

AGRICULTURAL STRUCTURE EXEMPTION FROM THE BUILDING CODE

AFFIDAVIT

I, Franki Quintana, have applied for approval of an agricultural structure exemption from the Building Code for the purposes stated under the file number listed above (hereinafter referred to as the "Application"). Under the application and being duly sworn on oath deposes and says:

I, as applicant, owner and hold title to the following described real property:

5850 Paleface Point Fountain CO 80817 Street Address

lot 51 Indian Village Fil No 1 Legal Description

5719006014 Assessor Tax Schedule Number

El Paso County, Colorado

I hereby acknowledge and agree to the following:

- The information provided on my application is accurate and demonstrates an agricultural use on the property described above.
- An agricultural structure shall not be exempt from obtaining a building permit unless an application for an agricultural structure exemption from the Building Code and a site plan have been approved by the El Paso County Planning and Community Development Department and this affidavit is signed and recorded with the El Paso County Clerk and Recorder's Office.
- The structure shall not be converted to a use other than an agricultural use without first obtaining all applicable permits and approvals from the Pikes Peak Regional Building Department and the El Paso County Planning and Community Development Department.

By signing this affidavit, I authorize inspections pursuant to the El Paso County Land Development Code by the Planning and Community Development Department for the purpose of verifying compliance with the approved application. I understand that if I refuse inspection of the structure or if an inspection reveals noncompliance with the approved application or with the El Paso County Land Development Code; the Planning and Community Development Department may schedule a hearing before the Board of County Commissioners and request that the Board revoke or rescind approval of this application and a building permit will therefore be required.

This affidavit shall be recorded with the El Paso County Clerk and Recorder's Office and shall be binding for the PROPERTY on all successors' heirs and assigns.

Steve Schleiker
02/16/2024 04:07:57 PM
Doc \$0.00 3
Rec \$23.00 Pages

El Paso County, CO



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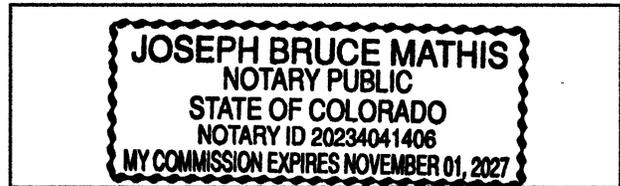
I, Franki Quintana, being duly sworn, state that the foregoing facts and contents of this application for an agricultural structure exemption from the Building Code are true and correct to the best of my knowledge, information, and belief.

[Signature]
Signature

State of Colorado
County of El Paso

Signed before me on 16th February, 2024
by Franki Quintana (name(s) of individual(s) making statement).

[Signature] Joseph Mathis
(Notary's official signature)
Notary Public
(Title of office)
Nov 1st 2027
(Commission Expiration)



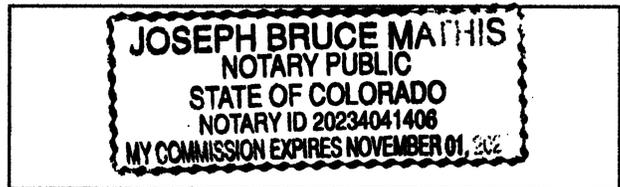
I, Antonio Vargas, being duly sworn, state that the foregoing facts and contents of this application for an agricultural structure exemption from the Building Code are true and correct to the best of my knowledge, information, and belief.

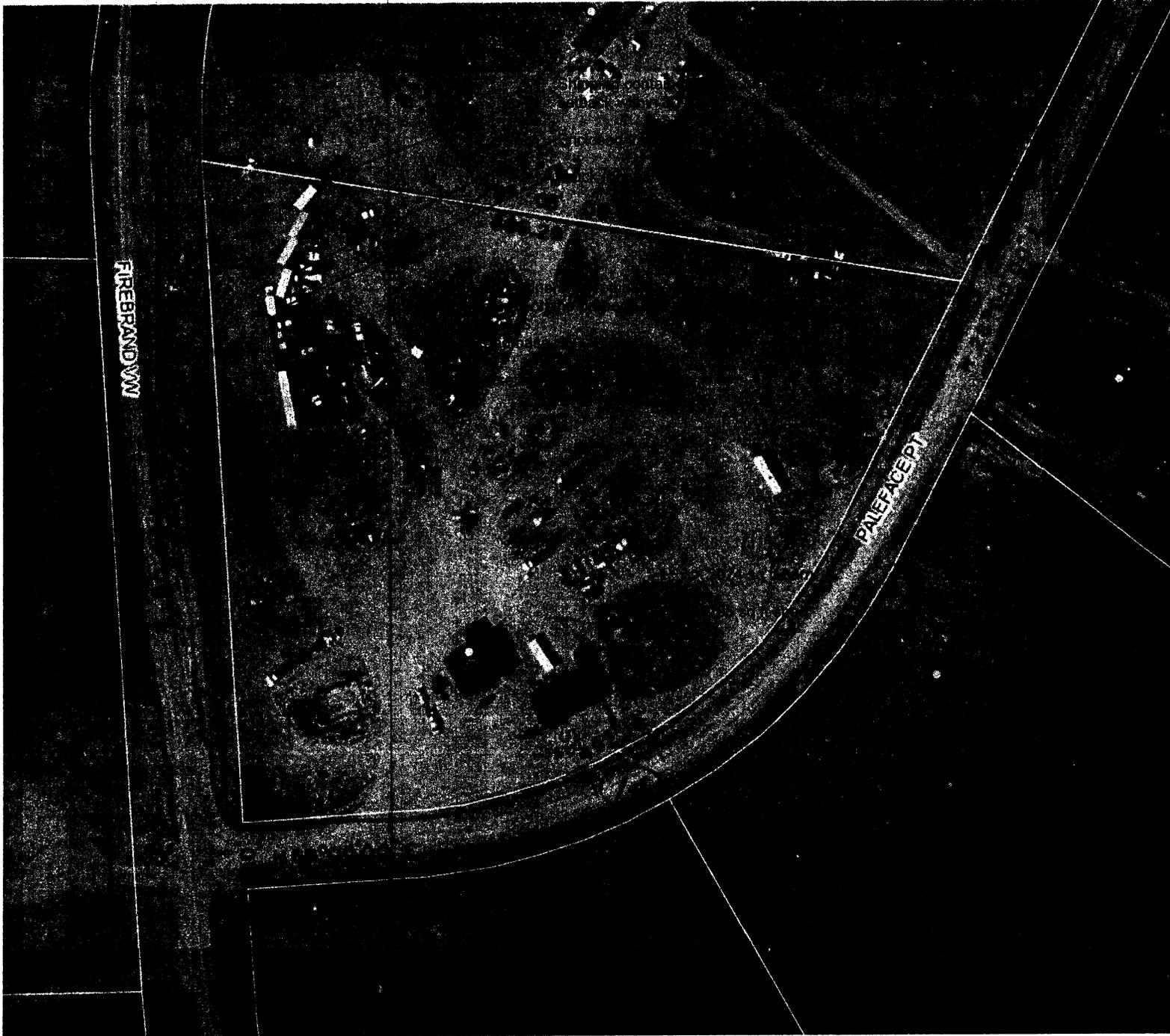
[Signature]
Signature

State of Colorado
County of El Paso

Signed before me on 16th February, 2024
by Antonio Vargas (name(s) of individual(s) making statement).

[Signature] Joseph Mathis
(Notary's official signature)
Notary Public
(Title of office)
Nov 1st 2027
(Commission Expiration)





5850 PALEFACE PT
 57190-06-014
 LOT 51 INDIAN VILLAGE FIL NO 1
 PLAT 3414
 RR-5

AG244 - 2024 SQ FT BARN - ALL ITEMS THAT ARE NOT FOR AGRICULTURAL USE MUST BE REMOVED WITHIN 30 DAYS OF THIS APPROVAL.
 ADD2423 - 5 SHIPPING CONTAINERS - NORTHERN CONTAINER MUST BE TURNED TO MEET 25' SETBACK WITHIN 30 DAYS OF THIS APPROVAL.

APPROVED
Plan Review
 01/22/24 9:55 AM
 EPC Planning & Community
 Development Department

ANY APPROVAL GIVEN BY
 EL PASO COUNTY
 DOES NOT OBLIVATE THE NEED
 TO COMPLY WITH APPLICABLE
 FEDERAL, STATE, LOCAL,
 LAND AND/OR REGULATOR

Planning & Community Development Department
 approval is contingent upon compliance with all
 applicable rules at the time of the plan.

An access permit must be granted by the
 Planning & Community Development Department
 prior to the commencement of any driveway onto a
 County road.

Division of Landmarks of any structure may
 be not permitted without approval of the
 Planning & Community Development Department

Not Required
BESQCP
 01/22/24 9:55 AM
 EPC Planning & Community
 Development Department

It is the owner's responsibility to
 coordinate with easement holders
 to avoid impact to utilities that
 may be located in the easements.