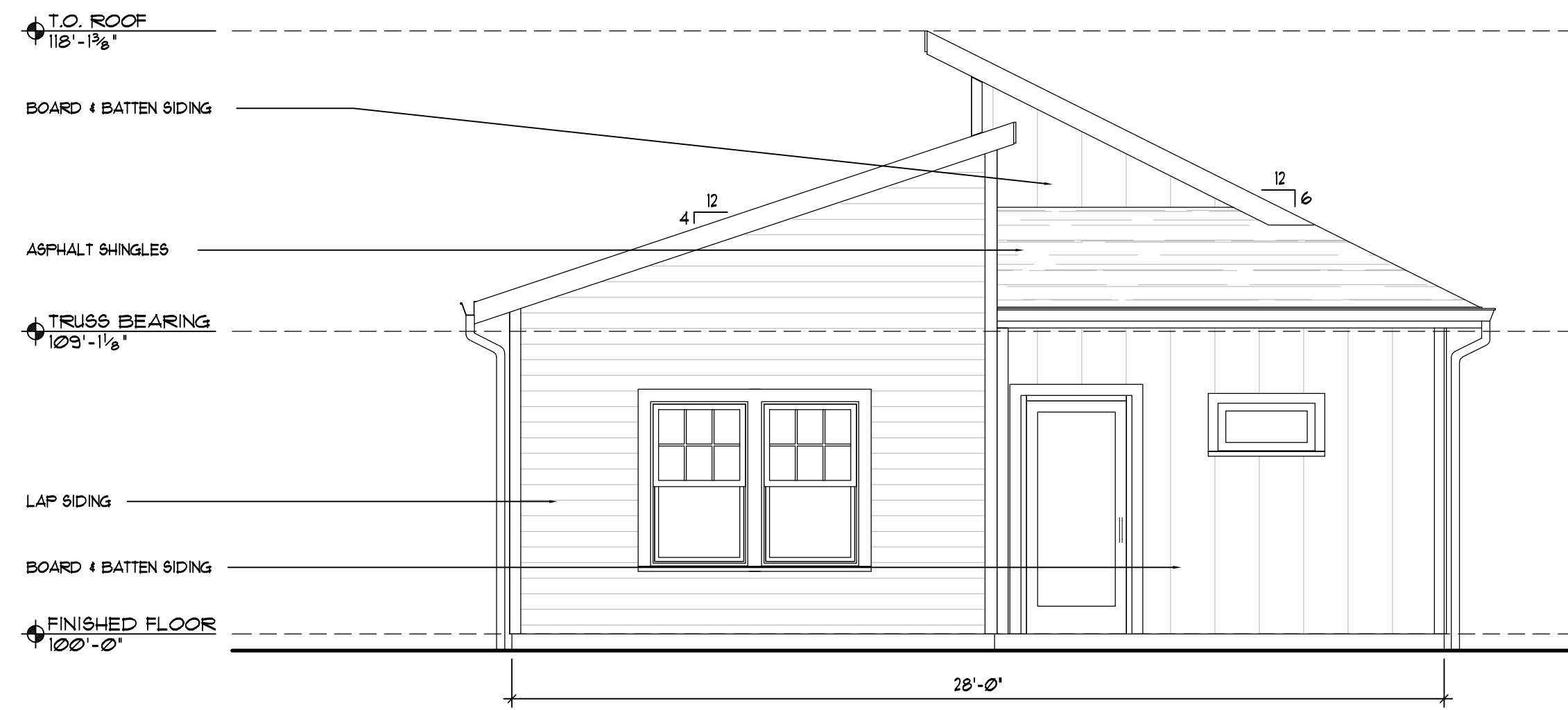
HYDROZONE PLAN

11

11 OF 24



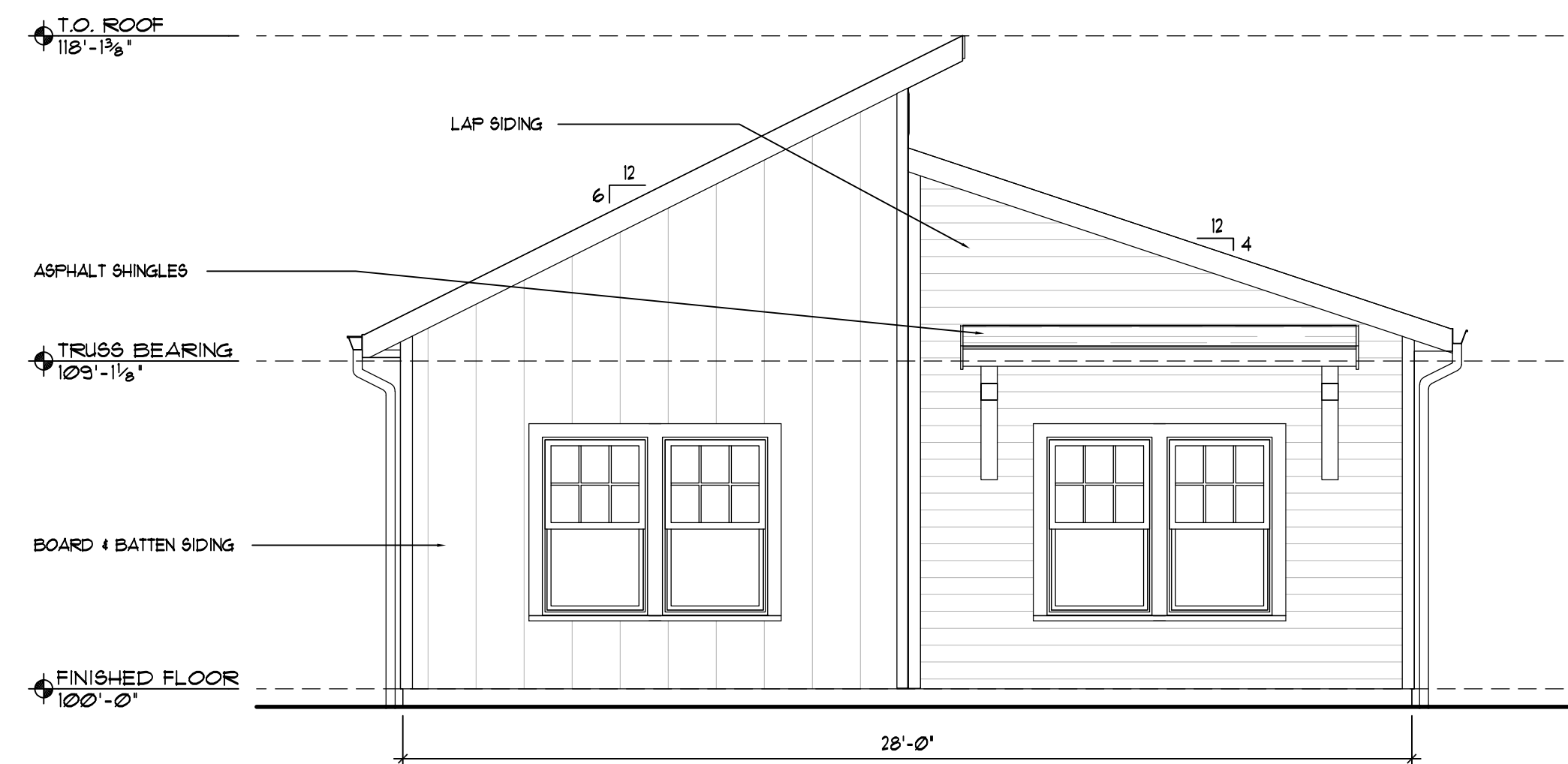
CLUBHOUSE



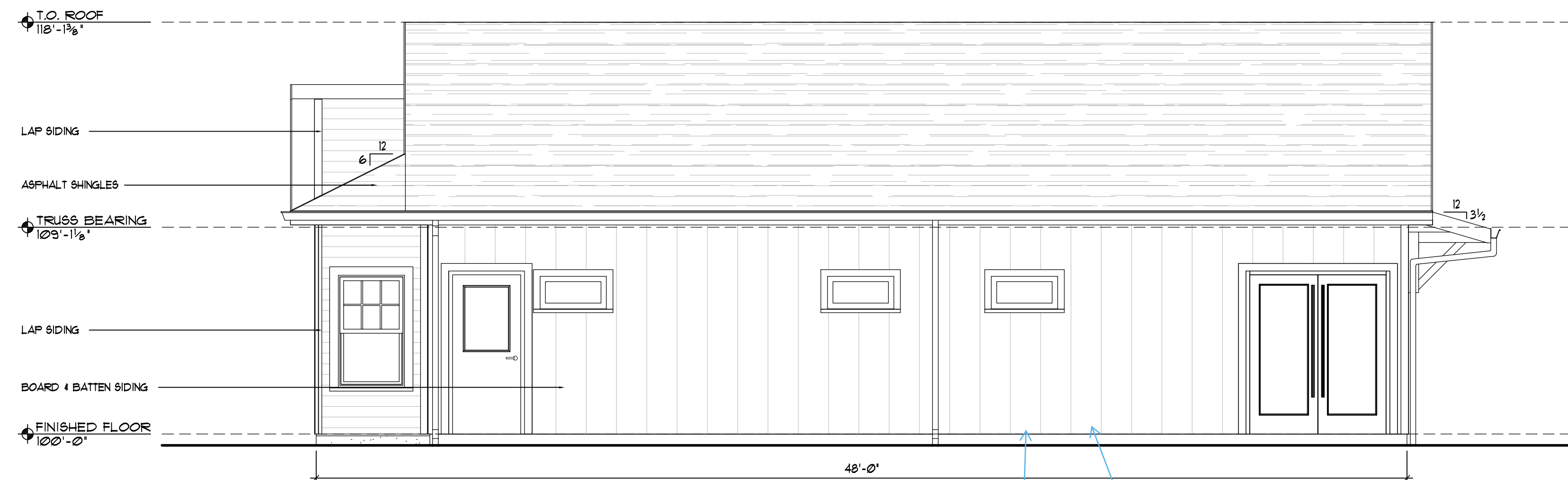
1 FRONT ELEVATION
1/4" = 1' - 0"



2 LEFT ELEVATION
1/4" = 1' - 0"



3 REAR ELEVATION
1/4" = 1' - 0"



4 RIGHT ELEVATION
1/4" = 1' - 0"



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COTTAGES AT RAMPART PARK

A MAJOR AMENDMENT
TO THE COVENANT
PRESBYTERIAN
DEVELOPMENT PLAN
2845 PARLIAMENT DRIVE
COLORADO SPRINGS, CO 80920

PROJECT INFO
DATE: 04.16.24
PROJECT MGR: B. SWENSON
PREPARED BY: T. KNAB

STAMP

ISSUE INFO

DATE:	BY:	DESCRIPTION:

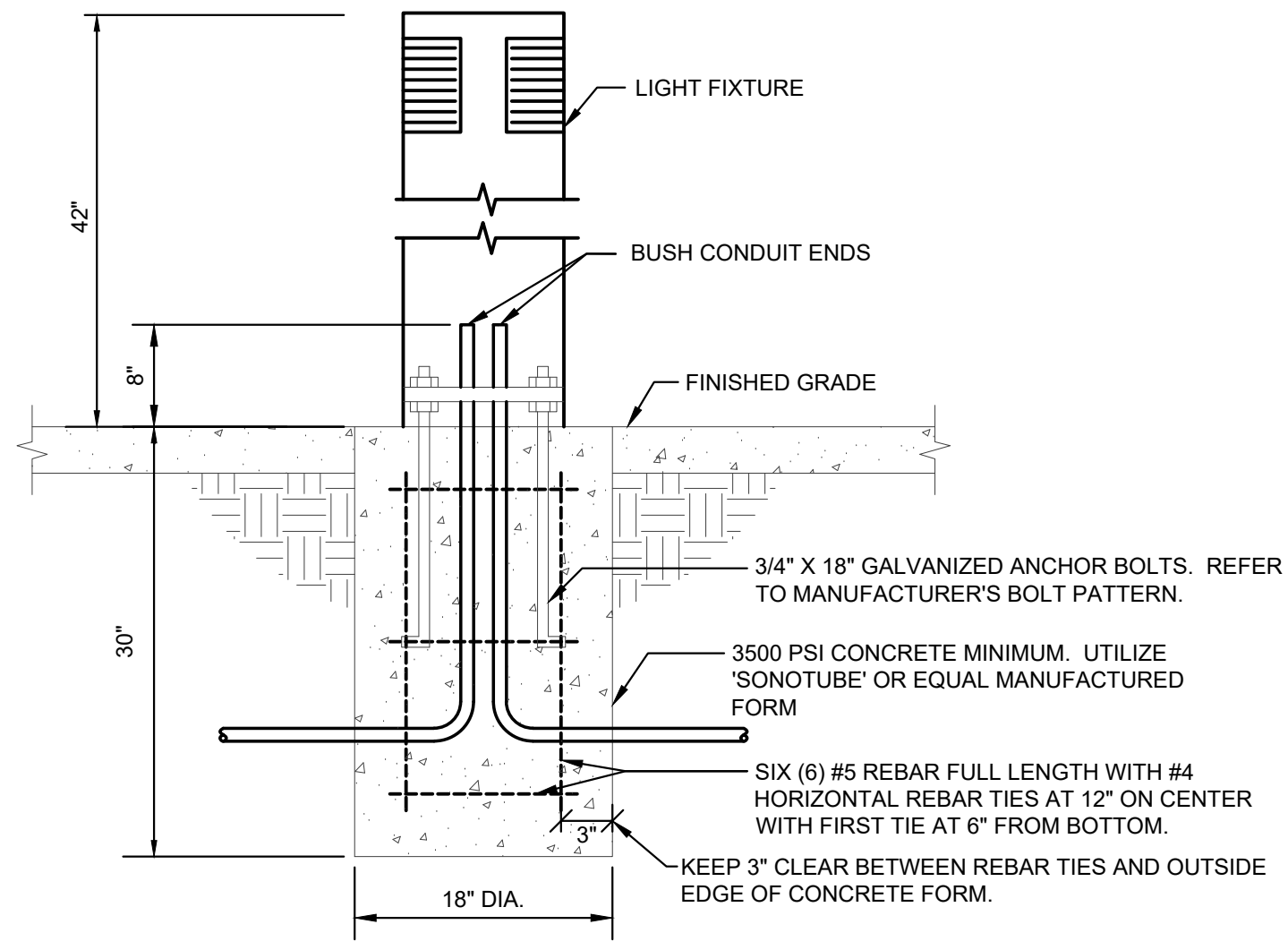
ISSUE / REVISION

SHEET TITLE
BUILDING ELEVATIONS CLUBHOUSE

SHEET NUMBER
16
16 OF 24

PLAN FILE #
DEPN-XX-XXXX

C:\Snyder\Drive\Projects\Single-Family-Residential\Goodwin Knight\Katie Creek - Clubhouse - elev (RITTLE) (REV) (1) 10/15/2024 1:55:28 PM dturnley

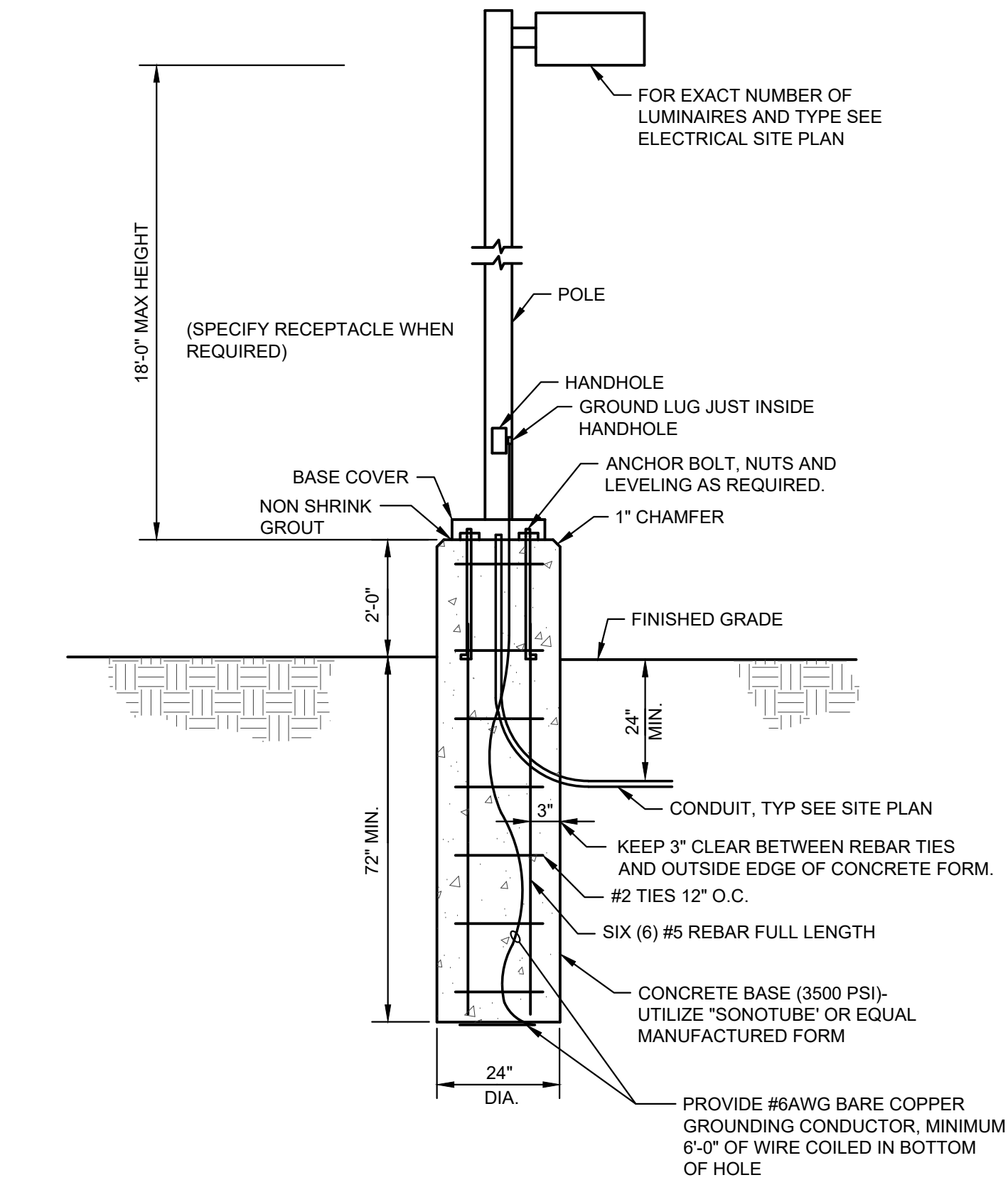


1 BOLLARD MOUNTING DETAIL - B1
NOT TO SCALE

GENERAL NOTES

A. FIXTURES SIZES SHOWN ARE DIAGRAMMATICAL IN NATURE AND ARE LOCATED TO STAY OUTSIDE UTILITY EASEMENTS.

COTTAGES AT KETTLE CREEK SITE LIGHTING FIXTURE SCHEDULE												
		LUMINAIRE		LUMINAIRE						LAMPS		
ID	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	DISTRIBUTION	VOLTAGE	DIMMING	MOUNTING	QTY.	TYPE	WATTS	LUMENS	COLOR TEMP./CRI
B1	HUBBELL LIGHTING OUTDOOR	FN1-24L-U-3K-DBT-CD-P(4)	6700W 70W BEALED ONE-PIECE OUTDOOR LED BOLLARD TYPE 5 DISTRIBUTION 5-10V DRIVER, EXTRUDED ALUMINUM HOUSING, CLEAR ACRYLIC LENS, 20 DEG. F. BUTTON PHOTOCELL, UL-508 RATED FOR USE IN WET LOCATIONS, 5 YEAR WARRANTY.	TYPE 5	120-277V	0-10V	BOLLARD 3'-6"	6	LED	41	1,390	3000K/70CRI
P3	CURRENT LIGHTING BEACON	VP-ST-1-36L-55-3K7-3-UNV-A-DBT-3PR-7L POLE: SSS-B-18-40-A-1-83-DBT	18.75"X14.37"X3.48" LOW PROFILE OUTDOOR LED AREA FIXTURE TYPE 3 DISTRIBUTION 0-10V DRIVER FOR 40 DEG. C TO 40 DEG. C, STRIKE OPTIC LENS, ZERO UPLIGHT, 3-PM FOR W/PHOTOCENTRAL, IP65 RATED AND WET LOCATIONS LISTED, 5 YEAR WARRANTY.	TYPE 3	120-277V	0-10V	POLE 18'-0"	1	LED	57	6,863	3000K/70CRI
PSR	CURRENT LIGHTING BEACON	VP-ST-1-36L-55-3K7-5R-UNV-A-DBT-3PR-7L POLE: SSS-B-18-40-A-1-83-DBT	SAME AS TYPE P3 BUT TYPE 5 RECTANGULAR DISTRIBUTION.	TYPE 5 RECTANGULAR	120-277V	0-10V	POLE 18'-0"	2	LED	57	6,840	3000K/70CRI
P5W	CURRENT LIGHTING BEACON	VP-ST-1-36L-55-3K7-50W-UNV-A-DBT-3PR-7L POLE: SSS-B-18-40-A-1-83-DBT	SAME AS TYPE P3 BUT TYPE 5 SQUARE WIDE DISTRIBUTION.	TYPE 5 SQUARE WIDE	120-277V	0-10V	POLE 18'-0"	22	LED	57	6,589	3000K/70CRI



2 LIGHT POLE DETAIL - P3, P5R, P5W
NOT TO SCALE



SITE LIGHTING PLAN
SCALE: 1" = 40'-0"



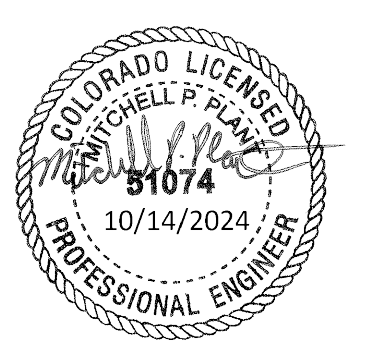
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www.plantinc.com

COTTAGES AT KETTLE CREEK DEVELOPMENT PLAN

DATE: 10/14/2024
PROJECT MGR: MPP
PREPARED BY: CAO



PHOTOMETRIC

DATE:	BY:	DESCRIPTION:

SITE LIGHTING PLAN

DP1
22 OF 24

P:\Projects\2024\24096 Cottages at Kettle Creek Site DP1 DRAWING\4-3 Assoc\DWG-3.4 Electrical\24096_DP1.dwg [DP1 SITE LIGHTING PLAN] 10/11/2024 10:36:15 AM anastara