

APPROVED
Plan Review

04/26/2024 8:47:57 AM
 dsdrangel

EPC Planning & Community
 Development Department



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT OBTAIN THE NEED TO COMPLY WITH APPLICABLE FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATION

Planning & Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat.

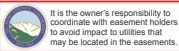
An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department

APPROVED
BESQCP

04/26/2024 8:48:07 AM
 dsdrangel

EPC Planning & Community
 Development Department



PLOT PLAN

364 ATCHISON WAY

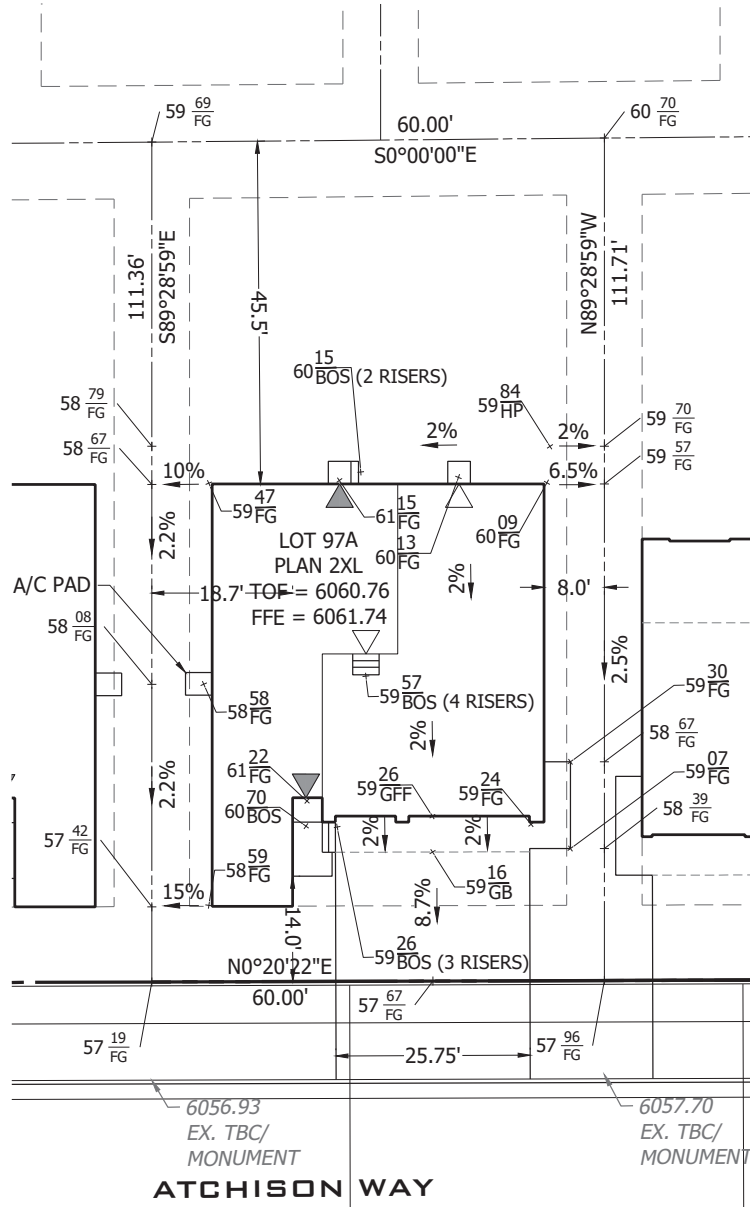
MAYBERRY, COLORADO SPRINGS FILING NO. 1A
 A PORTION OF SECTION 14 & 15, T 14S, R 63 W, 6TH PM
 COLORADO SPRINGS, EL PASO COUNTY, COLORADO

LOT: 97A
 PLAN: 2XL
 PARCEL: 3414211008
 ELEVATION: FARMHOUSE
 PLAN ELEVATION LETTER: A
 BASEMENT: N
 MASTER PLAN #: M176672
 MODEL: 10023
 RESIDENCE SIZE: 2001
 BLDG HGT: 25' 9-1/2"
 LOT SIZE: 6692 SF
 AREA COVERAGE STRUCTURE: 2054 SF
 AREA COVERAGE FLATWORK: 664 SF
 % OF LOT COVERAGE: 41%

FRONT YARD LANDSCAPING:
 PRIVATE = 507 SF
 RIGHT-OF-WAY = 305 SF

BASEMENT EXCAVATION = N/A
 CRAWL EXCAVATION = 6056.09
 GARAGE EXCAVATION = 6056.09

NOTE: CONTRACTOR TO VERIFY ALL
 ELEVATIONS PRIOR TO EXCAVATION



Released for Permit
 04/25/2024 11:31:22 AM
 REGIONAL
 Building Department
 2023
 ENUMERATION



SCALE:
 1" = 20'

NOTES:

- EASEMENTS SHOWN ON THIS PLAN ARE TAKEN FROM THE RECORDED PLAT AND MAY NOT SHOW ALL EASEMENTS OF RECORD.
- SLOPE EXCEEDS 2% MINIMUM DRAINAGE REQUIREMENT. (>2%)
- PLOT PLAN SHOWS PROPOSED IMPROVEMENTS ONLY. FINAL CONSTRUCTION MAY VARY.
- DIMENSIONS SHOWN AROUND THE PERIMETER OF THE STRUCTURE ARE TO THE EXTERIOR FOUNDATION CORNERS.
- THIS PLOT PLAN SHOWS IMPROVEMENTS AT GRADE AND GRADING ONLY. SEE FOUNDATION PLANS FOR STRUCTURAL INFORMATION.
- GRADES SHOWN AT PROPERTY CORNERS ARE FROM THE GRADING PLAN AND SUBJECT TO CHANGE AFTER FIELD VERIFICATION.
- THIS DESIGN ASSUMES THAT THE TOP OF THE GARAGE CURB WALL IS EQUAL TO THE TOP OF FOUNDATION.

PREPARED FOR:

NOTICE: ACCORDING TO COLORADO LAW ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY MUST COMMENCE WITHIN THREE (3) YEARS AFTER SUCH DEFECT IS FIRST DISCOVERED. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Date: 03/21/2024	Sheet
Rev: 04/23/2024	97
Drawn: LO	of
Checked: TS	98
Job No.: MC21194	



R&R ENGINEERS-SURVEYORS, INC.
 1635 W. 13TH AVENUE, SUITE 310
 DENVER, COLORADO 80204
 PH: 303-753-6730
 WWW.RRENGINEERS.COM

EL PASO COUNTY

ROAD IMPACT FEE PROGRAM - Credit Use Authorization Receipt

Form Valid until 12/31/2024

To use your credits to offset the Road Impact fee applied as part of the Site Plan Review process: ① Complete this form and send to RoadFee@elpasoco.com for an approval signature by a County Representative. ② The signed form will be returned to you via email. ③ Include this form with the Site Plan document package submitted for review. ④ The credits will be applied after the Site Plan Review approval and when you pay associated fees for building permits. **A separate form is required for each lot. *Credits are deducted when this form is signed *You cannot use credits without this signed form and a valid parcel and schedule number.*

**Site Plan document packages may be submitted either by using Regional's on-line Building Department Assistant program or by taking a paper copy of your Site Review document package to the Planning and Community Development front desk.*

3/21/24
Date Submitted

Owner of Credits

Authorized Representative (if applicable)

Mayberry Communities
Company

Mayberry Communities
Company

John Mick
Name

Jason Kvols
Name

719-426-7810
Phone number

719-426-7810
Phone number

johnmick@mayberrycoloradosprings.com
Email address

jasonkvols@mayberrycoloradosprings.com
Email address

22108 Cattlemen Run
Address

22108 Cattlemen Run
Address

Mayberry, CO 80808
City State Zip

Mayberry, CO 80808
City State Zip

3/21/24
Signature Date


Credit Holder Signature

Property Information

Address: 364 Atchison Way

Parcel # 3414211008


Legal Description: Lot 97A Blk Mayberry Colorado Springs Filing 1A

Type of land use: Single family dwelling Other

Fee/Unit category In a PID: Yes No Mill Levy: 5 mills 10 mills

Credit amount to be used: \$ 3830 Credit Balance: \$ 45960

*****COUNTY USE ONLY BELOW THIS LINE*****

Credit Use Approval	Site Plan Review
Authorization tracking # <u>EP-M084</u>	Date Received <u>4/26/2024</u>
Date Approved <u>3/20/2024</u>	Received by  <u>04/26/2024 12:33:37 AM</u>
Approved by <u>TL</u>	SFD <u>SFD24385</u>
Credit balance before use \$ <u>49,790.00</u>	Other <u> </u>
Credit use amount per lot \$ <u>3,830.00</u>	
Credit balance after use \$ <u>45,960.00</u>	

SITE



2023 PPRBC
2021 IECC

Parcel: 3414211008

Address: 364 ATCHISON WAY, CALHAN

Plan Track #: 189001 

Received: 25-Apr-2024 (AMY)

Description:

RESIDENCE


Type of Unit:

Garage	679	
Lower Level 2	882	
Main Level	987	
Upper Level 1	1014	
	3562	Total Square Feet

Required PPRBD Departments (2)

Enumeration APPROVED AMY 4/25/2024 11:31:34 AM	Floodplain (N/A) RBD GIS
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Required Outside Departments (1)

County Zoning APPROVED Plan Review <i>04/26/2024 8:48:26 AM</i>  EPC Planning & Community Development Department
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.