

# MEADOWBROOK PARK CIVIL CONSTRUCTION DOCUMENTS

## TRACT A, 94/24 BUSINESS PARK, FILING NO.1 EL PASO COUNTY, STATE OF COLORADO PCD FILING NO. SF-21-025

**LAND AREA:**  
351,529 SQ. FT. OR 8.07 ACRES MORE OR LESS

**BASIS OF BEARING:**  
MEASURED BETWEEN THE NW CORNER OF TRACT 1, 94/24 BUSINESS PARK FILING NO. 1, MONUMENTED WITH A NO. 4 REBAR WITH 1" RED PLASTIC CAP MARKED PLS 37928, AND THE SOUTHWEST CORNER OF LOT 1, MONUMENTED WITH A FOUND NO. 5 REBAR WITH BLUE PLASTIC CAP MARKED WITH PLS 32820

**BENCHMARK/ PROJECT CONTROL:**  
NORTHWEST CORNER OF TRACT A AND IS MONUMENTED AS A NO. 4 REBAR WITH RED PLASTIC CAP FLUSH WITH THE GROUND EL.6321.70

**LEGAL DESCRIPTION**  
TRACT A, 94/24 BUSINESS PARK FILING NO. 1, EL PASO COUNTY, STATE OF COLORADO

**SOIL TYPE:**  
THE SOIL ON SITE IS CLASSIFIED WITH THE USCS AS NATIVE SILTY TO CLAYEY SAND (SM-SC)

**FLOOD ZONE DESIGNATION**  
FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBERS 08041C0752G EFFECTIVE DATE DECEMBER 7, 2018 INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE X (OUT OF THE 500 YEAR FLOODPLAIN)

**CONTACTS:**

**OWNER:**  
MEADOWBROOK, LLC  
90 S. NEVADA AVENUE  
COLORADO SPRINGS, CO 80903  
TEL: (719) 475-7621  
CONTACT: DANNY MIENKA

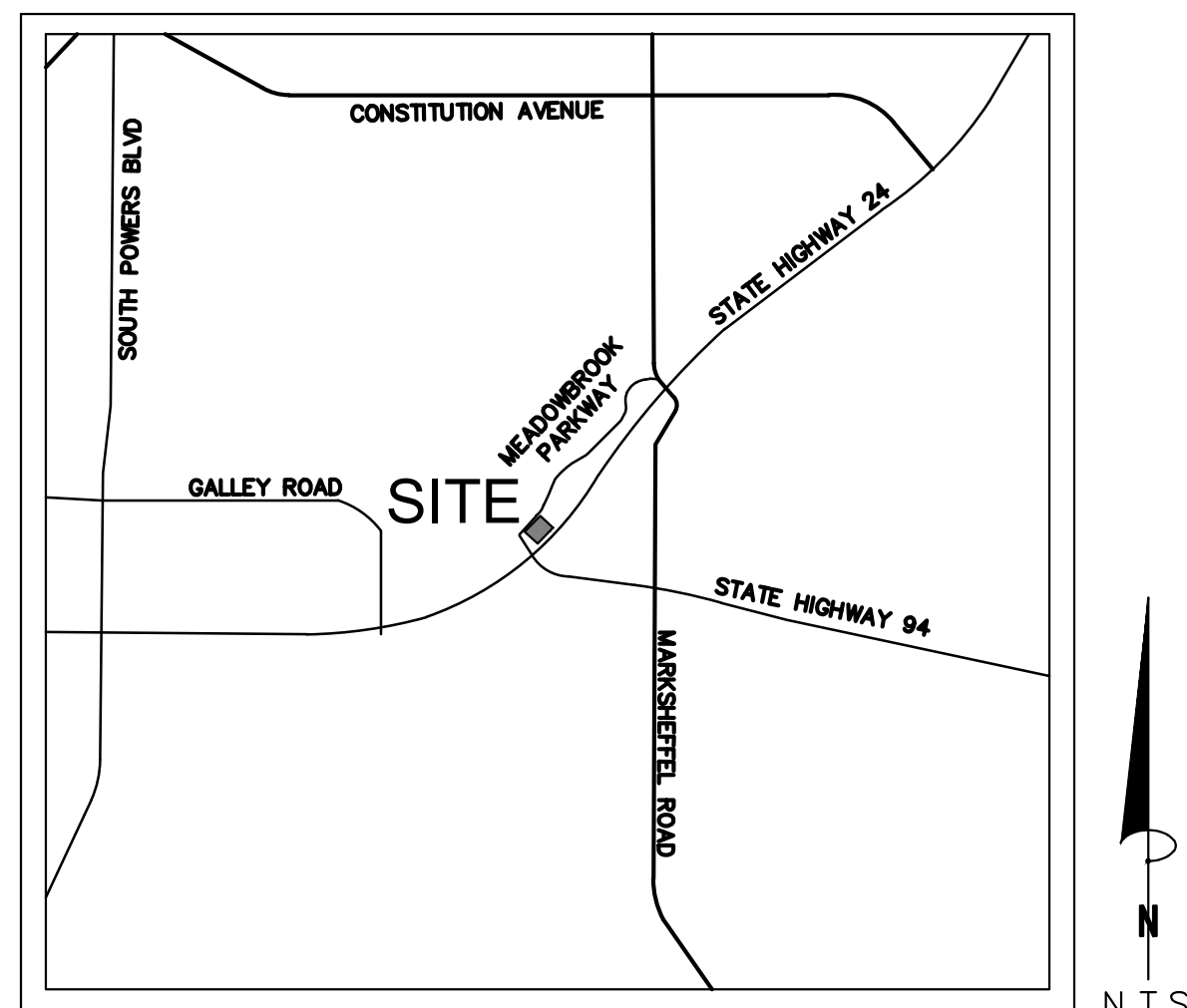
**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
2 NEVADA NORTH AVE., SUITE 300  
COLORADO SPRINGS, CO 80903  
TEL: (719) 453-0182  
CONTACT: JOHN HEIBERGER, P.E.

**SURVEYOR:**  
CLARK LAND SURVEYING, INC.  
177 S. TIFFANY DRIVE, UNIT 1  
PUEBLO WEST, CO 81007  
TEL: (719) 582-1270  
CONTACT: STEWART L. MAPES JR., PLS

**EL PASO COUNTY:**  
EL PASO COUNTY  
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, CO 80910  
PHONE: (719) 520-6300

**WATER & WASTEWATER:**  
CHEROKEE METROPOLITAN DISTRICT  
6250 PALMER PARK BLVD.  
COLORADO SPRINGS, CO 80910  
TEL: (719) 595-5080

**FIRE:**  
CIMARRON HILLS FIRE DEPT.  
1835 TUSKEGEE PLACE  
COLORADO SPRINGS, CO 80910  
PHONE: (719) 591-1960



**VICINITY MAP  
N.T.S.**

SHEET LIST INDEX	
SHEET NO.	SHEET TITLE
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C1.2	EXISTING CONDITIONS AND DEMO PLAN
C1.3	EXISTING CONDITIONS AND DEMO PLAN
C1.4	HORIZONTAL CONTROL PLAN
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C1.8	NOVA VIEW ROADWAY PLAN AND PROFILE
C1.9	LUX POINT ROADWAY PLAN AND PROFILE
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C1.11	TENEBRIS POINT ROADWAY PLAN AND PROFILE
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C1.20	RETAINING WALL PLANS
C1.21	RETAINING WALL PLANS
C1.22	RETAINING WALL PLANS
C1.23	STORM SEWER PLAN & PROFILES—LINE A
C1.24	STORM SEWER PLAN & PROFILES—LINE A
C1.25	STORM SEWER PLAN & PROFILES—LINE B&C
C1.26	STORM SEWER PLAN & PROFILES— LINES D&E
C1.27	STORM SEWER PLAN & PROFILES— LINES F,G,&H
C1.28	STORM SEWER PLAN & PROFILES—LINE I&K
C1.29	STORM SEWER PLAN & PROFILES—LINES J & DETAILS
C1.30	DETENTION POND PLAN
C1.31	POND DETAILS
C1.32	RAIN GARDEN DETAILS
C1.33	RAIN GARDEN DETAILS

**QUANTITIES\***

<b>SITE AREA</b>		<b>STORM SEWER</b>	
Retaining Wall	2052 LF	<b>PIPES</b>	
Curb	3665 LF	10" PVC	175 LF
Type C (Mountable)	1865 LF	10" Culvert	8 LF
Type A	1800 LF	18" RCP	955 LF
Asphalt Pavement (Roadway)	40330 SF	24" RCP	255 LF
Concrete (Driveway)	23946 SF	30" RCP	377 LF
Concrete Sidewalk	19089 SF	36" RCP	46 LF
Concrete Pan	2		
Screen Wall	782 LF	<b>STRUCTURES</b>	
(Attached) Curb Ramp	19	Concrete Forebay	2
(Detached) Curb Ramp	6	Concrete Trickle Channel	330 LF
		Maintenance Road (CDOT Class 6 Base)	36 CY
		Nyloplast 8" Area Inlet	2
		Emergency Overflow (Type L Riprap)	20 Ton
		Rock Chute (Type L Riprap)	110 Ton
		5' Type R Inlet	7
		8' Type D-10-R Inlet	1
		CDOT Type D Inlet	2
		CDOT Type C Inlet	1
		Modified Type C Inlet	1
		4' Eccentric Top MH	3
		4' Flat Top MH	2
		5' Eccentric Top MH	2
		5' Flat Top MH	4

\*QUANTITY TABLES PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT QUANTITIES REQUIRED FOR CONSTRUCTION

**OWNER'S SIGNATURE BLOCK**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

*Kelly Nelson* 4-22-22

NAME \_\_\_\_\_ DATE \_\_\_\_\_

**ENGINEER'S SIGNATURE BLOCK**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

*John Heiberger* 04/21/2022

JOHN HEIBERGER, PE – KIMLEY-HORN AND ASSOCIATES, INC. DATE \_\_\_\_\_

**EL PASO COUNTY REVIEW STATEMENT**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH EGM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTIONS DISCRETION.

JENNIFER IRVINE, P.E. COUNTY ENGINEER/ECM ADMINISTRATOR DATE \_\_\_\_\_

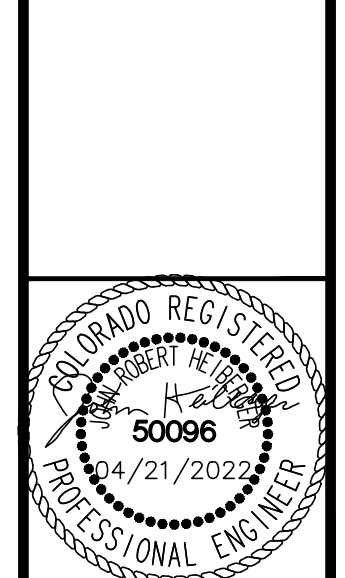
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/21/2022

MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
COVER SHEET



PROJECT NO.  
096956009

SHEET  
**C1.0**

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**ENGINEERING CONSTRUCTION NOTES**

- 1. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. THE LOCATIONS SHOWN ARE FOR BIDDING PURPOSES ONLY. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL CONTACT UTILITY NOTIFICATION CENTER FOR THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION (1-800-922-1987).
4. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND BONDS PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
7. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENT SHALL CONFORM TO THE CITY OF COLORADO SPRINGS' SPECIFICATIONS AND STANDARDS. (LATEST EDITION)
8. CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS, AND ALL OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY IN ACCORDANCE WITH MUTCD CONSTRUCTION AREA TRAFFIC CONTROL.
9. ALL LANDSCAPE WORK IS SUBJECT TO A 1-YEAR SURVIVAL/THRIVE WARRANTY. CONTRACTOR SHALL PROVIDE 1-YEAR MAINTENANCE AS PART OF INSTALLATION. MAINTENANCE OF TURF GRASSES WITH WEEKLY MOWING IS TO BE INCLUDED. MAINTENANCE OF IRRIGATION TO INCLUDE STARTUP AND BLOWOUT OF SYSTEM, REPLACEMENT OF DAMAGED HEADS, ADJUSTMENTS TO TIMING AND SPRAY AREA TO OPTIMIZE SYSTEM, ETC.
10. UPON COMPLETION OF INSTALLATION AND COMMISSIONING OF SYSTEM AS WELL AS A PART OF 1-YEAR WARRANTY WALK, CONTRACTOR SHALL PROVIDE OWNER'S DESIGNATED REPRESENTATIVE AN INSTRUCTIONAL ORIENTATION TO SYSTEM OPERATION AND MAINTENANCE.
11. ALL DEVIATIONS FROM IRRIGATION DESIGN DRAWINGS AS WELL AS MEASURED OFFSET DISTANCES FOR MAINLINES (FROM SIDEWALKS) SHALL BE MARKED BY CONTRACTOR ON IRRIGATION PLANS AND PROVIDED TO OWNER AT COMPLETION OF INSTALLATION.
12. AFTER COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE AS-BUILD DRAWINGS OF ALL IMPROVEMENTS INCLUDED IN THE CIVIL CONSTRUCTION DRAWINGS TO THE OWNER AND ENGINEER OF RECORD.

**ENGINEERING DEMOLITION NOTES**

- 1. ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH OSHA REGULATIONS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
3. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION.
4. WHEN UTILITIES ARE REMOVED, CAP AND SEAL AT A MINIMUM DEPTH OF 8" BELOW FINISH GRADE.

**ENGINEERING SITE NOTES**

- 1. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
2. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING GRADE AT ALL TIE IN LOCATIONS.
3. CONTRACTOR SHALL REMOVE PAVEMENT AND CONCRETE IN ACCORDANCE WITH SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS AND/OR THE COLORADO STATE DEPARTMENT OF TRANSPORTATION.
4. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
5. CONTRACTOR SHALL REFER TO BUILDING PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES, TO INCLUDE, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
7. CONTRACTOR TO REMOVE OR RELOCATE, WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, BASEMENTS, CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPES, POWER POLES, AND GUY WIRES, WATER METERS AND WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, AND ASPHALT, SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING ENGINEERED WALL PLANS FOR ALL SITE RETAINING WALLS SHOWN HEREON FOR REFERENCE. CONTRACTOR SHALL SUBMIT ENGINEERED WALL PLANS TO ENGINEER OF RECORD AND EL PASO COUNTY FOR REVIEW AND ISSUANCE OF WALL BUILDING PERMITS PRIOR TO CONSTRUCTION.

**ENGINEERING PAVING NOTES**

- 1. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
2. ALL CONCRETE SIDEWALKS SHALL HAVE CONTROL JOINTS CUT ON 5' CENTERS AND EXPANSION JOINTS PLACED ON 20' CENTERS. CONCRETE PAVEMENT JOINTS SHALL BE SPACED AT 12' CENTERS MAXIMUM.
3. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS.
4. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

**ENGINEERING GRADING NOTES**

- 1. CONTOURS ON SIDEWALKS AND PRIVATE/PUBLIC ROADWAYS ARE TO FINISH GRADE.
2. FOR GROUND TREATMENT OF ALL OPEN AREAS WITHIN THE PROJECT SITE, REFER TO LANDSCAPE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND OR OTHER FINAL LANDSCAPE PLANTING IS WELL ESTABLISHED.

**ENGINEERING DRAINAGE AND STORM WATER NOTES**

- 1. ON-SITE STORM SEWER SYSTEM HAS BEEN PROVIDED TO MAINTAIN THE EXISTING DRAINAGE PATTERNS.
2. ALL ON-SITE STORM SEWER IS PRIVATE, UNLESS OTHERWISE NOTED.
3. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND ANY EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
4. THE CONTRACTOR SHALL DE-SILT ALL DRAINAGE STRUCTURES AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
5. IF TEMPORARY OR PERMANENT DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION.
6. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR OBTAINING THE STATE STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES AT LEAST TEN BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

**ENGINEERING SIGNING AND STRIPING NOTES**

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR OBTAINING THE STATE STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES AT LEAST TEN BUSINESS DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

**ENGINEERING NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS**

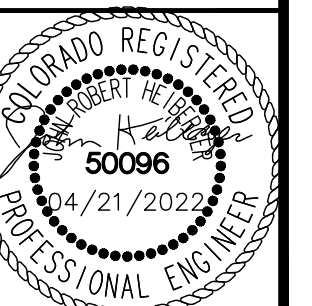
- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DPW AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DPW, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHEN REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

Table with columns: NO., REVISION, DATE, APPR.

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue Suite 300
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK
DRAWN BY: KK
CHECKED BY: JH
DATE: 03/21/2022

MEADOWBROOK PARK
EL PASO COUNTY, COLORADO
CONSTRUCTION DOCUMENTS
GENERAL NOTES

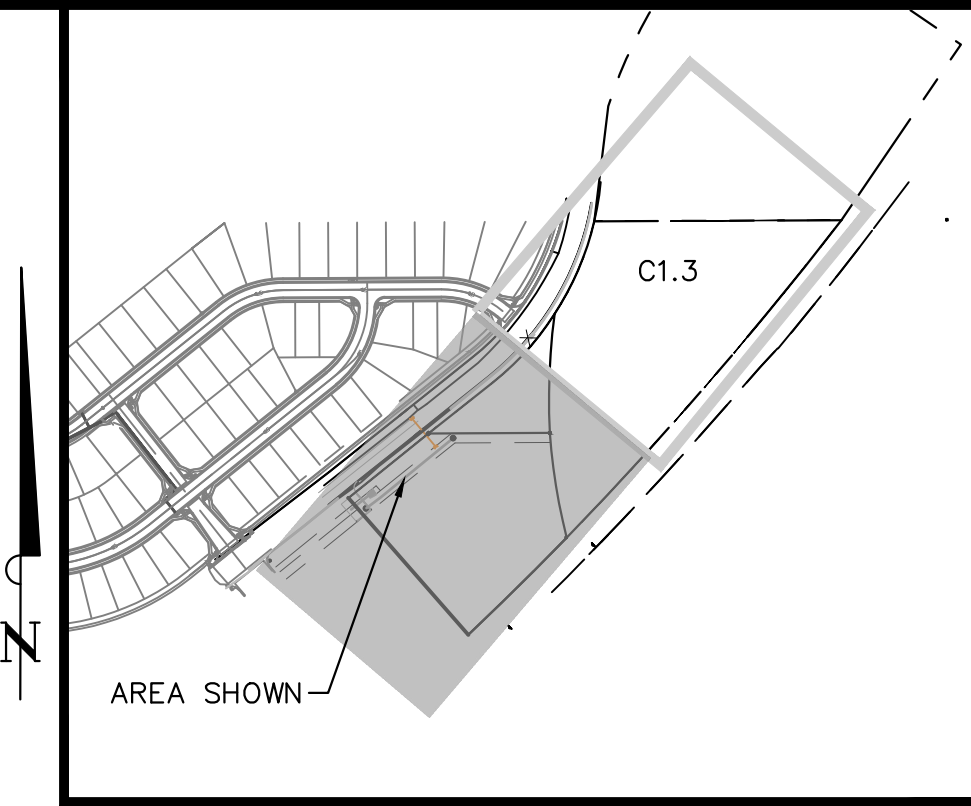
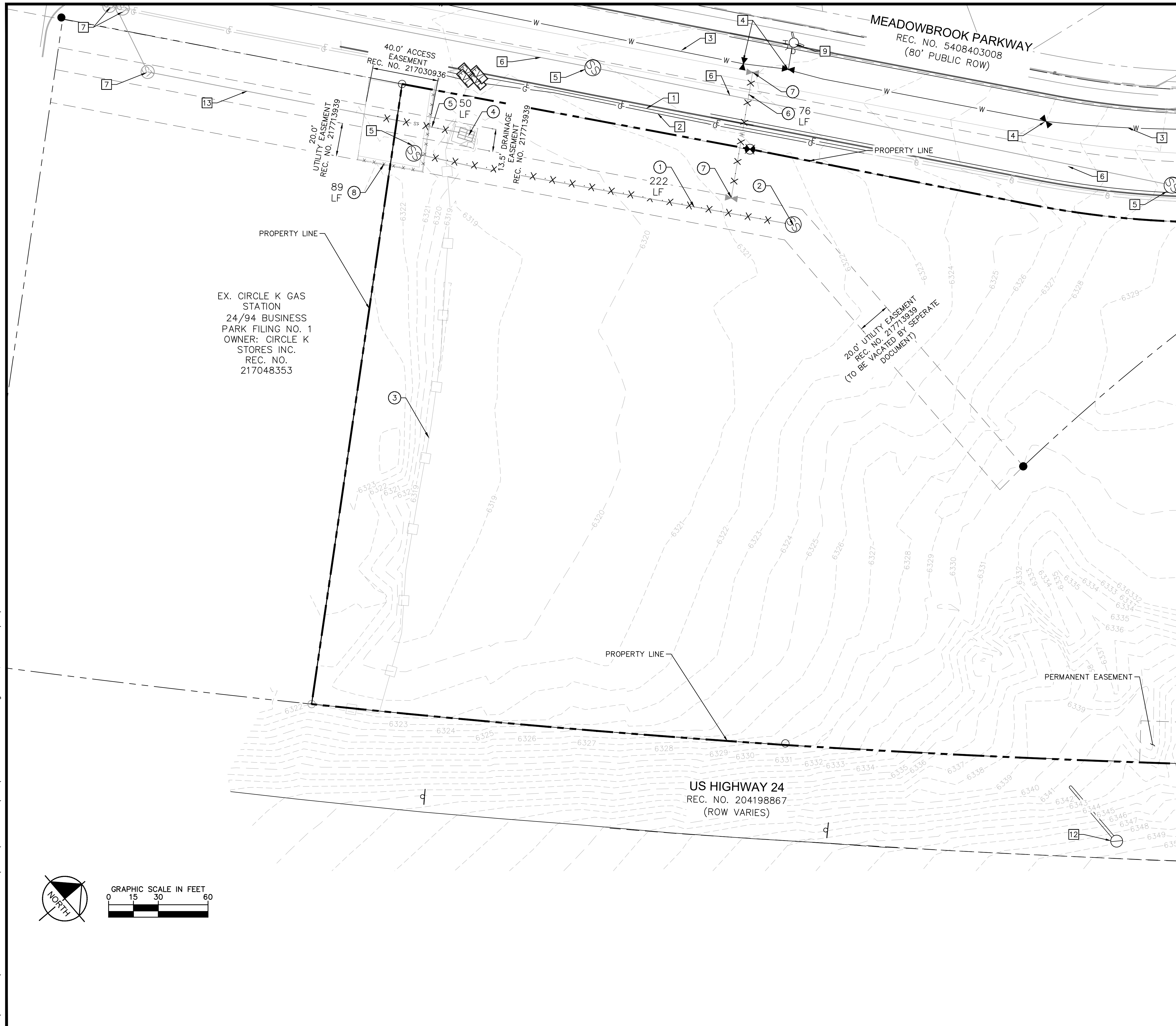


PROJECT NO.
096956009

SHEET
C1.1



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KEY MAP  
NOT TO SCALE

- LEGEND**
- PROPERTY LINE
  - - - PARCEL LINE
  - G - EX. GAS LINE
  - S - EX. SANITARY SEWER LINE
  - E - EX. ELECTRIC LINE
  - W - EX. WATER LINE
  - - - EX. STORM SEWER
  - X · X · X · X · X · X DEMO EXISTING UTILITY
  - [X] DEMO EXISTING ASPHALT PAVEMENT
  - [//] DEMO EXISTING ROADWAY STRIPING
  - [ ] DEMO CURB AND GUTTER
  - x x x x x x x x x x PROPOSED SAWCUT LINE

**GENERAL NOTES**

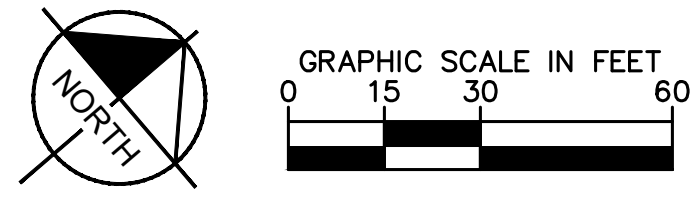
1. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
2. UTILITIES TO BE REMOVED ARE TO BE CAPPED IN PLACE IN ACCORDANCE WITH LOCAL UTILITY REGULATIONS.

**EXISTING SITE FEATURES TO REMAIN**

- [1] EX. ELECTRIC LINE
- [2] EX. GAS LINE
- [3] EX. 12" WATER MAIN
- [4] EX. WATER VALVE
- [5] EX. SANITARY SEWER MANHOLE
- [6] EX. 30" PVC SANITARY SEWER
- [7] EX. STORM SEWER INLET
- [8] EX. 30" CMP STORM SEWER CULVERT
- [9] EX. FIRE HYDRANT
- [10] EX. TREES
- [11] EX. IRRIGATION CONTROL
- [12] EX. TRAFFIC SIGNAL
- [13] EX. 36" RCP STORM SEWER

**DEMO/RELOCATE**

- [1] DEMO 8" PVC SANITARY SEWER LINE
- [2] DEMO SANITARY SEWER MANHOLE
- [3] DEMO CONSTRUCTION FENCE
- [4] DEMO STORM SEWER INLET
- [5] DEMO 36" RCP STORM SEWER LINE
- [6] DEMO 12" PVC WATER LINE
- [7] DEMO WATER VALVE
- [8] DEMO EXISTING CURB AND GUTTER
- [9] RELOCATE EXISTING ELECTRIC VAULT



NO.	REVISION	BY	DATE	APPR.

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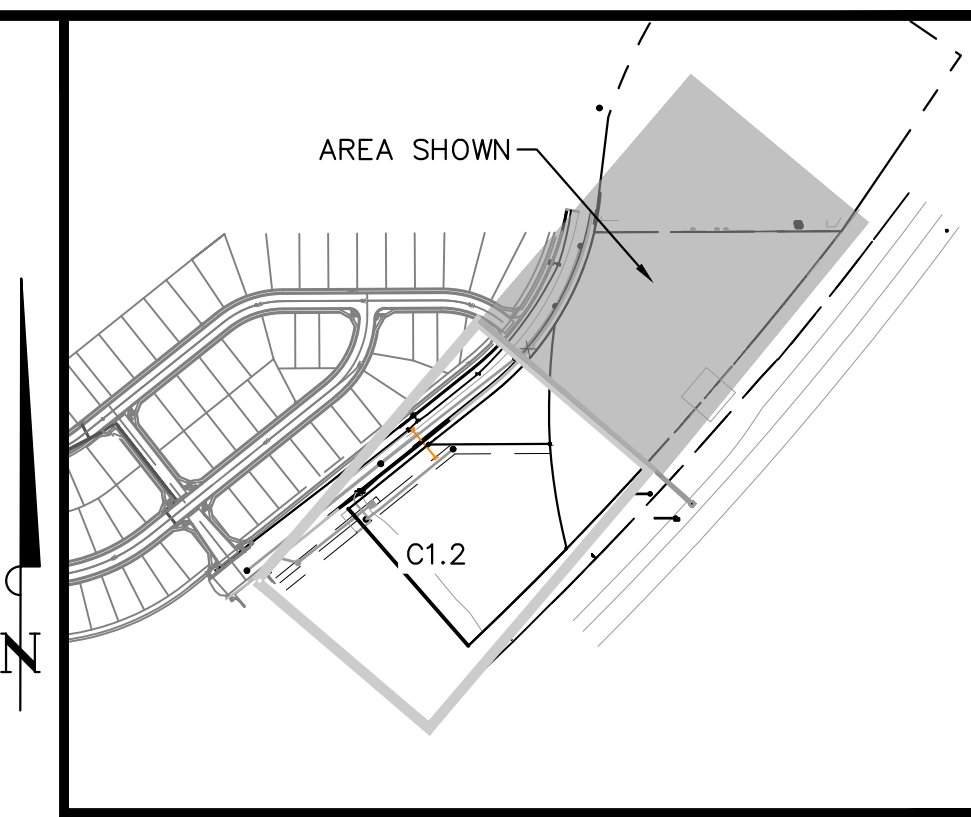
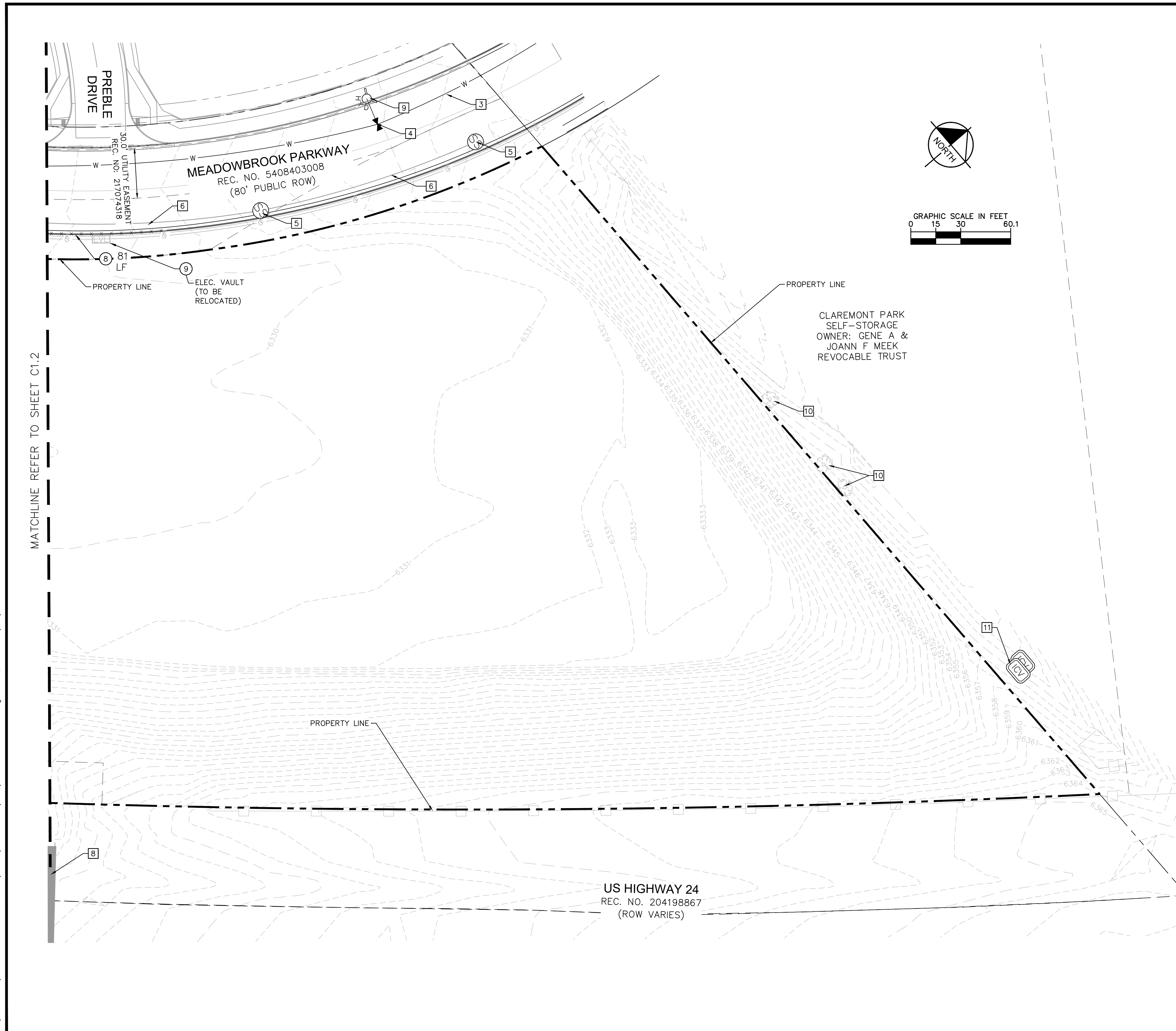
**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 EXISTING CONDITIONS AND DEMO PLAN**



PROJECT NO.  
096956009  
 SHEET  
**C1.2**



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**LEGEND**

- PROPERTY LINE
- - - PARCEL LINE
- G — EX. GAS LINE
- S — EX. SANITARY SEWER LINE
- E — EX. ELECTRIC LINE
- W — EX. WATER LINE
- EX. STORM SEWER
- X · X · X · X · X · X · DEMO EXISTING UTILITY
- ▨ DEMO EXISTING ASPHALT PAVEMENT
- //// DEMO EXISTING ROADWAY STRIPING
- x x x x x x x x x x x x DEMO CURB AND GUTTER
- - - PROPOSED SAWCUT LINE

**GENERAL NOTES**

1. ALL EXISTING UTILITIES TO REMAIN UNLESS OTHERWISE NOTED.
2. UTILITIES TO BE REMOVED ARE TO BE CAPPED IN PLACE IN ACCORDANCE WITH LOCAL UTILITY REGULATIONS.

**EXISTING SITE FEATURES TO REMAIN**

- 1 EX. ELECTRIC LINE
- 2 EX. GAS LINE
- 3 EX. 12" WATER MAIN
- 4 EX. WATER VALVE
- 5 EX. SANITARY SEWER MANHOLE
- 6 EX. 30" PVC SANITARY SEWER
- 7 EX. STORM SEWER INLET
- 8 EX. 30" CMP STORM SEWER CULVERT
- 9 EX. FIRE HYDRANT
- 10 EX. TREES
- 11 EX. IRRIGATION CONTROL
- 12 EX. TRAFFIC SIGNAL
- 13 EX. 36" RCP STORM SEWER

**DEMO/RELOCATE**

- 1 DEMO 8" PVC SANITARY SEWER LINE
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- 3 DEMO CONSTRUCTION FENCE
- 4 DEMO STORM SEWER INLET
- 5 DEMO 36" RCP STORM SEWER LINE
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- 7 DEMO WATER VALVE
- 8 DEMO EXISTING CURB AND GUTTER
- 9 RELOCATE EXISTING ELECTRIC VAULT

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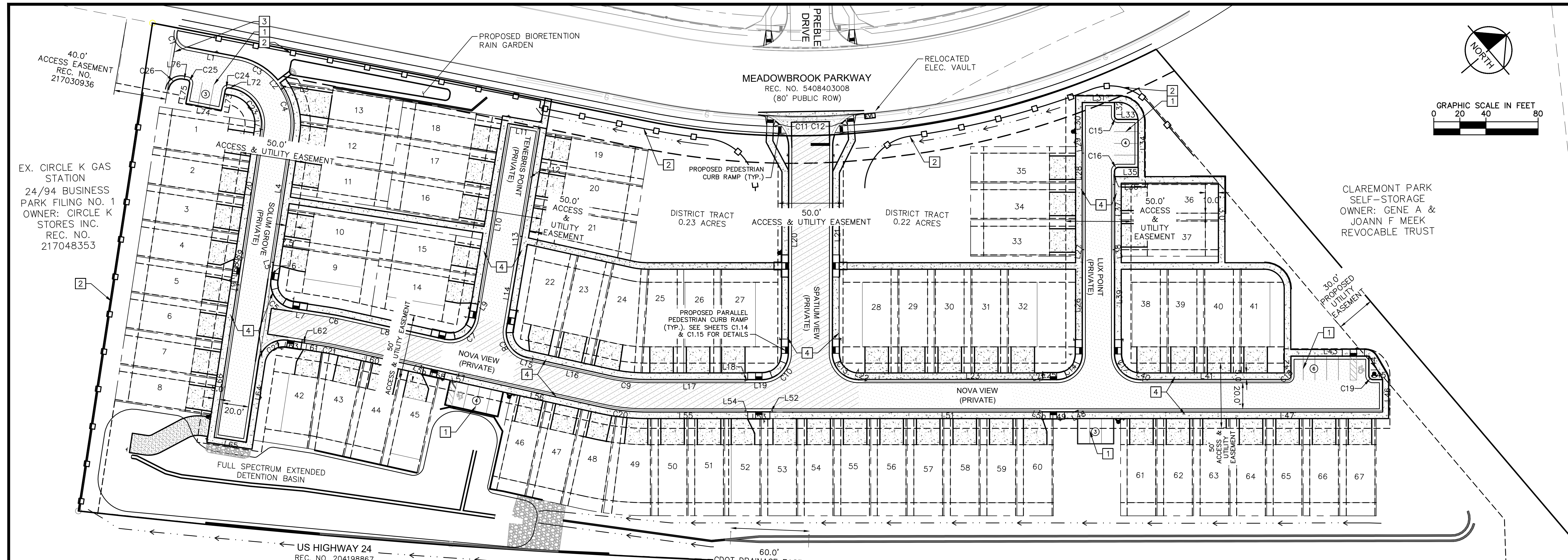
**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 EXISTING CONDITIONS AND DEMO PLAN**



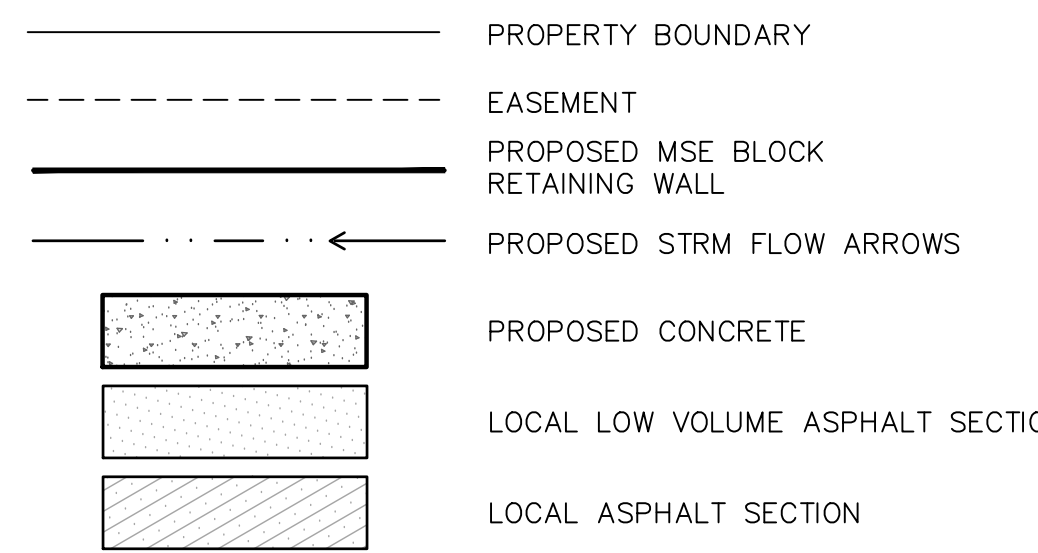
PROJECT NO.  
096956009

SHEET  
**C1.3**



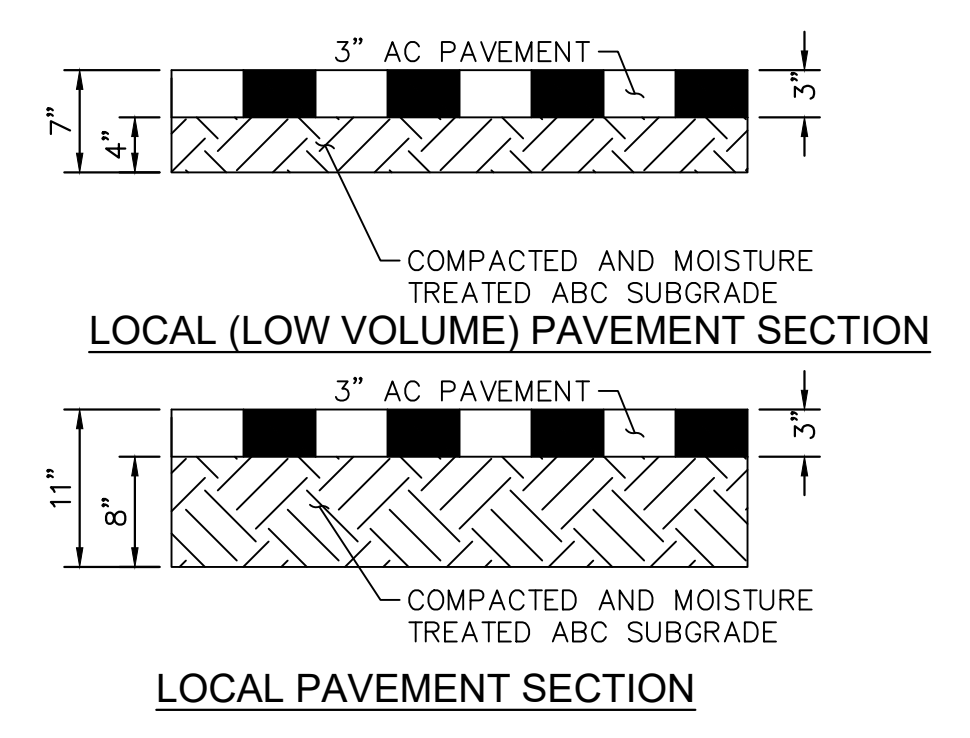


**LEGEND**



**KEY NOTES:**

- 1 PROPOSED PARKING (9' x 19')
- 2 PROPOSED 6' TALL MASONRY SCREEN WALL
- 3 PROPOSED FIRE ACCESS ONLY GATE WITH KNOX BOX
- 4 PROPOSED 5' SIDEWALK



LINE TABLE				LINE TABLE				LINE TABLE				CURVE TABLE							
LINE	LENGTH	BEARING	CURB TYPE	LINE	LENGTH	BEARING	CURB TYPE	LINE	LENGTH	BEARING	CURB TYPE	CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT	CURB TYPE
L1	39.92	S50°58'49.63"W	TYPE A-CATCH	L27	5.07	N40°24'57.83"W	TRANSITION	L53	17.00	S40°07'31.19"W	TYPE A-CATCH	C1	10.00'	16.68'	N81°13'59"W	14.81'	95°34'24"	11.02'	TYPE A-CATCH
L2	1.99	N88°41'41.86"W	TYPE A-CATCH	L28	79.00	N49°52'28.81"W	TYPE C-CATCH/MOUNTABLE	L54	2.17	S62°44'13.41"W	TRANSITION	C3	52.00'	35.83'	S70°43'08"W	35.12'	39°28'36"	18.66'	TYPE A-CATCH
L3	5.17	N75°08'53.52"W	TRANSITION	L29	5.07	N59°19'59.79"W	TRANSITION	L55	75.30	S40°07'31.19"W	TYPE C-CATCH/MOUNTABLE	C4	51.17'	36.09'	N61°28'23"W	35.35'	40°24'51"	18.83'	TYPE A-CATCH
L4	99.52	N41°13'42.99"W	TYPE C-CATCH/MOUNTABLE	L30	28.47	N49°52'28.81"W	TYPE A-CATCH	L56	111.99	S52°37'31.48"W	TYPE C-CATCH/MOUNTABLE	C5	20.00'	31.42'	N86°13'43"W	28.28'	90°00'00"	20.00'	TYPE A-SPILL
L5	2.17	N63°50'25.21"W	TRANSITION	L31	24.00	N40°14'13.47"E	TYPE A-CATCH	L57	2.17	S30°00'22.34"W	TRANSITION	C6	163.00'	10.96'	S50°41'54"W	10.96'	3°51'14"	5.48'	TYPE A-SPILL
L6	11.00	N41°13'42.99"W	TYPE A-CATCH	L32	9.93	S49°52'28.81"E	TYPE A-SPILL	L58	25.33	S52°37'30.92"W	TYPE A-SPILL	C7	20.00'	32.46'	S6°07'31"W	29.01'	93°00'00"	21.08'	TYPE A-SPILL
L7	28.12	S48°46'17.01"W	TRANSITION	L33	15.00	N40°07'31.19"E	TYPE A-SPILL	L59	2.17	S75°14'39.51"W	TRANSITION	C8	20.00'	30.37'	N83°52'29"W	27.53'	87°00'00"	18.98'	TYPE A-CATCH
L8	80.00	S52°37'30.92"W	TYPE A-SPILL	L34	36.00	S49°52'28.81"E	TYPE A-SPILL	L60	67.00	S52°37'30.92"W	TYPE C-SPILL/MOUNTABLE	C9	138.83'	30.29'	S46°22'31"W	30.23'	12°30'00"	15.20'	TYPE C-CATCH/MOUNTABLE
L9	2.17	S17°45'46.86"E	TRANSITION	L35	15.00	S40°07'31.19"W	TYPE A-SPILL	L61	15.12	S48°46'17.01"W	TYPE C-SPILL/MOUNTABLE	C10	20.50'	32.16'	S4°49'17"E	28.96'	89°53'36"	20.46'	TYPE A-CATCH
L10	138.11	S40°22'29.08"E	TYPE C-SPILL/MOUNTABLE	L36	5.07	S40°24'57.83"E	TRANSITION	L62	2.17	S26°09'08.42"W	TRANSITION	C11	25.00'	37.95'	N86°44'34"E	34.41'	86°58'41"	23.72'	TYPE A-CATCH
L11	22.33	S49°37'30.92"W	TYPE A-SPILL	L37	55.00	S49°52'28.81"E	TYPE C-CATCH/MOUNTABLE	L63	11.00	S48°46'17.01"W	TYPE A-SPILL	C12	25.00'	38.39'	S5°46'35"E	34.73'	87°59'00"	24.14'	TYPE A-CATCH
L12	83.34	N40°22'29.08"W	TYPE C-CATCH/MOUNTABLE	L38	5.07	S59°19'59.79"E	TRANSITION	L64	62.00	S41°13'42.99"E	TYPE A-CATCH	C13	20.50'	32.24'	N85°10'43"E	29.02'	90°06'24"	20.54'	TYPE A-CATCH
L13	5.07	N49°50'00.06"W	TRANSITION	L39	75.00	S49°52'28.81"E	TYPE A-CATCH	L65	23.17	S48°46'17.01"W	TYPE A-SPILL	C14	20.00'	31.42'	N4°52'29"W	28.28'	90°00'07"	20.00'	TYPE A-CATCH
L14	66.12	N40°22'29.08"W	TYPE A-CATCH	L40	2.17	N62°44'13.41"E	TRANSITION	L66	118.00	N41°13'42.99"W	TYPE C-SPILL/MOUNTABLE	C15	3.00'	4.71'	N85°07'31"E	4.24'	90°00'00"	3.00'	TYPE A-CATCH
L15	5.07	S62°05'01.90"W	TRANSITION	L41	111.00	N40°07'31.19"E	TYPE C-CATCH/MOUNTABLE	L67	2.17	N63°50'25.21"W	TRANSITION	C16	3.57'	5.01'	S9°16'24"E	4.61'	80°20'58"	3.02'	TYPE A-SPILL
L16	59.23	S52°37'30.92"W	TYPE C-CATCH/MOUNTABLE	L42	15.83	N49°57'06.62"W	TYPE A-CATCH	L68	17.00	N41°13'42.99"W	TYPE A-SPILL	C17	20.00'	31.42'	N85°07'31"E	28.28'	90°00'00"	20.00'	TYPE A-CATCH
L17	75.30	S40°07'31.19"W	TYPE C-CATCH/MOUNTABLE	L43	59.01	N39°52'35.48"E	TYPE A-CATCH	L69	2.17	N18°36'34.41"W	TRANSITION	C18	3.01'	4.71'	N4°54'48"W	4.25'	89°33'44"	2.99'	TYPE A-CATCH
L18	2.17	S17°30'48.97"W	TRANSITION	L44	15.00	S49°52'28.81"E	TYPE A-CATCH	L70	99.49	N41°13'42.99"W	TYPE C-SPILL/MOUNTABLE	C19	3.54'	5.25'	N82°57'37"E	4.78'	85°04'09"	3.24'	TYPE A-CATCH
L19	11.00	S40°07'31.19"W	TYPE A-CATCH	L45	6.98	N40°10'55.50"E	TYPE A-CATCH	L71	5.23	N55°34'08.95"W	TRANSITION	C20	161.17'	35.16'	S46°22'31"W	35.09'	12°30'00"	17.65'	TYPE A-CATCH
L20	158.07	S49°46'04.97"E	TYPE A-CATCH	L46	23.17	S49°52'28.81"E	TYPE A-SPILL	L72	1.86	S51°03'12.44"W	TYPE A-CATCH	C21	139.83'	9.41'	S50°41'54"W	9.40'	3°51'14"	4.70'	TYPE A-SPILL
L21	159.17	S49°46'04.97"E	TYPE A-CATCH	L47	233.13	S40°07'31.19"W	TYPE C-CATCH/MOUNTABLE	L73	15.00	S38°56'47.56"E	TYPE A-CATCH	C22	20.00'	31.42'	S3°46'17"W	28.28'	90°00'00"	20.00'	TYPE A-SPILL
L22	2.17	N62°44'13.41"E	TRANSITION	L48	2.17	S17°30'48.97"W	TRANSITION	L74	27.00	S51°03'12.44"W	TYPE A-SPILL	C23	28.00'	38.40'	S89°03'04"W	35.46'	78°34'43"	22.91'	TYPE A-SPILL
L23	136.89	N40°07'31.19"E	TYPE C-CATCH/MOUNTABLE	L49	25.34	S40°07'31.19"W	TYPE A-CATCH	L75	14.96	N38°56'47.56"W	TYPE A-SPILL	C24	3.00'	4.71'	S6°03'12"W	4.24'	90°00'00"	3.00'	TYPE A-CATCH
L24	2.17	N17°30'48.97"E	TRANSITION	L50	2.17	S62°44'13.41"E	TRANSITION	L76	2.76	S50°58'49.63"W	TYPE A-SPILL	C25	3.00'	4.72'	N83°58'59"W	4.25'	90°04'23"	3.00'	TYPE A-SPILL
L25	11.00	N40°07'31.19"E	TYPE A-CATCH	L51	204.89	S40°07'31.19"W	TYPE C-CATCH/MOUNTABLE					C26	10.00'	16.09'	S4°52'33"W	14.41'	92°12'33"	10.39'	TYPE A-SPILL
L26	75.00	N49°52'28.81"W	TYPE A-CATCH	L52	2.17	S17°30'48.97"W	TRANSITION												

NO.	REVISION	BY	DATE	APPR.

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 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/21/2022

**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 HORIZONTAL CONTROL PLAN**



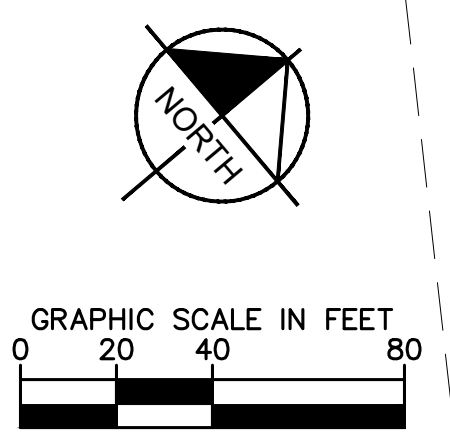
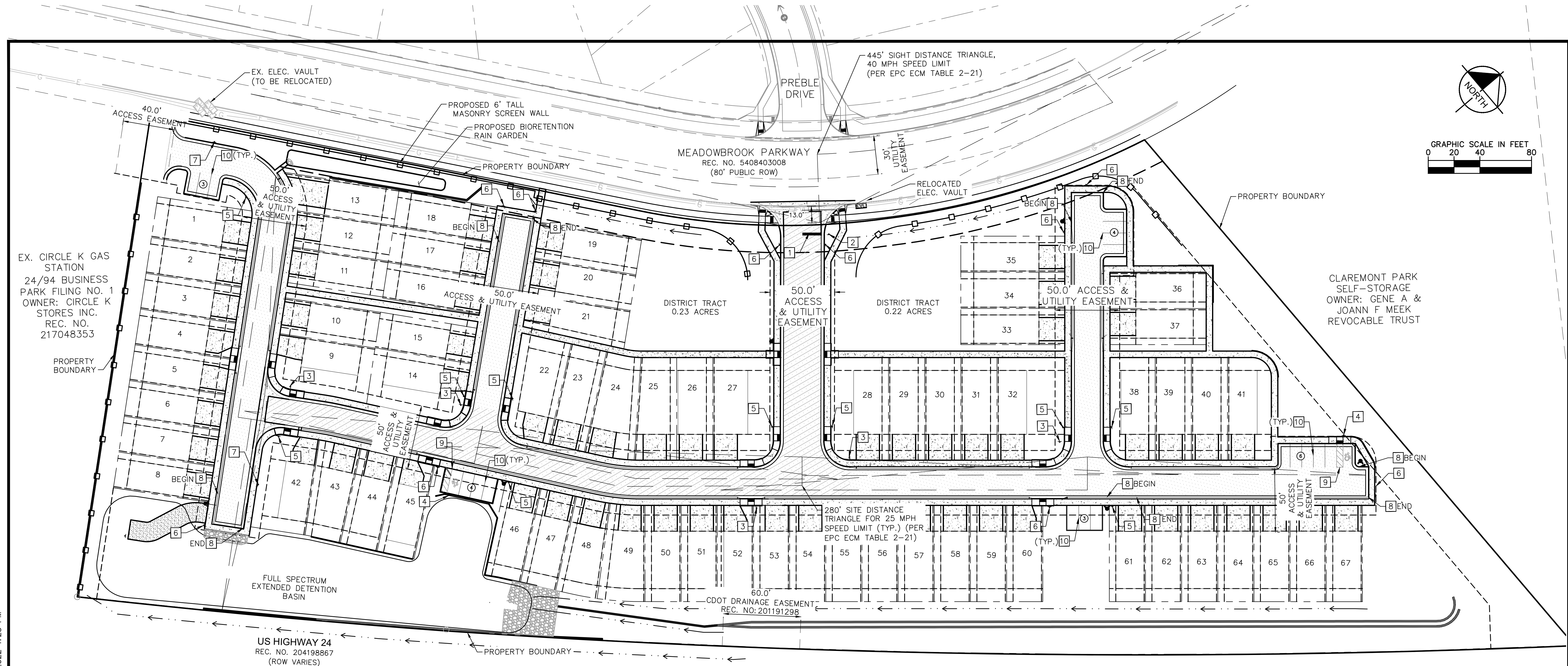
PROJECT NO.  
096956009

SHEET  
**C1.4**

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**SIGNING AND STRIPING KEY NOTES**

- 1 PROPOSED STOP BAR PER DETAIL ON SHEET C1.6
- 2 PROPOSED R1-1 STOP SIGN PER DETAIL ON SHEET C1.6
- 3 PROPOSED D3 STREET NAME SIGN WITH R1-1 STOP SIGN PER DETAIL ON SHEET C1.6
- 4 PROPOSED ADA SIGN PER DETAIL ON SHEET C1.6
- 5 FIRE LANE NO PARKING, TYPE A, SIGN PER CIMARRON HILLS FIRE DEPT. DETAIL ON SHEET C1.6
- 6 FIRE LANE NO PARKING, TYPE C, SIGN PER CIMARRON HILLS FIRE DEPT. DETAIL ON SHEET C1.6
- 7 FIRE LANE NO PARKING, TYPE D, SIGN PER CIMARRON HILLS FIRE DEPT. DETAIL ON SHEET C1.6
- 8 'NO PARKING FIRE LANE' CURB PAINTED RED WITH WHITE LETTERING PER CIMARRON HILLS FIRE DEPT. DETAIL ON SHEET C1.6
- 9 PROPOSED ADA PARKING STALL STRIPING. DETAIL ON SHEET C1.6
- 10 PROPOSED STANDARD PARKING STALL STRIPING. DETAIL ON SHEET C1.6
- 11 PROPOSED W11-2 PEDESTRIAN SIGN AND W16-7P DIRECTIONAL ARROW SIGN. DETAIL ON SHEET C1.6
- 12 PROPOSED PEDESTRIAN CROSSWALK STRIPING. DETAIL ON SHEET C1.6

**LEGEND**

- PROPERTY BOUNDARY
- - - EASEMENT
- PROPOSED MSE BLOCK RETAINING WALL
- - - SITE DISTANCE TRIANGLE
- 6' TALL MASONRY SCREEN WALL
- ▒ PROPOSED CONCRETE
- ▒ LOCAL LOW VOLUME ASPHALT SECTION
- ▒ LOCAL ASPHALT SECTION

NO.	REVISION	DATE	APPR.

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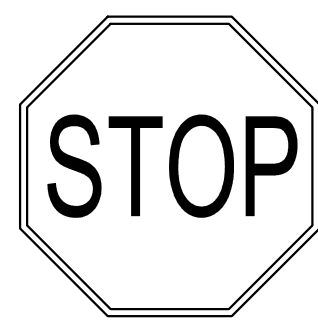
DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/21/2022

**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
**SIGNING AND STRIPING PLAN**



PROJECT NO. 096956009  
 SHEET  
**C1.5**



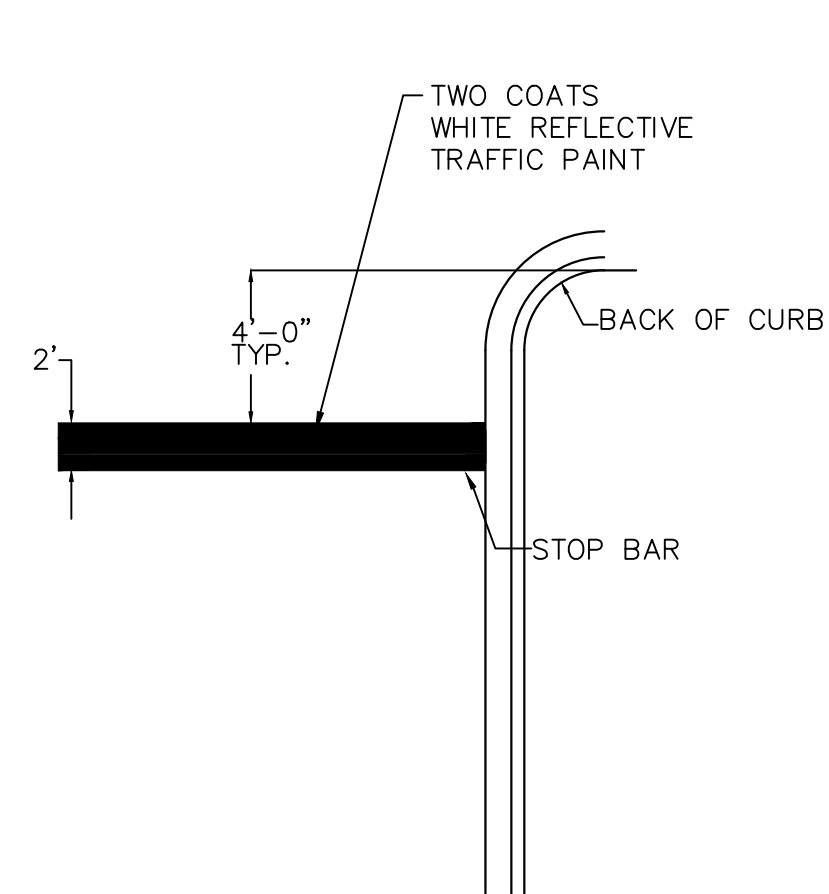
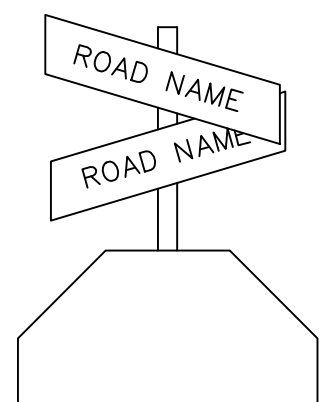


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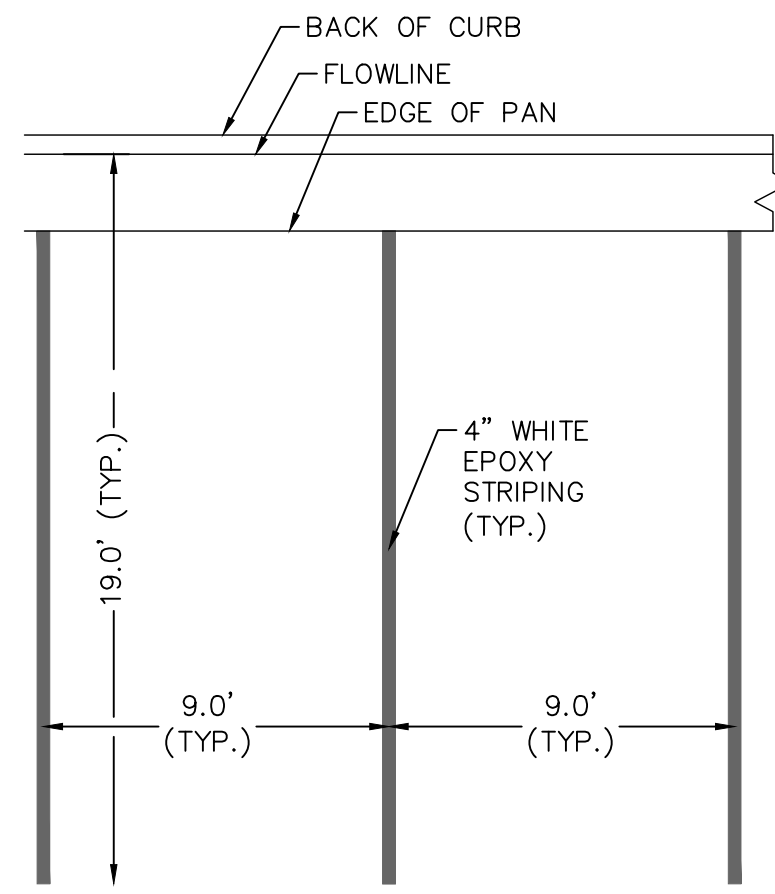
BACKGROUND  
4090 (3M-WHITE DIAMOND GRADE) OR EQUIVALENT

FOREGROUND  
1172 C (3M-RED EC FILM) OR EQUIVALENT

**MUTCD R1-1 STOP SIGN DETAIL**  
NOT TO SCALE



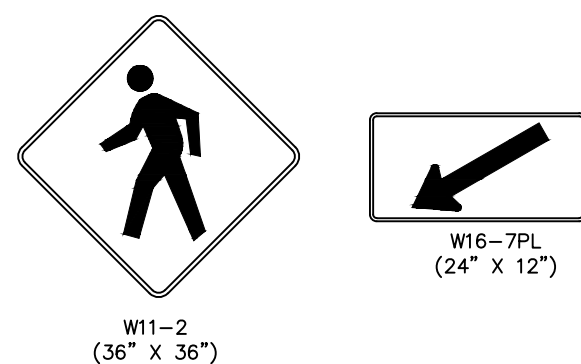
**STOP BAR DETAIL**  
NOT TO SCALE



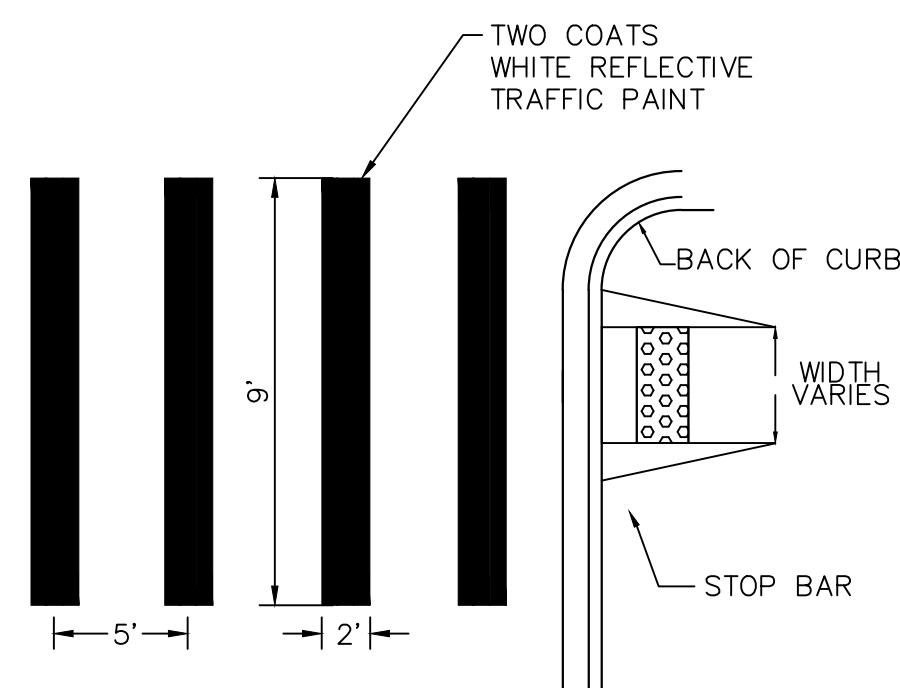
**STANDARD PARKING STALL STRIPING DETAIL**  
NOT TO SCALE



**FIRE LANE STRIPING DETAIL**  
NOT TO SCALE



**MUTCD W11-2 PEDESTRIAN SIGN WITH W1-7PL DIRECTIONAL ARROW SIGN DETAIL**  
NOT TO SCALE



**PEDESTRIAN CROSS WALK DETAIL**  
NOT TO SCALE

PRIVATE ROAD

Southmoor Ln

SIGN DIMENSIONS													
	A	B	C	D	E	F	G	H	J	K	P	Q	
VAR	8	0.375	2	4	D	3	D	3	3 (MIN)	3	1	2.25	1.5
VAR	12	0.5	3	6	D	4	D	5	4.5 (MIN)	4.5	1.5	3	2

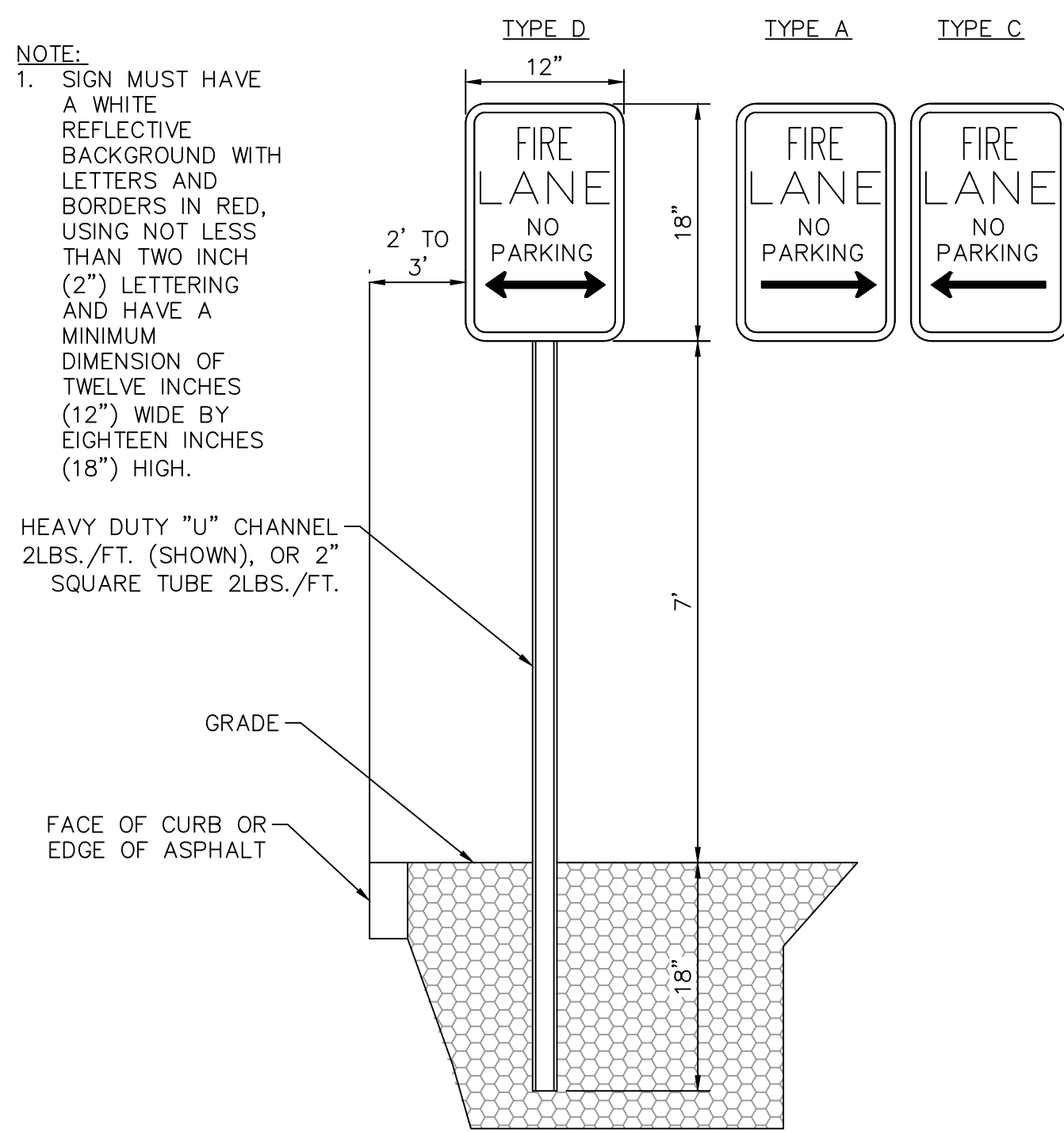
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BACKGROUND - GREEN (RETROREFLECTIVE)

NOTES: REFERENCE SUPPLEMENTAL SPECIFICATION

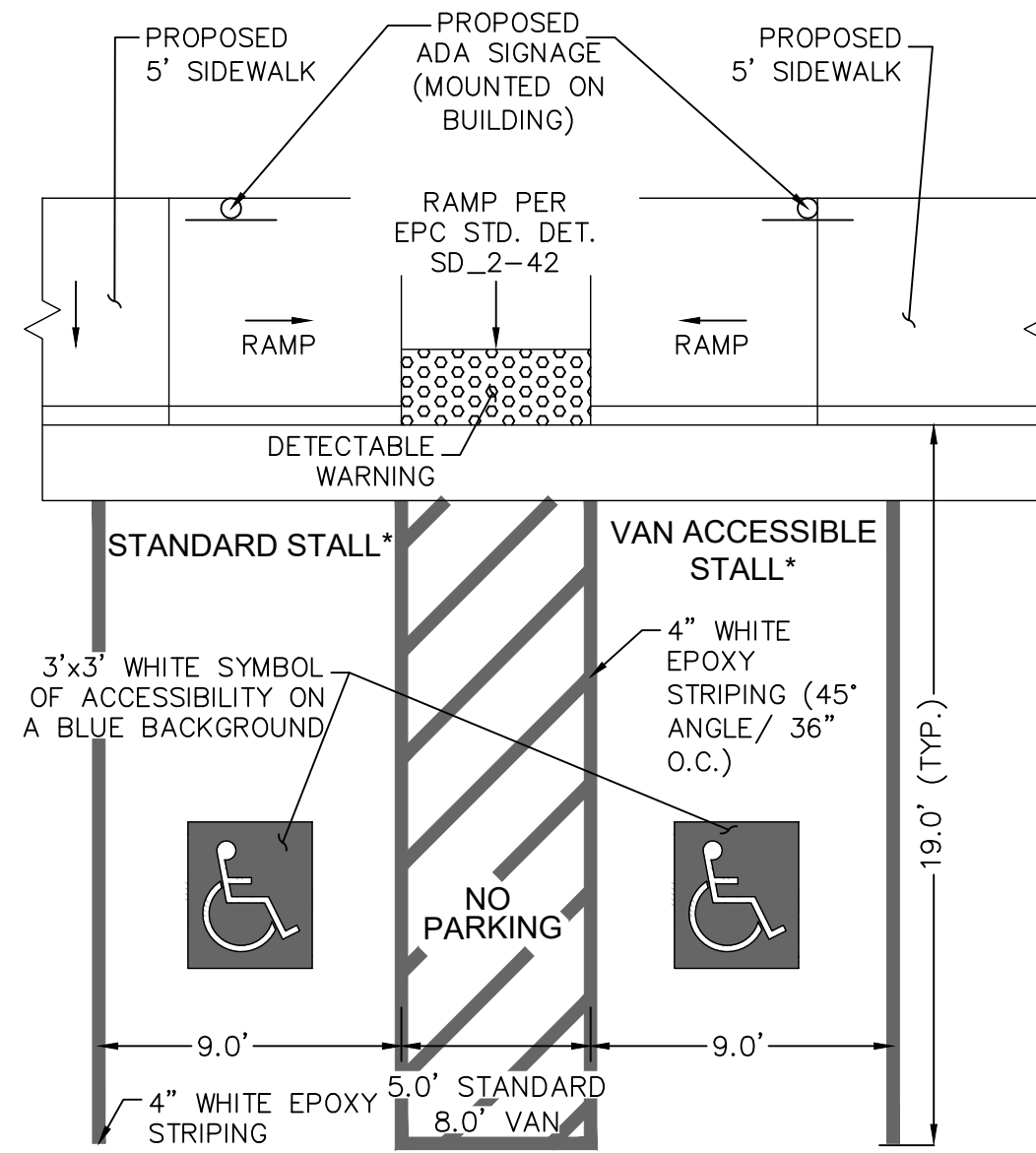
Computer File Information: E Paso County Department of Public Works, Private Road Detail, Project No./Code: EPC

**PRIVATE ROADWAY SIGN DETAIL**  
NOT TO SCALE (PER EPC STD DTL)

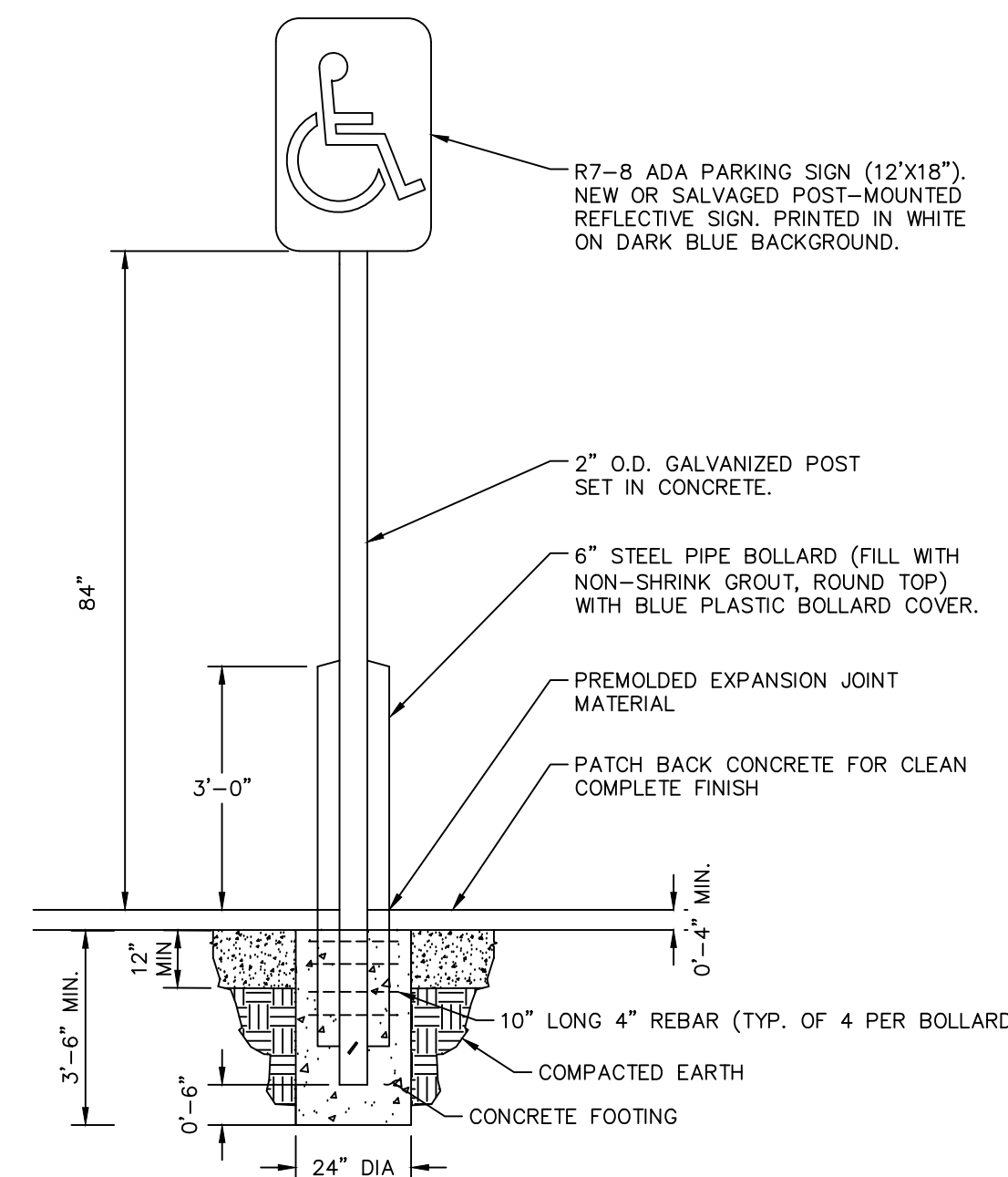
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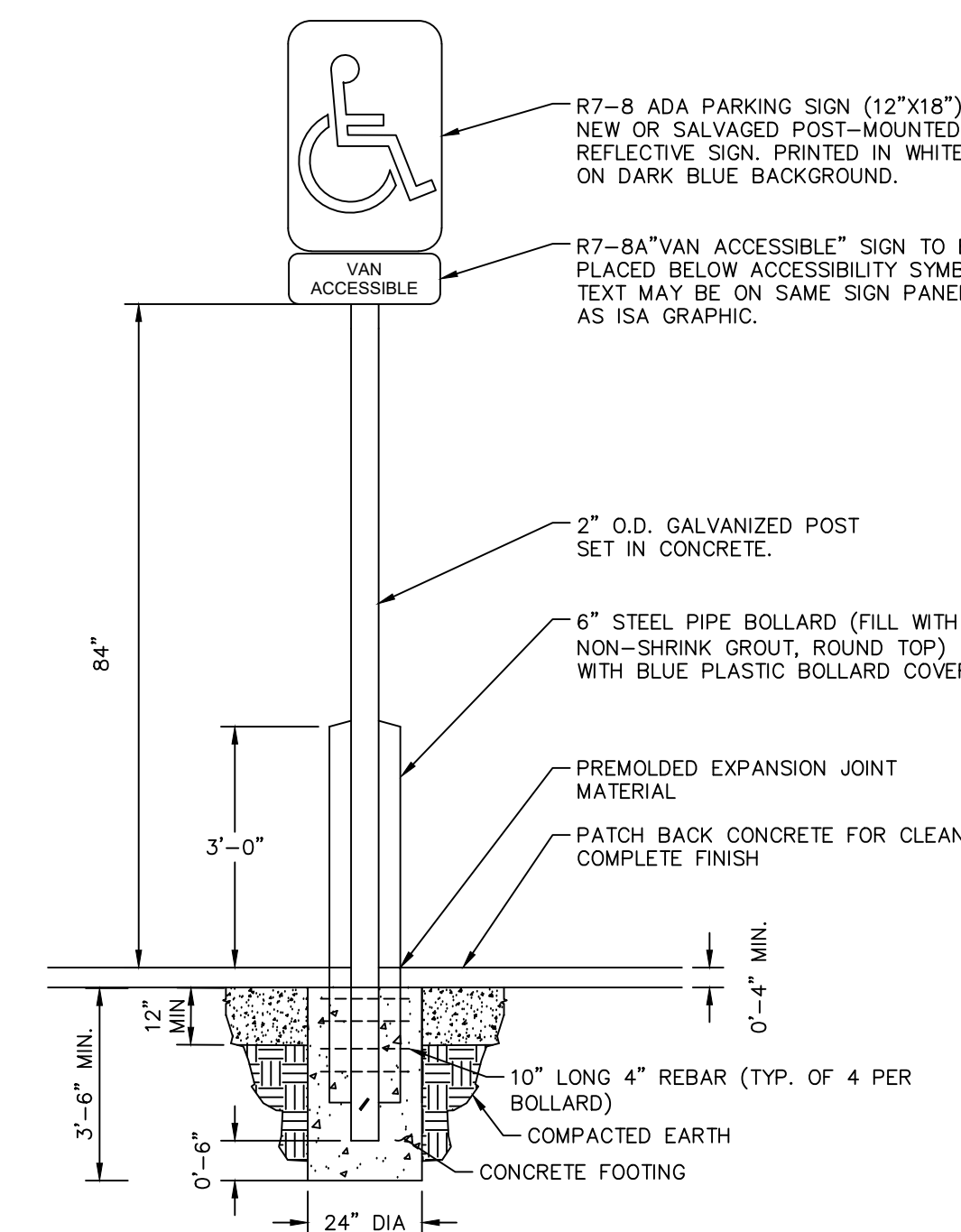
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NOT TO SCALE  
REF. CIMARRON HILLS FIRE DEPT. LANE MARKING REQUIREMENTS



**ADA PARKING STALL STRIPING DETAIL**  
NOT TO SCALE  
\*ALL STALLS ARE STANDARD UNLESS OTHERWISE NOTED ON PLAN.



**ADA PARKING STALL SIGNAGE DETAIL**  
NOT TO SCALE



**ADA PARKING STALL SIGNAGE DETAIL**  
NOT TO SCALE

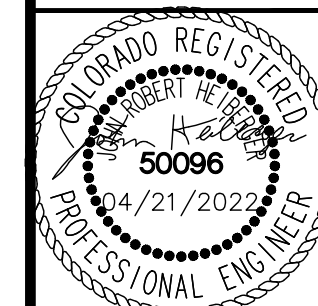
NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**

2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/21/2022

MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
SIGNING AND STRIPING DETAILS

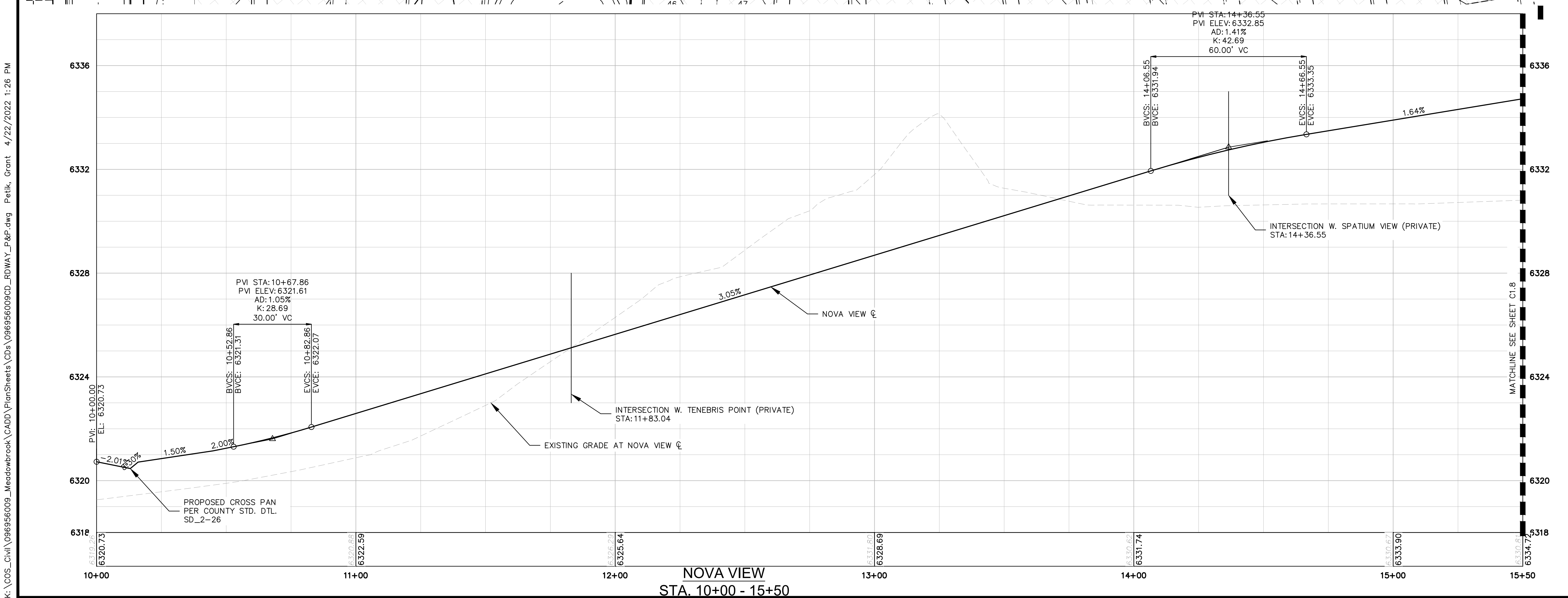
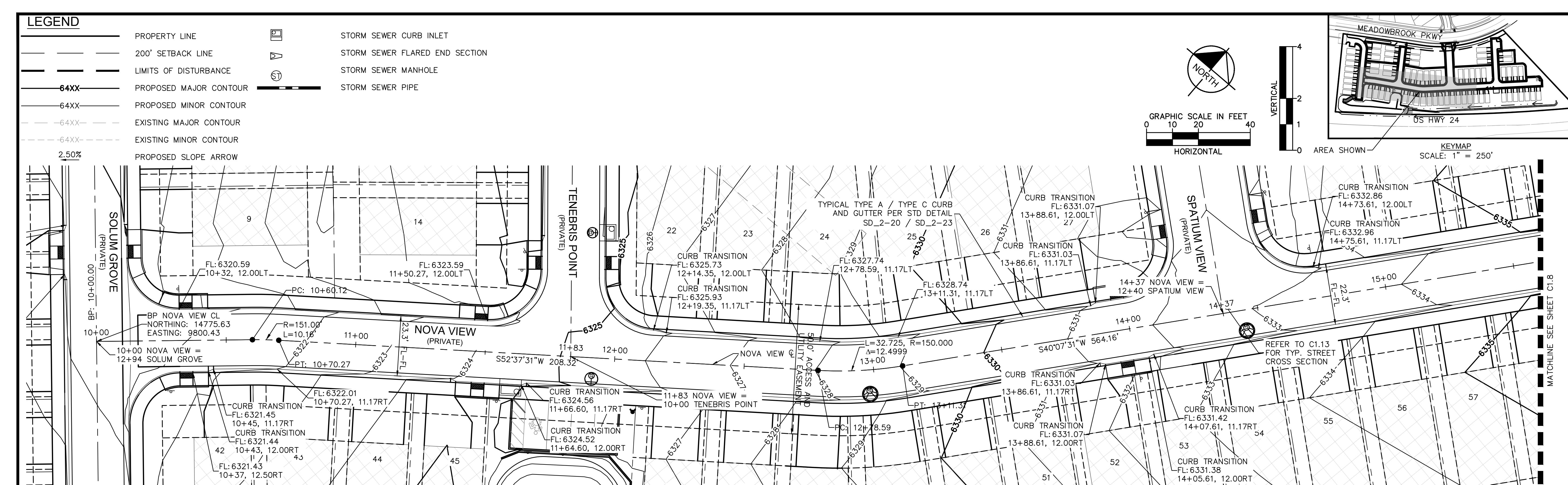


PROJECT NO. 096956009

SHEET

C1.6





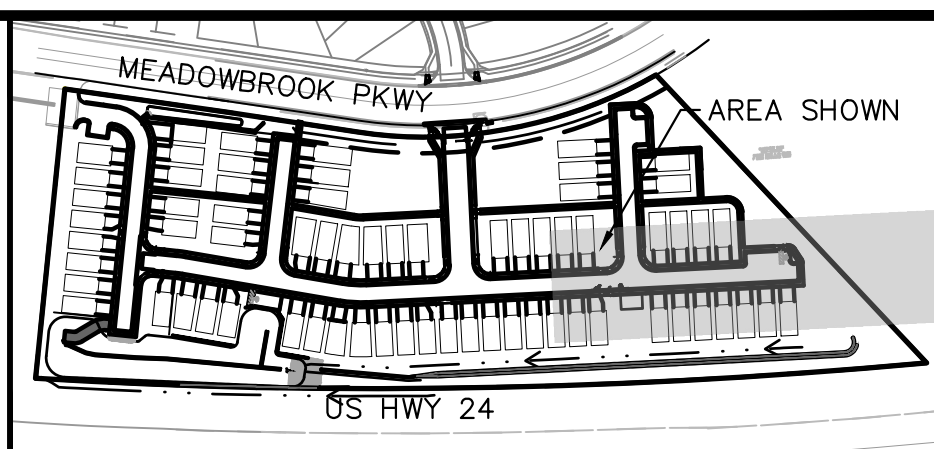
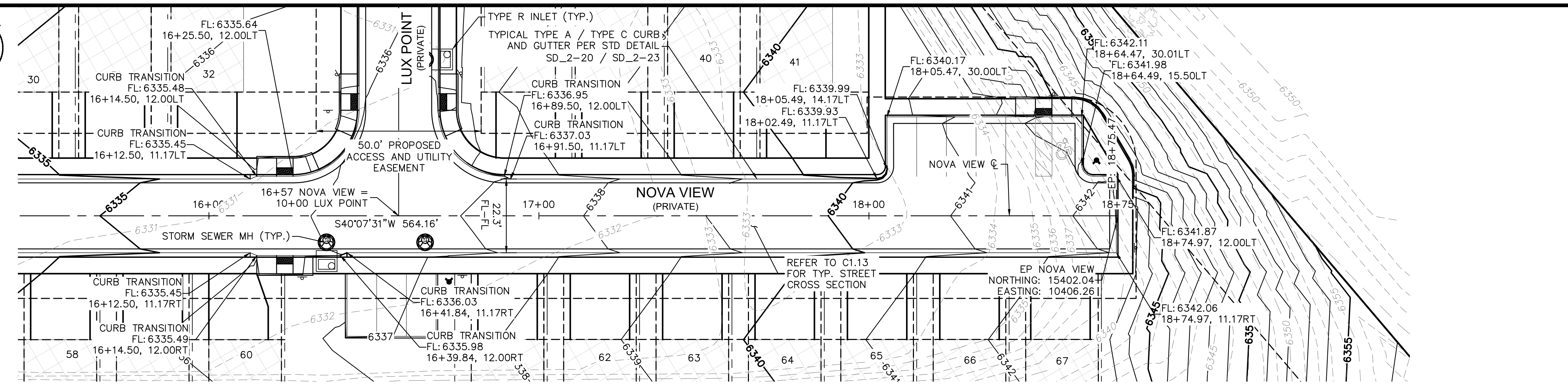
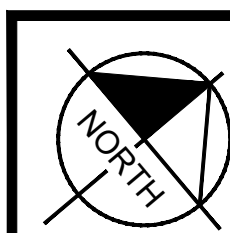
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	PROPERTY LINE		STORM SEWER CURB INLET
	200' SETBACK LINE		STORM SEWER FLARED END SECTION
	LIMITS OF DISTURBANCE		STORM SEWER MANHOLE
	PROPOSED MAJOR CONTOUR		STORM SEWER PIPE
	PROPOSED MINOR CONTOUR		
	EXISTING MAJOR CONTOUR		
	EXISTING MINOR CONTOUR		
	PROPOSED SLOPE ARROW		

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	NO. _____
	REVISION _____
	BY _____ DATE _____
<b>Kimley»Horn</b>	
2021 KIMLEY-HORN AND ASSOCIATES, INC. 2 North Nevada Avenue Suite 300 Colorado Springs, Colorado 80903 (719) 453-0180	
DESIGNED BY: KK DRAWN BY: KK CHECKED BY: JH DATE: 03/21/2022	
<b>MEADOWBROOK PARK</b> EL PASO COUNTY, COLORADO CONSTRUCTION DOCUMENTS NOVA VIEW ROADWAY PLAN AND PROFILE	
PROJECT NO. 096956009	
SHEET	
<b>C1.7</b>	





KEYMAP  
SCALE: 1" = 250'

### LEGEND

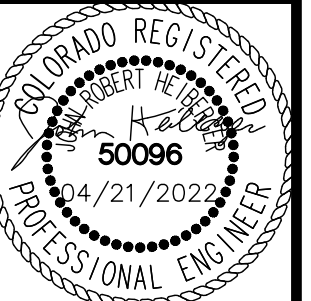
- PROPERTY LINE
- 200' SETBACK LINE
- LIMITS OF DISTURBANCE
- 64XX** — PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- 2.50%** — PROPOSED SLOPE ARROW
- STORM SEWER PIPE
- STORM SEWER CURB INLET
- ▽ STORM SEWER FLARED END SECTION
- ⊙ STORM SEWER MANHOLE

NO.	REVISION	DATE	APPR.

**Kimley & Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/21/2022

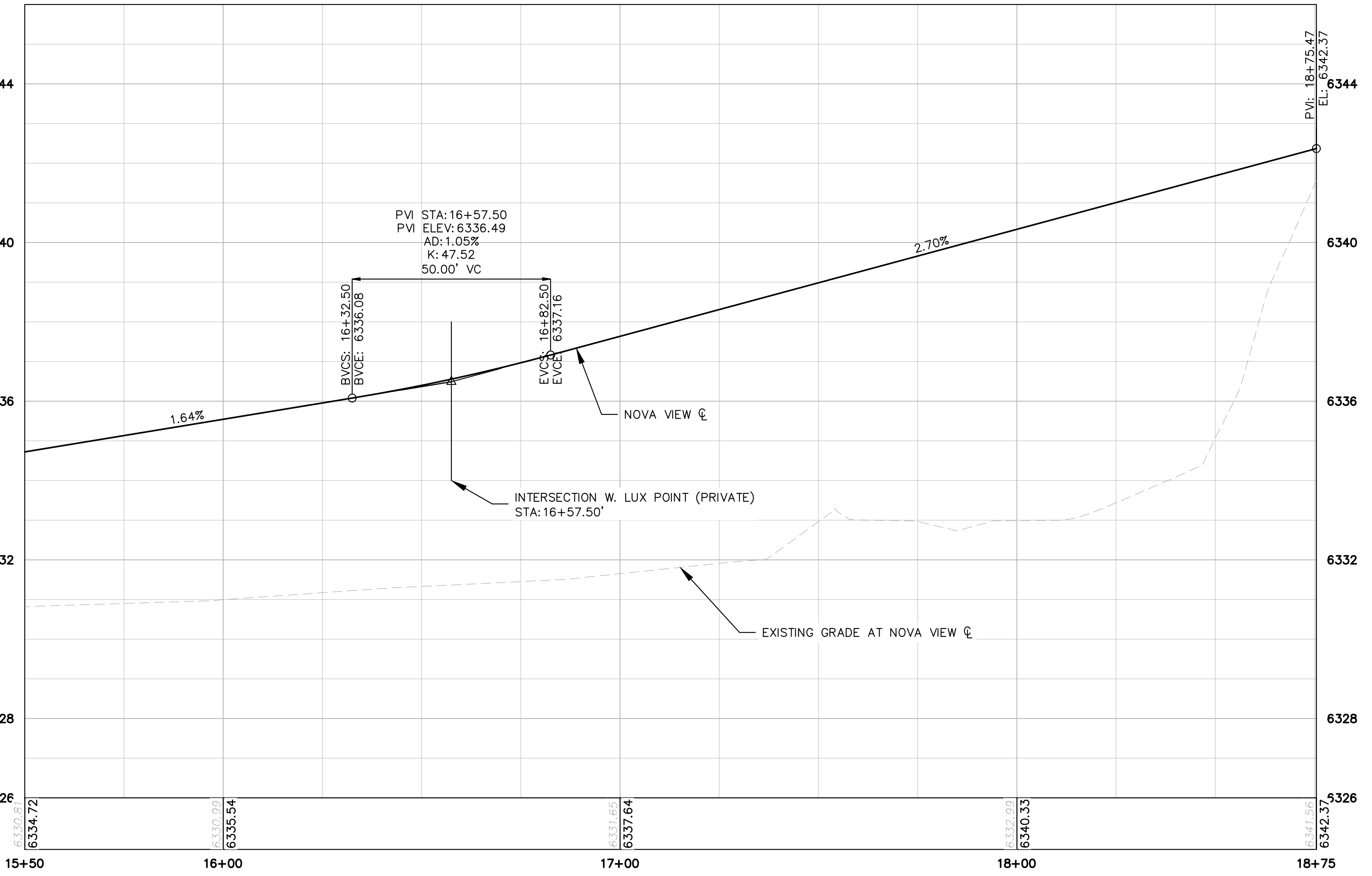
**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 NOVA VIEW ROADWAY PLAN AND PROFILE



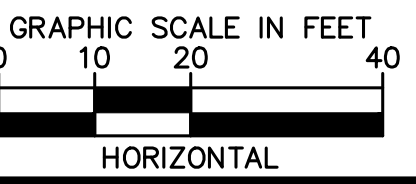
PROJECT NO.  
096956009

SHEET

C1.8



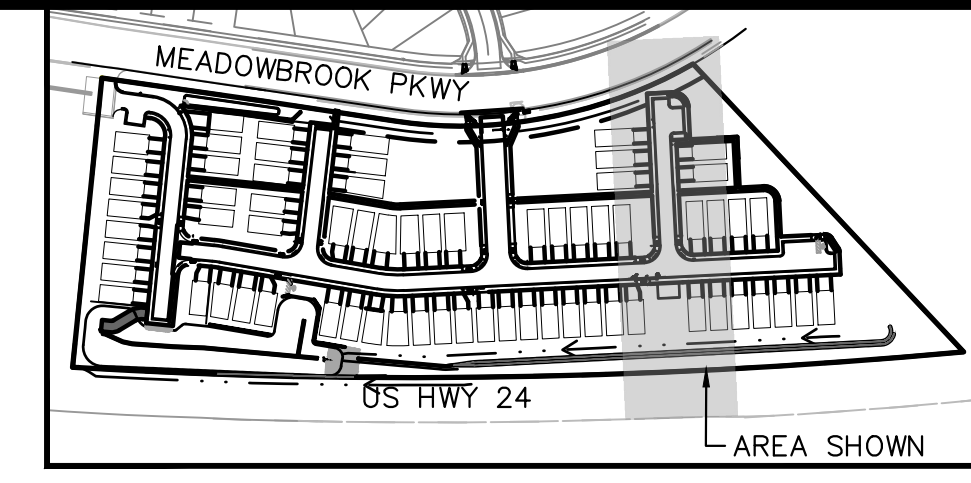
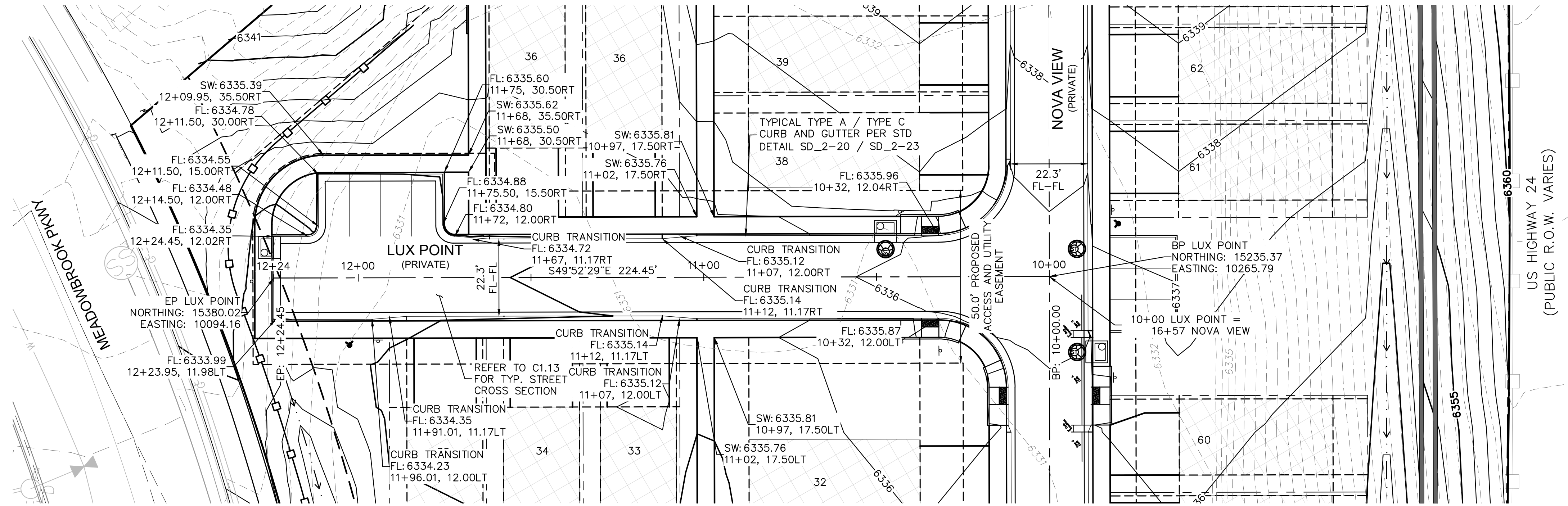
**NOVA VIEW**  
 STA. 15+50 - 18+75



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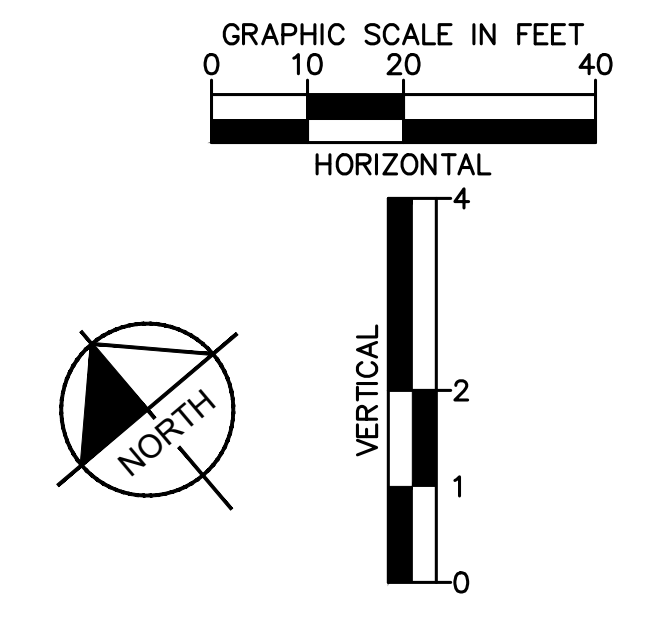
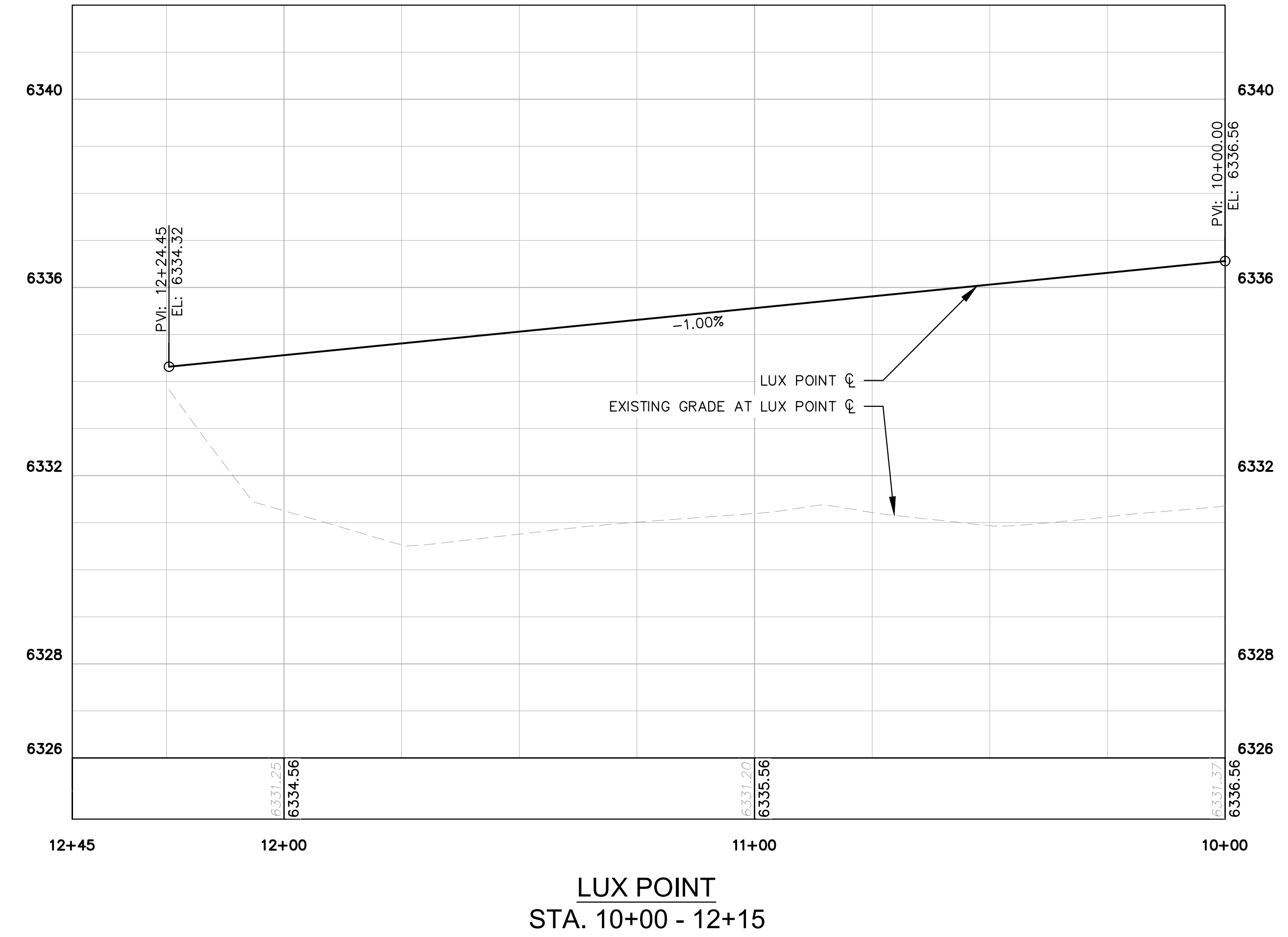
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KEYMAP  
SCALE: 1" = 250'

**LEGEND**

	PROPERTY LINE
	200' SETBACK LINE
	LIMITS OF DISTURBANCE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED SLOPE ARROW
	STORM SEWER PIPE
	STORM SEWER CURB INLET
	STORM SEWER FLARED END SECTION
	STORM SEWER MANHOLE



NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/21/2022

**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
LUX POINT ROADWAY PLAN AND PROFILE

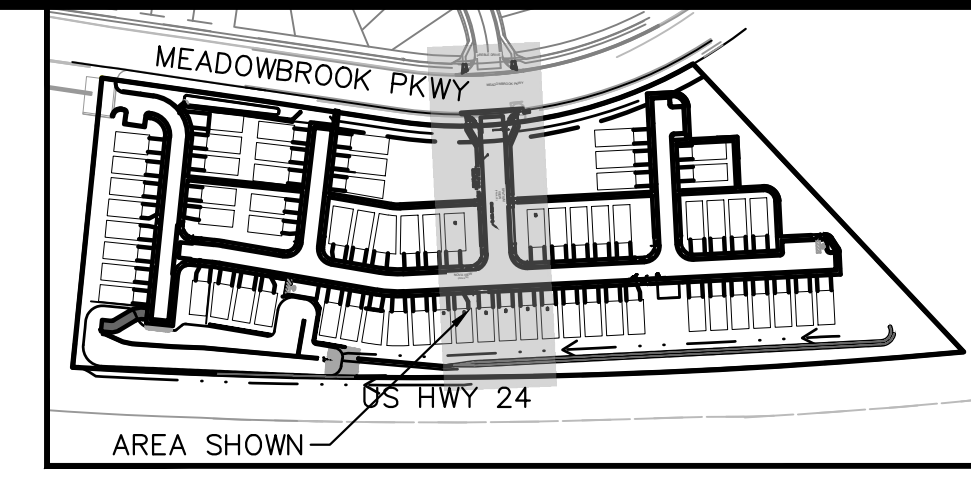
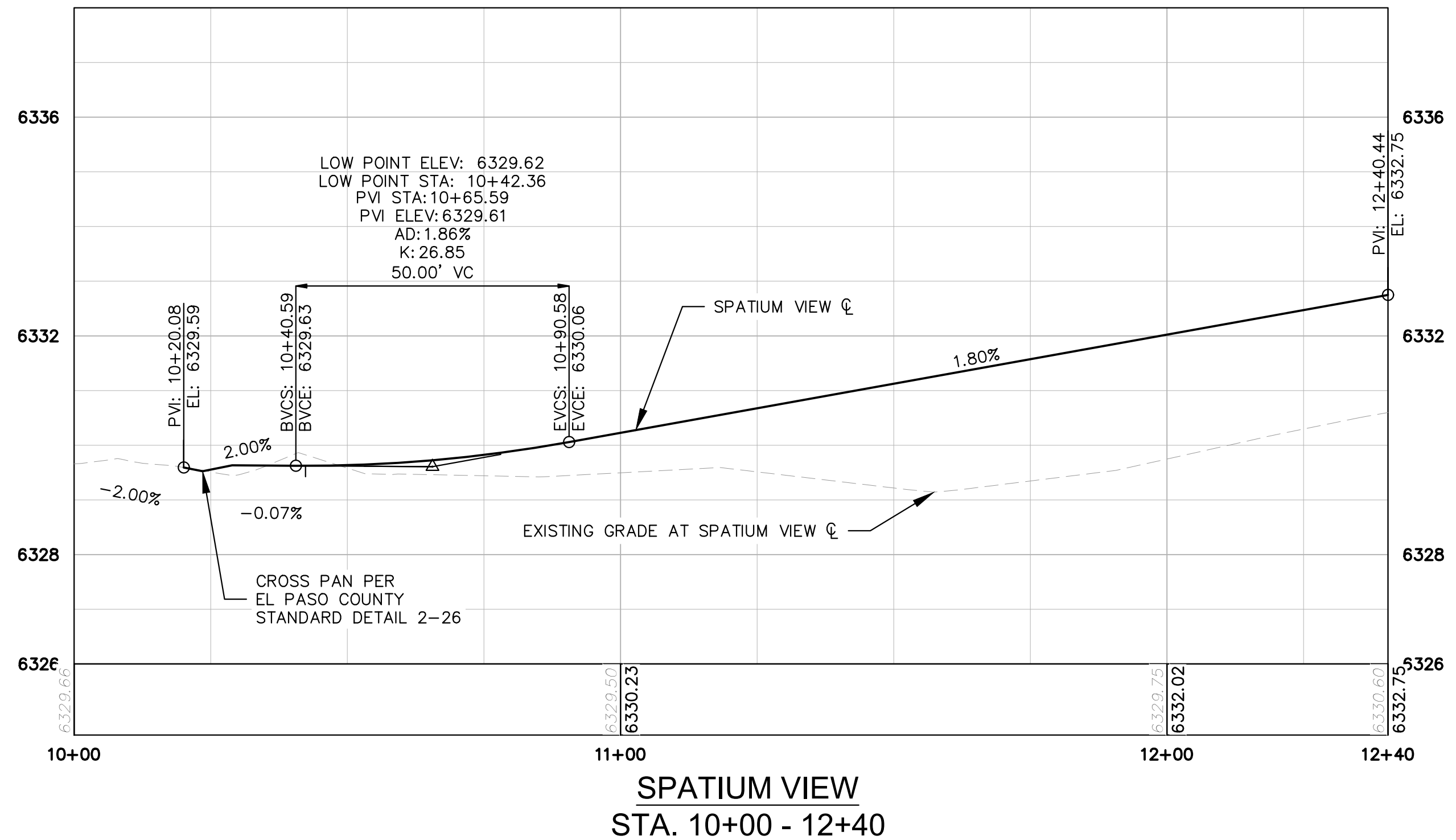
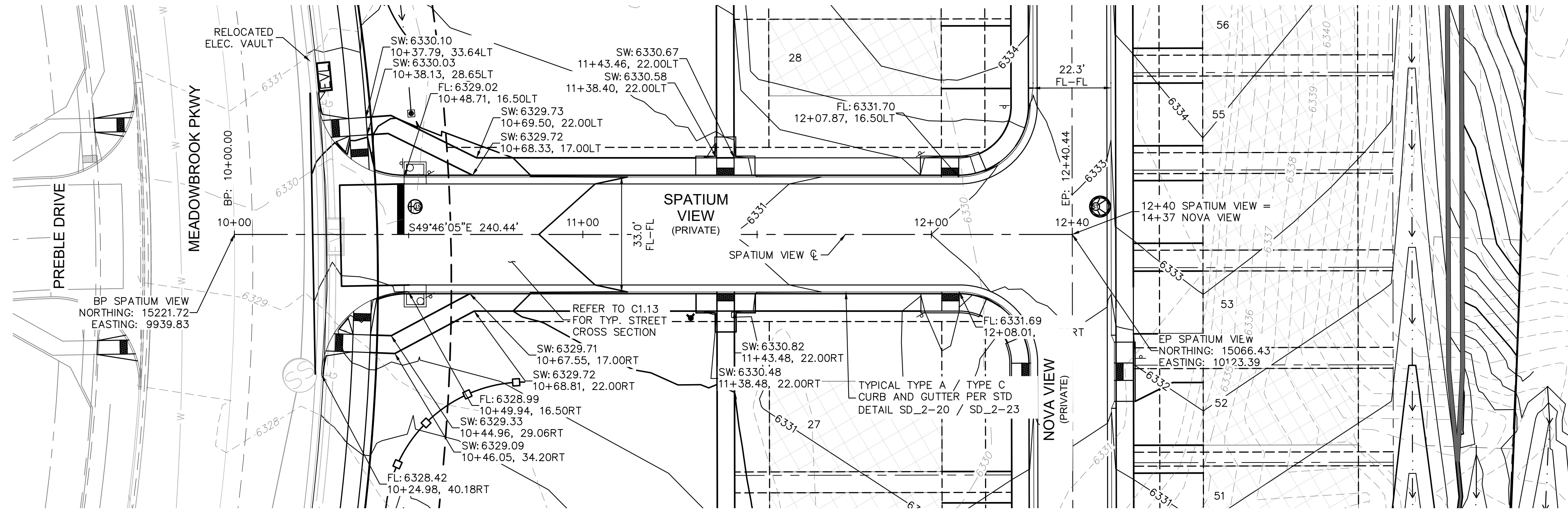


PROJECT NO.  
096956009

SHEET  
**C1.9**



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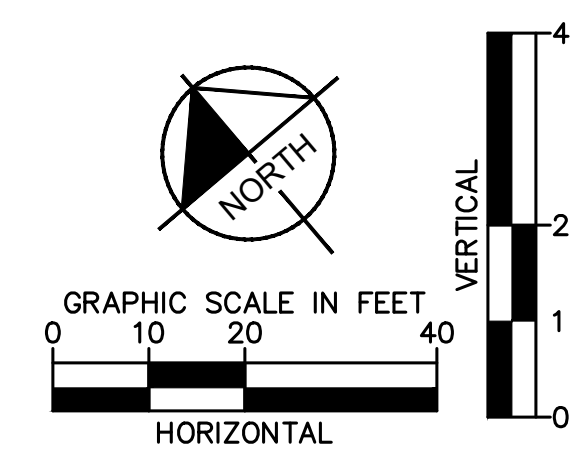
- LEGEND**
- PROPERTY LINE
  - 200' SETBACK LINE
  - LIMITS OF DISTURBANCE
  - 64XX— PROPOSED MAJOR CONTOUR
  - 64XX--- PROPOSED MINOR CONTOUR
  - 64XX--- EXISTING MAJOR CONTOUR
  - 64XX--- EXISTING MINOR CONTOUR
  - 2.50%— PROPOSED SLOPE ARROW
  - STORM SEWER PIPE
  - STORM SEWER CURB INLET
  - STORM SEWER FLARED END SECTION
  - STORM SEWER MANHOLE

NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
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 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
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 CHECKED BY: JH  
 DATE: 03/21/2022

**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 SPATIUM VIEW ROADWAY PLAN AND PROFILE

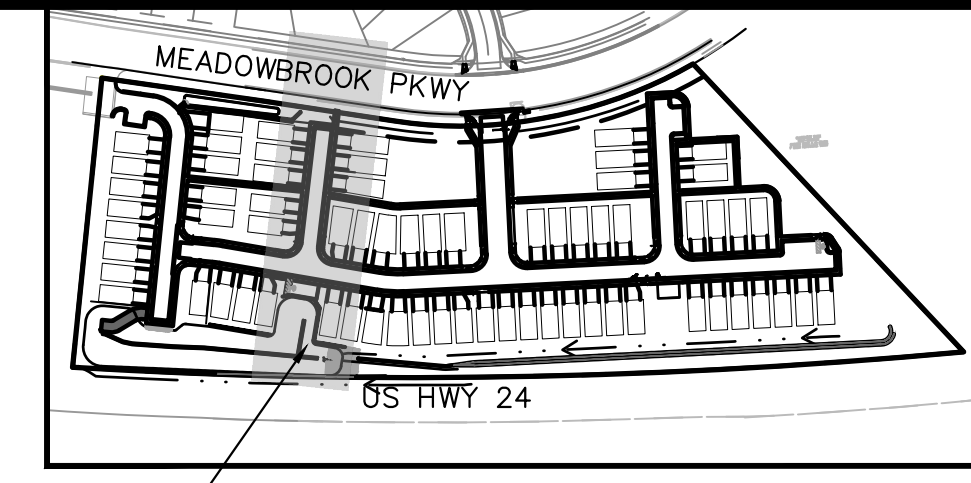


PROJECT NO.  
096956009

SHEET  
**C1.10**

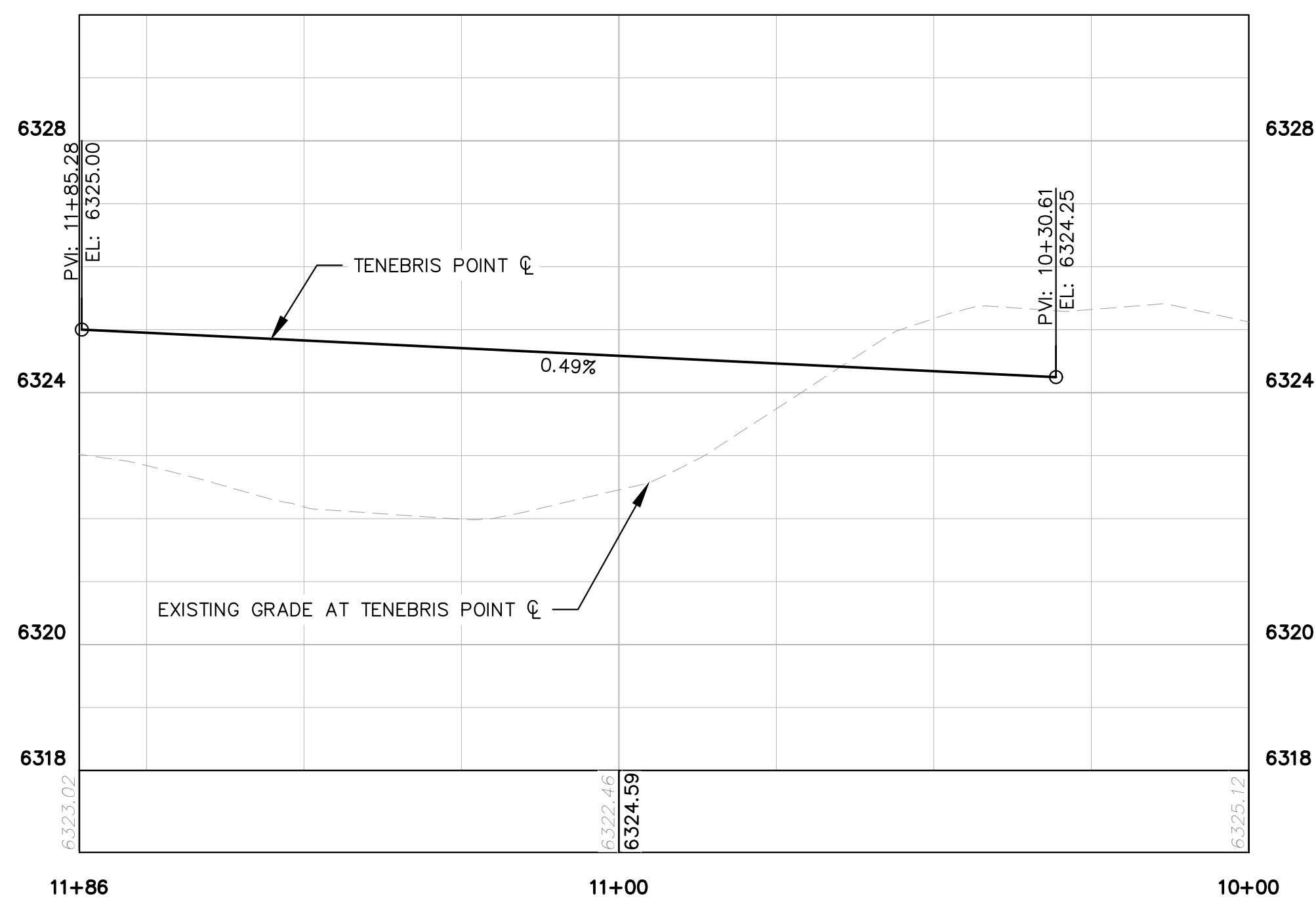
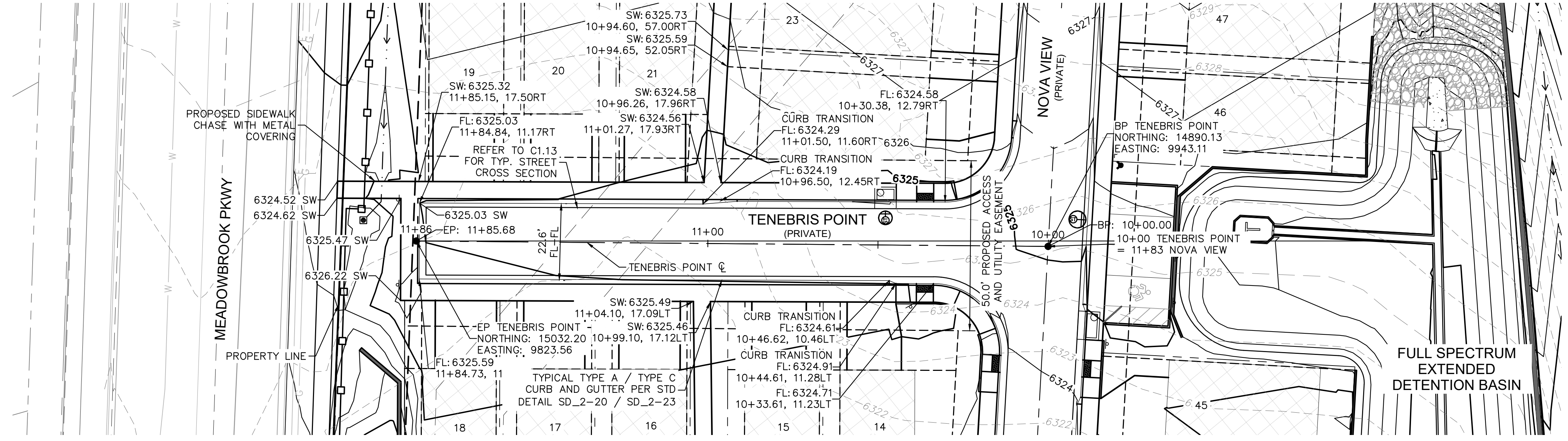


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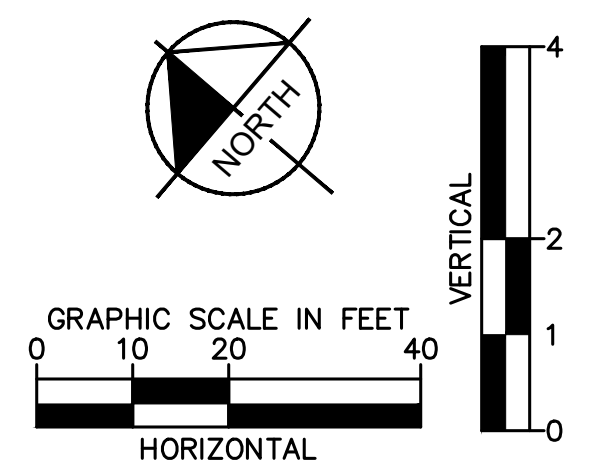


AREA SHOWN  
KEYMAP  
SCALE: 1" = 250'

- LEGEND**
- PROPERTY LINE
  - - - 200' SETBACK LINE
  - - - LIMITS OF DISTURBANCE
  - 64XX— PROPOSED MAJOR CONTOUR
  - - -64XX- EXISTING MAJOR CONTOUR
  - 64XX- EXISTING MINOR CONTOUR
  - 2.50%— PROPOSED SLOPE ARROW
  - S— STORM SEWER PIPE
  - S— STORM SEWER CURB INLET
  - S— STORM SEWER FLARED END SECTION
  - S— STORM SEWER MANHOLE



**TENEBRIS POINT**  
STA. 10+00 - 11+86



NO.	REVISION	BY	DATE	APPR.

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**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
TENEBRIS POINT ROADWAY PLAN AND PROFILE

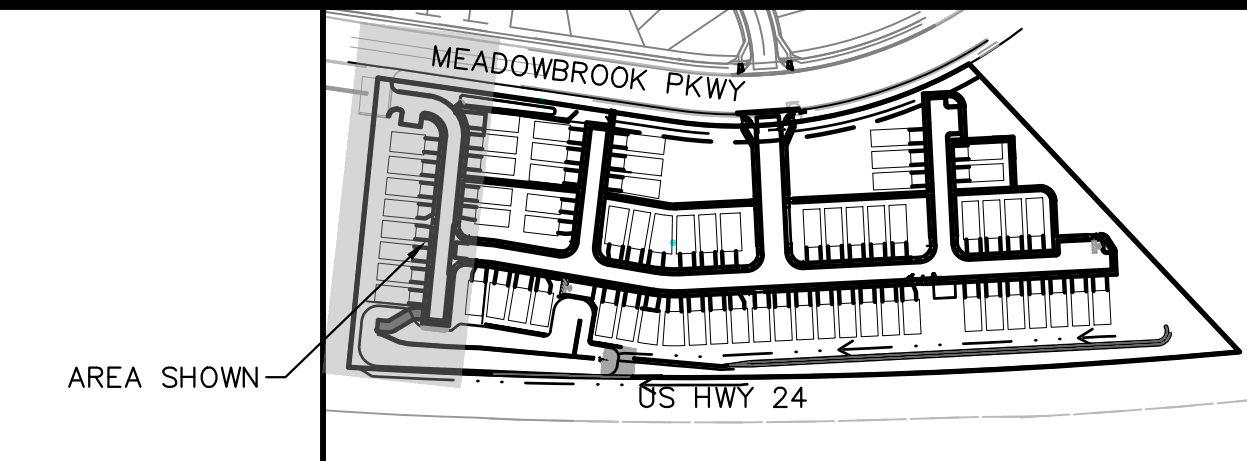
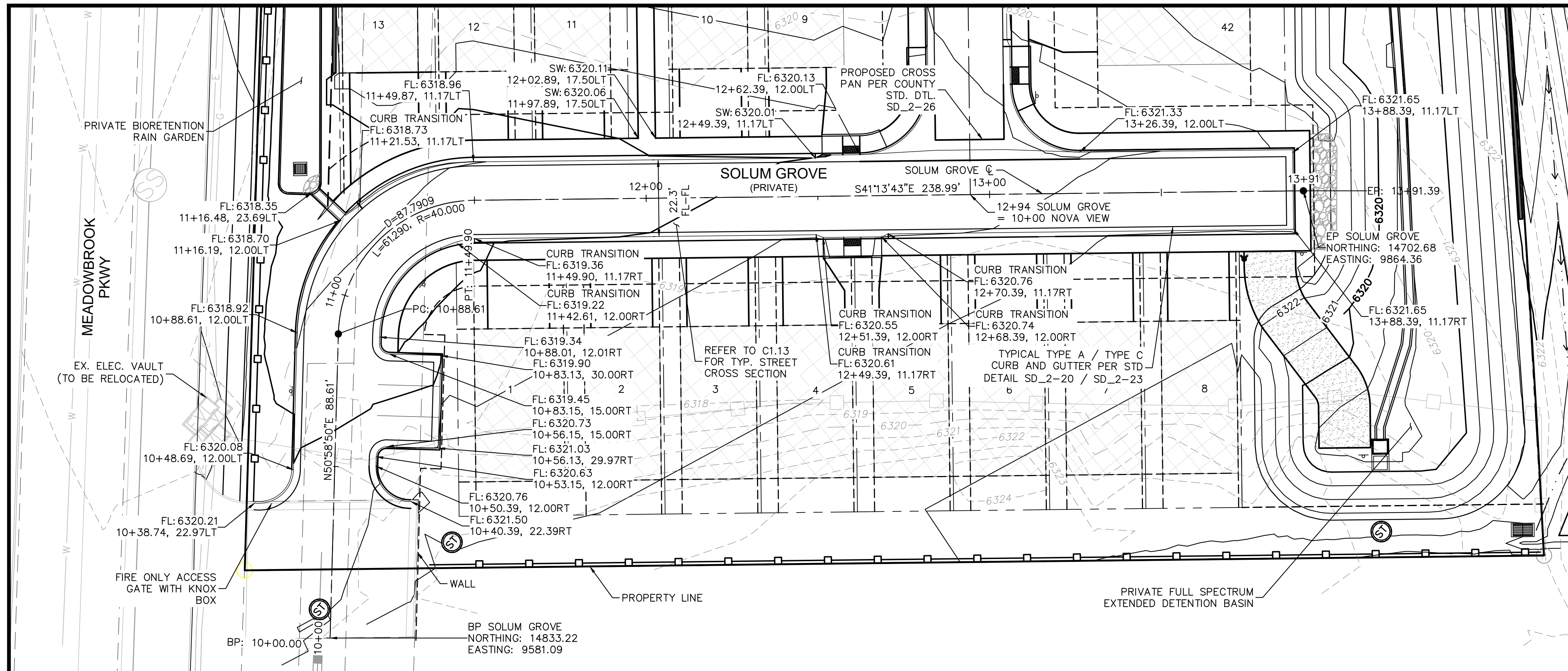


PROJECT NO.  
096956009

SHEET  
**C1.11**



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KEYMAP  
SCALE: 1" = 250'

**LEGEND**

—	PROPERTY LINE
- - -	200' SETBACK LINE
- - -	LIMITS OF DISTURBANCE
—64XX—	PROPOSED MAJOR CONTOUR
- - -64XX-	PROPOSED MINOR CONTOUR
—64XX—	EXISTING MAJOR CONTOUR
- - -64XX-	EXISTING MINOR CONTOUR
—2.50%—	PROPOSED SLOPE ARROW
—	STORM SEWER PIPE
—	STORM SEWER CURB INLET
—	STORM SEWER FLARED END SECTION
—	STORM SEWER MANHOLE

NO.	REVISION	BY	DATE	APPR.

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2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

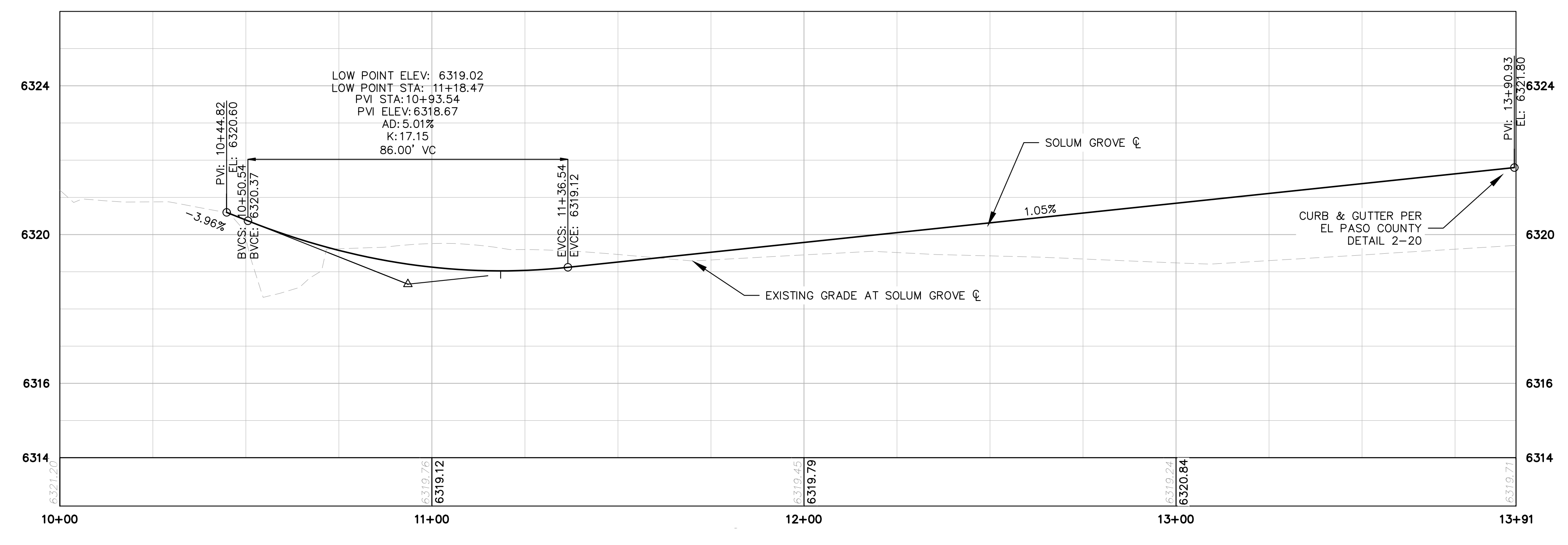
DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/21/2022

MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
SOLUM GROVE ROADWAY PLAN AND PROFILE

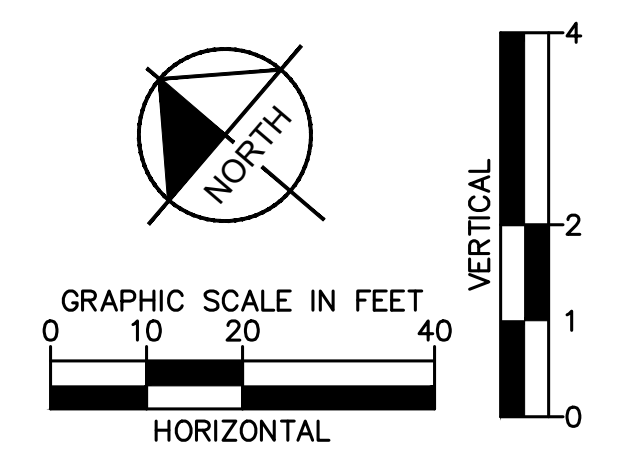


PROJECT NO. 096956009  
SHEET

C1.12

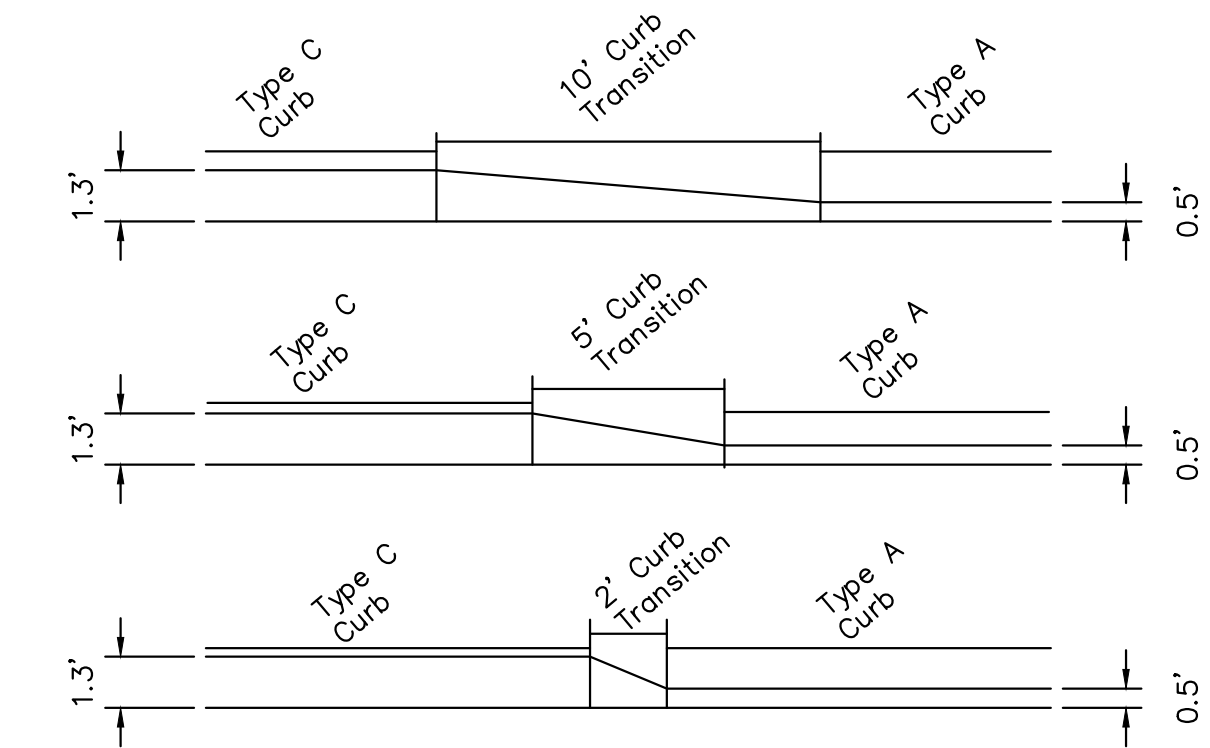
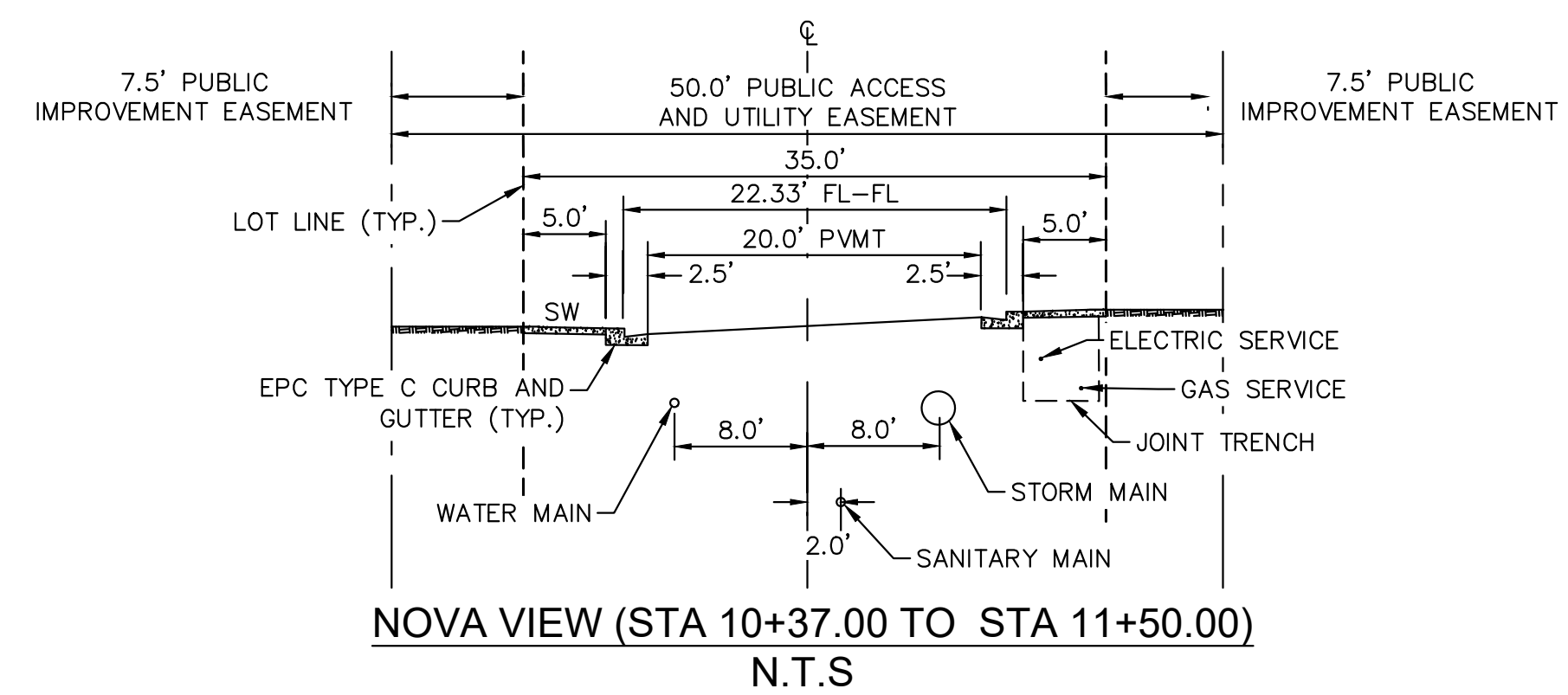
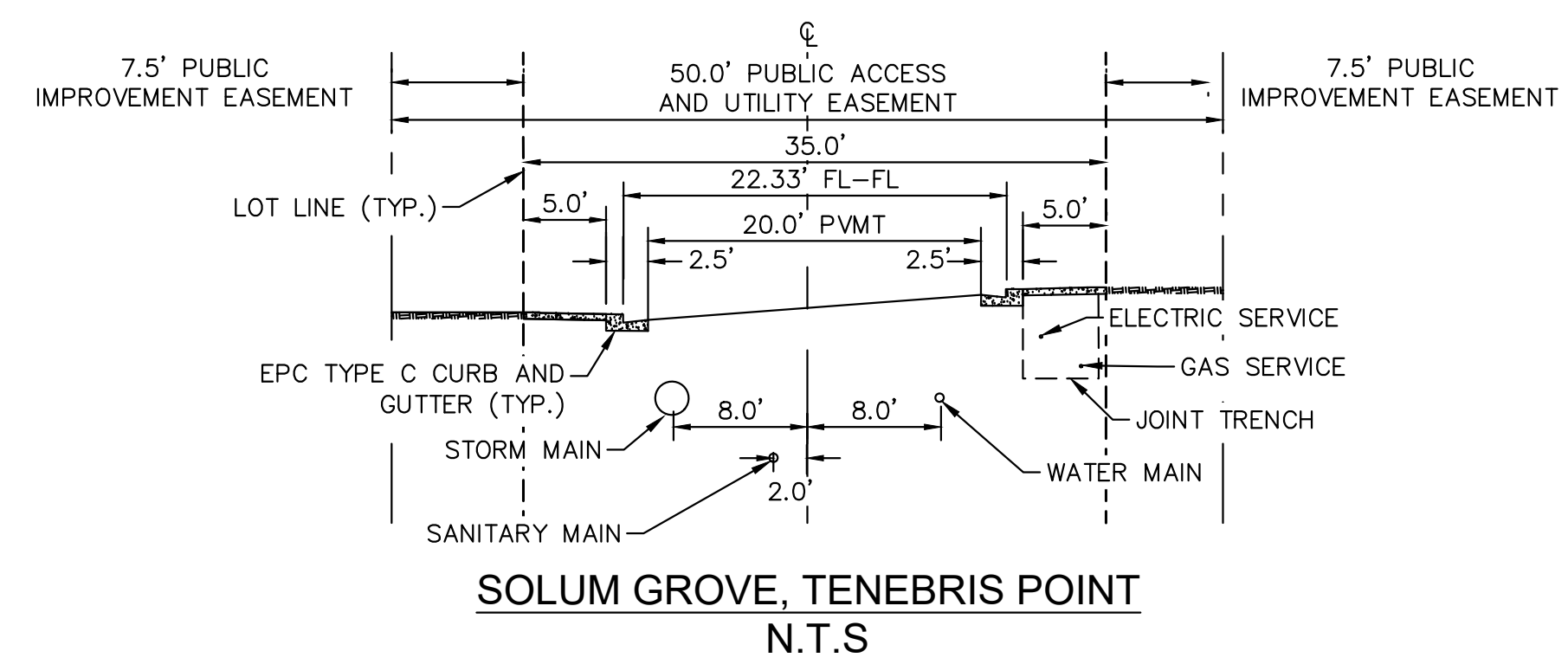
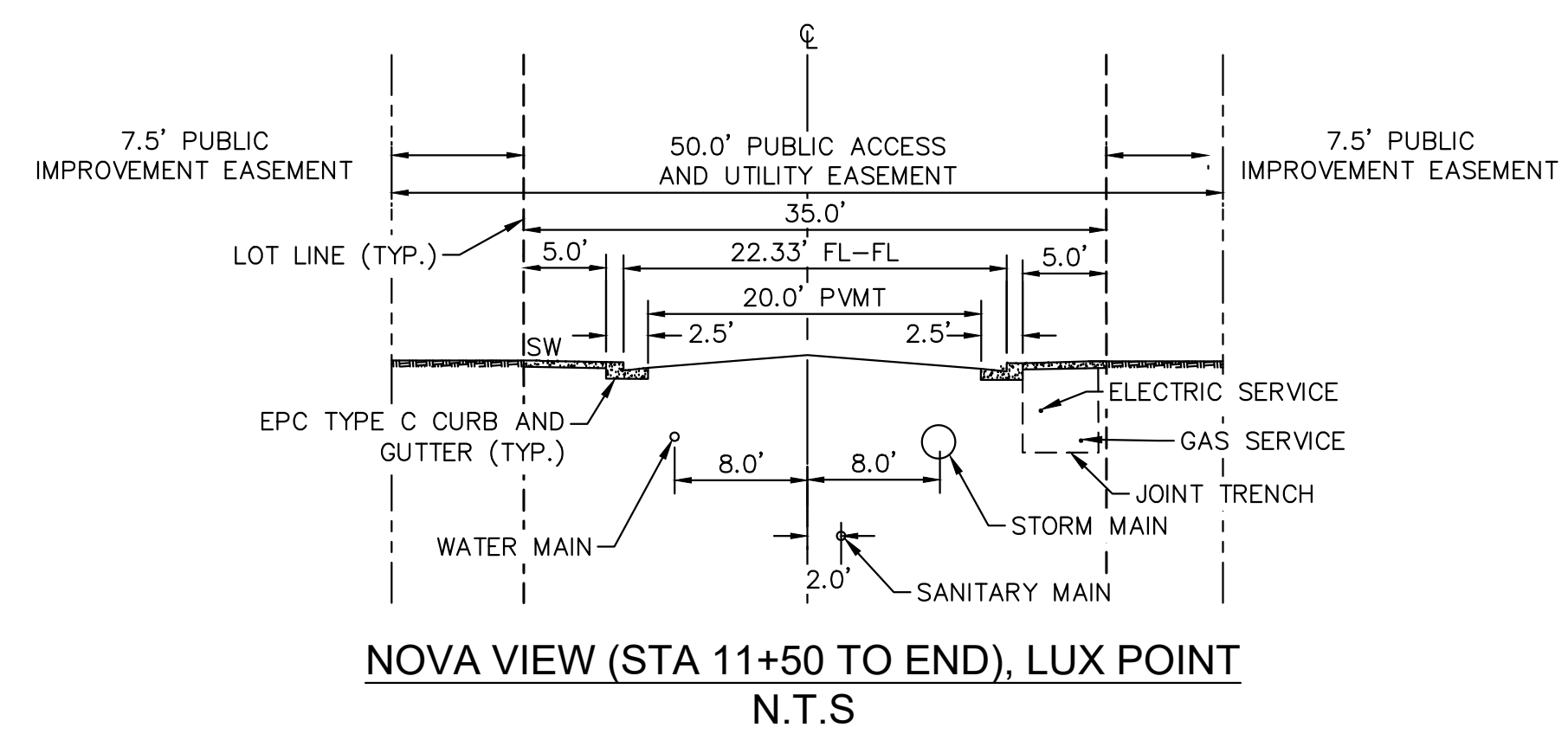
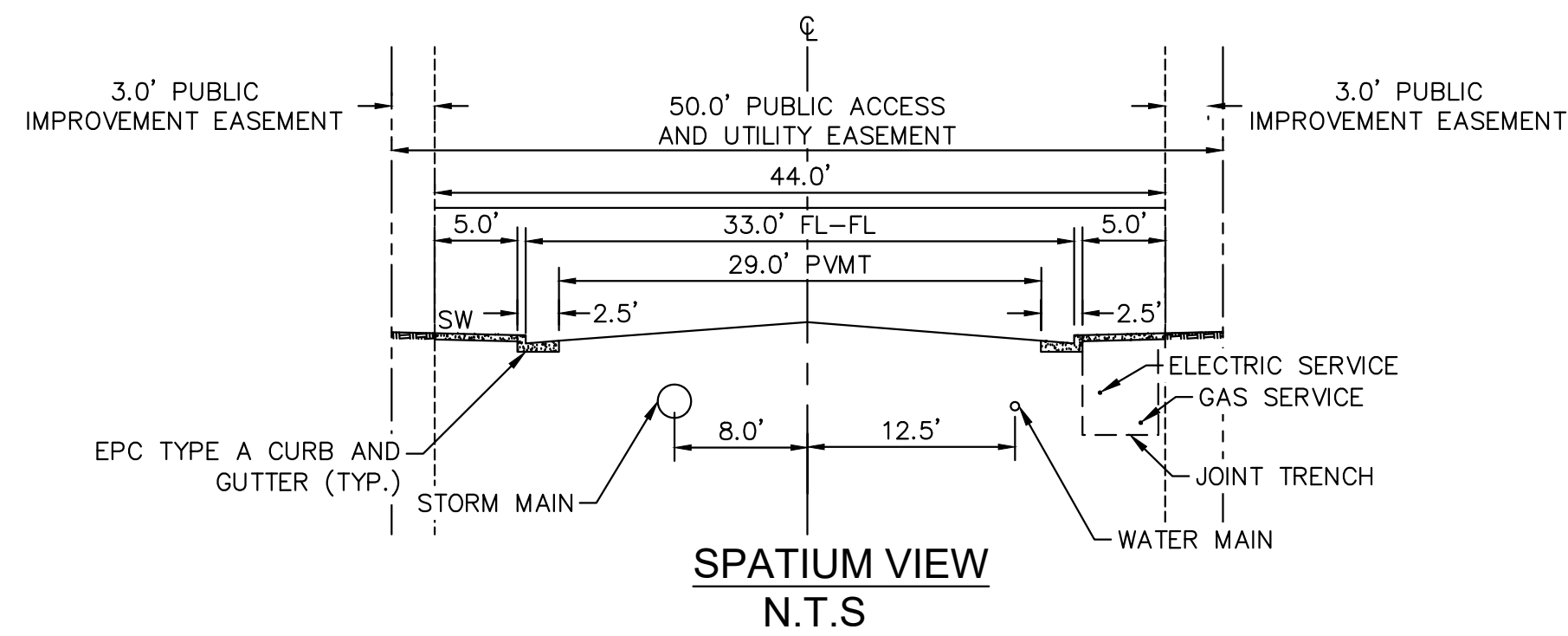


SOLUM GROVE  
STA. 10+00 - 13+91





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NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
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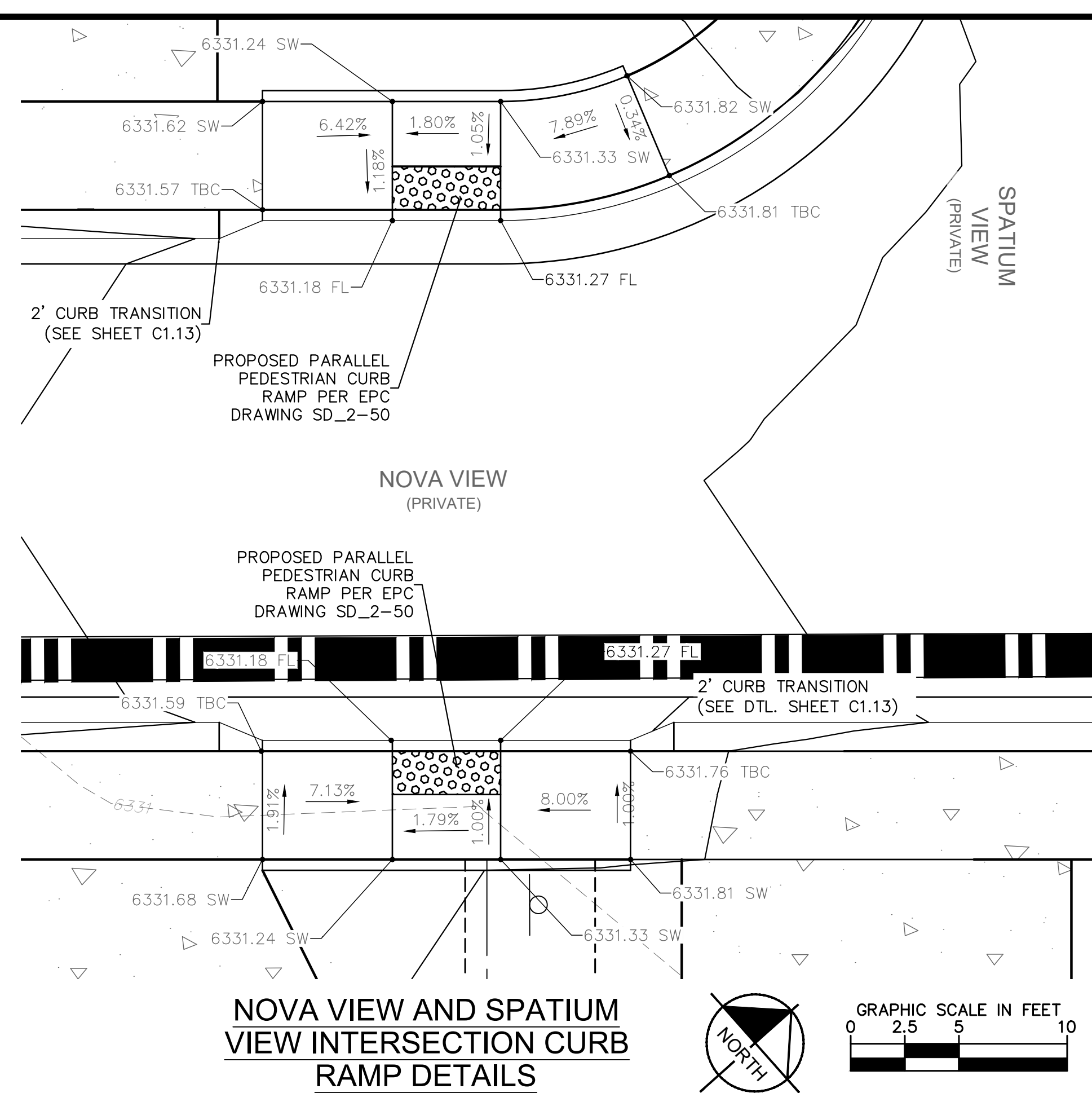
**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
**STREET TYPICAL CROSS SECTIONS**



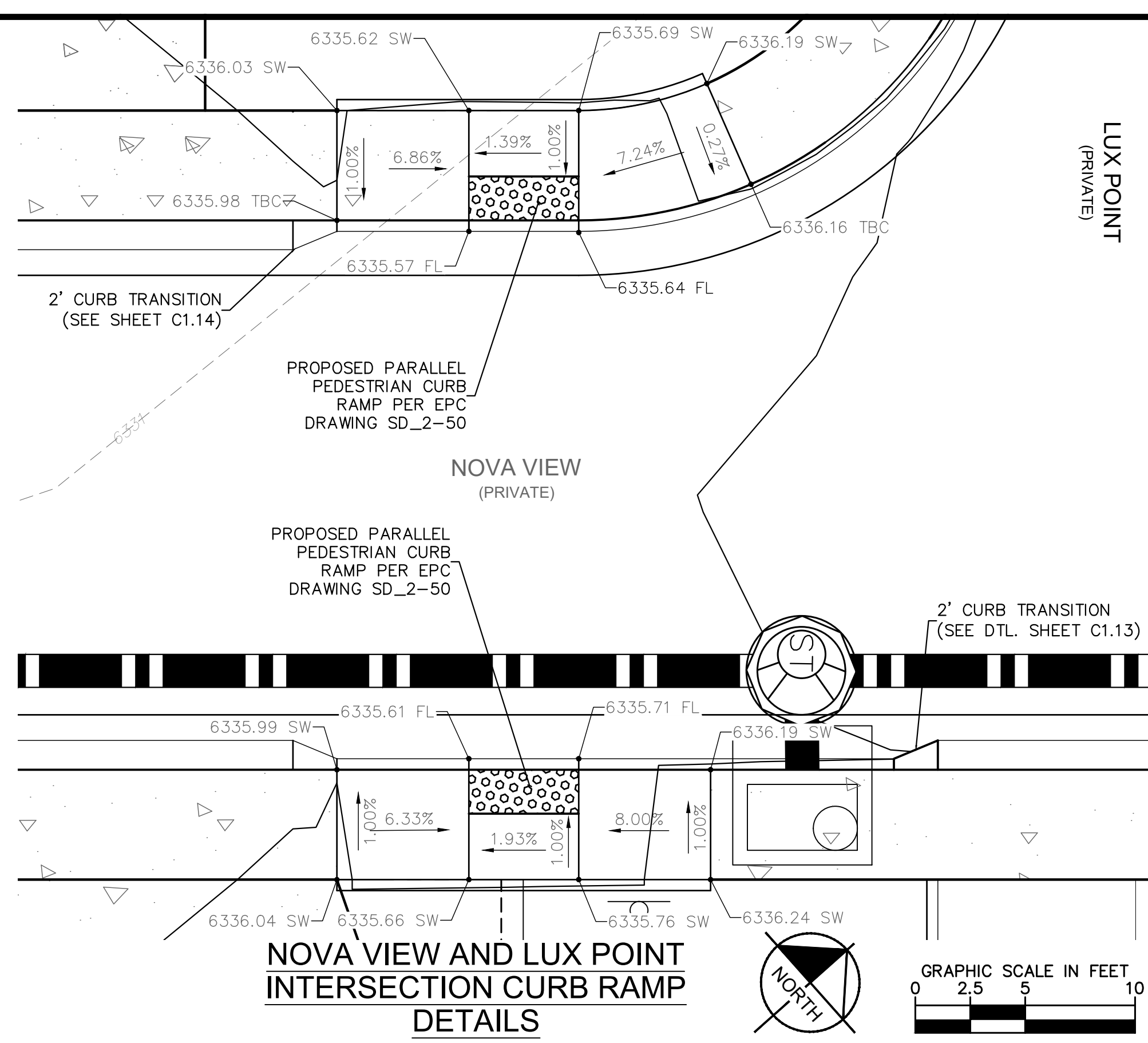
PROJECT NO.  
096956009  
SHEET  
**C1.13**



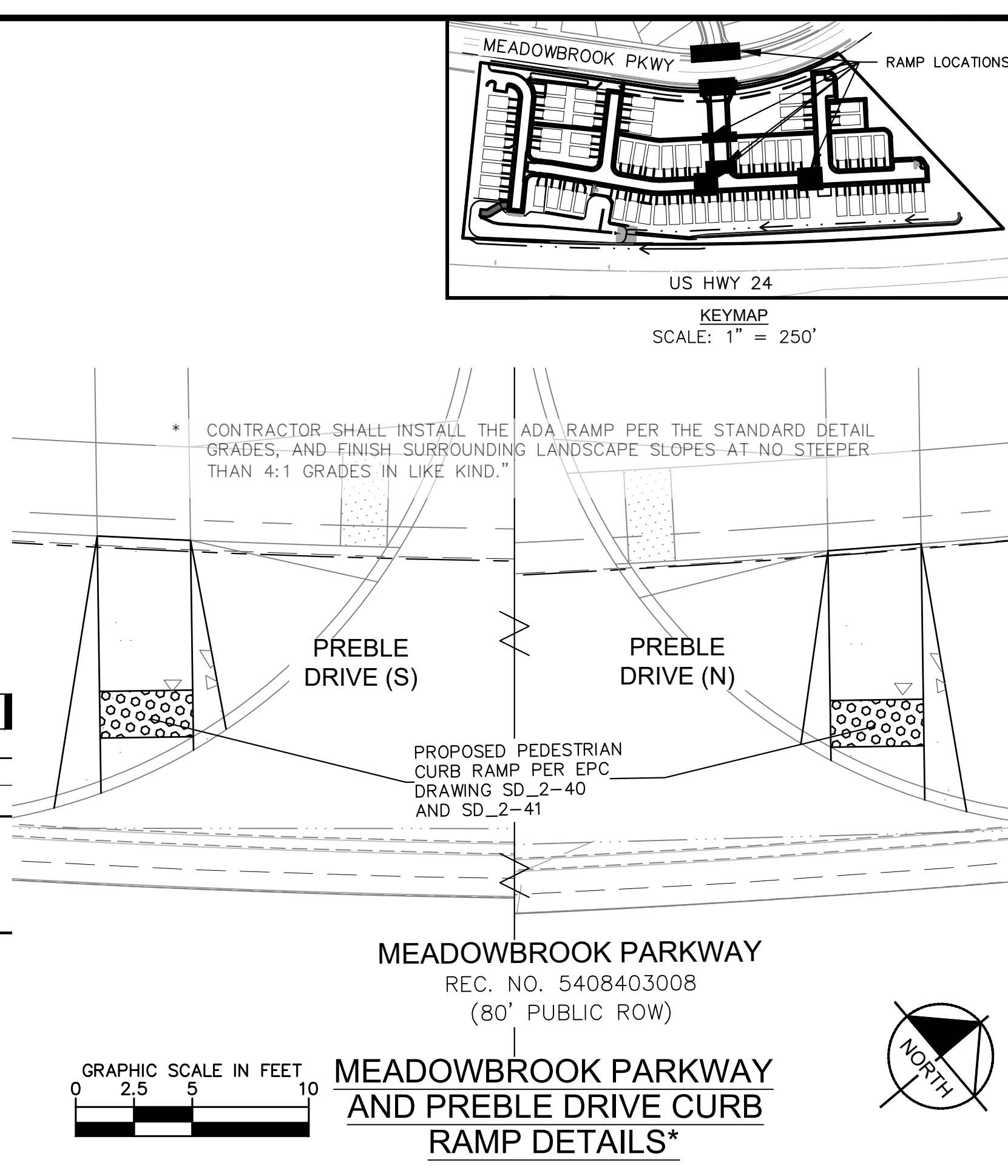
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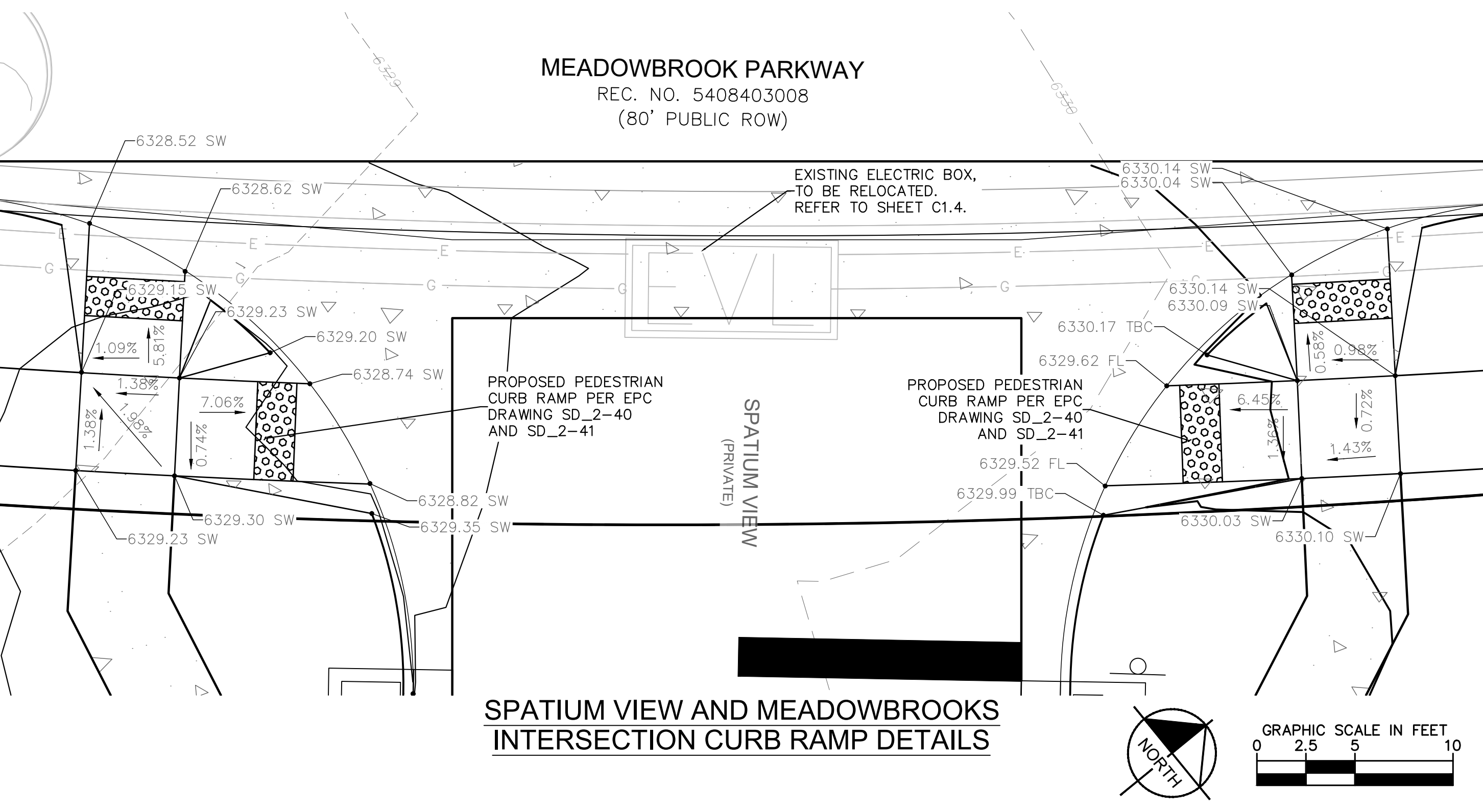
**NOVA VIEW AND SPATIUM VIEW INTERSECTION CURB RAMP DETAILS**



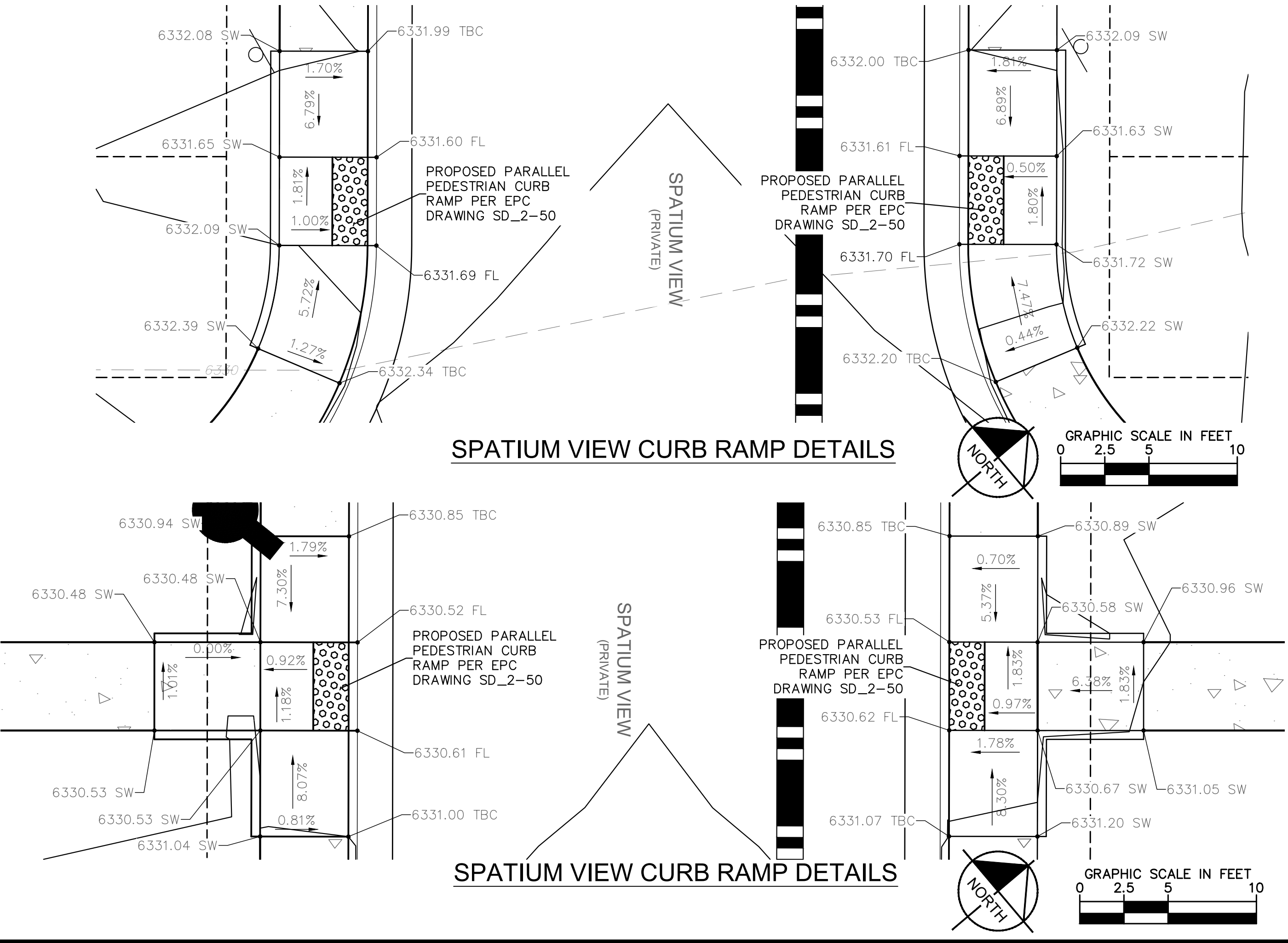
**NOVA VIEW AND LUX POINT INTERSECTION CURB RAMP DETAILS**



**MEADOWBROOK PARKWAY AND PREBLE DRIVE CURB RAMP DETAILS\***

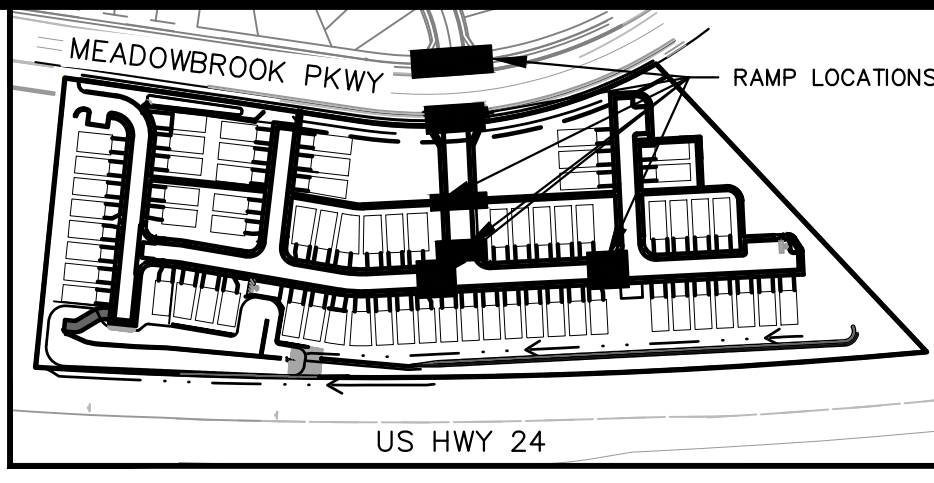


**SPATIUM VIEW AND MEADOWBROOKS INTERSECTION CURB RAMP DETAILS**



**SPATIUM VIEW CURB RAMP DETAILS**

**SPATIUM VIEW CURB RAMP DETAILS**



\* CONTRACTOR SHALL INSTALL THE ADA RAMP PER THE STANDARD DETAIL GRADES, AND FINISH SURROUNDING LANDSCAPE SLOPES AT NO STEEPER THAN 4:1 GRADES IN LIKE KIND.

NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/21/2022

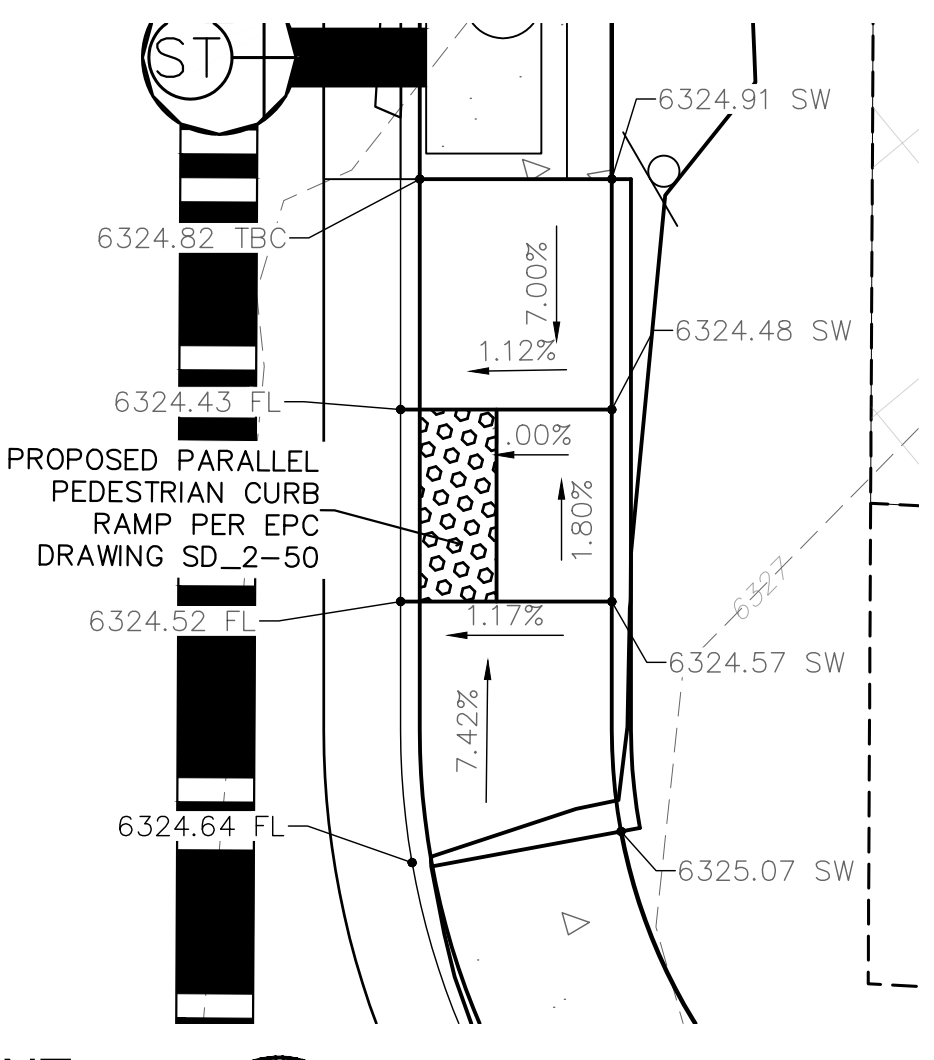
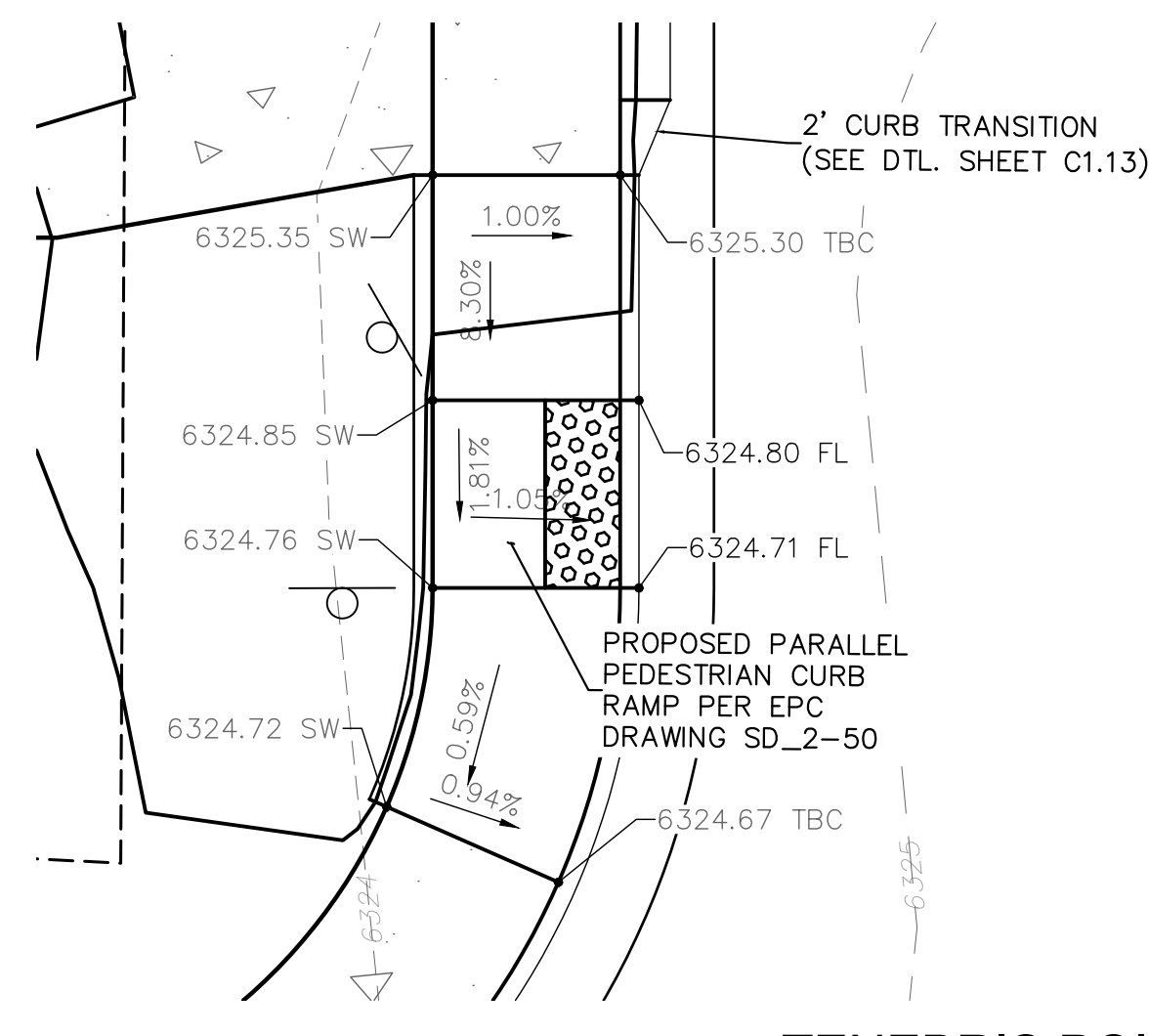
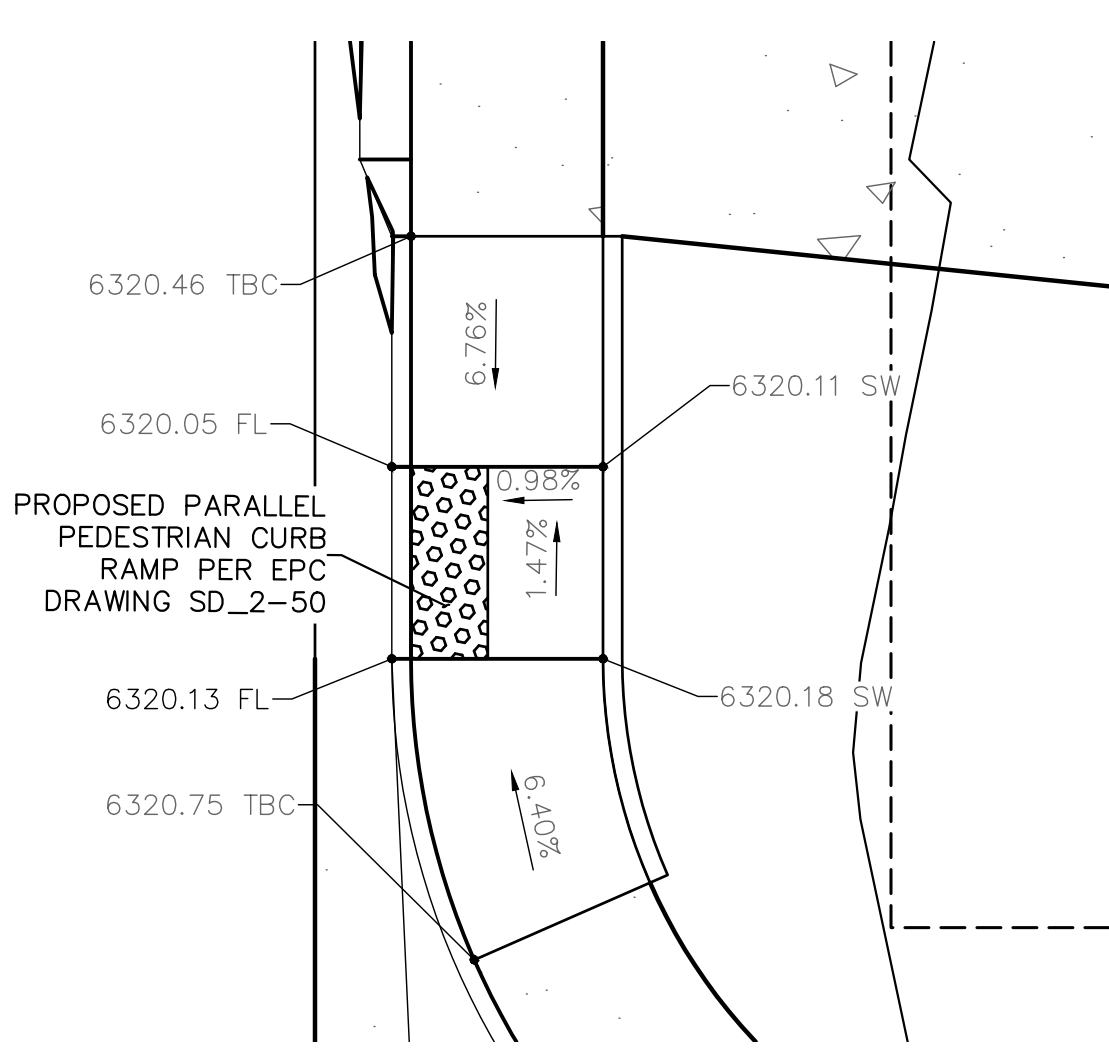
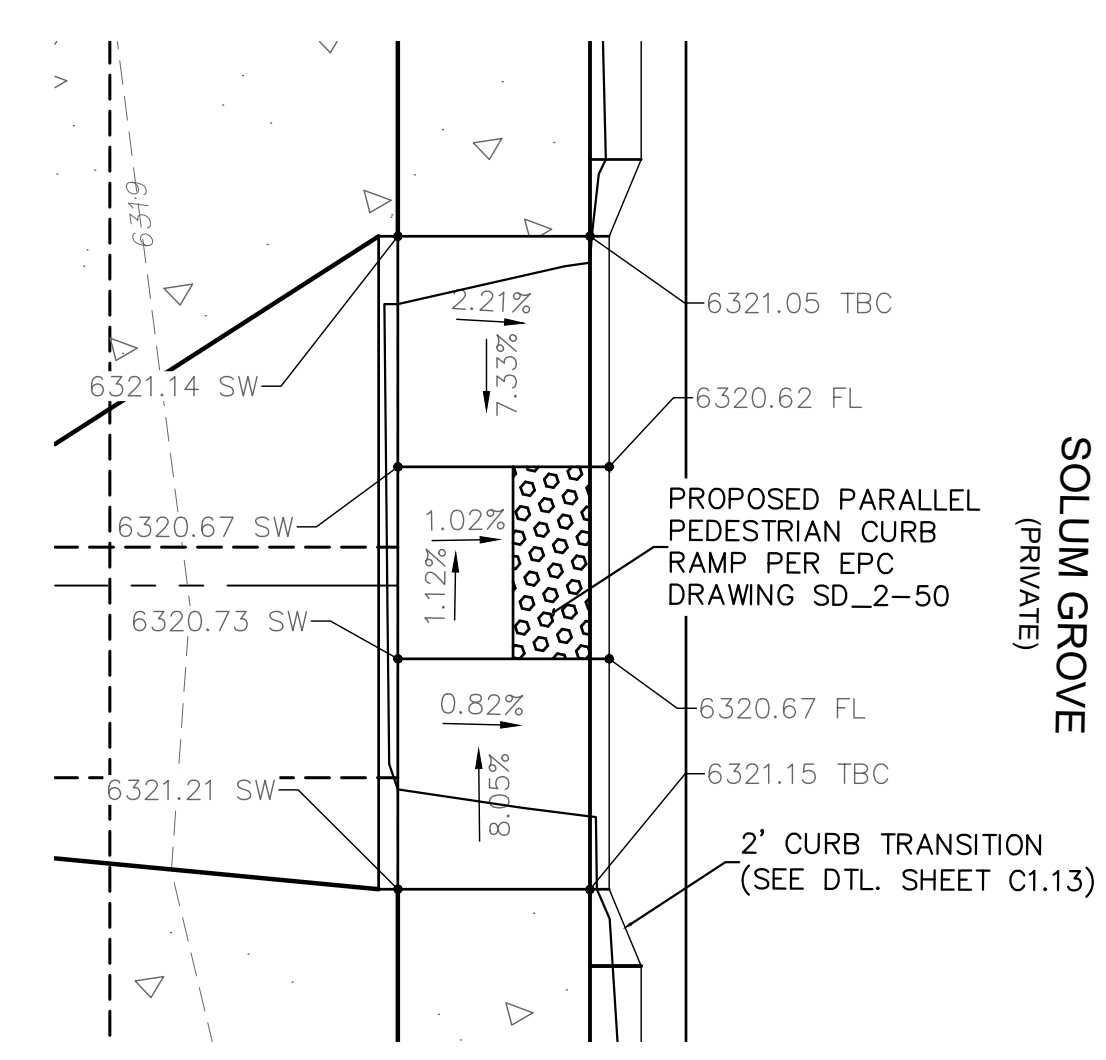
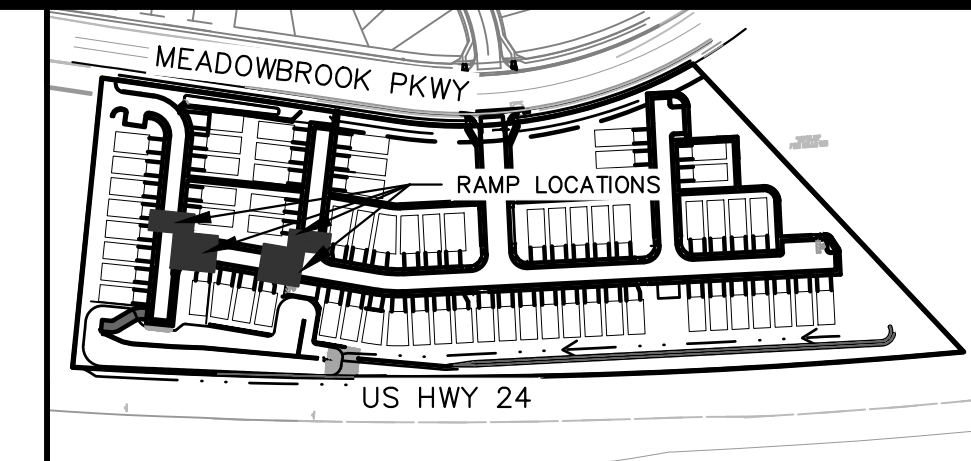
**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 DETAILED GRADING PLAN

COLORADO REGISTERED PROFESSIONAL ENGINEER  
 50096  
 4/21/2022

PROJECT NO. 096956009  
 SHEET C1.14

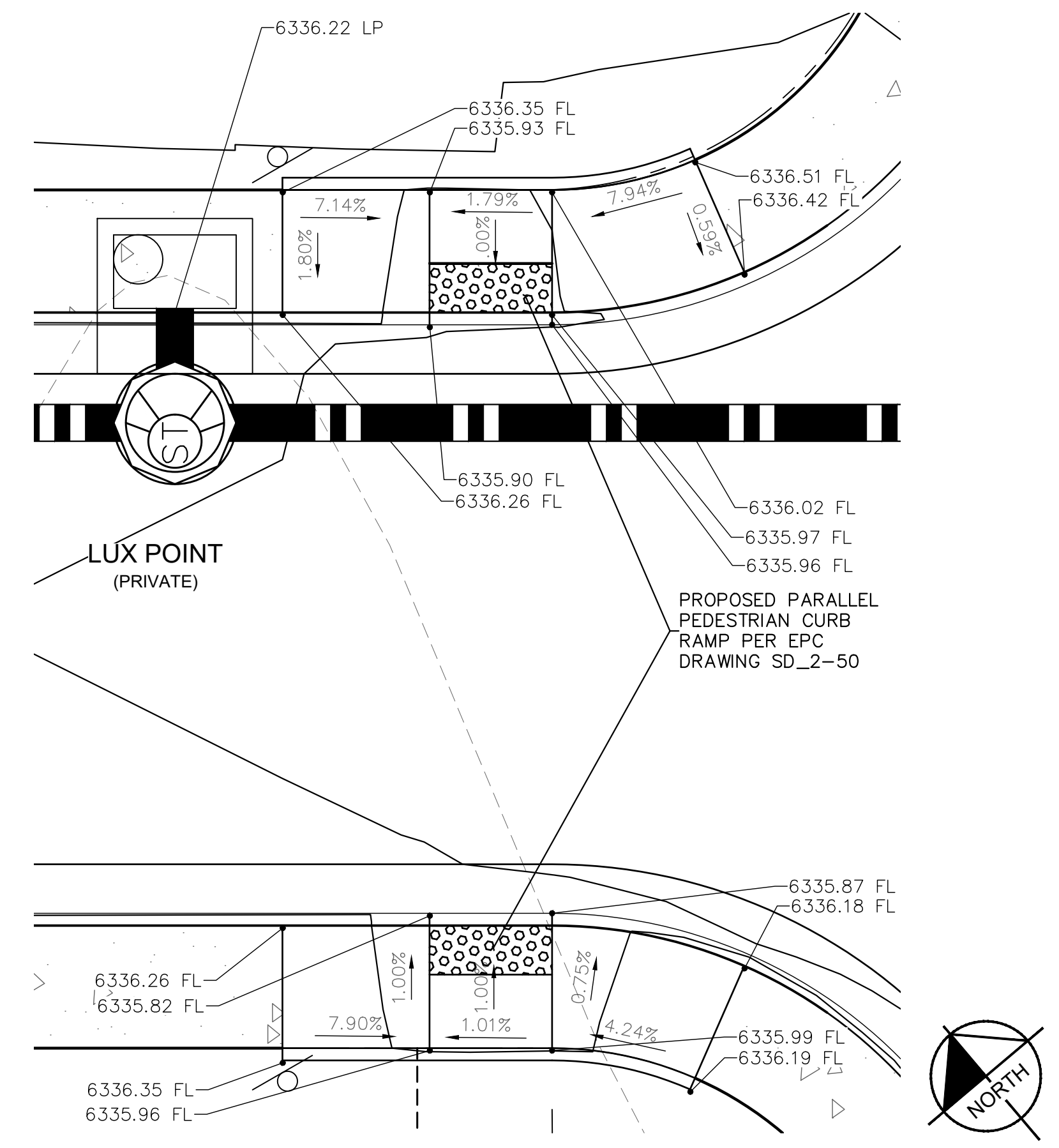
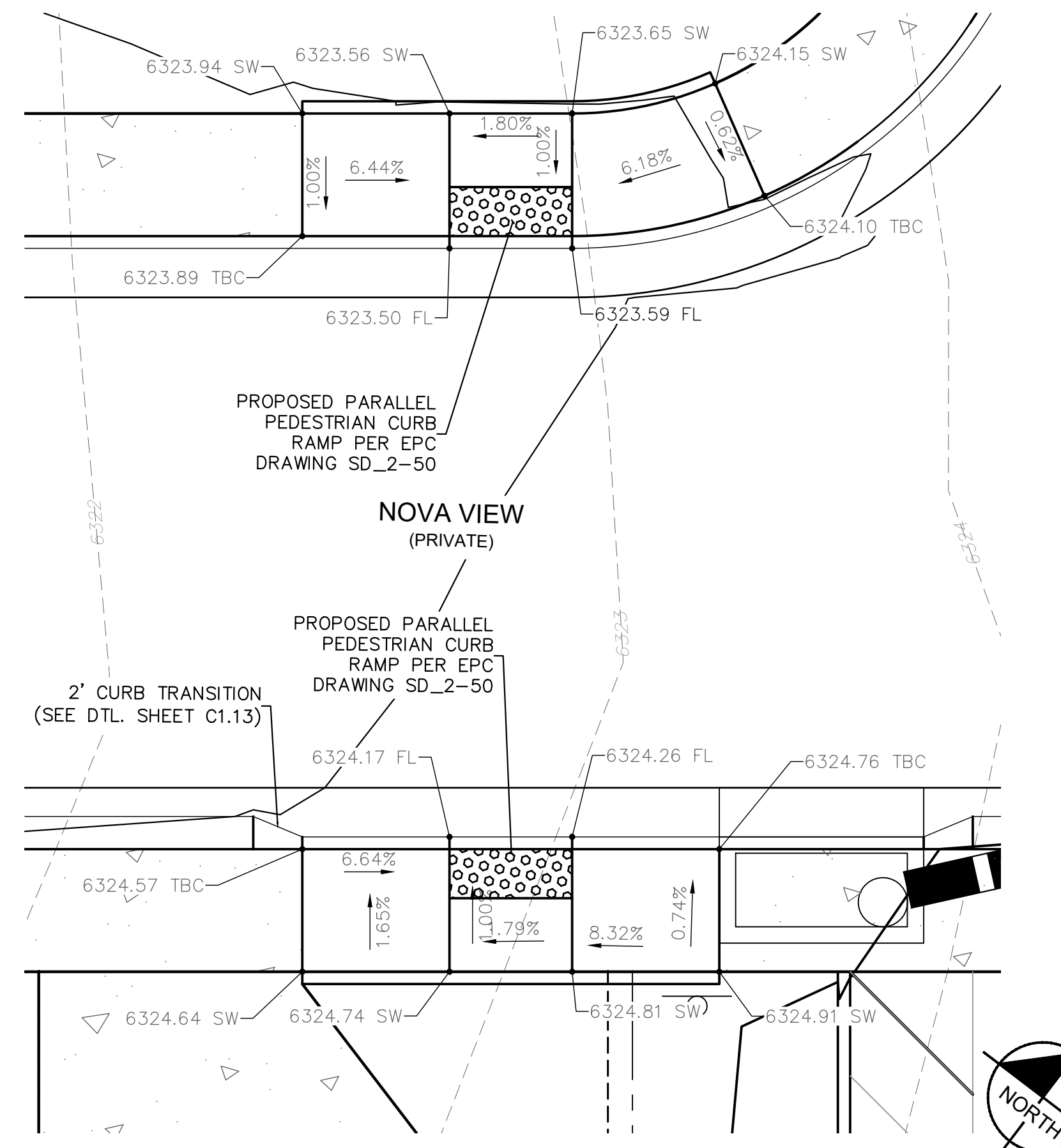
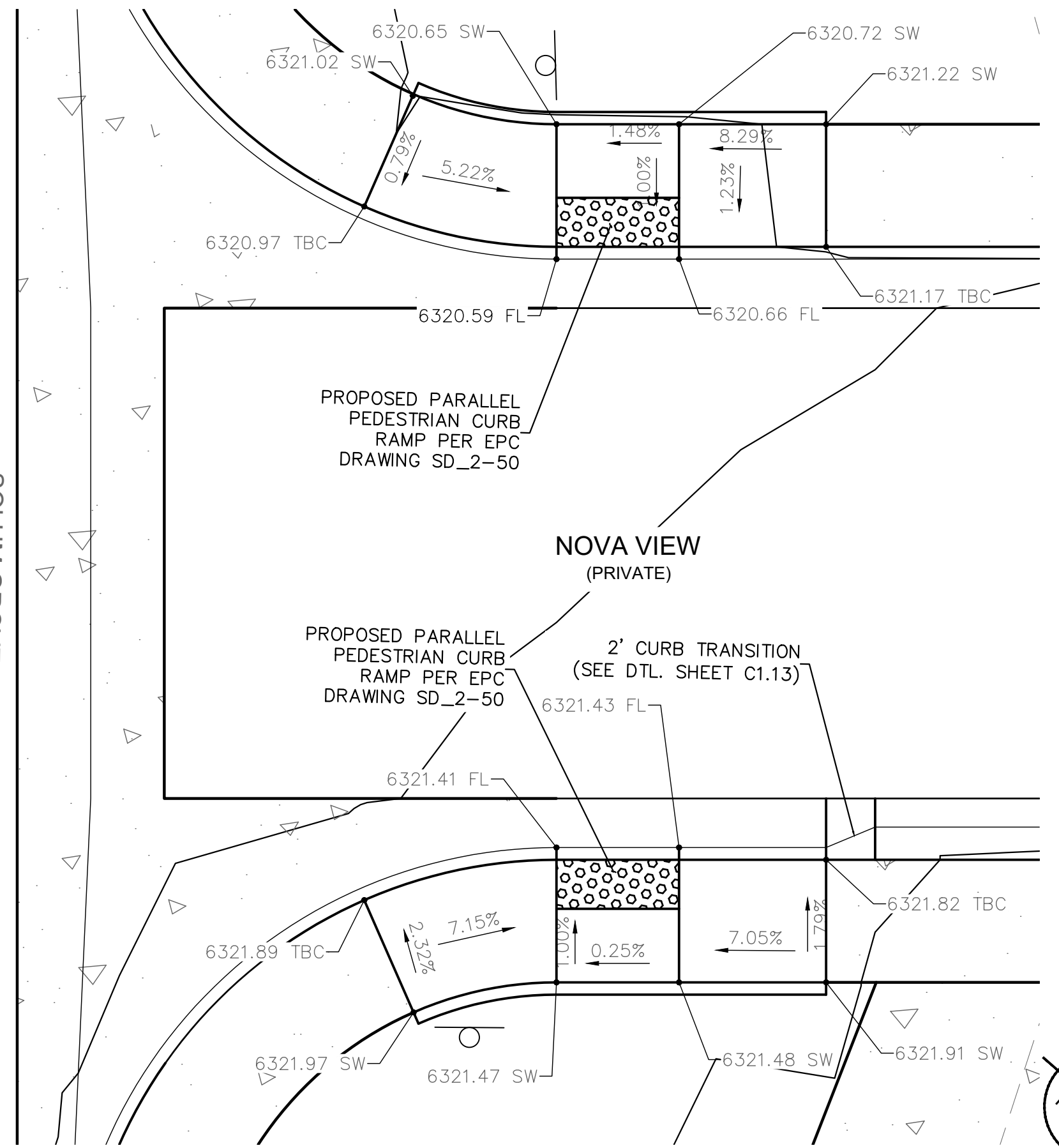
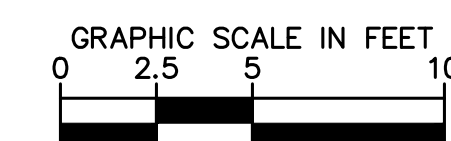
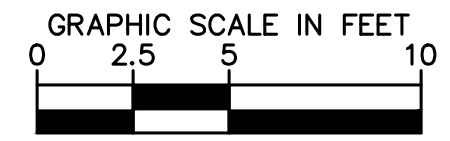


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**SOLUM GROVE CURB RAMP DETAILS**

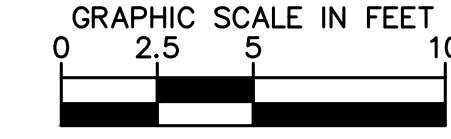
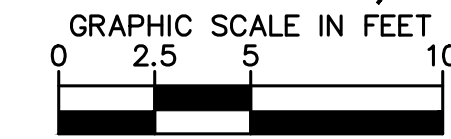
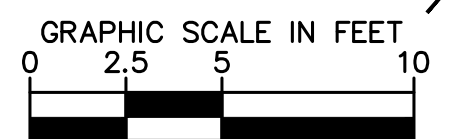
**TENEBRIS POINT CURB RAMP DETAILS**



**NOVA VIEW AND SOLUM GROVE INTERSECTION CURB RAMP DETAILS**

**NOVA VIEW AND TENEBRIS POINT INTERSECTION CURB RAMP DETAILS**

**LUX POINT CURB RAMP DETAILS**



NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/21/2022

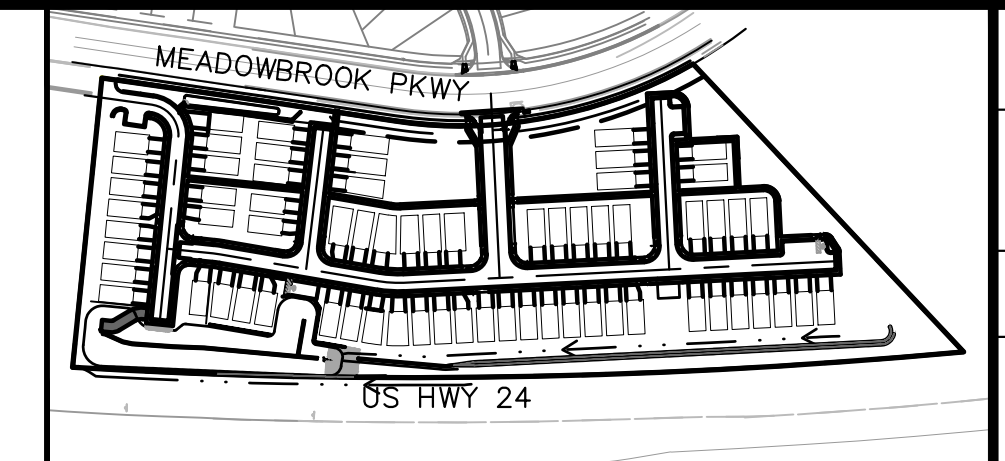
**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 DETAILED GRADING PLAN**



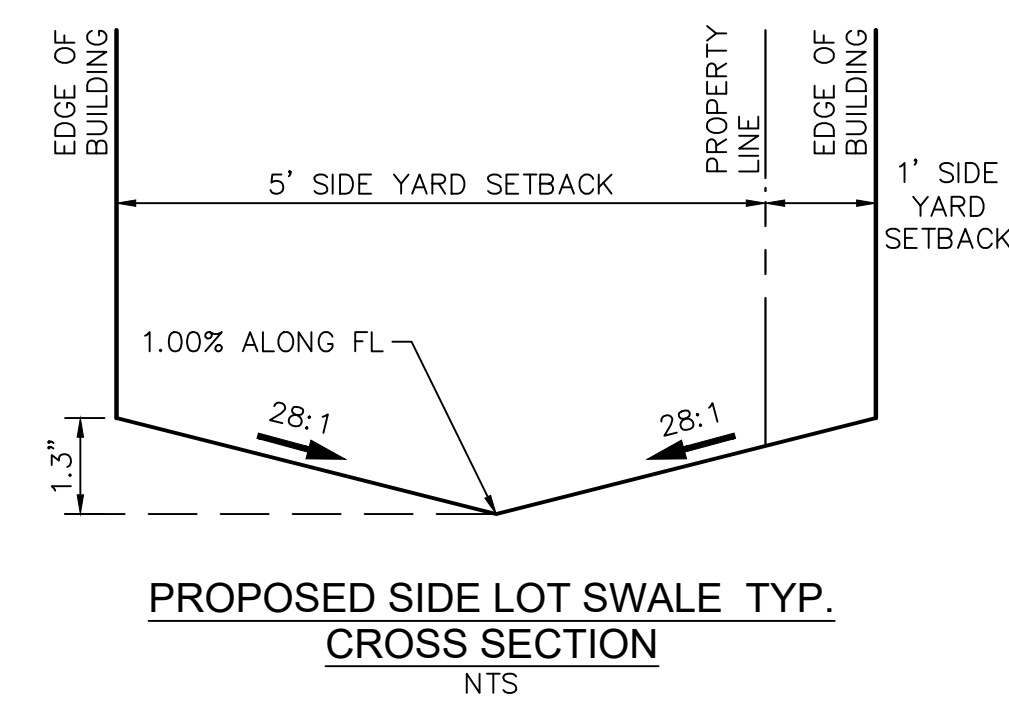
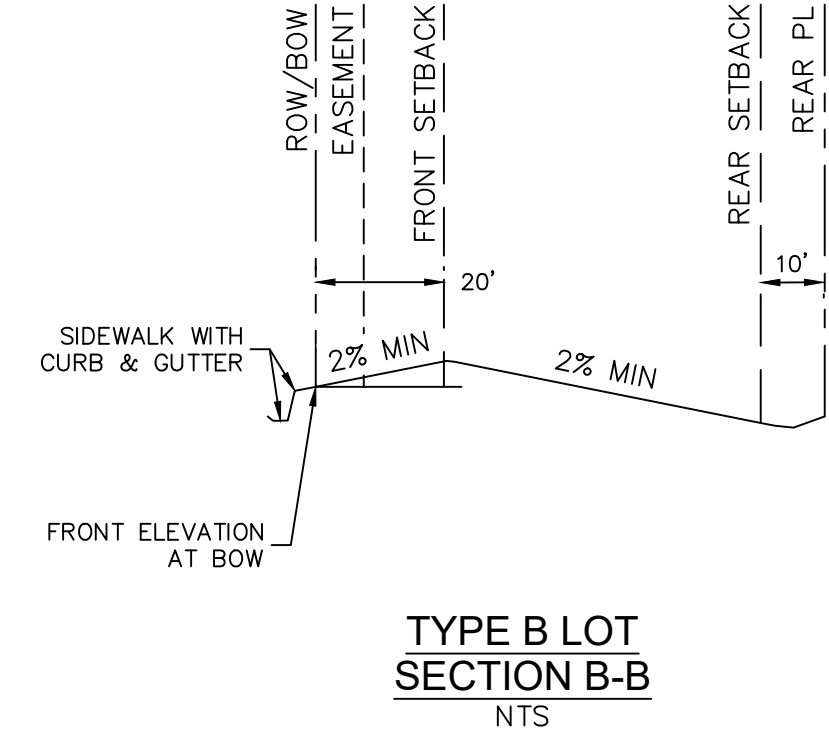
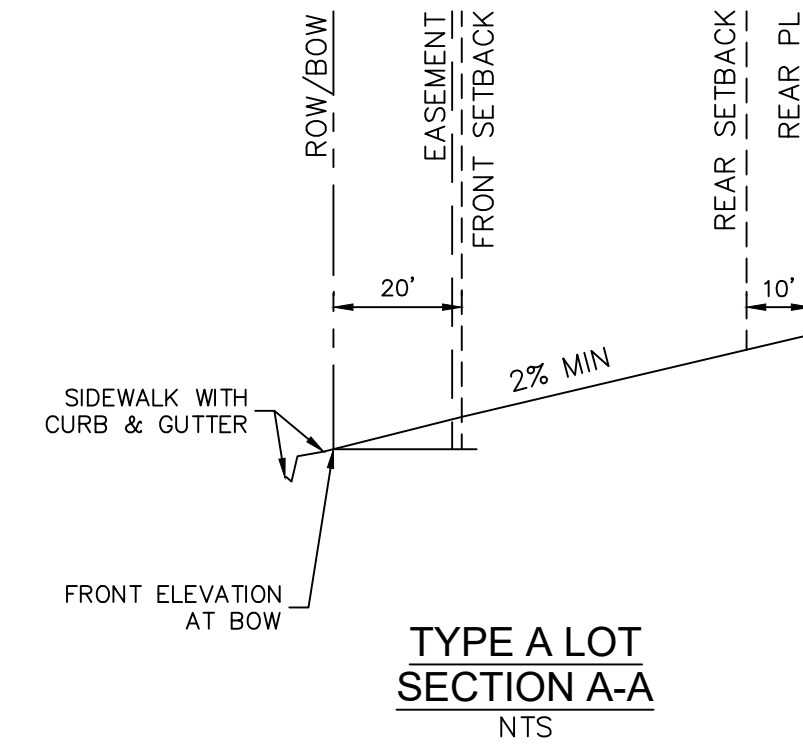
PROJECT NO. 096956009  
 SHEET

**C1.15**



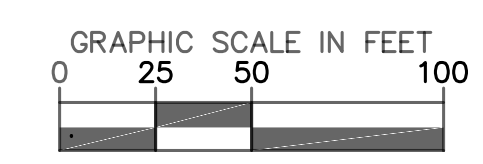
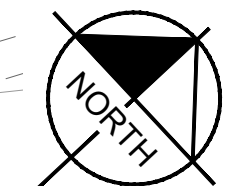
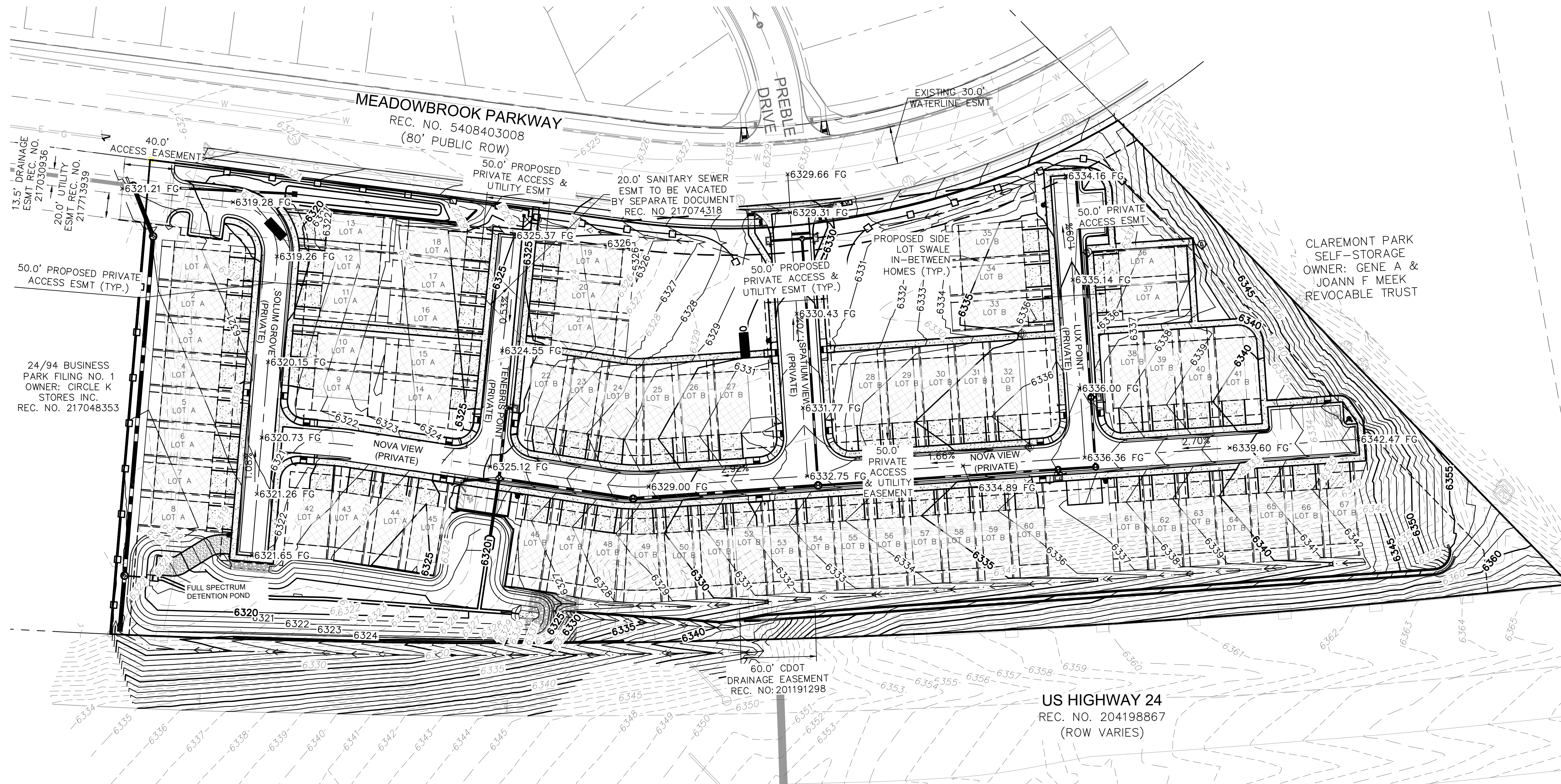


KEYMAP  
SCALE: 1" = 250'



NOTES

1. ALL BUILDINGS, LOTS 1-67, WILL BE CONSTRUCTED AS, SLAB ON GRADE. LOTS ARE NOT PERMITTED TO HAVE BASEMENTS.
2. SIDE LOT SWALES ARE REQUIRED WITHIN EACH 6-FT CORRIDOR BETWEEN HOMES, PER THE TYPICAL DETAIL SHOWN HEREON. CORRIDORS BETWEEN HOMES SHALL NOT BE GRADED FLAT.



NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
2020 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: FSA  
DRAWN BY: FSA  
CHECKED BY: JH  
DATE: 10/09/2020

**MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
GRADING AND EROSION CONTROL PLAN  
OVERALL OVERLOT GRADING PLAN**

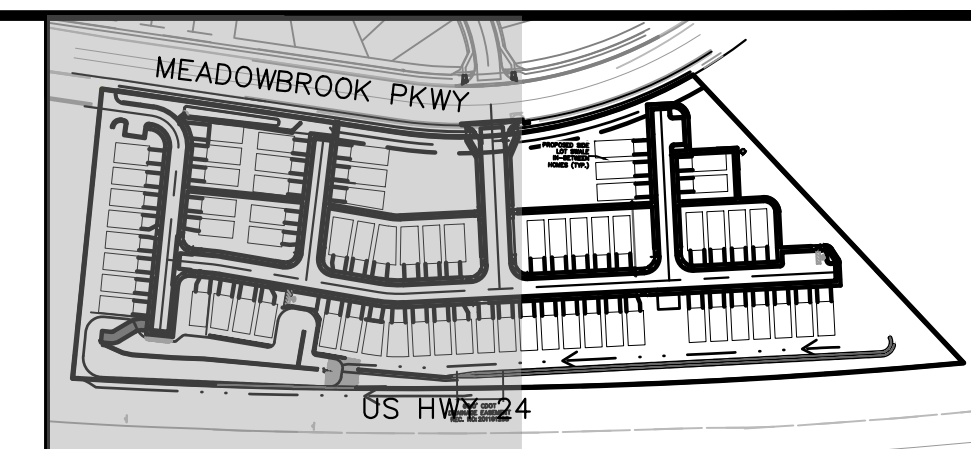
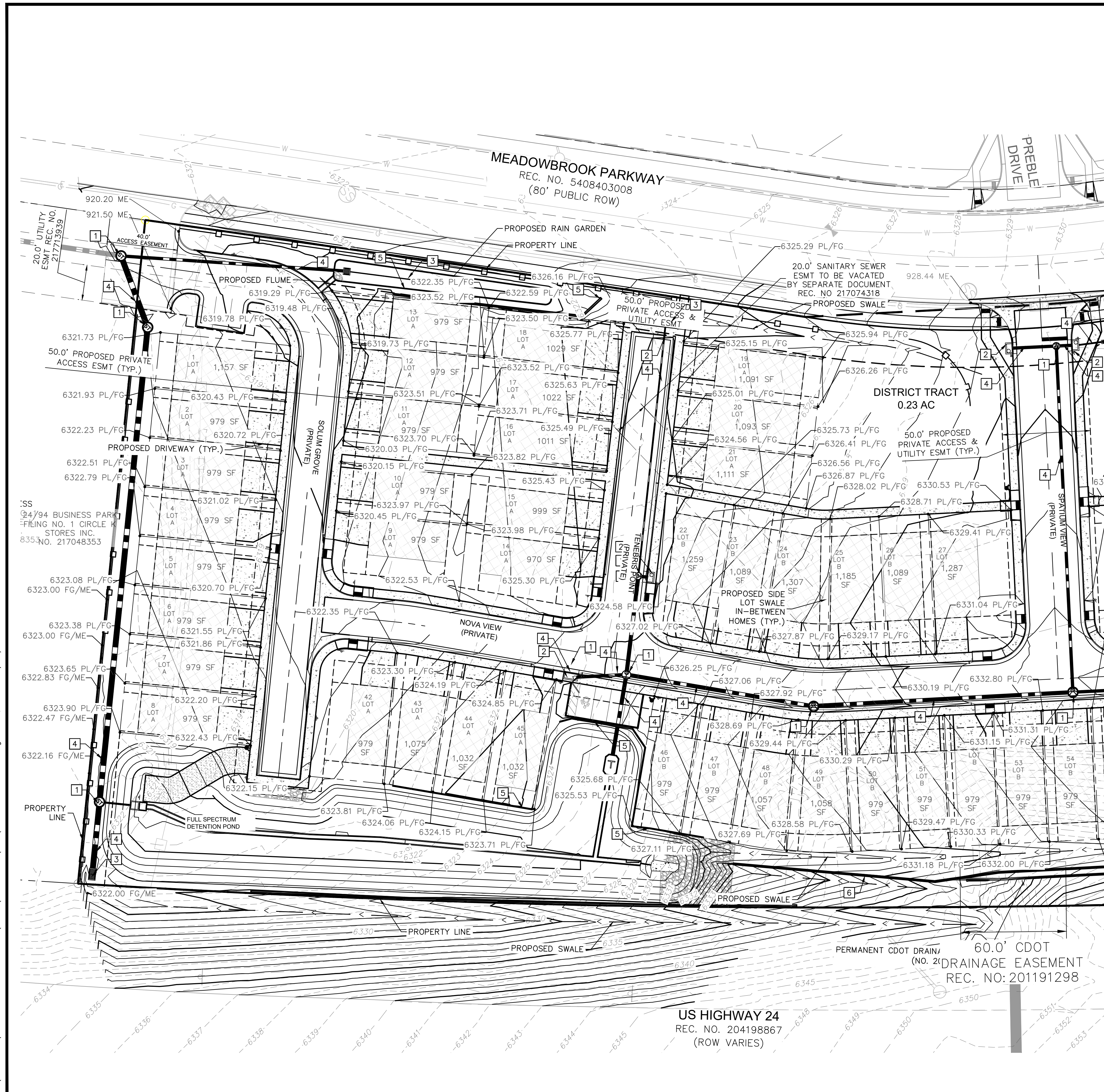


PROJECT NO.  
096956009  
SHEET

**C1.16**



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**LEGEND**

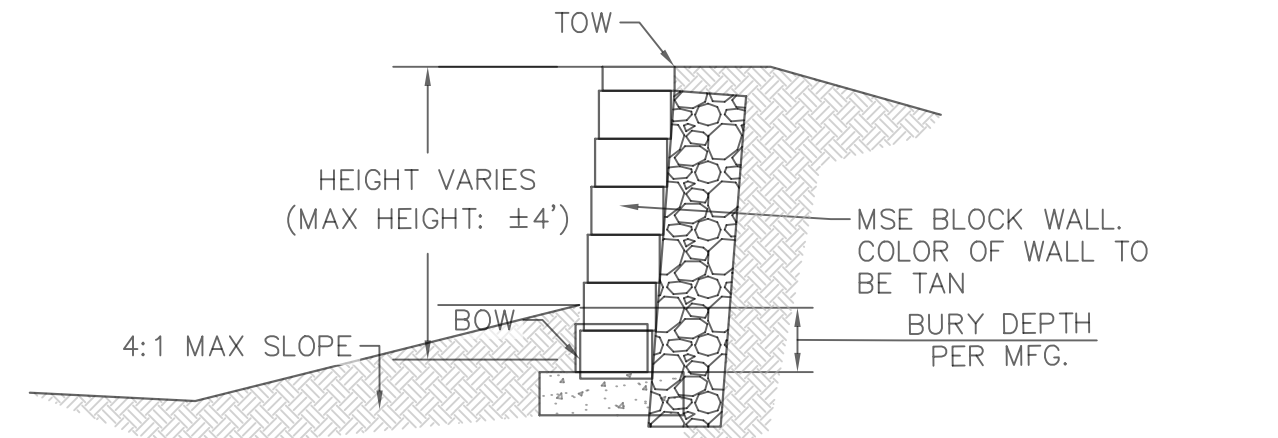
- PROPERTY LINE
- 200' SETBACK LINE
- - - LIMITS OF DISTURBANCE
- - - PROPOSED SWALE
- 64XX PROPOSED MAJOR CONTOUR
- 64XX PROPOSED MINOR CONTOUR
- 64XX EXISTING MAJOR CONTOUR
- 64XX EXISTING MINOR CONTOUR
- STORM SEWER PIPE
- STORM SEWER CURB INLET
- STORM SEWER AREA INLET
- STORM SEWER MANHOLE
- STORM SEWER XXXX
- STORM SEWER DETENTION POND OUTLET STRUCTURE

**ABBREVIATIONS LEGEND**

- FG - FINISH GRADE
- FL - FLOW LINE
- LP - LOW POINT
- HP - HIGH POINT
- ME - MATCH EXISTING
- SW - SIDEWALK
- TOW - TOP OF WALL FINISH GRADE
- BOW - BOTTOM OF WALL FINISH GRADE
- PL - PROPERTY LINE

**NOTES**

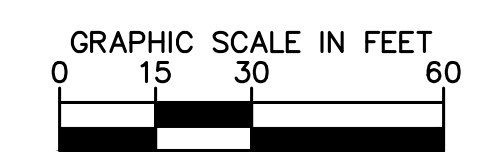
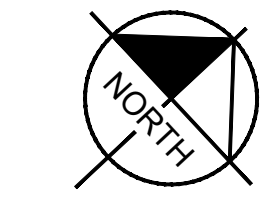
1. REFERENCE SHEETS C1.7-C1.13 FOR PLAN AND PROFILE AND DETAILED GRADING FOR PUBLIC ROADWAYS AND SIDEWALKS.
2. PROPOSED GRADING CONTOURS AND SPOT ELEVATIONS SHOWN REPRESENT OVERLOT GRADING FOR AREAS OUTSIDE OF THE PROPOSED ROADWAYS.
3. DETAILED LOT GRADING PLANS TO BE PROVIDED FOR EACH LOT DURING THE BUILDING PERMIT PHASE.
4. RETAINING WALLS SHOWN HEREON TO BE MSE BLOCK PER DETAIL THIS SHEET.
5. ALL BUILDINGS, LOTS 1-67, WILL BE CONSTRUCTED AS, SLAB ON GRADE, LOTS ARE NOT PERMITTED TO HAVE BASEMENTS.
6. SIDE LOT SWALES ARE REQUIRED WITHIN EACH 6-FT CORRIDOR BETWEEN HOMES, PER THE TYPICAL DETAIL SHOWN HEREON. CORRIDORS BETWEEN HOMES SHALL NOT BE GRADED FLAT.



TYPICAL 4' MAX HEIGHT MSE BLOCK RETAINING WALL DETAIL  
N.T.S.

**SITE KEYNOTES**

1	PROPOSED STORM SEWER MANHOLE
2	PROPOSED TYPE R INLET CURB INLET
3	PROPOSED AREA INLET
4	PROPOSED STORM SEWER
5	PROPOSED 4' MAX HEIGHT MSE BLOCK RETAINING WALL (SEE DETAIL THIS SHEET)
6	PROPOSED 10' MAX HEIGHT SINGLE TIER BIG BLOCK RETAINING WALL (SEE DETAIL SHEET C1.20)
7	PROPOSED 10' MAX HEIGHT TWO TIER BIG BLOCK RETAINING WALL (SEE DETAIL SHEET C1.20)



NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
2020 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: FSA  
DRAWN BY: FSA  
CHECKED BY: JH  
DATE: 10/09/2020

**MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
GRADING AND EROSION CONTROL PLAN  
DETAILED OVERLOT GRADING PLAN**

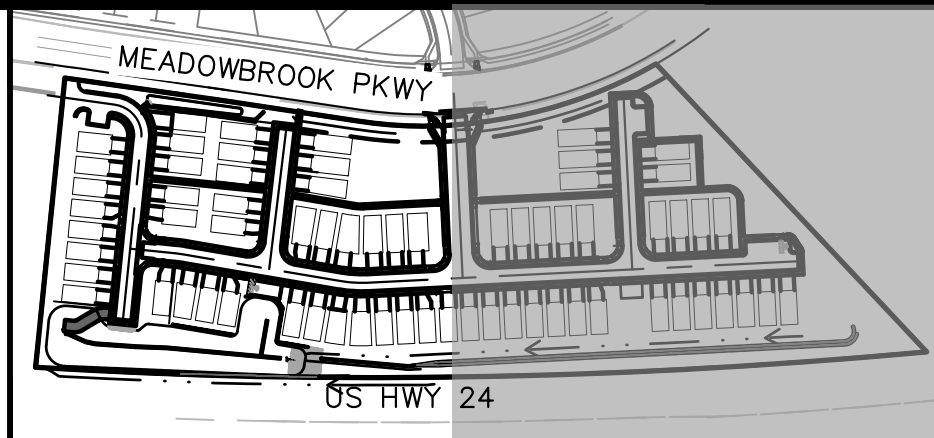
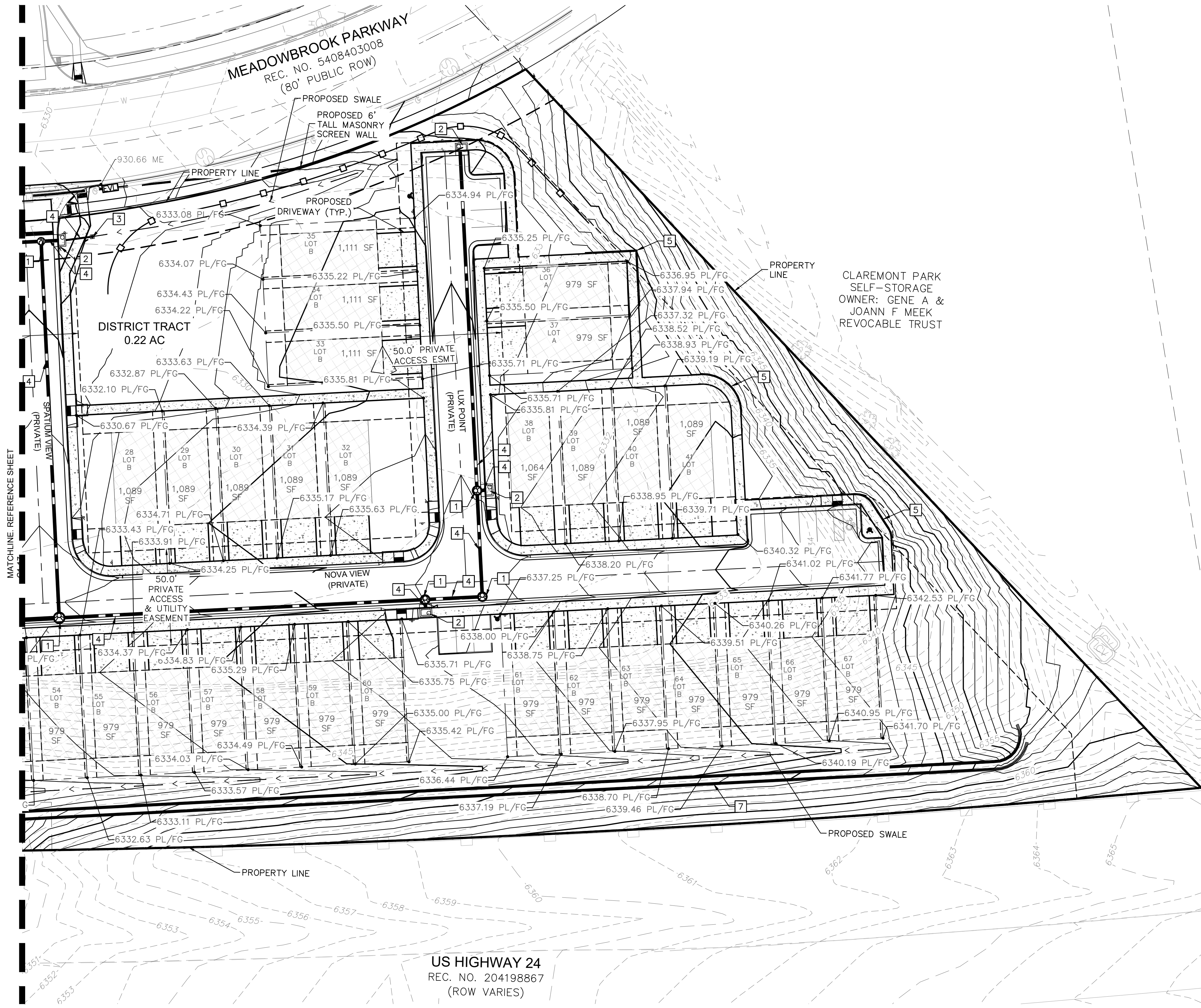


PROJECT NO.  
096956009  
SHEET

**C1.17**



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**LEGEND**

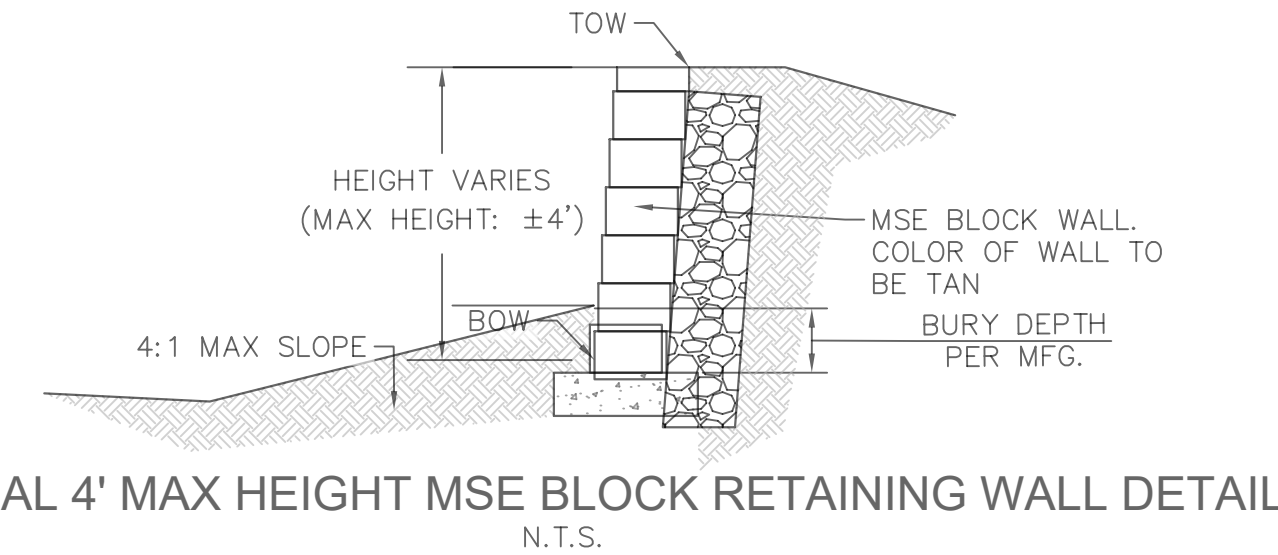
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---	200' SETBACK LINE
---	LIMITS OF DISTURBANCE
-<-<-	PROPOSED SWALE
64XX	PROPOSED MAJOR CONTOUR
64XX	PROPOSED MINOR CONTOUR
-64XX	EXISTING MAJOR CONTOUR
-64XX	EXISTING MINOR CONTOUR
---	STORM SEWER PIPE
⊠	STORM SEWER CURB INLET
⊠	STORM SEWER AREA INLET
⊠	STORM SEWER MANHOLE
⊠	STORM SEWER XXXX
⊠	STORM SEWER XXXX

**ABBREVIATIONS LEGEND**

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TOW	TOP OF WALL FINISH GRADE
BOW	BOTTOM OF WALL FINISH GRADE
PL	PROPERTY LINE

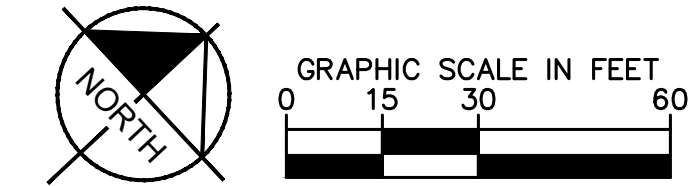
**NOTES**

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 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: FSA  
 DRAWN BY: FSA  
 CHECKED BY: JH  
 DATE: 10/09/2020

**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 GRADING AND EROSION CONTROL PLAN  
 DETAILED OVERLOT GRADING PLAN**



PROJECT NO.  
 096956009  
 SHEET

**C1.18**

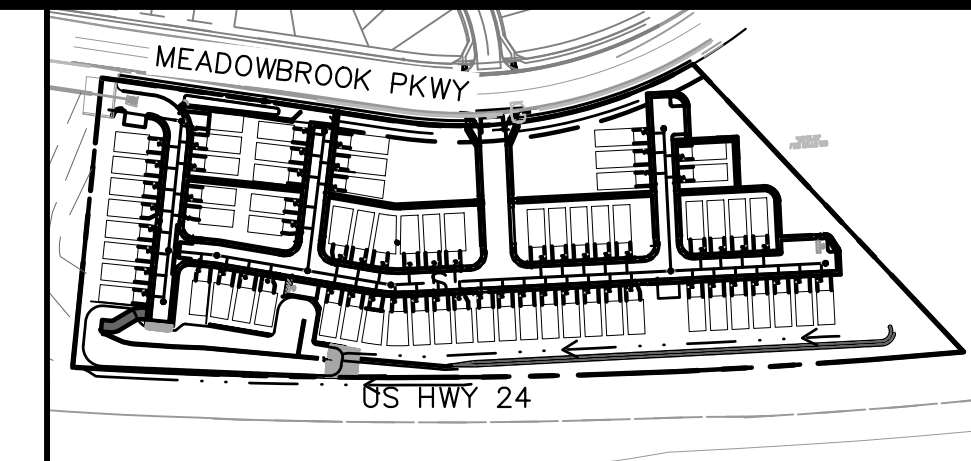


# MEADOWBROOK PARK

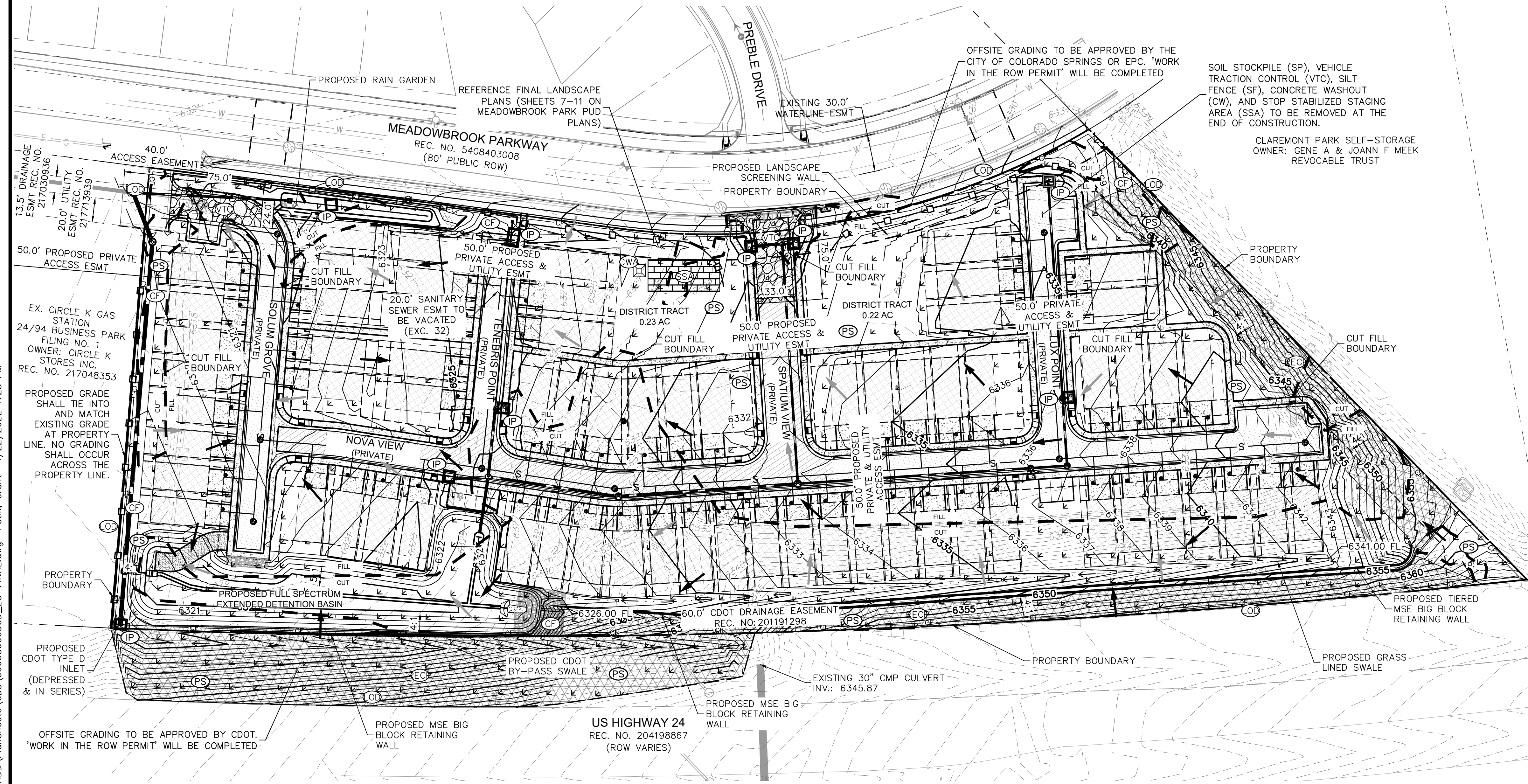
## FINAL GRADING AND EROSION CONTROL PLANS

### TRACT A, 94/24 BUSINESS PARK FILING NO. 1

### EL PASO COUNTY, STATE OF COLORADO



NO.	REVISION	BY	DATE	APPR.



- #### LEGEND
- PROPERTY LINE
  - - - PROPERTY SETBACK LINE
  - - - CUT/FILL LINE
  - (OD) LIMITS OF DISTURBANCE/ CONSTRUCTION BOUNDARY
  - (DS) DRAINAGE SWALE
  - (SF) SILT FENCE
  - (CD) CHECK DAM
  - (SSA) STABILIZED STAGING AREA
  - (VTC) VEHICLE TRACKING CONTROL
  - (SP) SOIL STOCKPILE
  - (SB) TEMPORARY SEDIMENT BASIN
  - (EC) ROLLED EROSION CONTROL PRODUCTS
  - (PS) PERMANENT SEEDING/FINAL STABILIZATION ROOF
  - CONCRETE PAVEMENT
  - ASPHALT PAVEMENT
  - PROP. FLOW ARROW
  - EX. FLOW ARROW
  - 64XX PROPOSED MAJOR CONTOUR
  - 64XX PROPOSED MINOR CONTOUR
  - 64XX EXISTING MAJOR CONTOUR
  - 64XX EXISTING MINOR CONTOUR
  - (IP) INLET PROTECTION
  - (WA) CONCRETE WASHOUT AREA

#### LIMITS OF CONSTRUCTION

ONSITE DISTURBANCE = ±8.07 ACRES  
 OFFSITE DISTURBANCE = ±0.95 ACRES  
 TOTAL = ±9.02 ACRES

- #### NOTES
- THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED.
  - TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
  - PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
  - CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
  - CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH COUNTY AND STATE REQUIREMENT.
  - CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA) AND VEHICLE TRACKING CONTROL (VTC) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES.
  - CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SOIL STOCKPILE AREA AS MINING SEQUENCING DICTATES.
  - CHECK DAMS TO BE SPACED ALONG DRAINAGE SWALES PER UDPCD DETAILS. SCL MAY BE USED IN PLACE OF RIP RAP.

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 DRAWN BY: FSA  
 CHECKED BY: JH  
 DATE: 10/09/2020

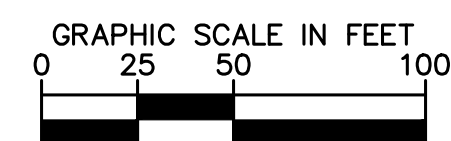
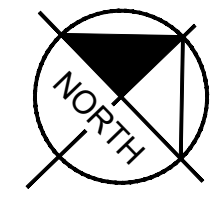
**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 GRADING AND EROSION CONTROL PLAN  
 FINAL EROSION CONTROL PLAN



PROJECT NO.  
096956009

SHEET

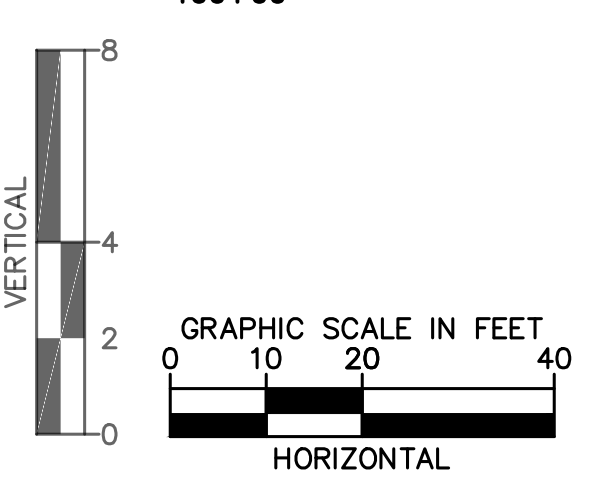
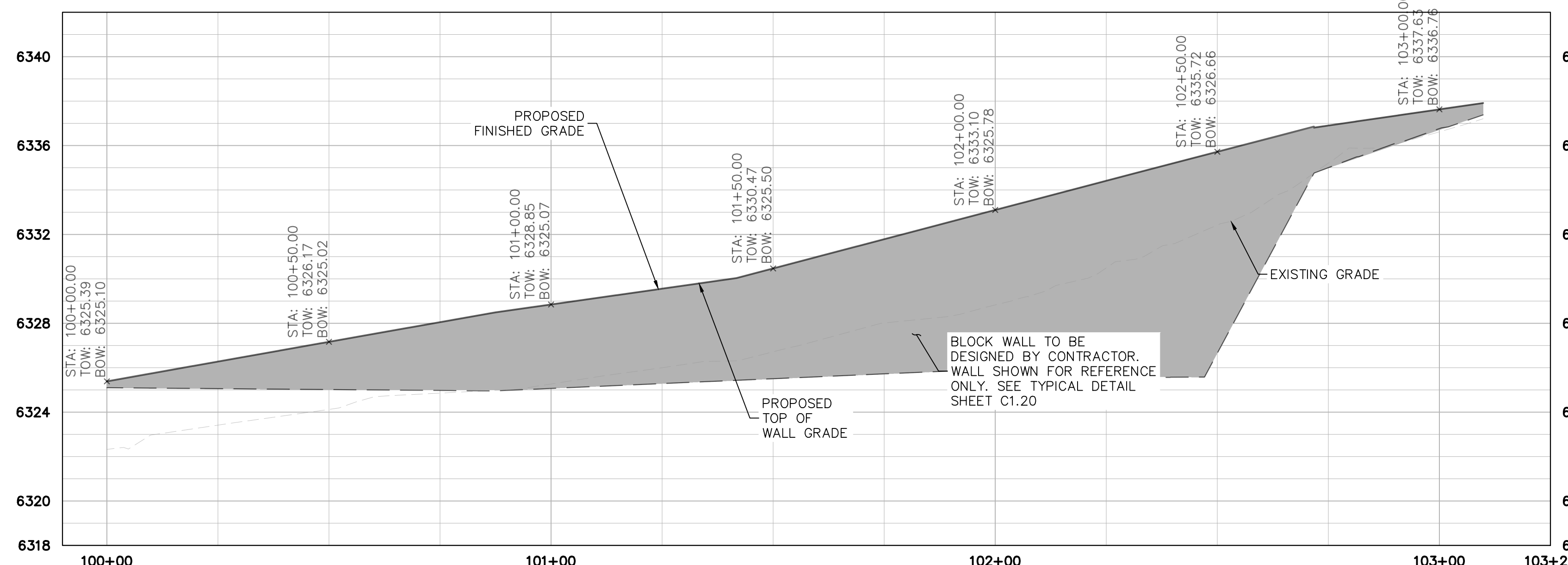
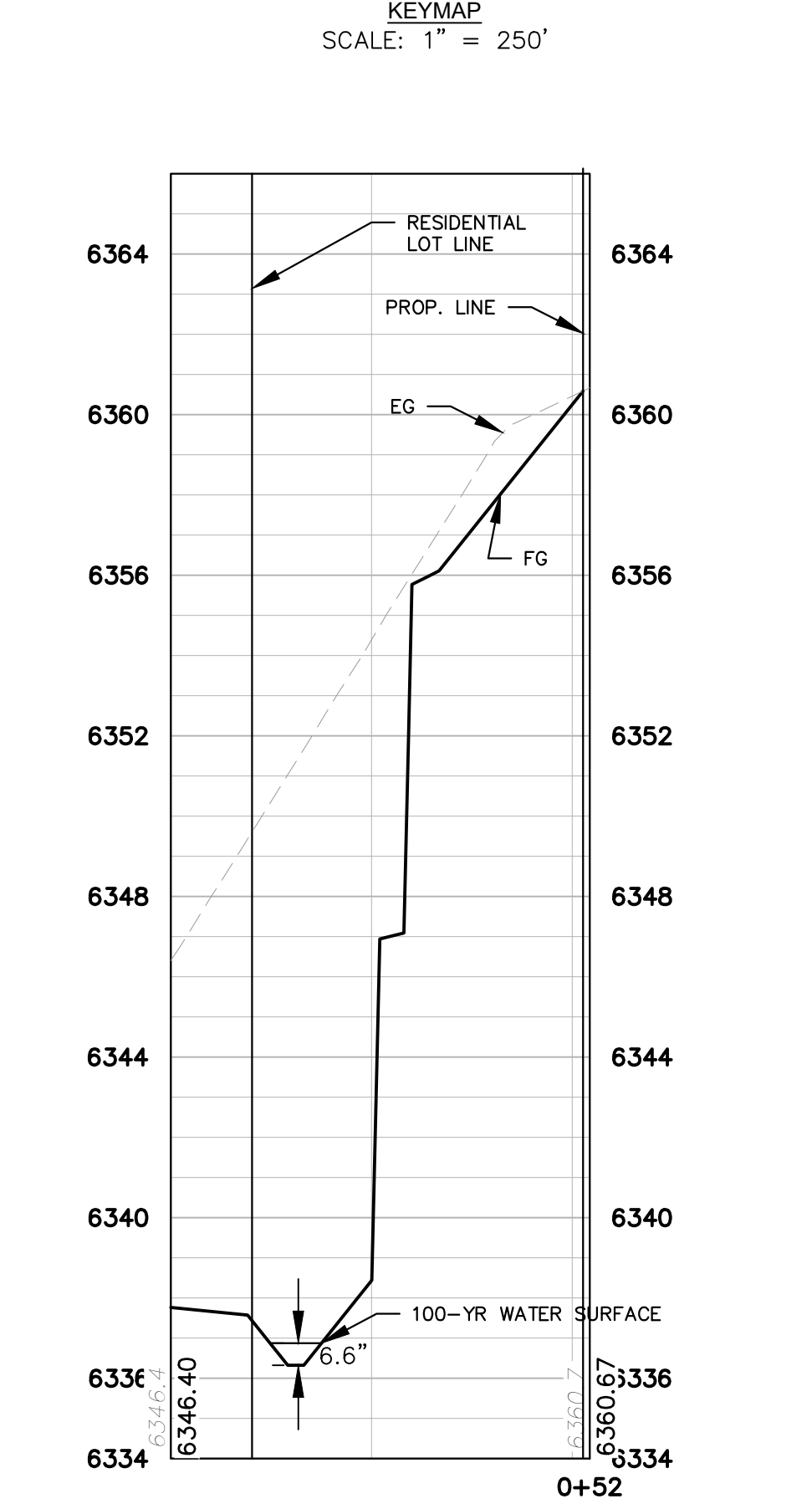
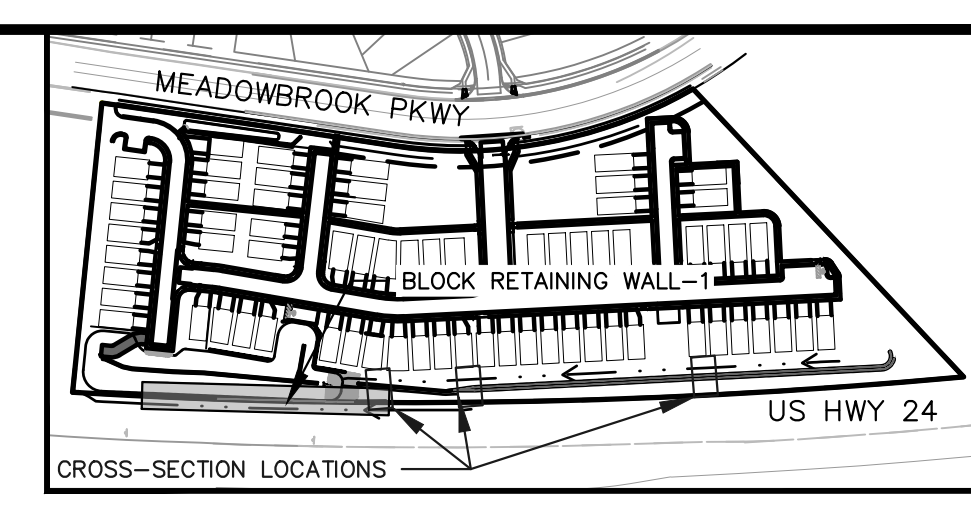
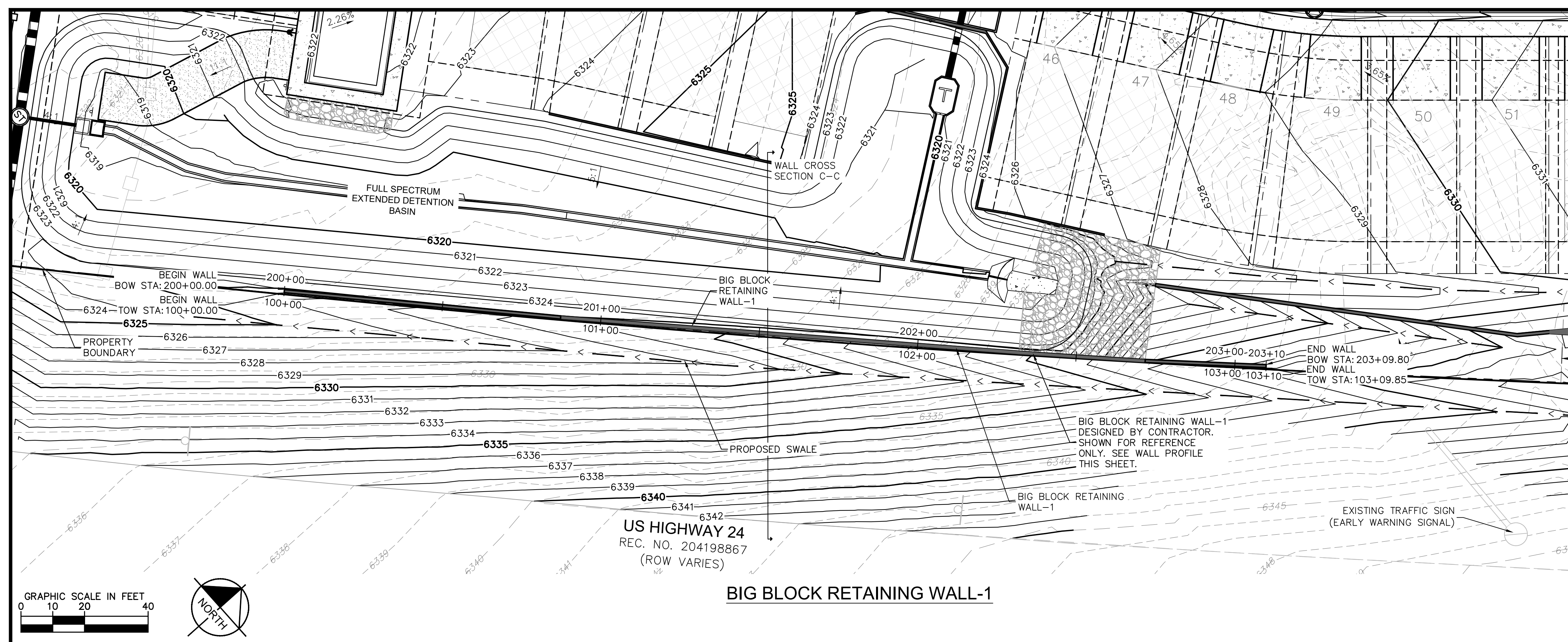
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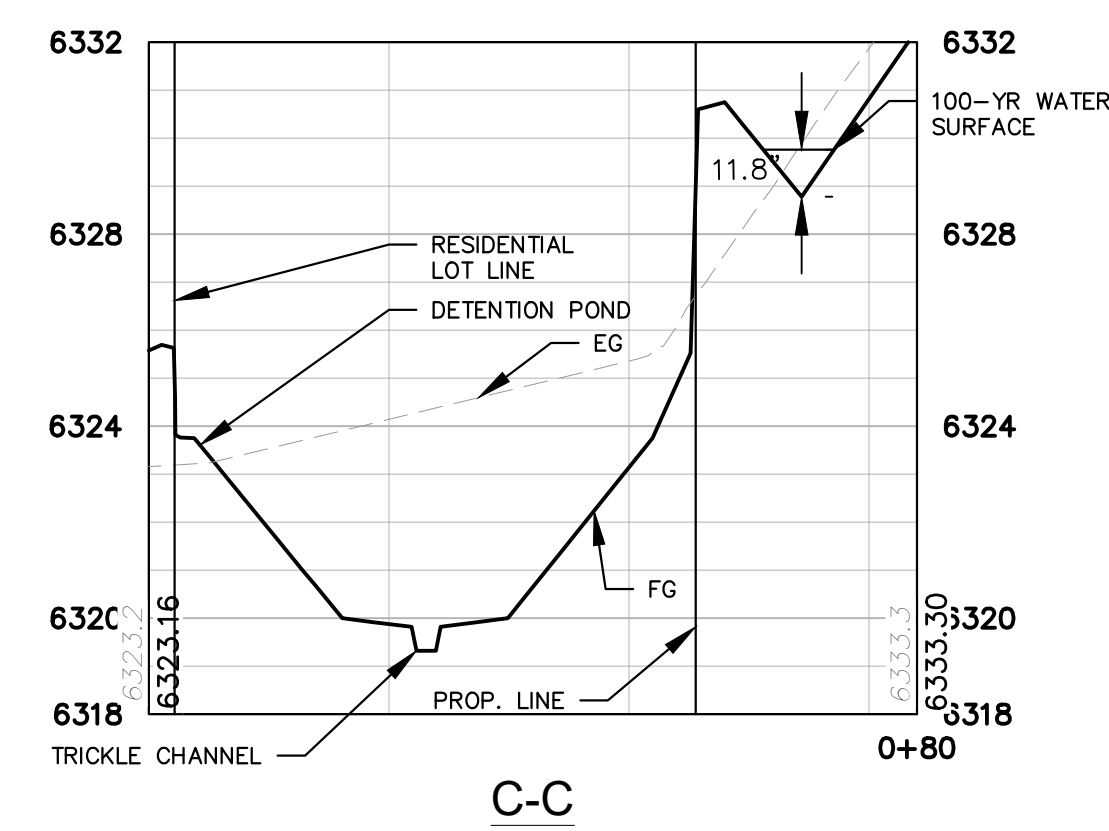
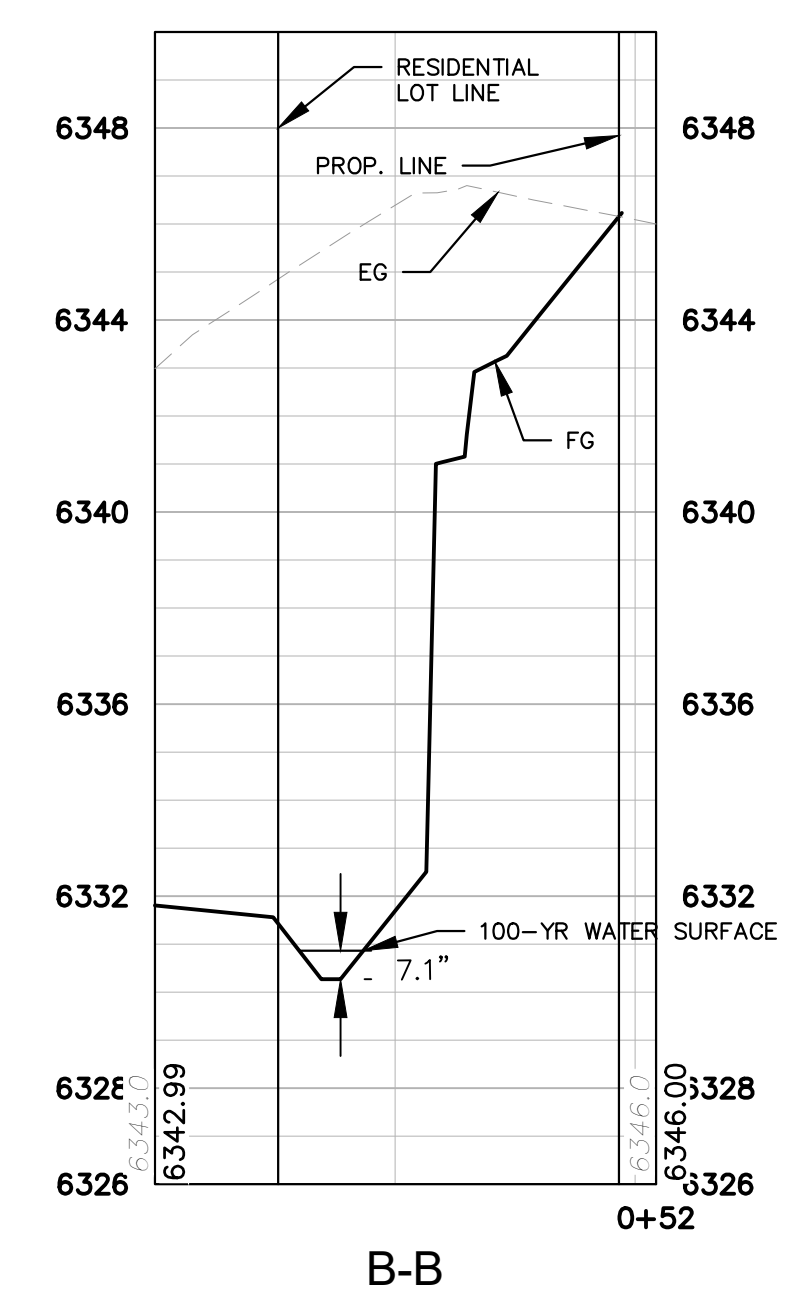
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**NOTE:**  
FOR REFERENCE ONLY. CONTRACTOR SHALL PROCURE ENGINEERED WALL DRAWINGS AND SUBMIT THEM TO THE ENGINEER OF RECORD AND EL PASO COUNTY FOR REVIEW AND ISSUANCE OF A WALL BUILDING PERMIT PRIOR TO CONSTRUCTION.



NO.	REVISION	DATE	APPR.

**Kimley»Horn**  
2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/21/2022

**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
**RETAINING WALL PLANS**

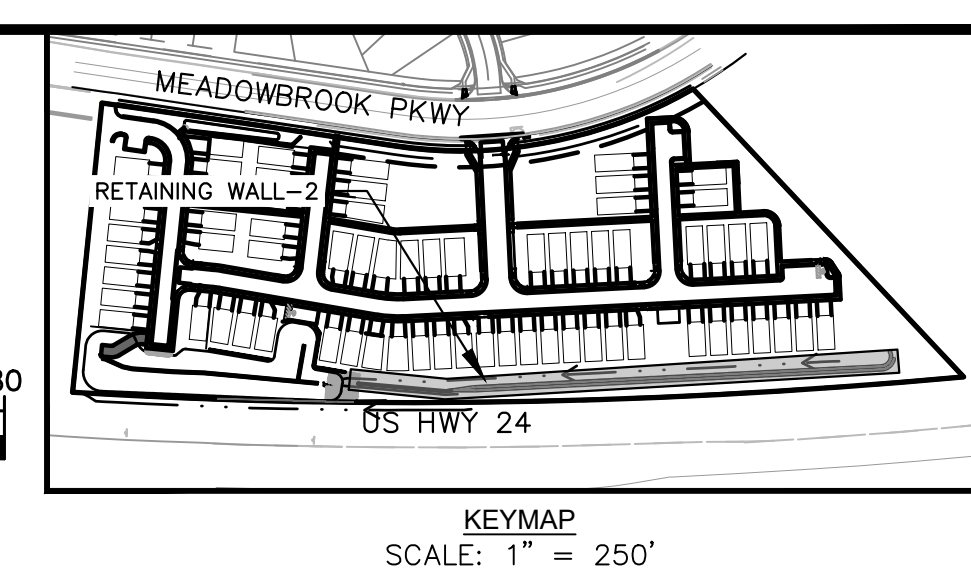
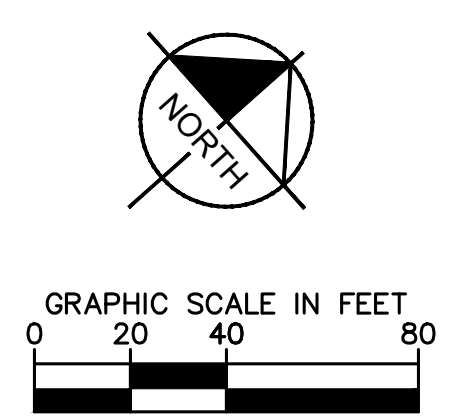
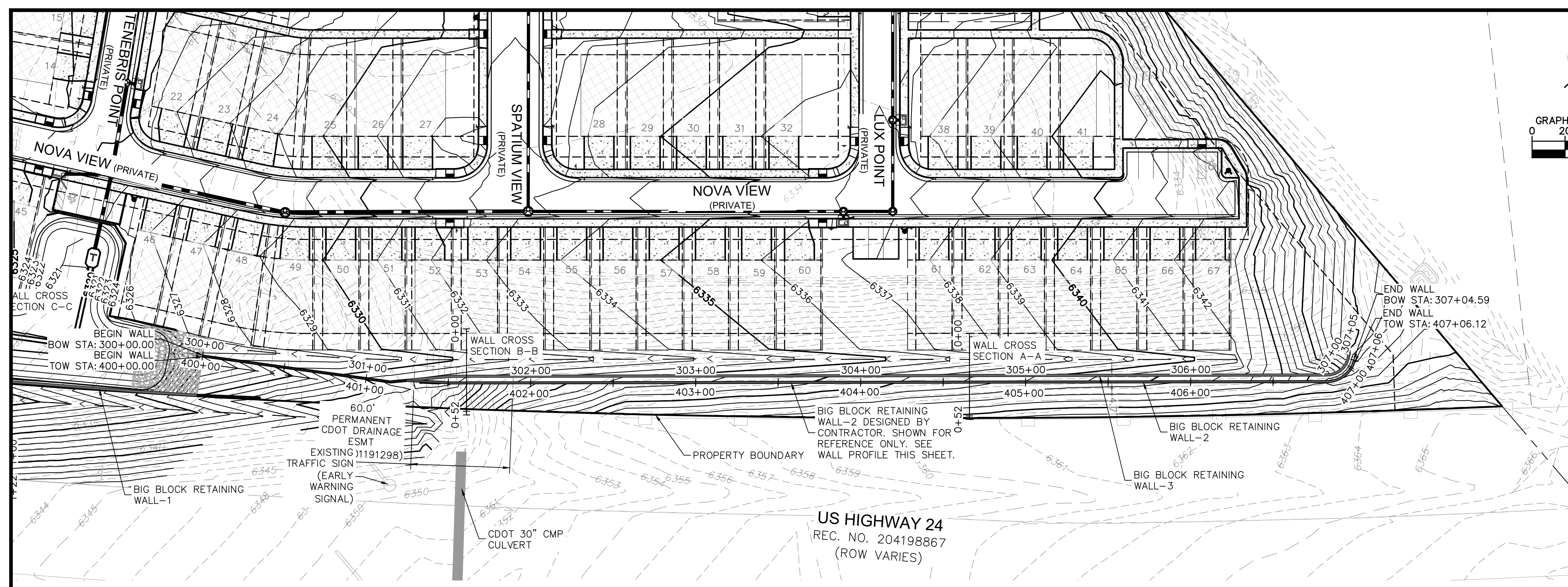
PROJECT NO.  
096956009

SHEET  
**C1.20**

COLORADO REGISTERED PROFESSIONAL ENGINEER  
50096  
04/21/2022



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**Kimley»Horn**  
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2 North Nevada Avenue Suite 300  
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DESIGNED BY: KK  
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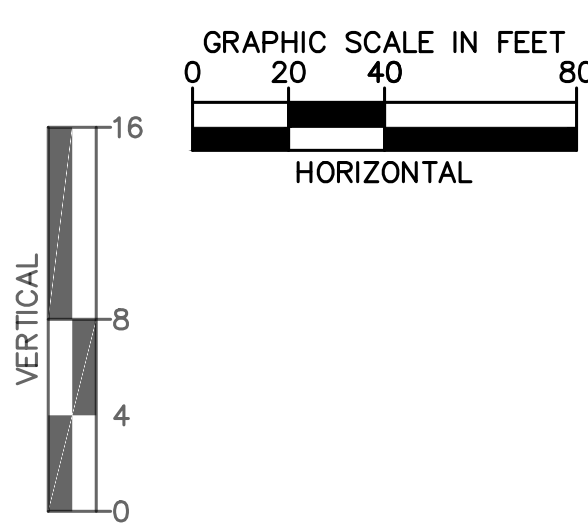
MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
RETAINING WALL PLANS



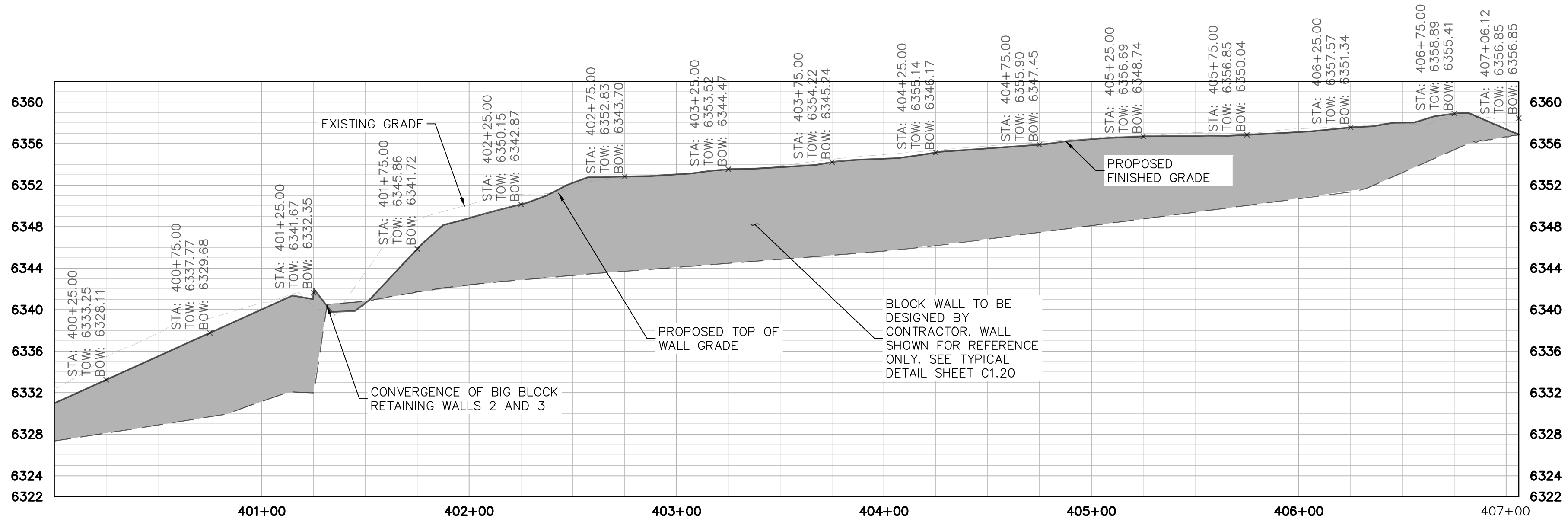
PROJECT NO.  
096956009

SHEET

C1.21



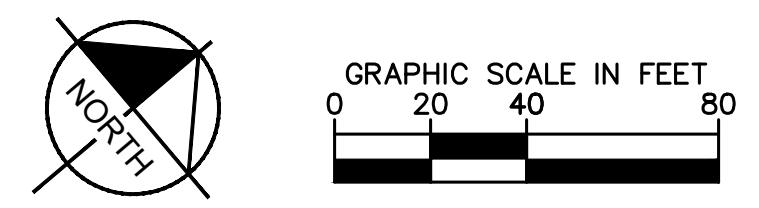
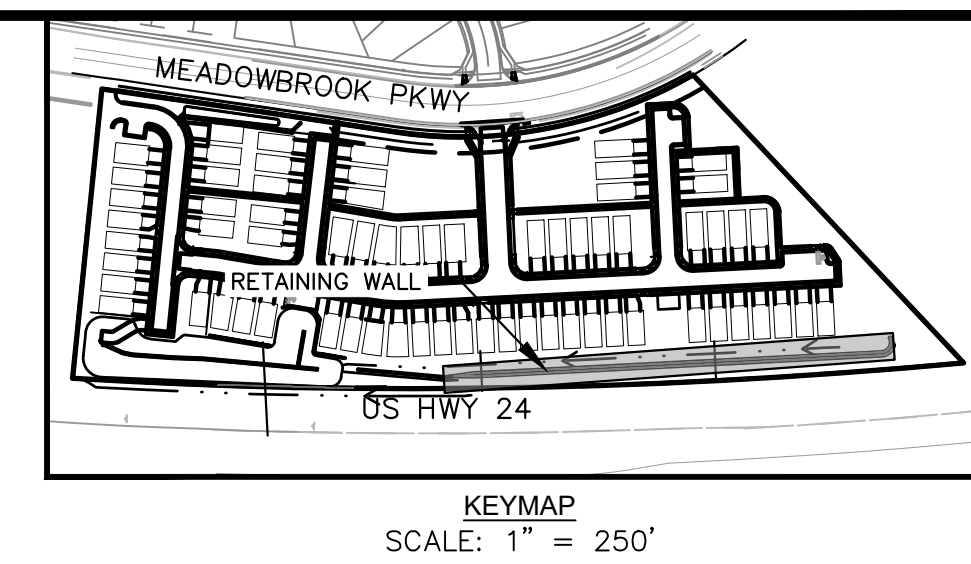
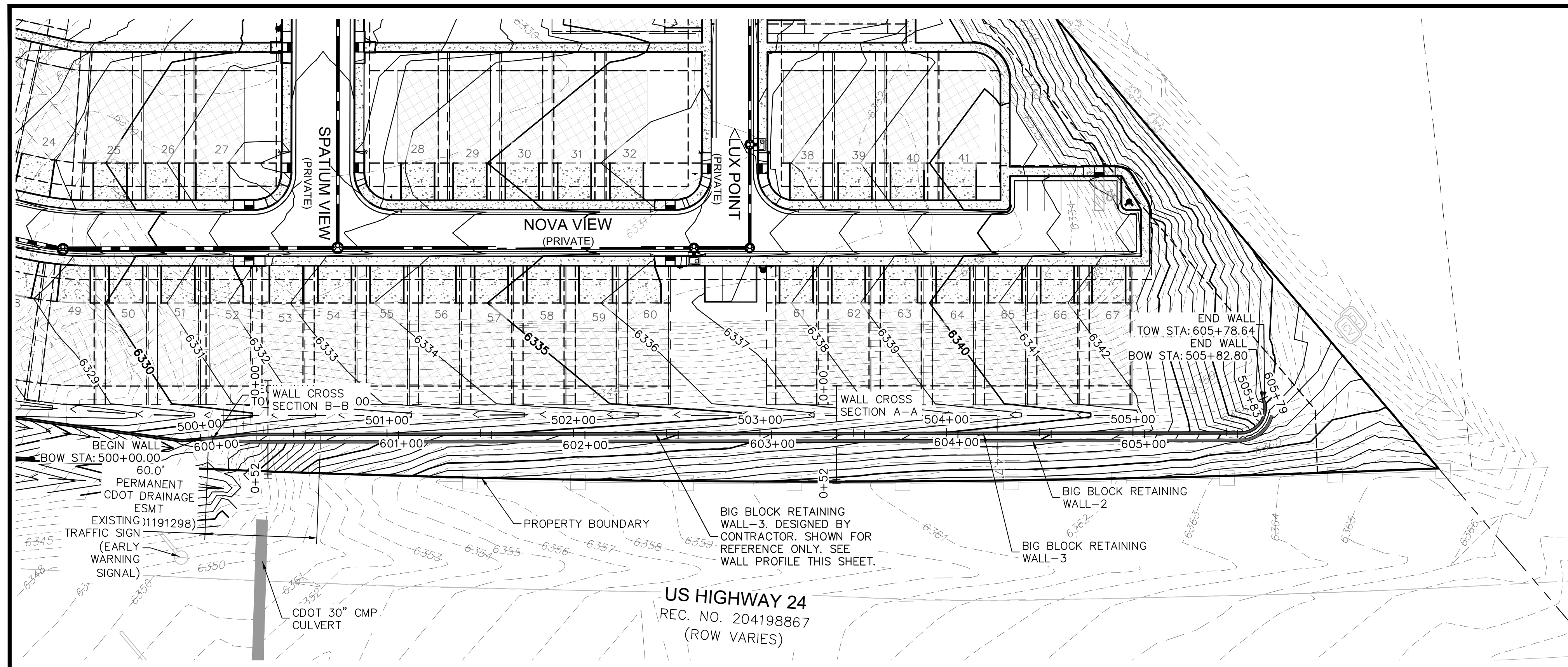
**BIG BLOCK RETAINING WALL-2**



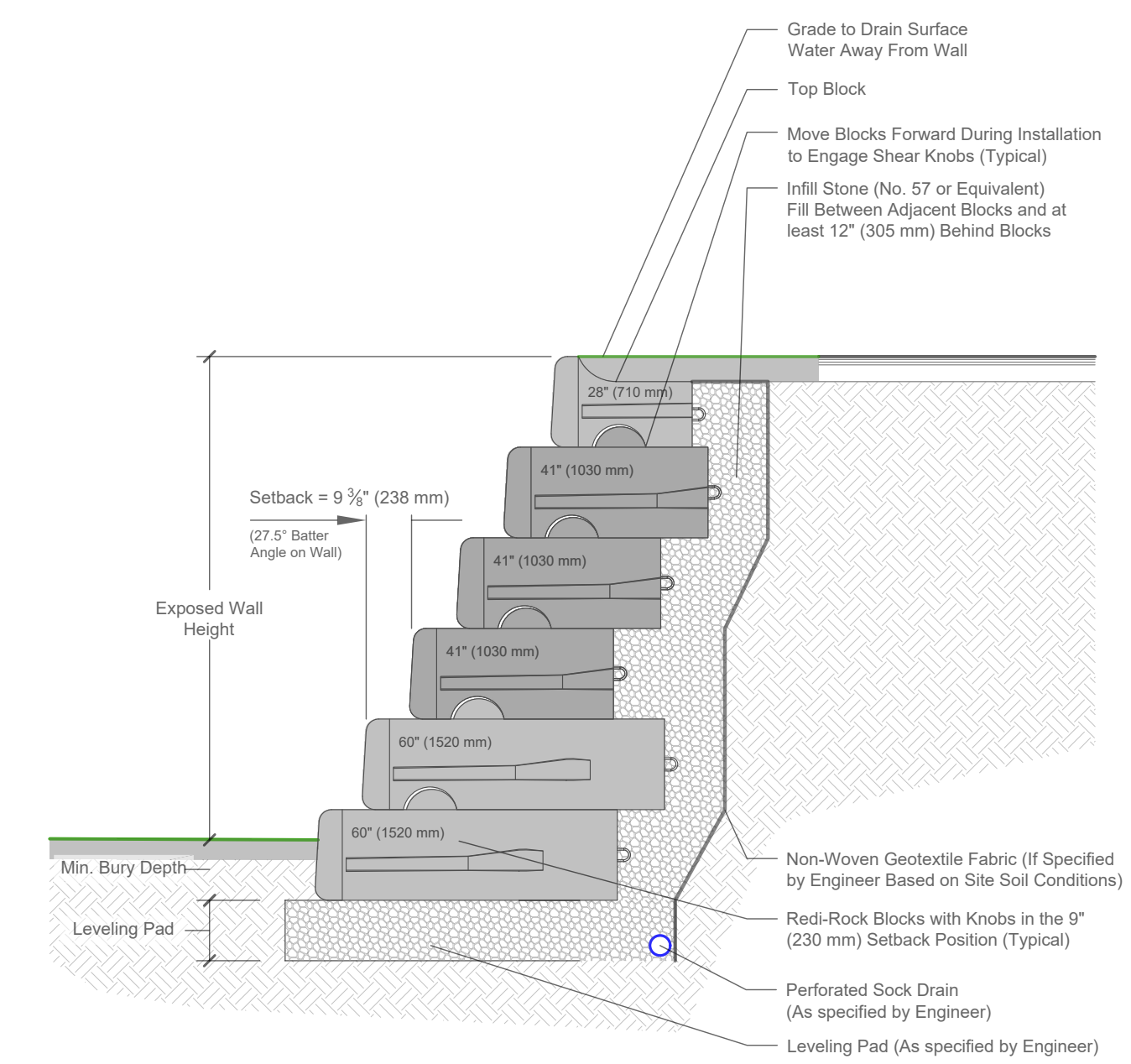
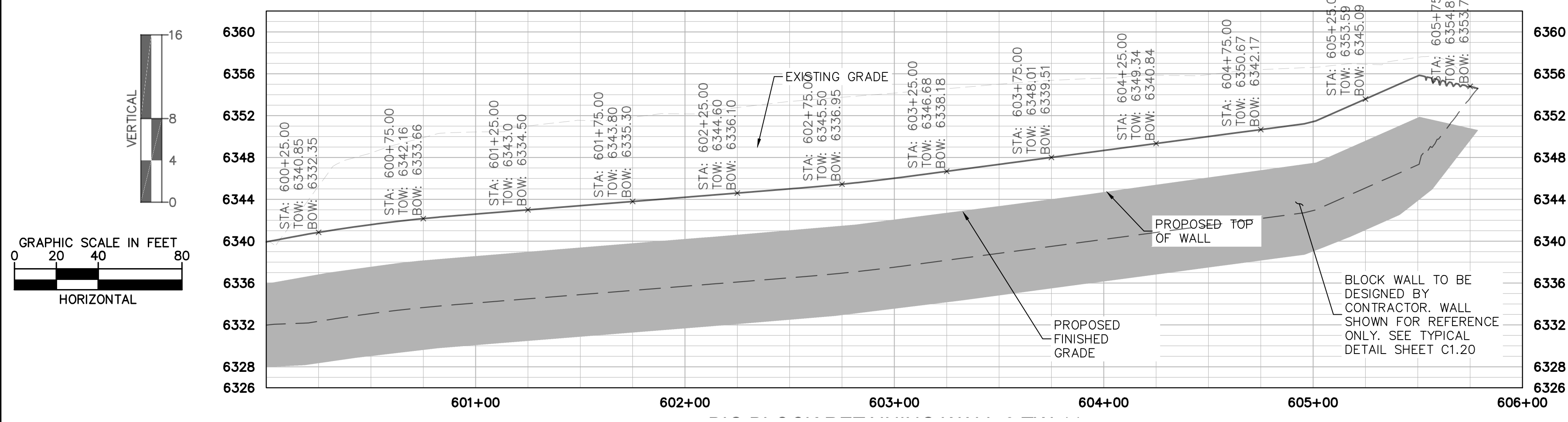
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**BIG BLOCK RETAINING WALL-3**



This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site. Final wall design must address both internal and external drainage and all modes of wall stability.

**BIG BLOCK RETAINING WALL TYP. SCHEMATIC**

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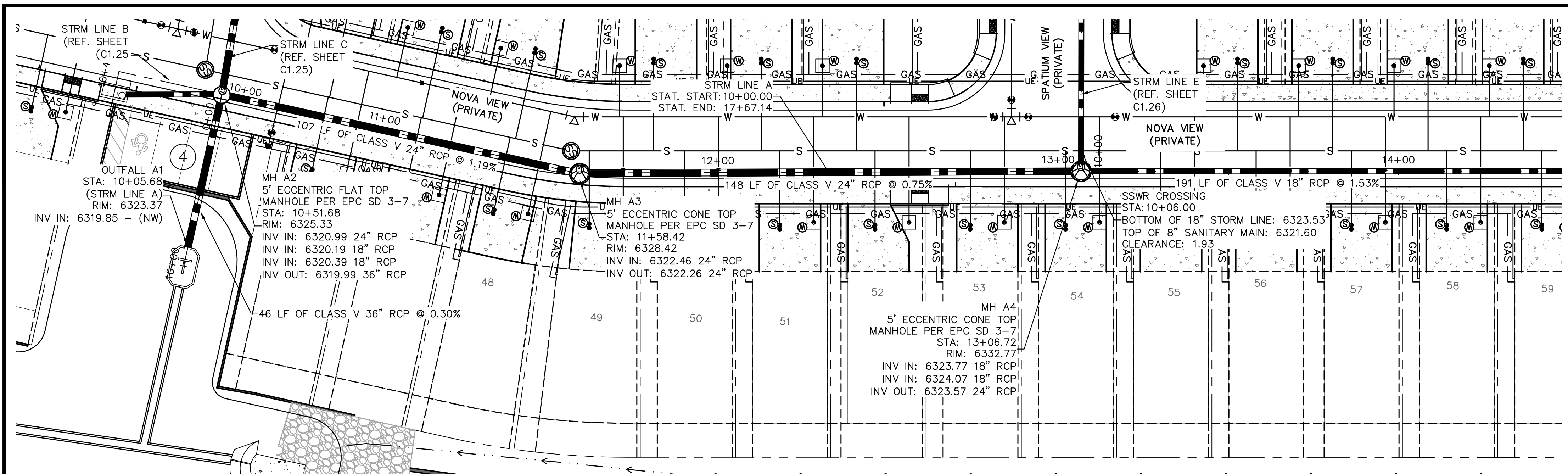
DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/21/2022

**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
 RETAINING WALL PLANS**

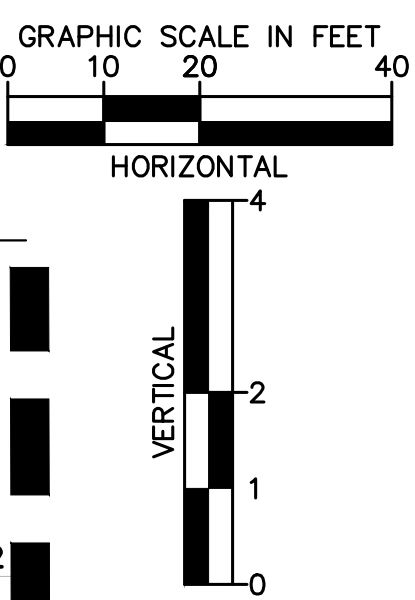
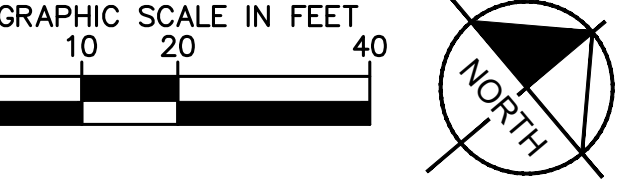


PROJECT NO.  
096956009  
 SHEET  
**C1.22**



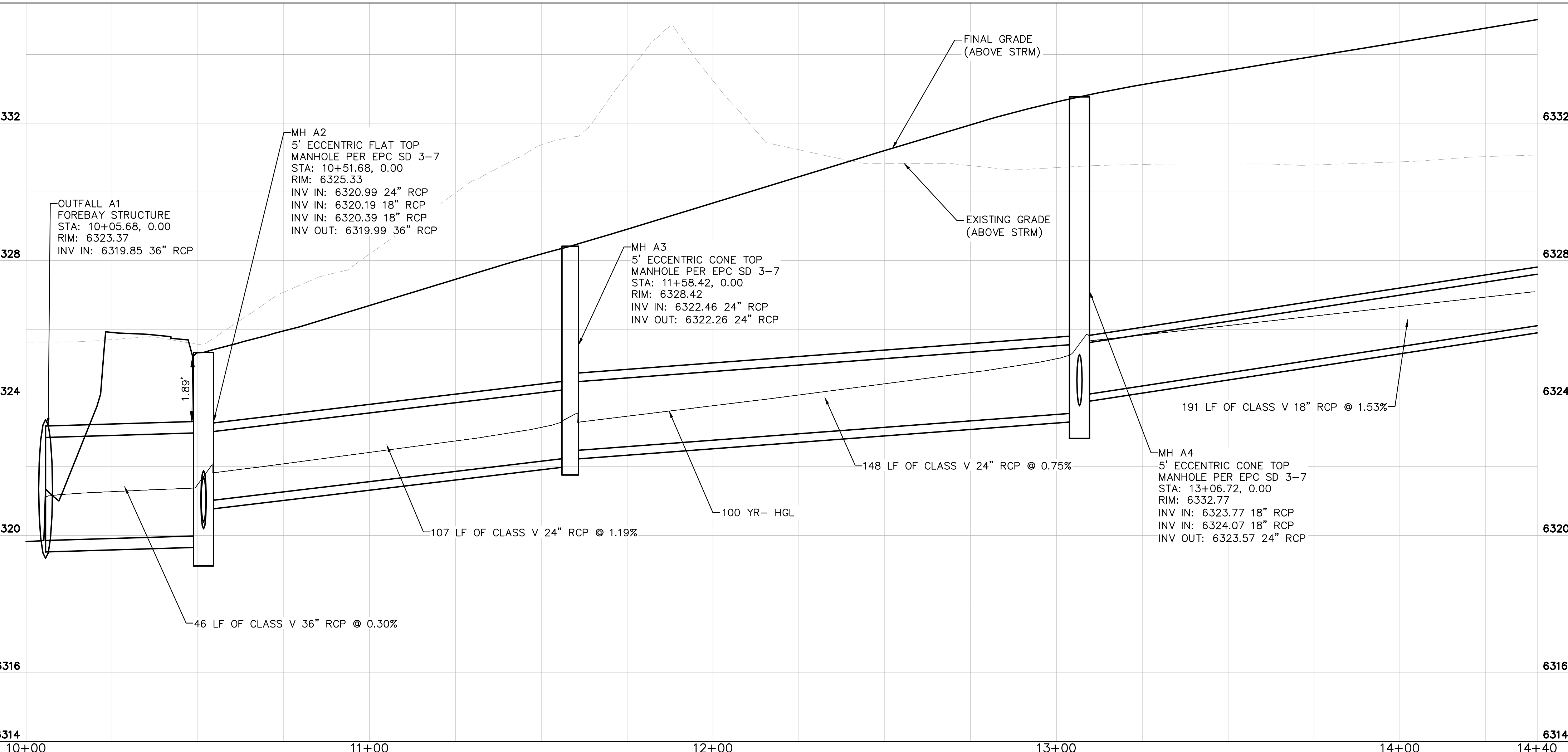


STORM SEWER LINE A STA 10+00-14+40 PLAN VIEW



LEGEND: KEY MAP NOT TO SCALE

- PROPERTY LINE
- EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
- PROPOSED GRATE INLET
- PROPOSED LANDSCAPE DRAIN
- DAE DRAINAGE ACCESS EASEMENT
- TOC TOP OF CURB

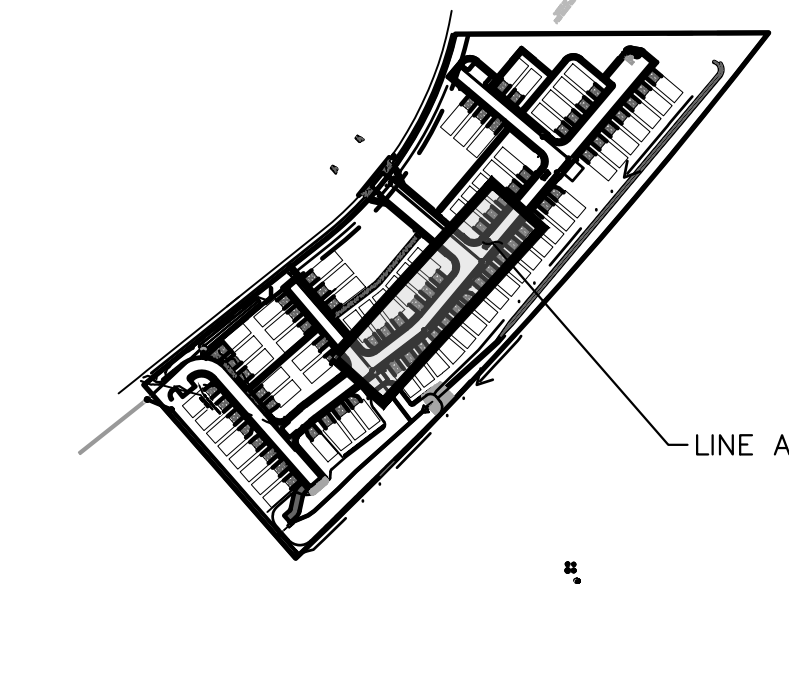


STORM SEWER LINE A STA 10+00-14+40 PROFILE VIEW

STORM SEWER NOTES:

1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. CONTRACTOR SHALL MODIFY STANDARD INLET STRUCTURE DIMENSIONS AND STRUCTURAL COMPONENTS TO ACCOMMODATE ASSOCIATED ENTRY AND OUTLET PIPES.
3. ALL STORM SEWER MAINS PIPE, INLETS AND MANHOLES ARE PRIVATELY OWNED AND MAINTAINED BY THE METRO DISTRICT OTHERWISE NOTED ON THE PLANS.
4. ALL CURB INLET STATIONS ARE BASED ON THE MIDPOINT OF THE CURB INLET AT THE FLOWLINE.
5. ALL CURB INLET TOC ELEVATIONS AND STATIONING ARE BASED ON THE MIDPOINT OF THE CURB INLET AT FLOWLINE.
6. ALL STORM SEWER PIPE 12\"/>

MATCHLINE. REFER TO SHEET C1.24



NO.	REVISION	BY	DATE	APPR



DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/14/2022

**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 STORM SEWER PLAN & PROFILES-LINE A

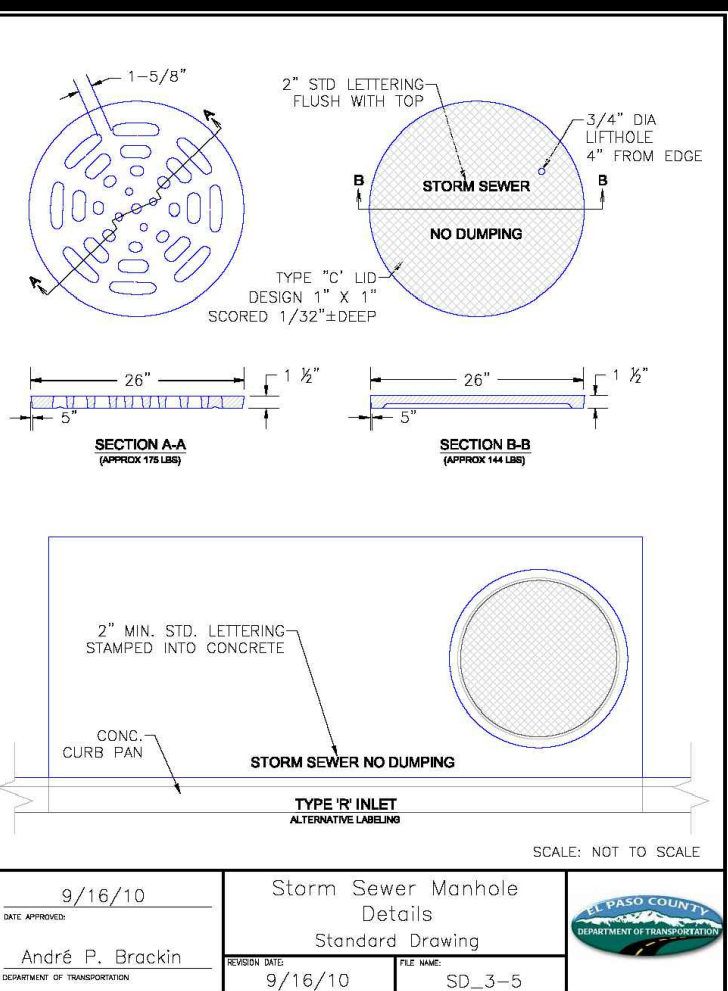
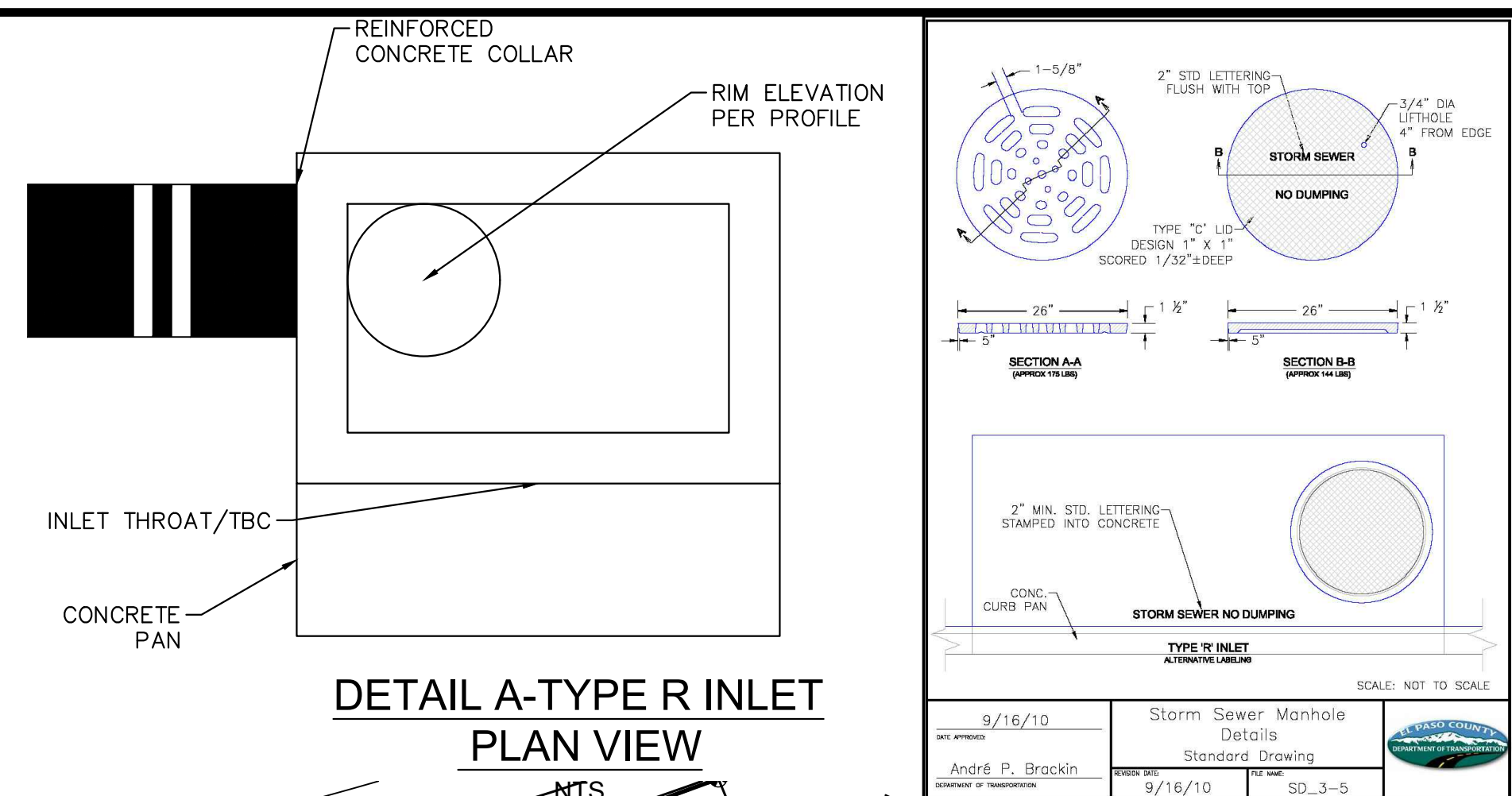


PROJECT NO.  
096956009

SHEET  
**C1.23**

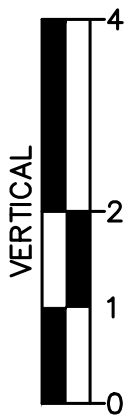
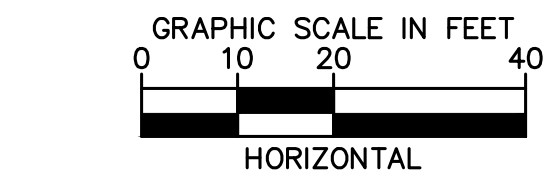
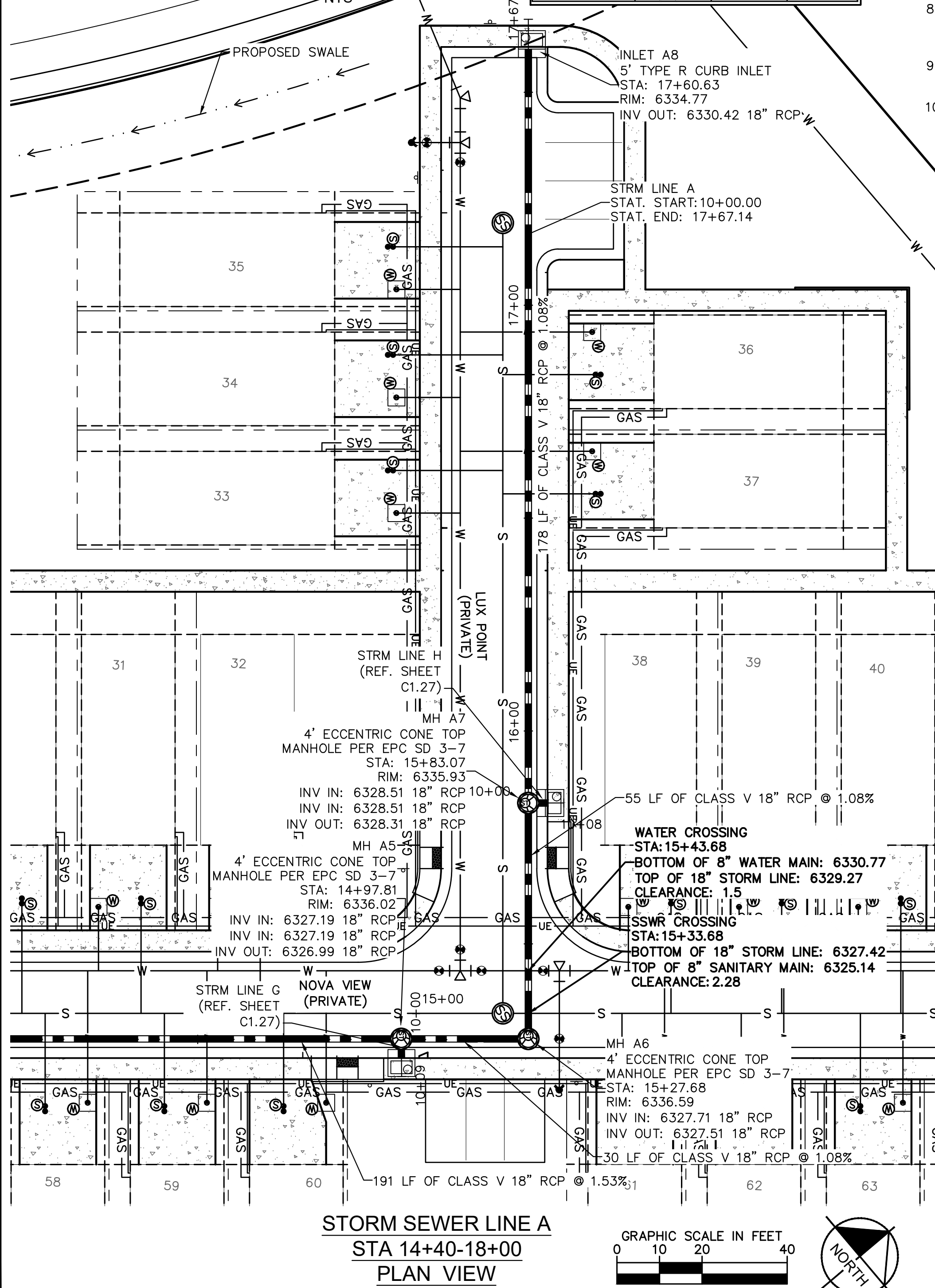
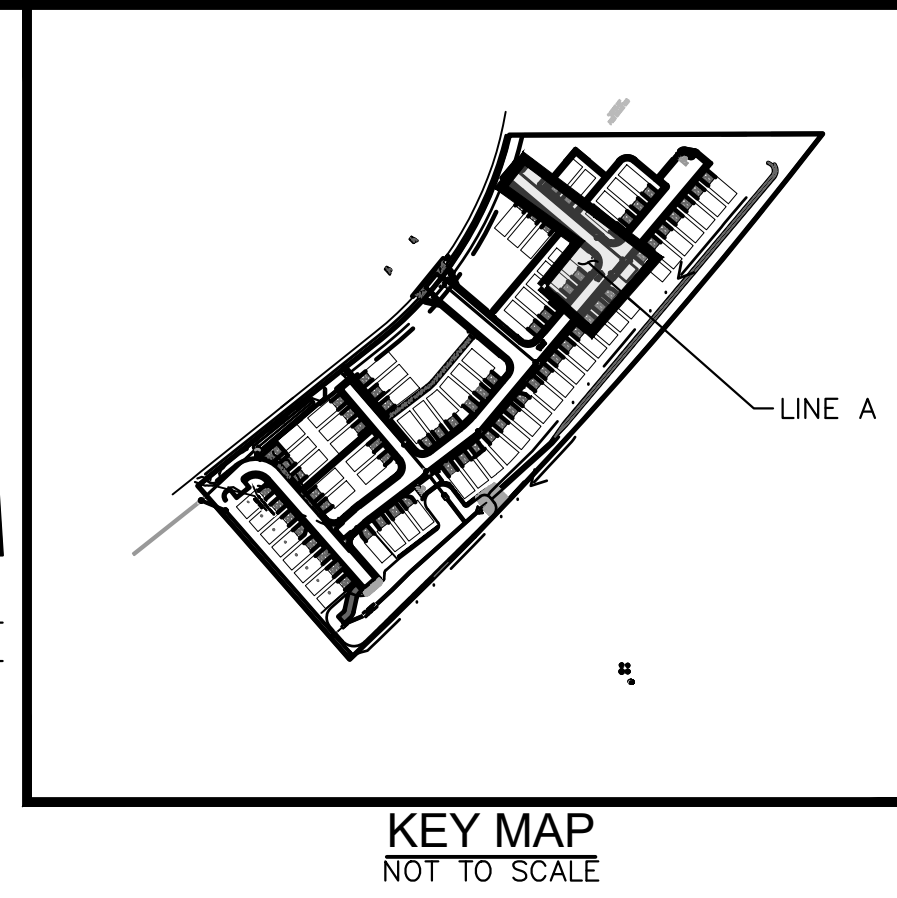


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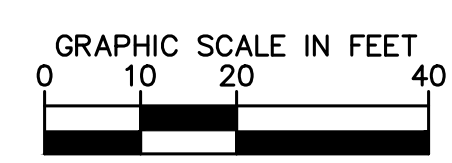
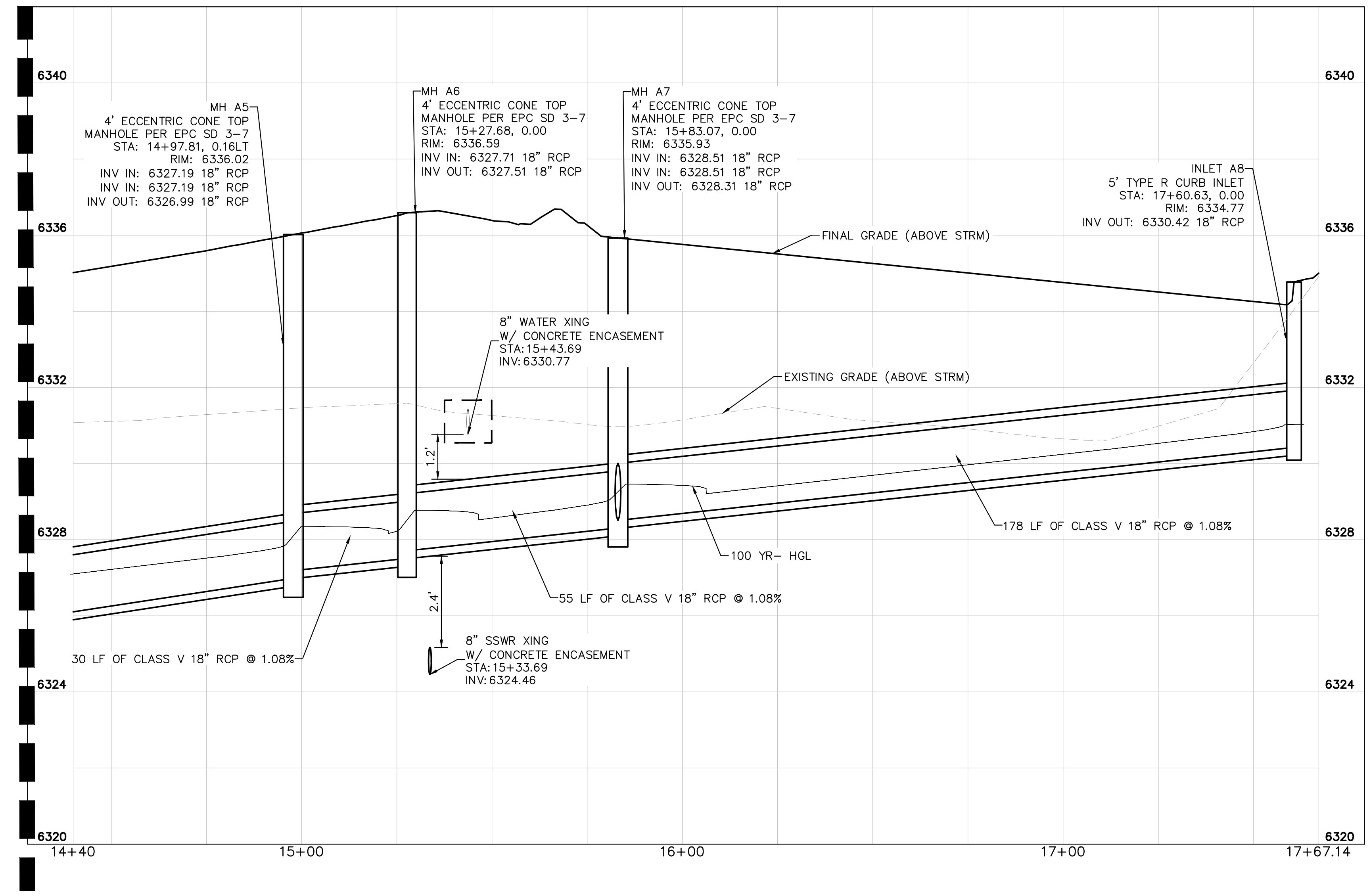


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  - ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT. RE: UTILITY DETAILS FOR NYOPLAST DETAILED DRAWINGS.
  - CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.
  - ALL STORM INLET STRUCTURES TO BE 5' TYPE R CURB INLETS.

- LEGEND:**
- PROPERTY LINE
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
  - PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED CURB INLET
  - EXISTING CURB INLET
  - PROPOSED GRATE INLET
  - PROPOSED LANDSCAPE DRAIN
  - DRAINAGE ACCESS EASEMENT (DAE)
  - TOP OF CURB (TOC)



MATCHLINE: REFER TO SHEET C1.23



NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21 JRH	
2	CHEROKEE METRO COMMENTS	GP	03/14/22 JRH	

**Kimley»Horn**  
2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/14/2022

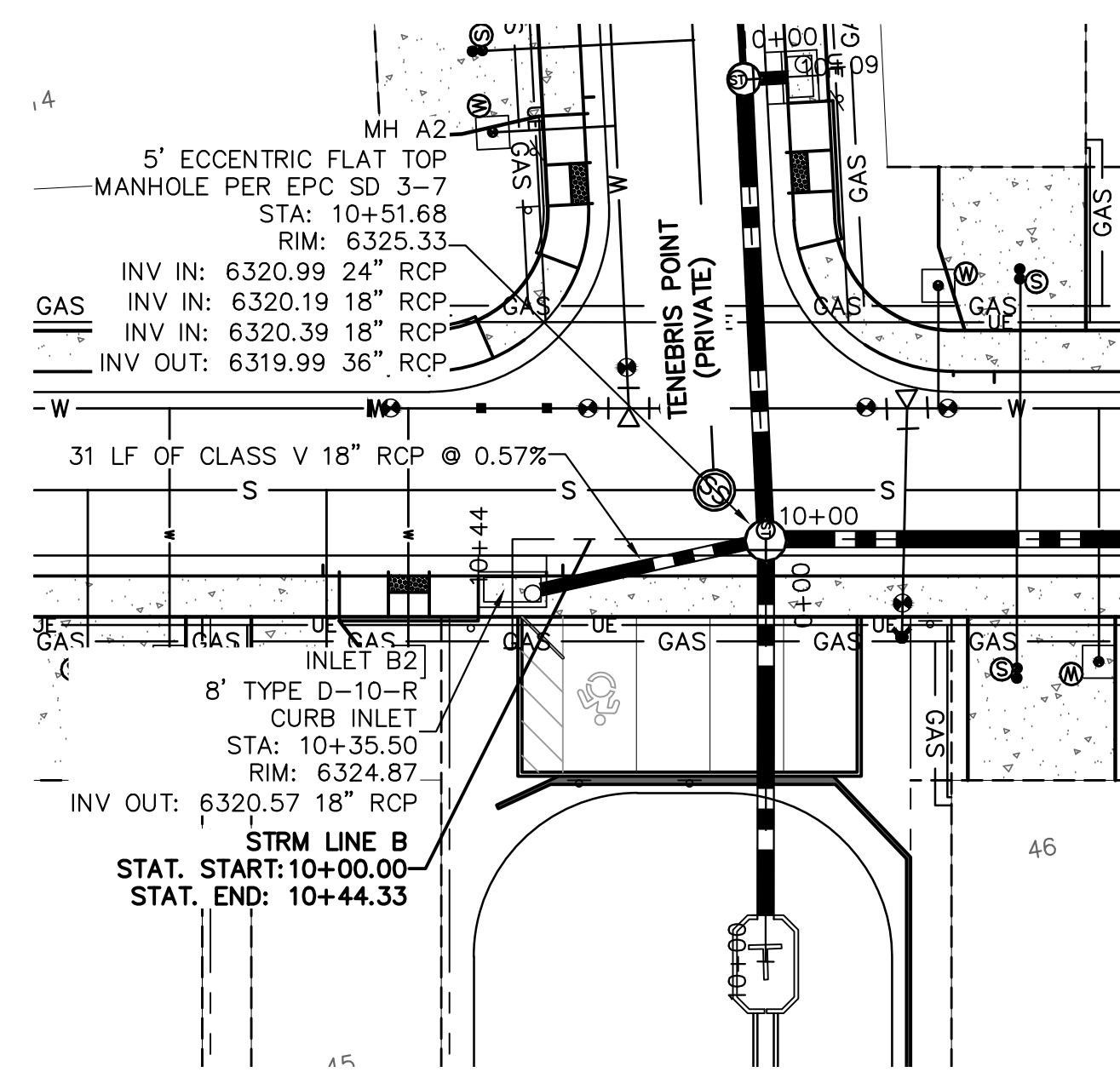
**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM SEWER PLAN & PROFILES-LINE A



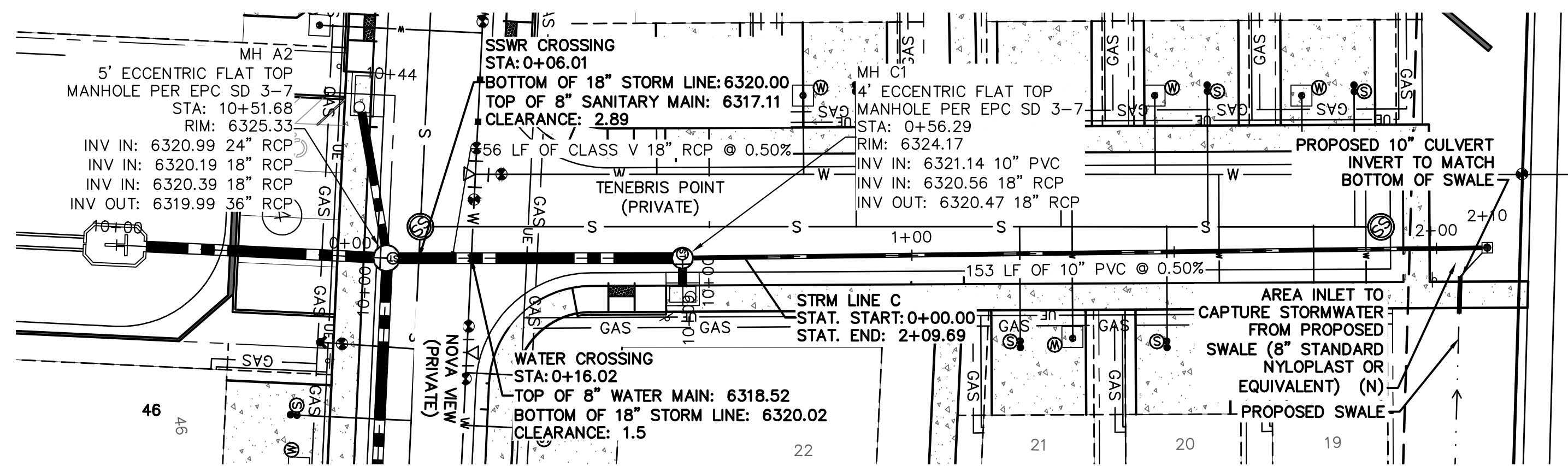
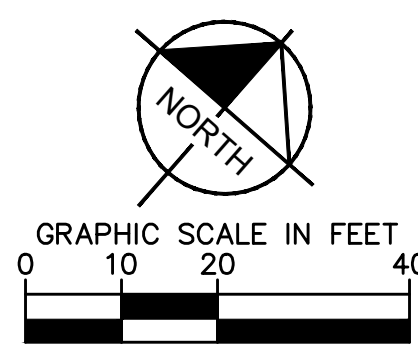
PROJECT NO.  
096956009

SHEET  
**C1.24**

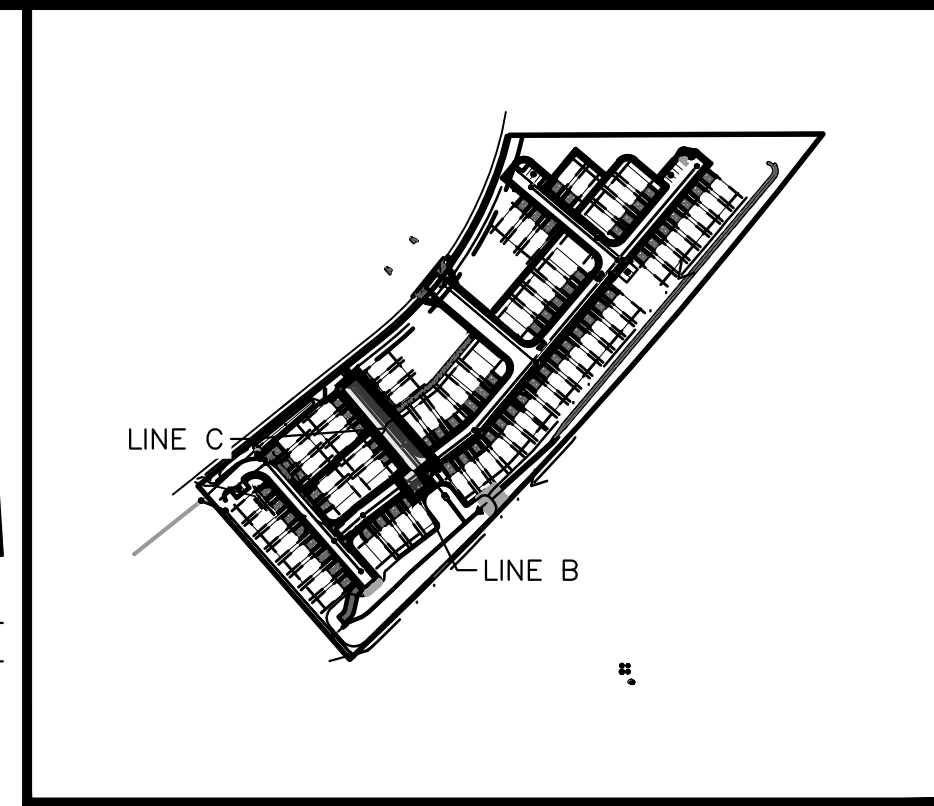
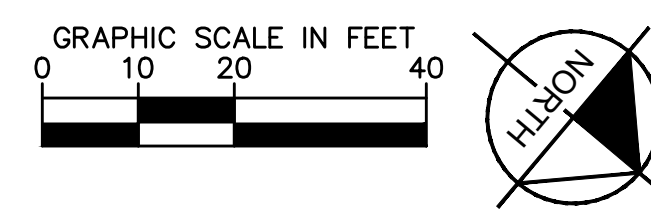




**STORM SEWER LINE B PLAN VIEW**



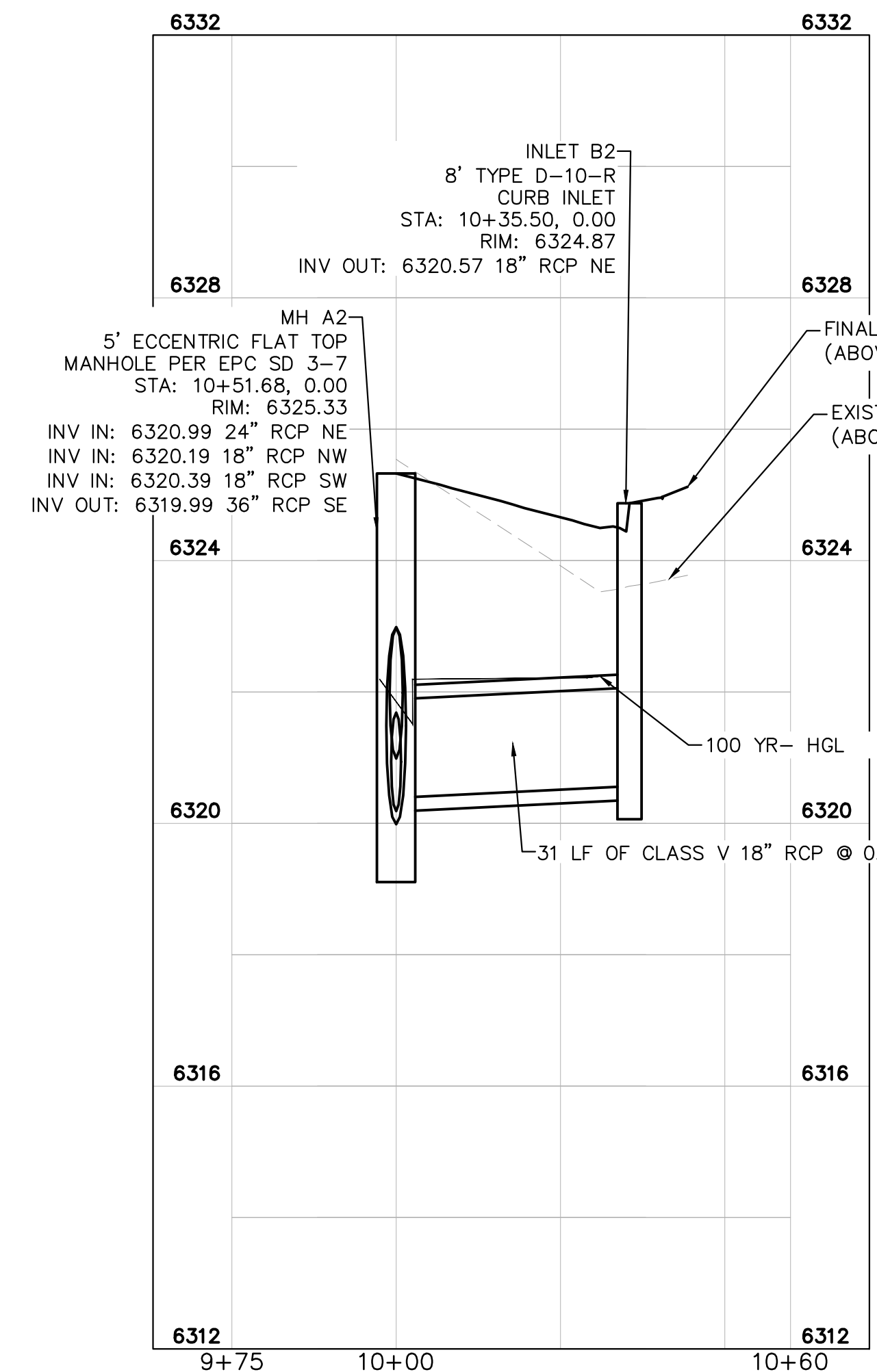
**STORM SEWER LINE C PLAN VIEW**



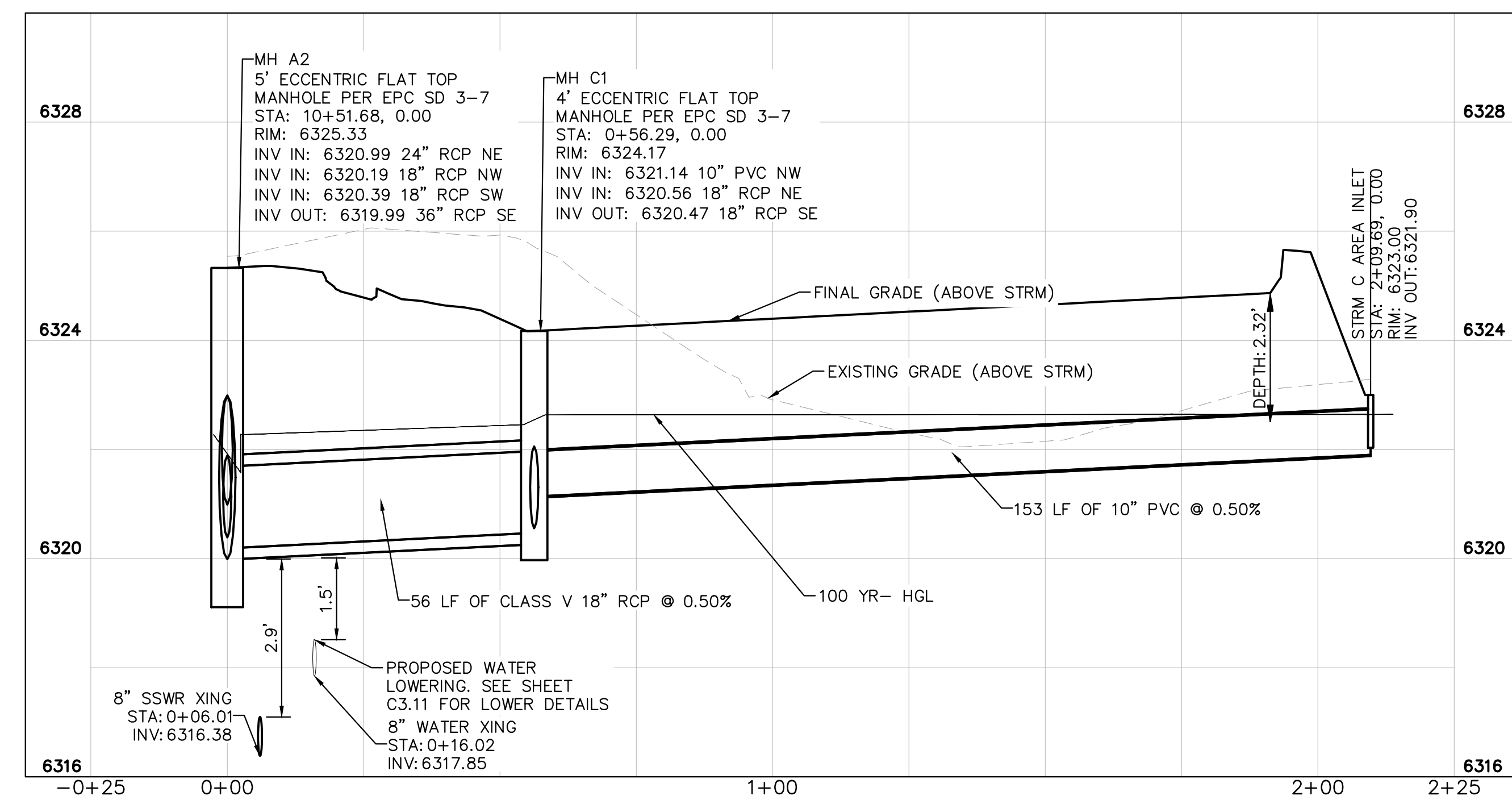
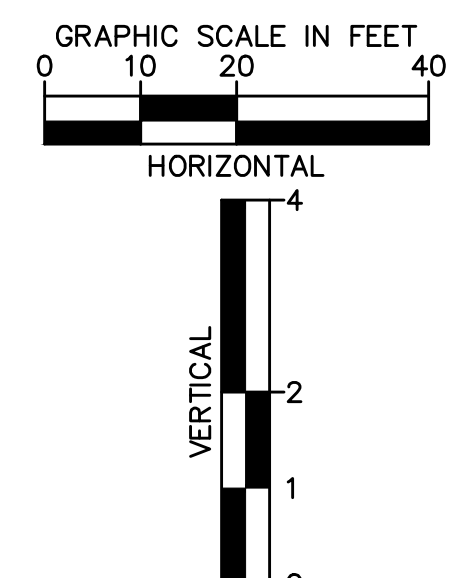
- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
  - PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED CURB INLET
  - EXISTING CURB INLET
  - PROPOSED GRATE INLET
  - PROPOSED LANDSCAPE DRAIN
  - DAE DRAINAGE ACCESS EASEMENT
  - TOC TOP OF CURB

**STORM SEWER NOTES:**

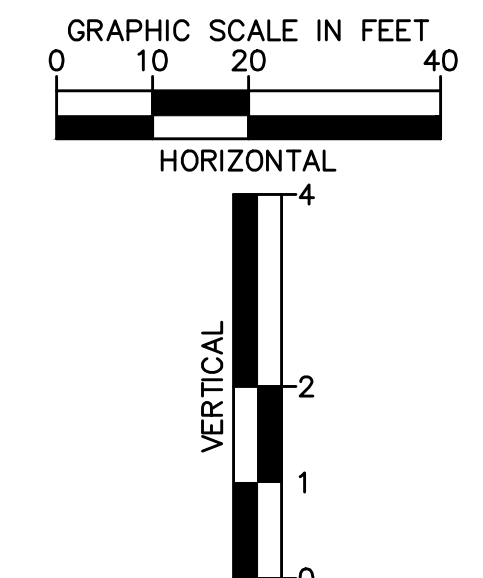
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**STORM SEWER LINE B PROFILE VIEW**



**STORM SEWER LINE C PROFILE VIEW**



K:\COS\_Civil\096956009\_Meadowbrook\CADD\PlanSheets\Utilities\096956009UT\_ST.dwg Petik, Grant 4/22/2022 1:47 PM

NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/14/2022

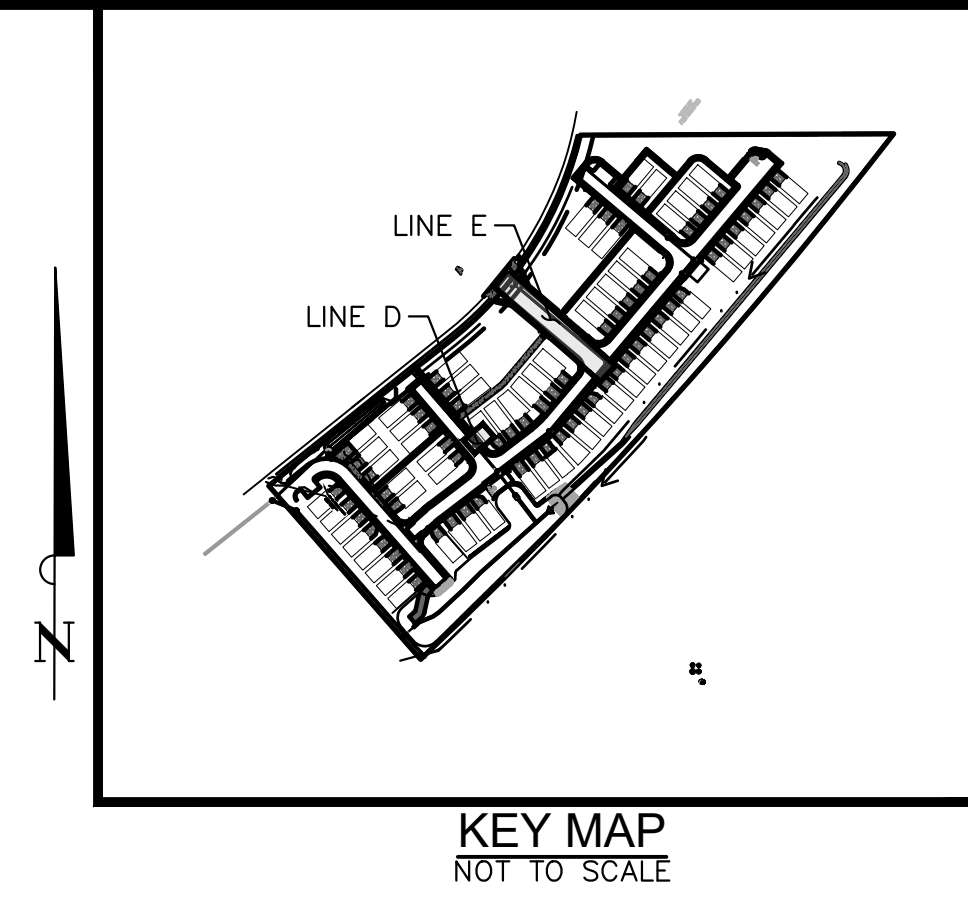
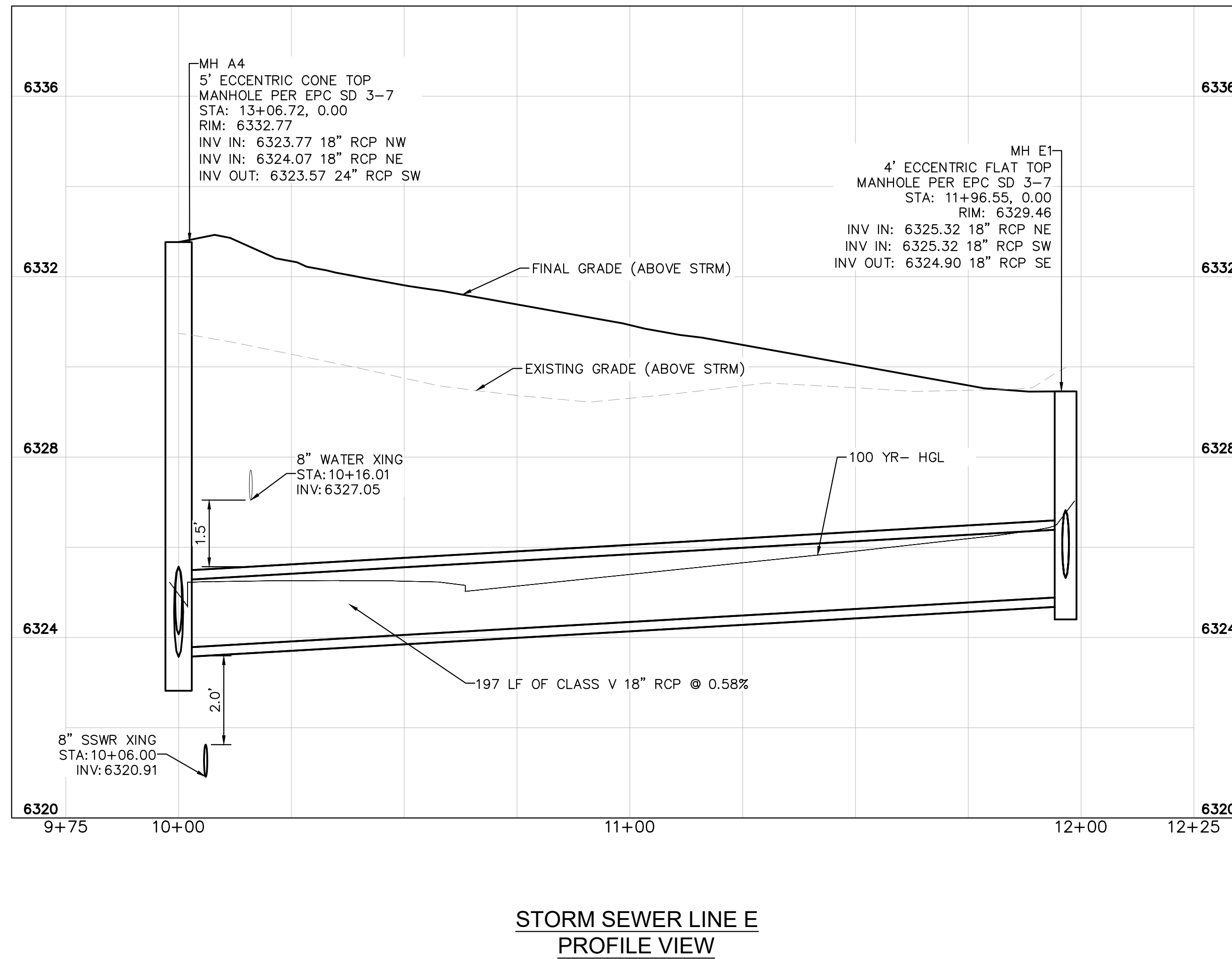
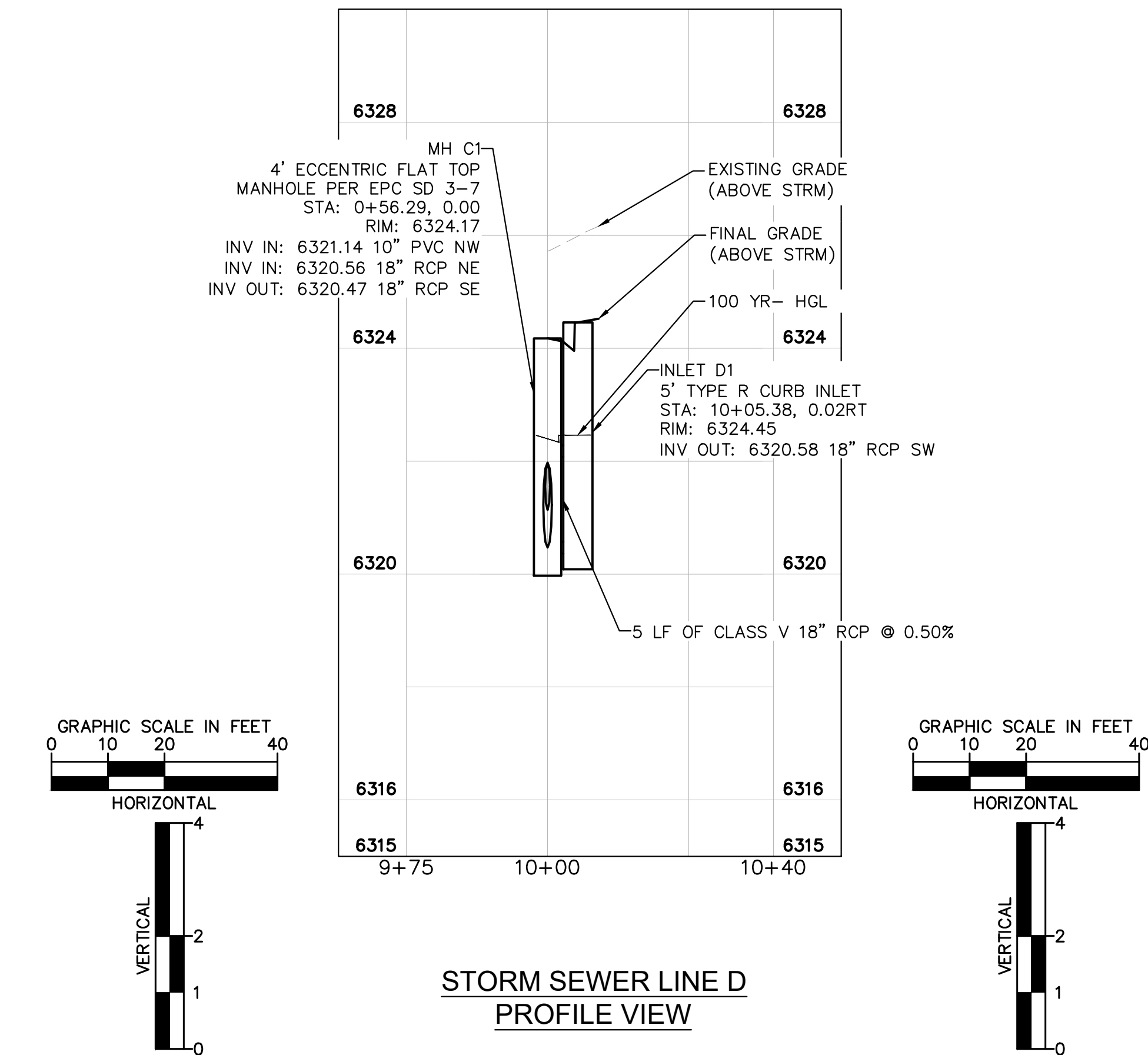
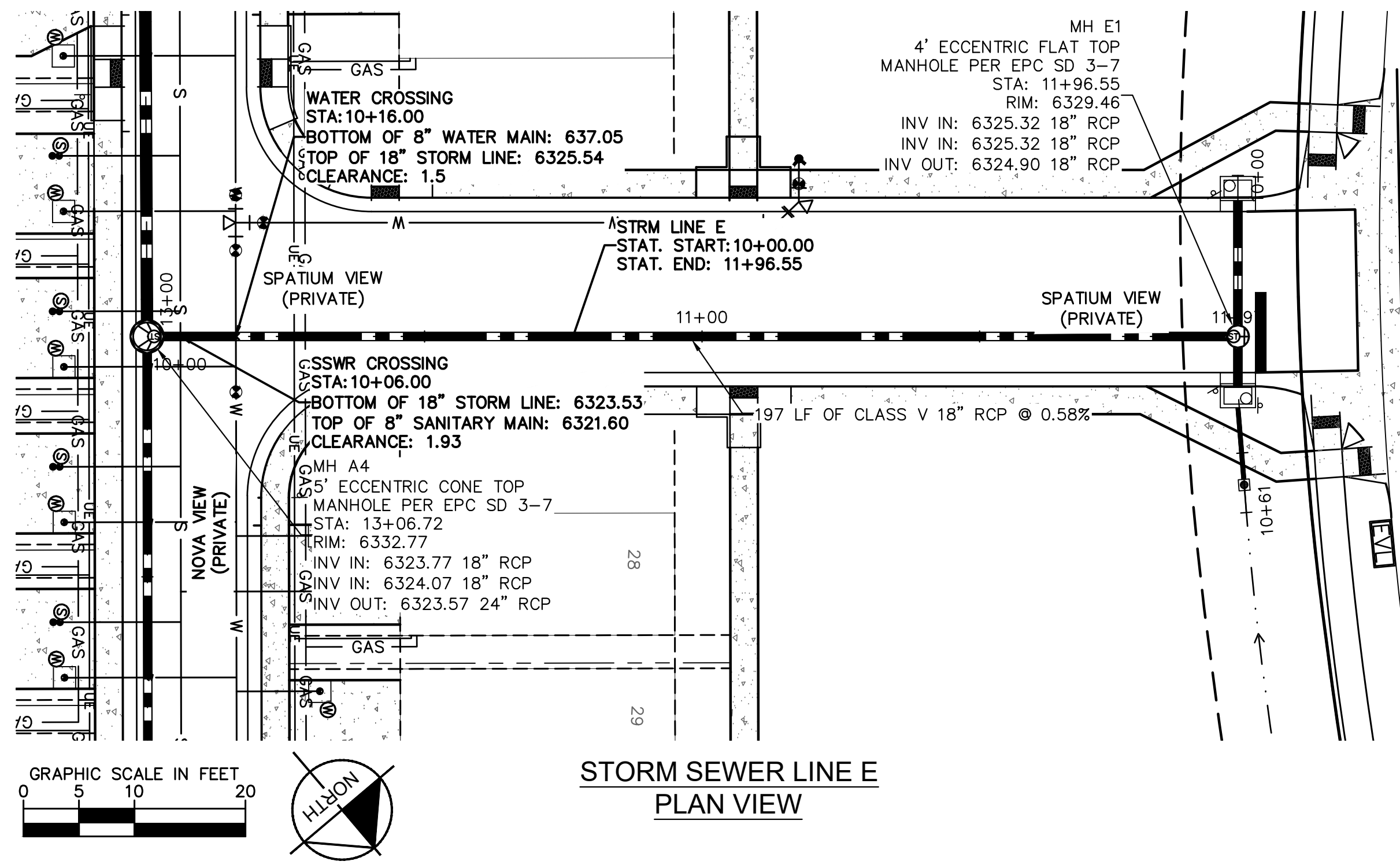
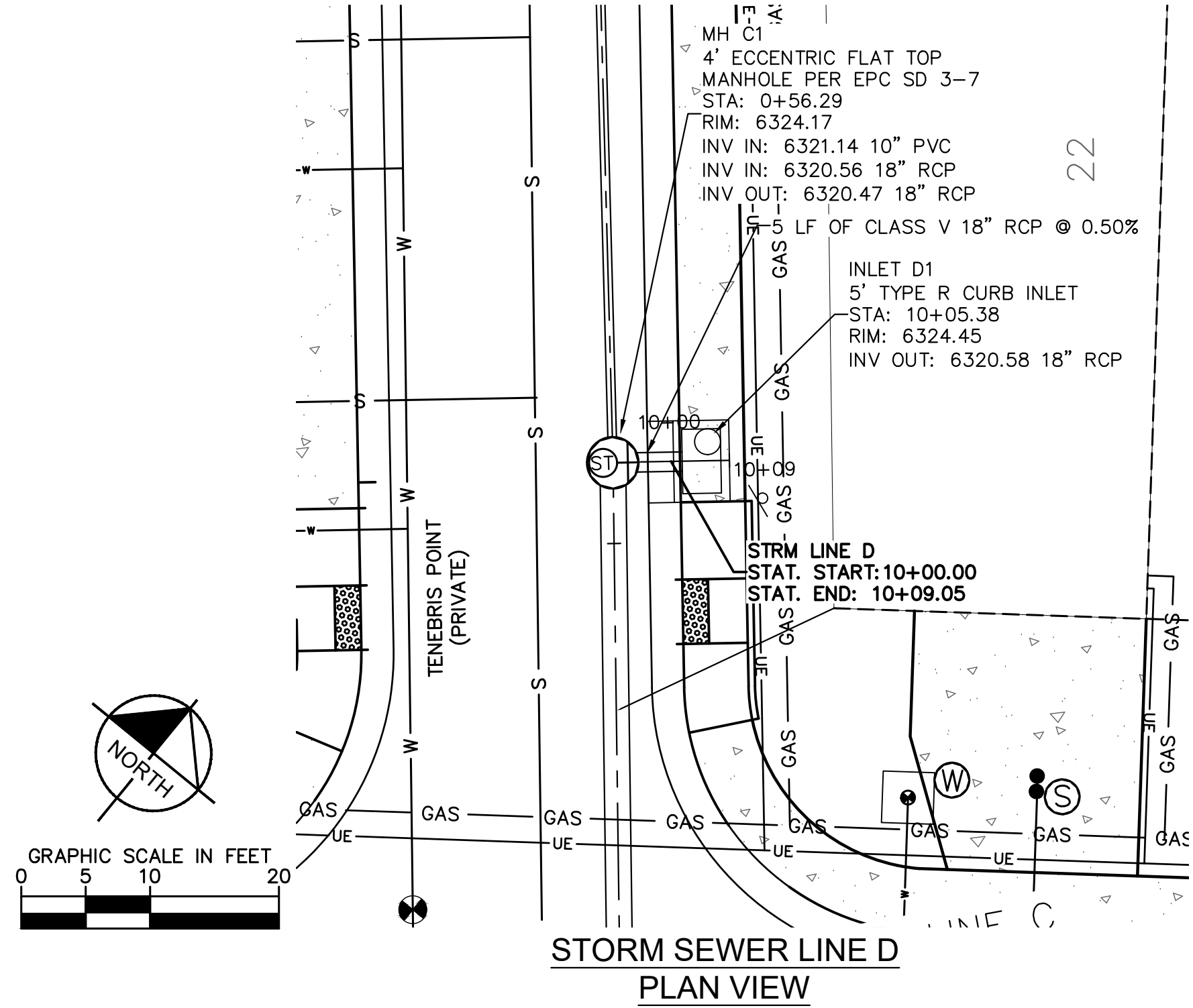
**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 STORM SEWER PLAN & PROFILES-LINE B&C**



PROJECT NO.  
 096956009  
 SHEET  
**C1.25**



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- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
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  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED CURB INLET
  - EXISTING CURB INLET
  - PROPOSED GRATE INLET
  - PROPOSED LANDSCAPE DRAIN
  - DAE DRAINAGE ACCESS EASEMENT
  - TOC TOP OF CURB

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GP	10/05/21	JRH							
GP	03/14/22	JRH							
WATER LINE EXTENSION									
CHEROKEE METRO COMMENTS									
NO.	REVISION	BY	DATE	APPR					

**Kimley»Horn**  
2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/14/2022

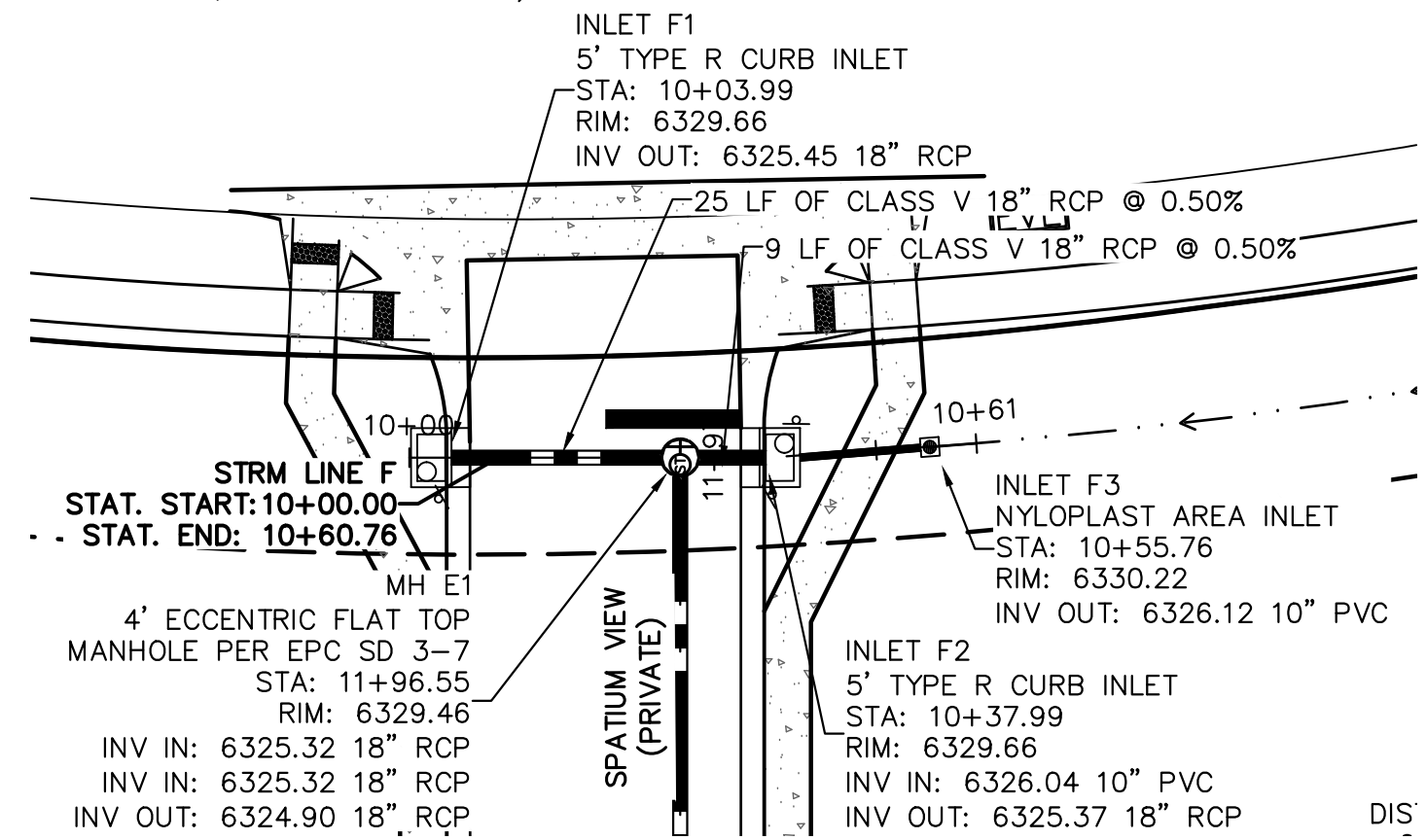
**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM SEWER PLAN & PROFILES- LINES D&E

PROJECT NO.  
096956009

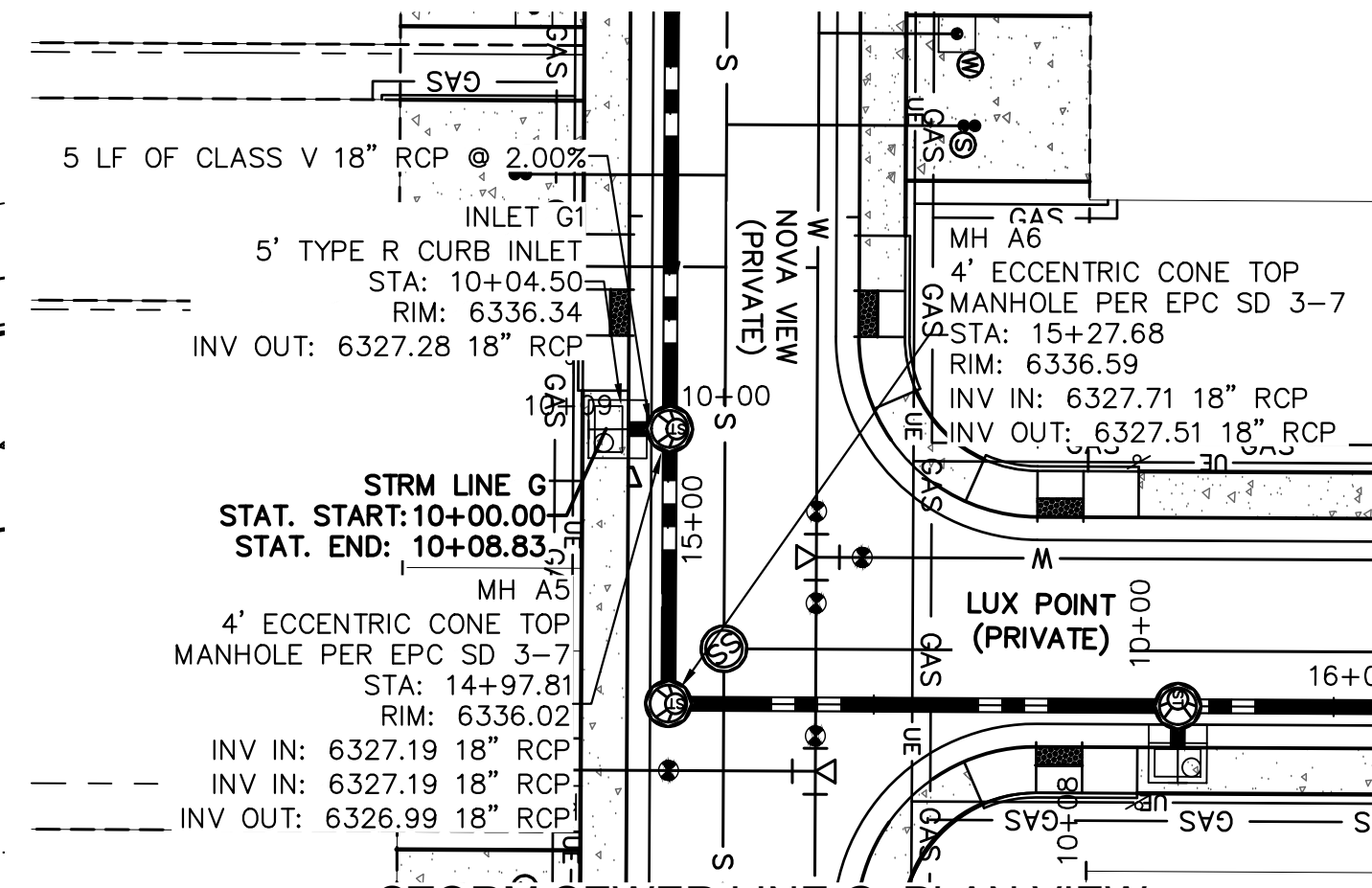
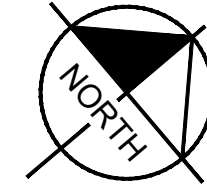
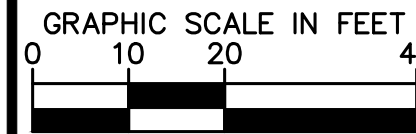
SHEET  
**C1.26**



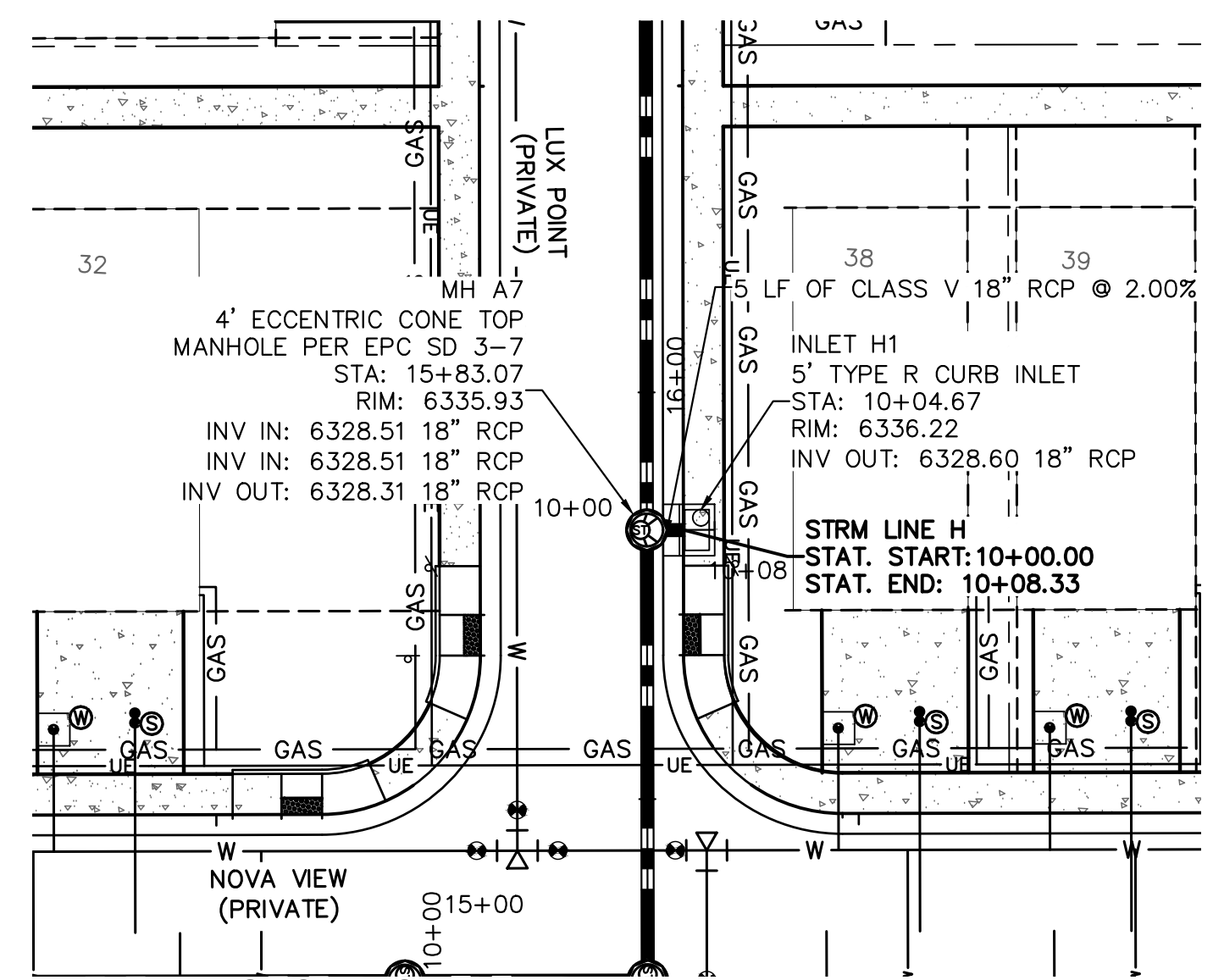
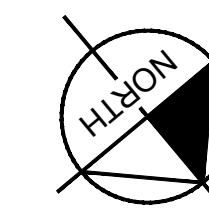
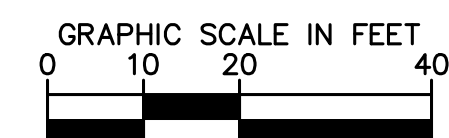
**MEADOWBROOK PARKWAY**  
REC. NO. 5408403008  
(80' PUBLIC ROW)



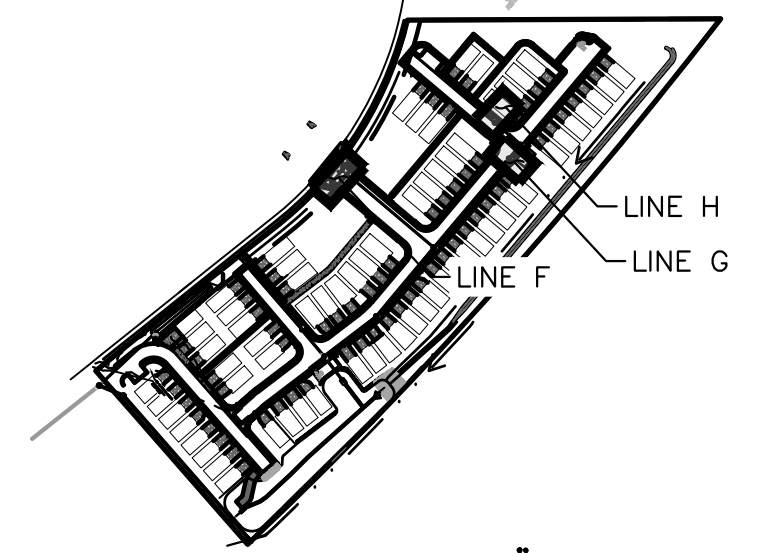
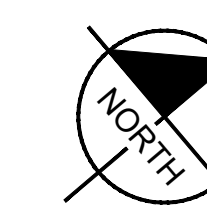
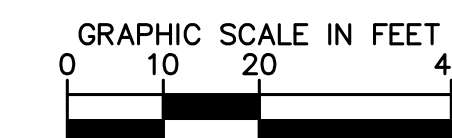
**STORM SEWER LINE F PLAN VIEW**



**STORM SEWER LINE G PLAN VIEW**



**STORM SEWER LINE H PLAN VIEW**



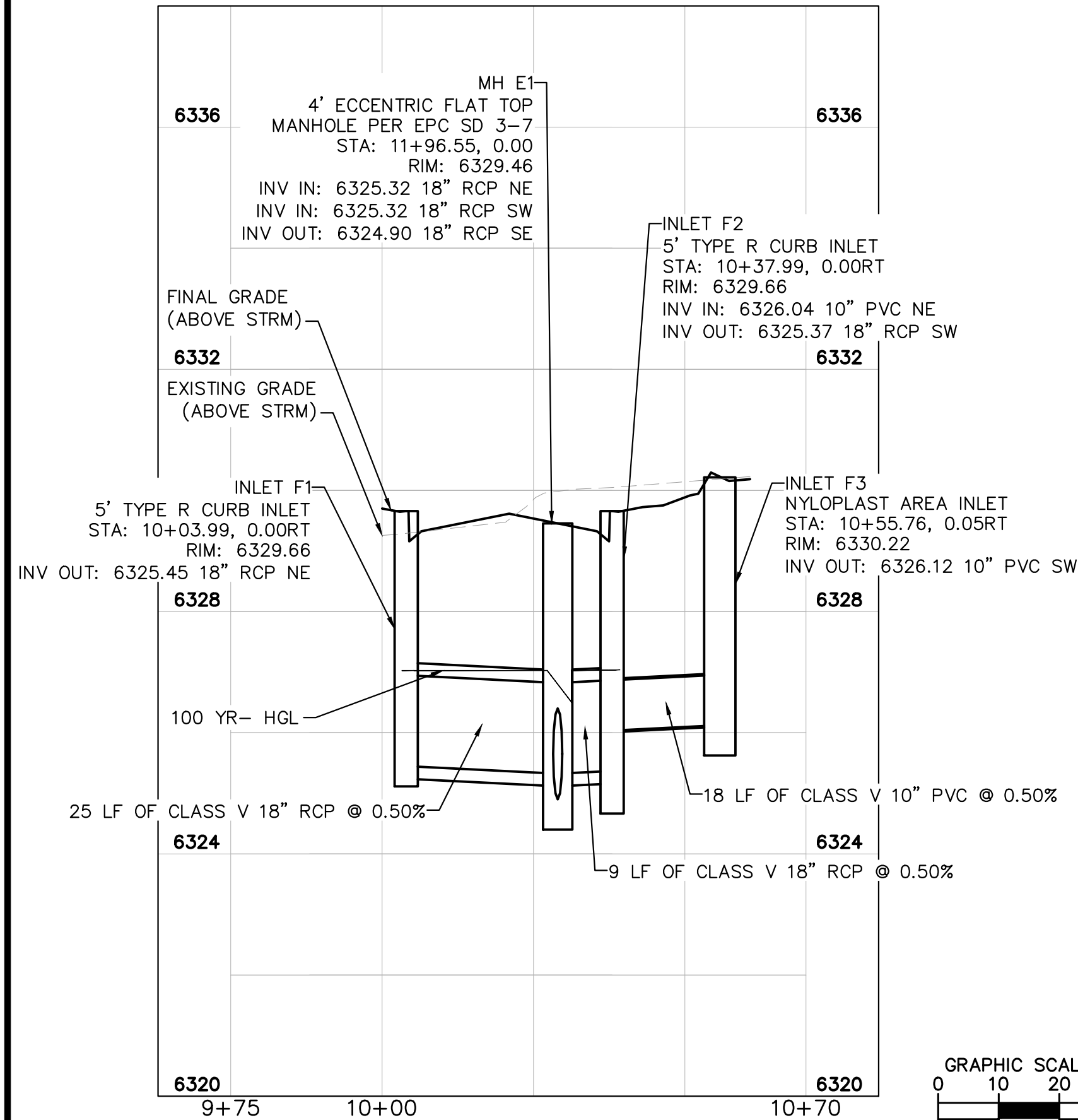
**KEY MAP**  
NOT TO SCALE

**LEGEND:**

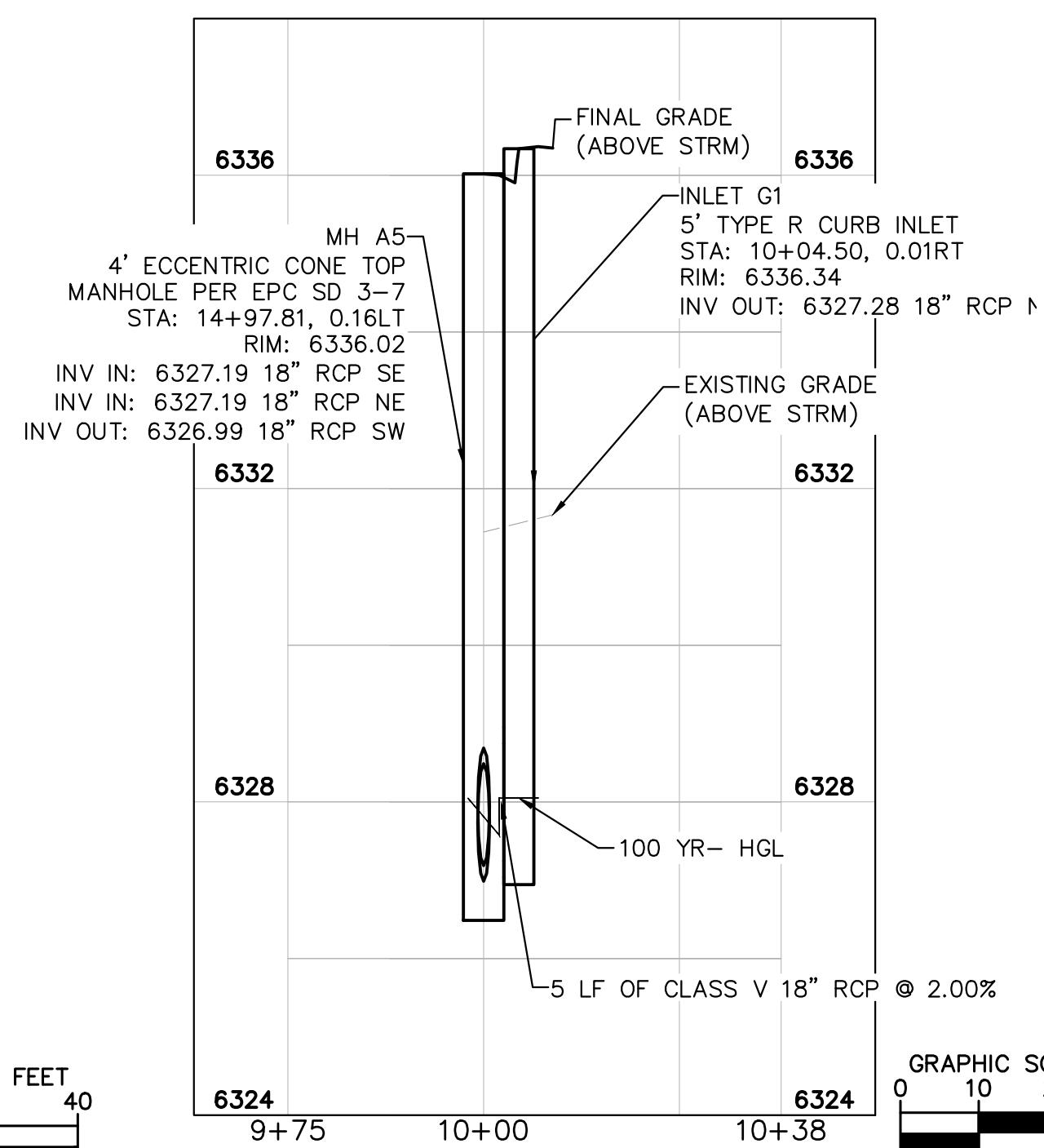
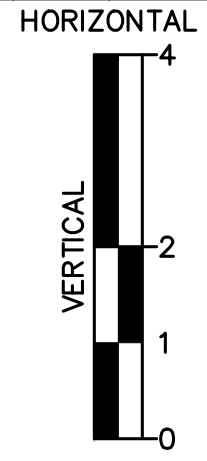
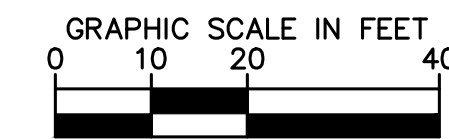
- PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
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- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
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- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
- PROPOSED GRATE INLET
- PROPOSED LANDSCAPE DRAIN
- DAE DRAINAGE ACCESS EASEMENT
- TOC TOP OF CURB

**STORM SEWER NOTES:**

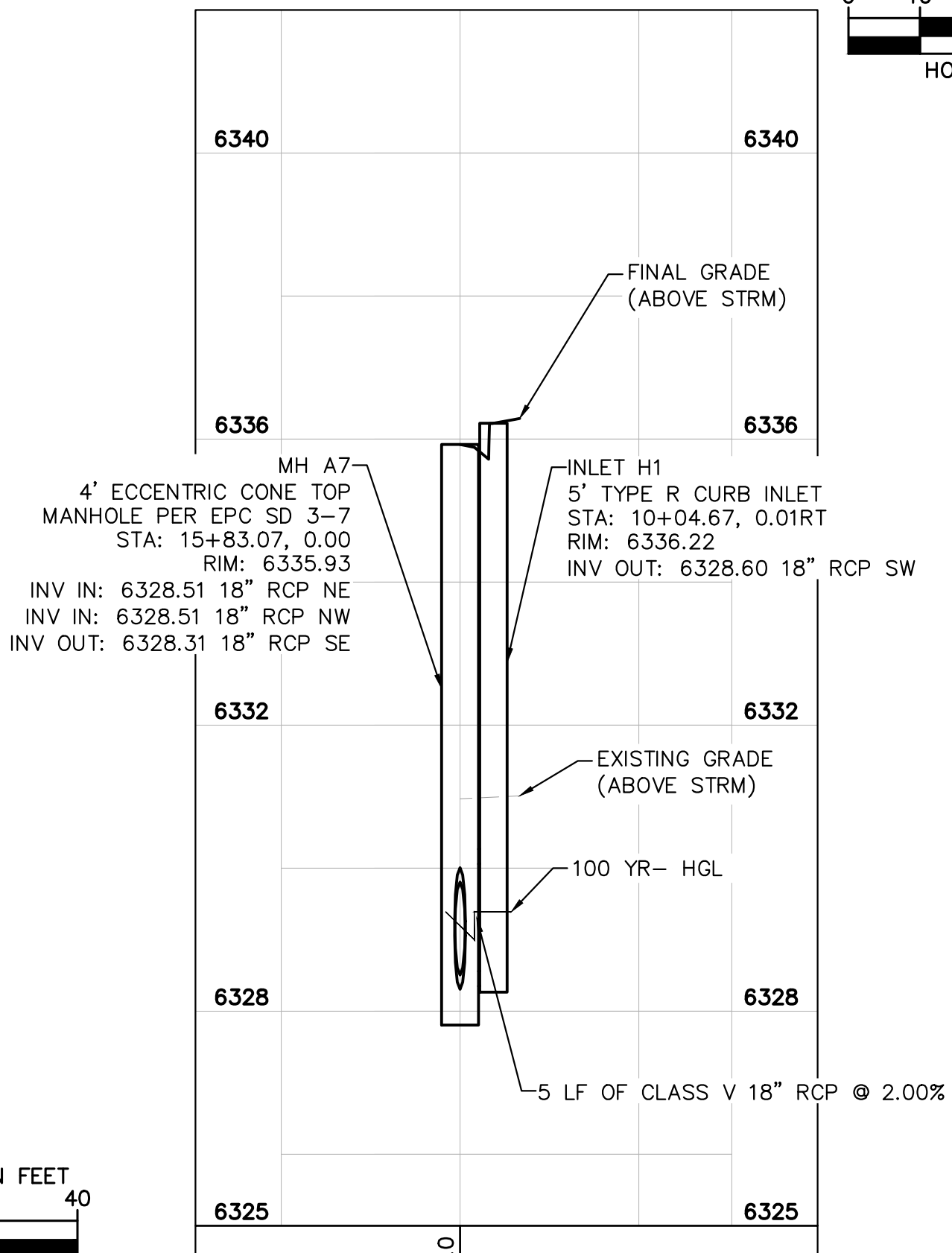
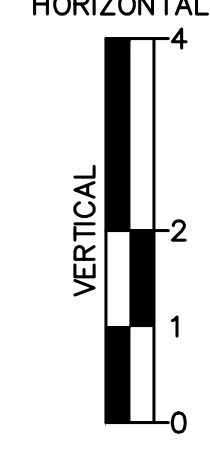
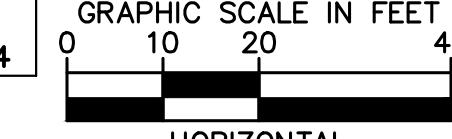
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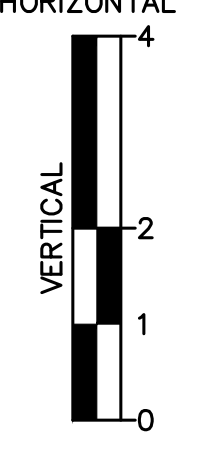
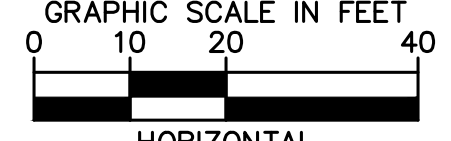
**STORM SEWER LINE F PROFILE VIEW**



**STORM SEWER LINE G PROFILE VIEW**



**STORM SEWER LINE H PROFILE VIEW**



NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley»Horn**  
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2 North Nevada Avenue Suite 300  
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DESIGNED BY: KK  
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**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM SEWER PLAN & PROFILES- LINES F, G, & H

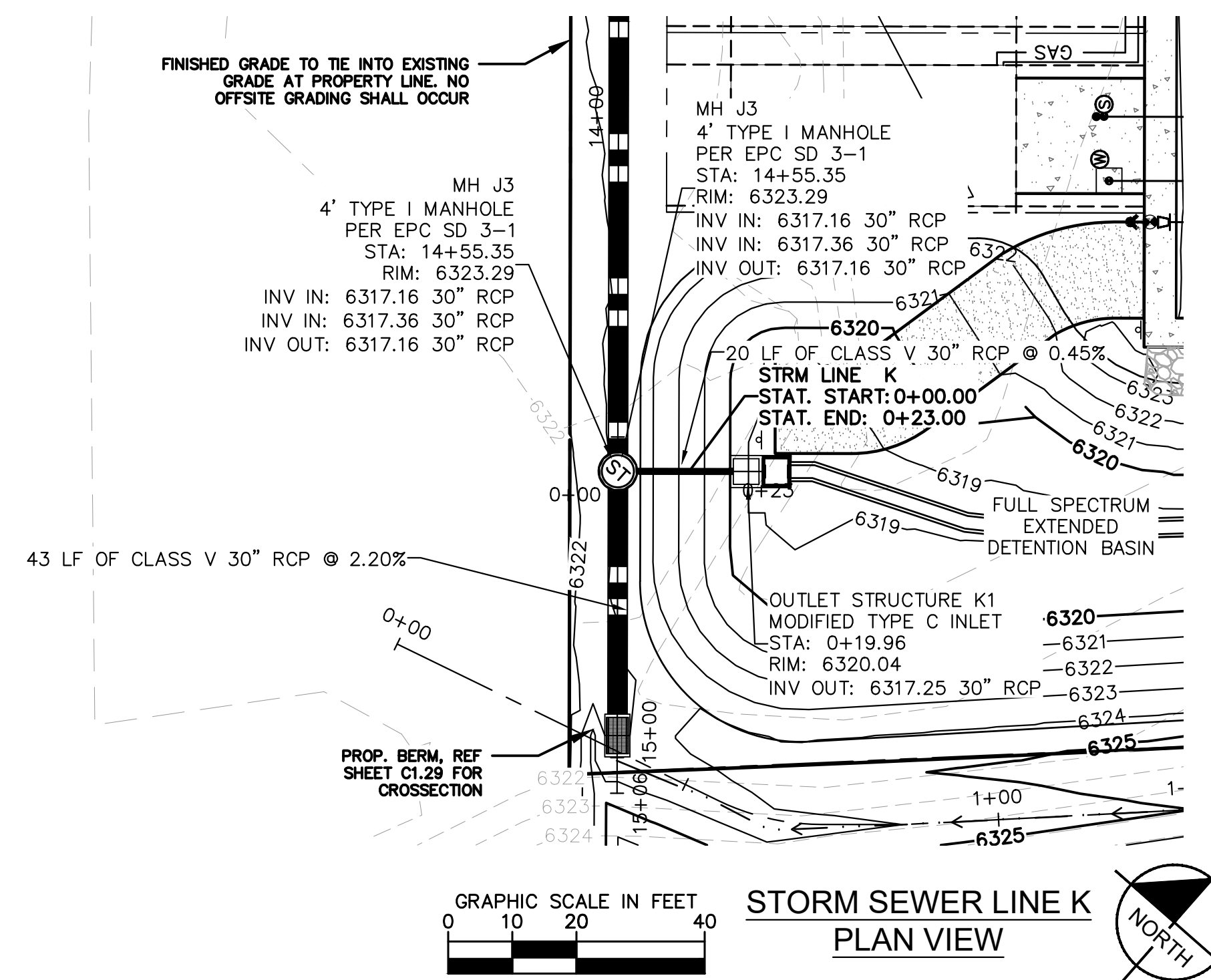
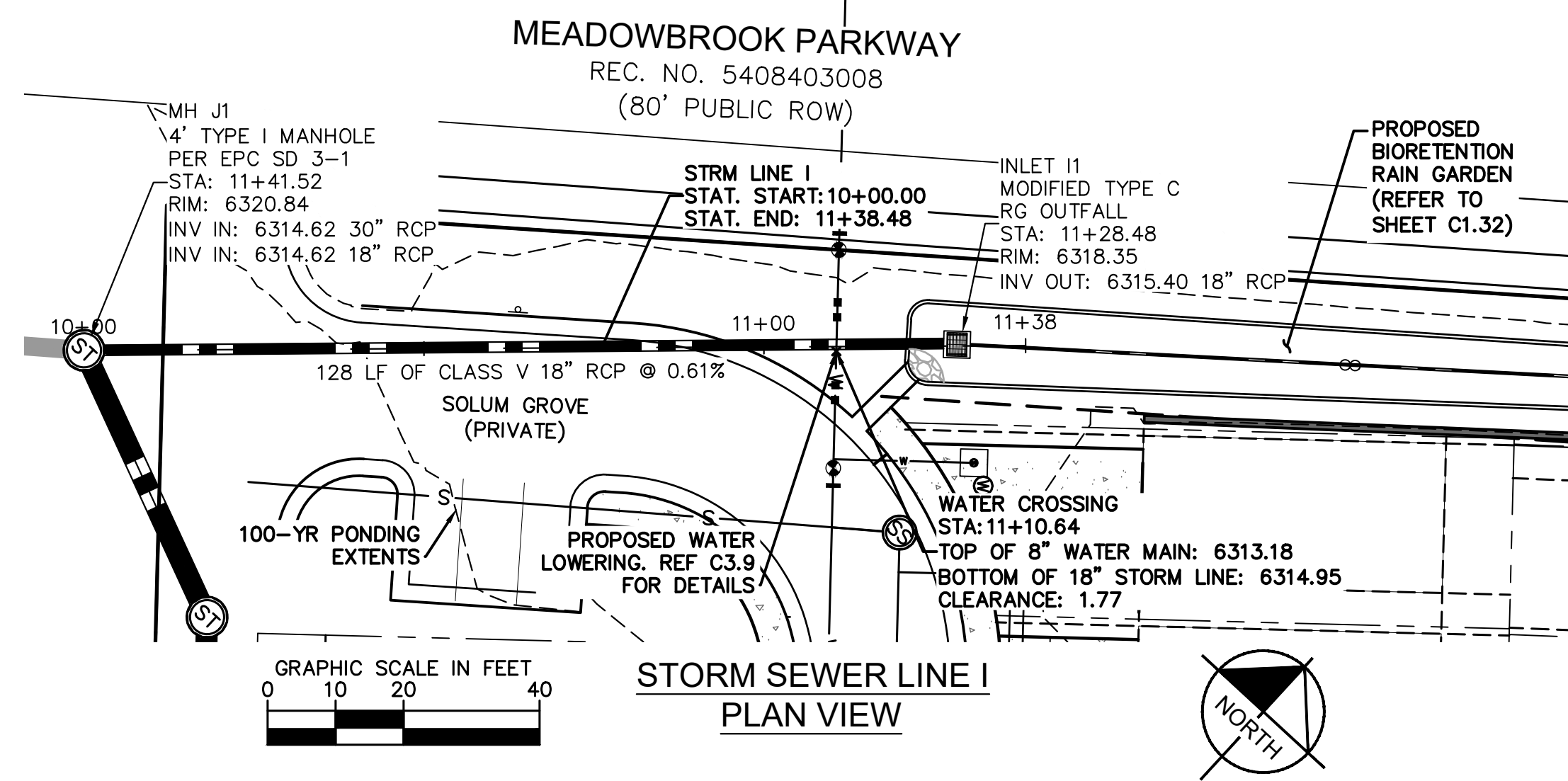


PROJECT NO.  
096956009  
SHEET  
**C1.27**

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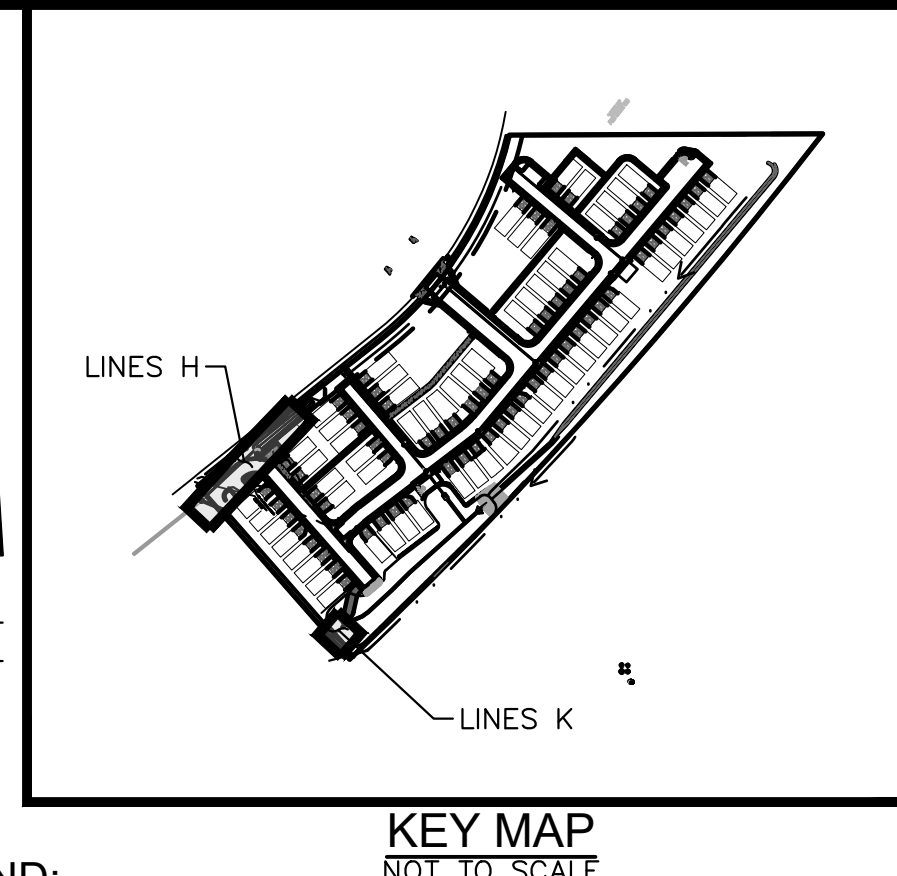
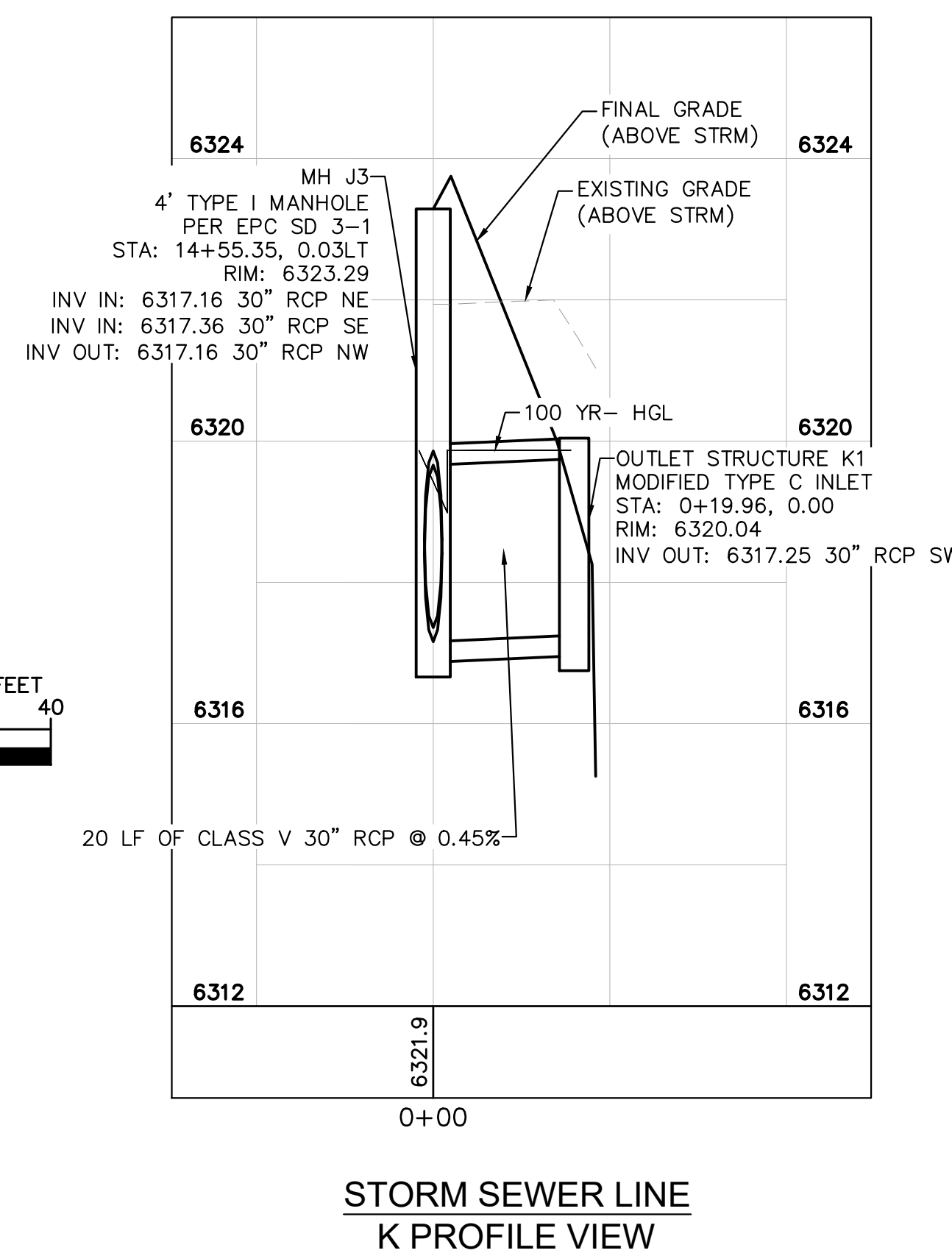
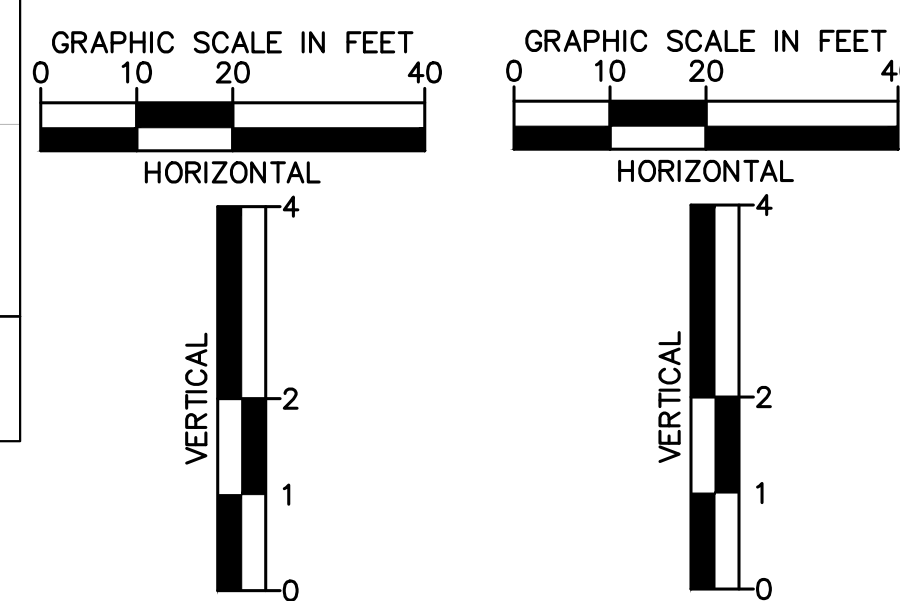
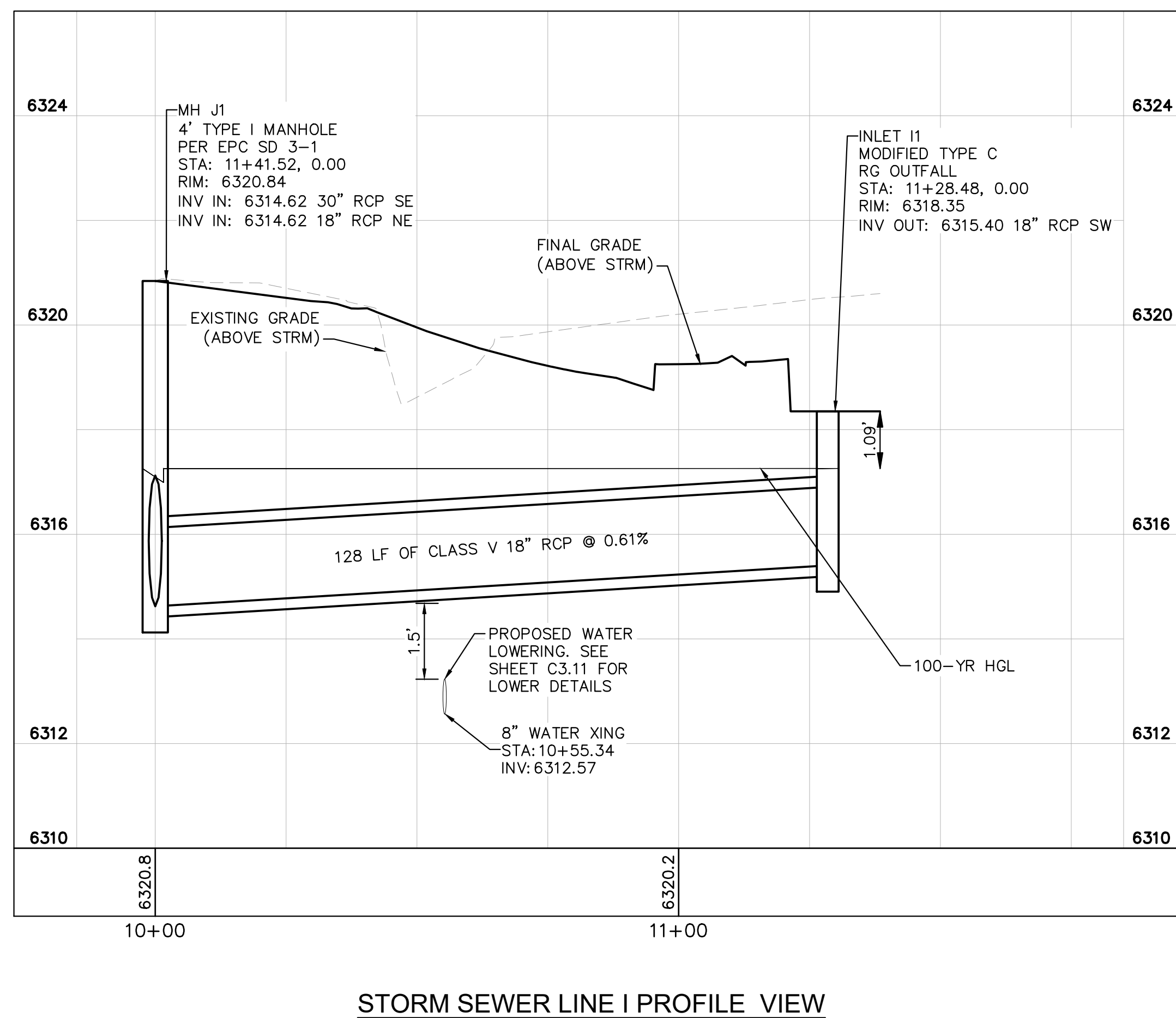


**LEGEND:**

- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT AND BOLLARD  
ASSEMBLY PER COA STD DETAIL 208
- PROPOSED FIRE DEPARTMENT CONNECTION  
W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- ⊕ PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- ⊕ PROPOSED CURB INLET
- ⊕ EXISTING CURB INLET
- ⊕ PROPOSED GRATE INLET
- ⊕ PROPOSED LANDSCAPE DRAIN
- DAE DRAINAGE ACCESS EASEMENT
- TOC TOP OF CURB

**STORM SEWER NOTES:**

1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. CONTRACTOR SHALL MODIFY STANDARD INLET STRUCTURE DIMENSIONS AND STRUCTURAL COMPONENTS TO ACCOMMODATE ASSOCIATED ENTRY AND OUTLET PIPES.
3. ALL STORM SEWER MAINS PIPE, INLETS AND MANHOLES ARE PRIVATELY OWNED AND MAINTAINED BY THE METRO DISTRICT OTHERWISE NOTED ON THE PLANS.
4. ALL CURB INLET STATIONS ARE BASED ON THE MIDPOINT OF THE CURB INLET AT THE FLOWLINE.
5. ALL CURB INLET TOC ELEVATIONS AND STATIONING ARE BASED ON THE MIDPOINT OF THE CURB INLET AT FLOWLINE.
6. ALL STORM SEWER PIPE 12" AND GREATER SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED.
7. ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT. RE: UTILITY DETAILS FOR NYOPLAST DETAILED DRAWINGS.
8. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.



NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley»Horn**  
2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/14/2022

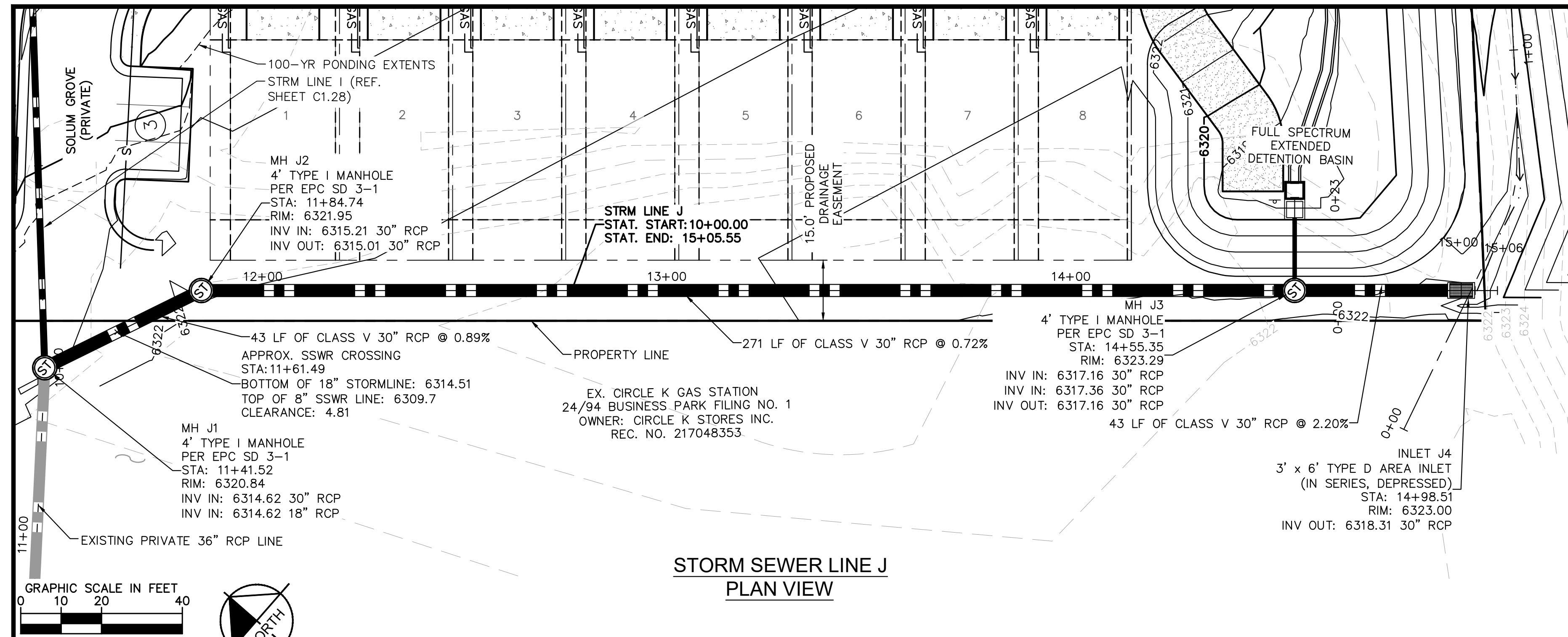
**MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM SEWER PLAN & PROFILES-LINE I&K**



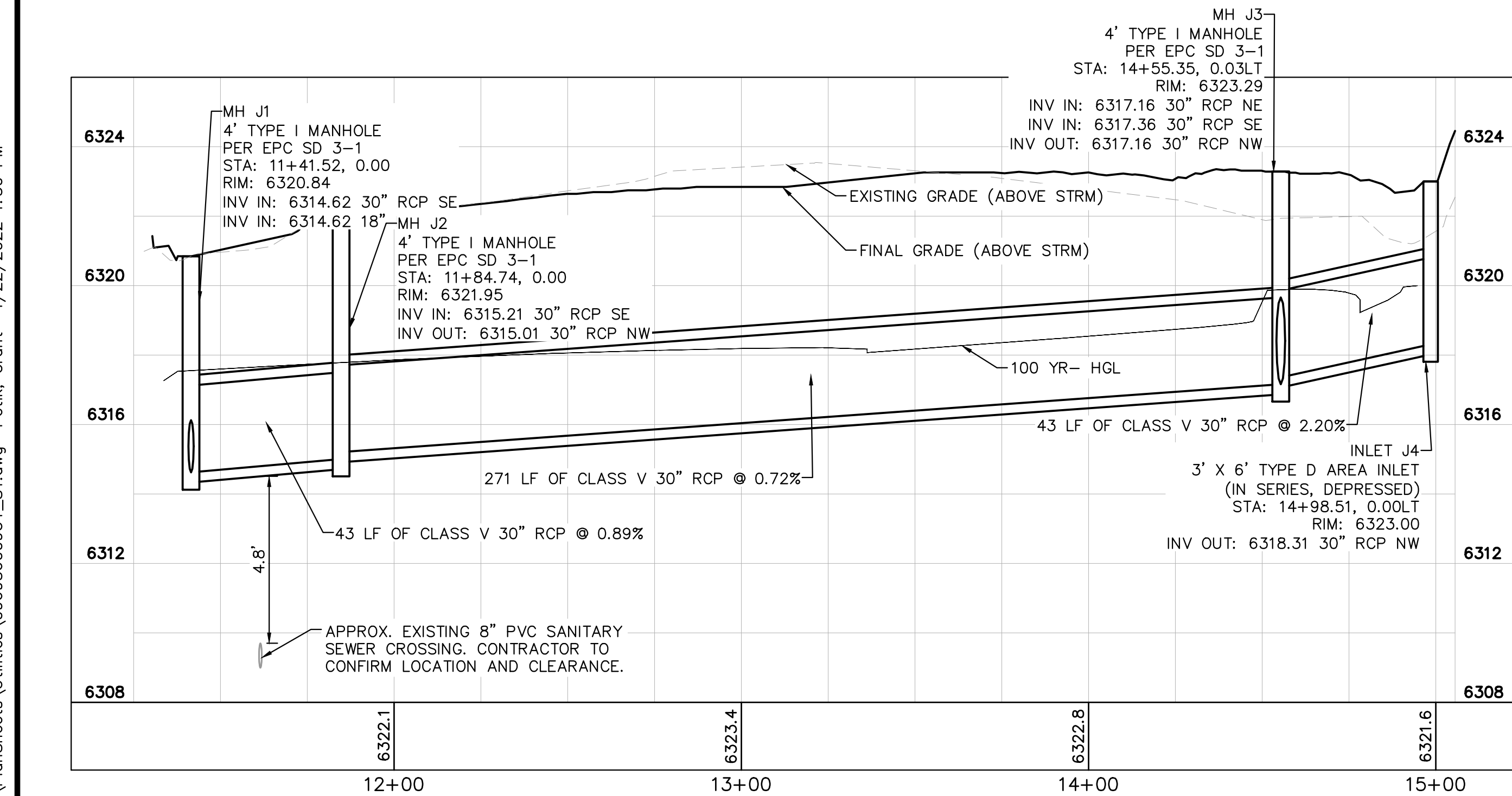
PROJECT NO.  
096956009  
SHEET  
**C1.28**



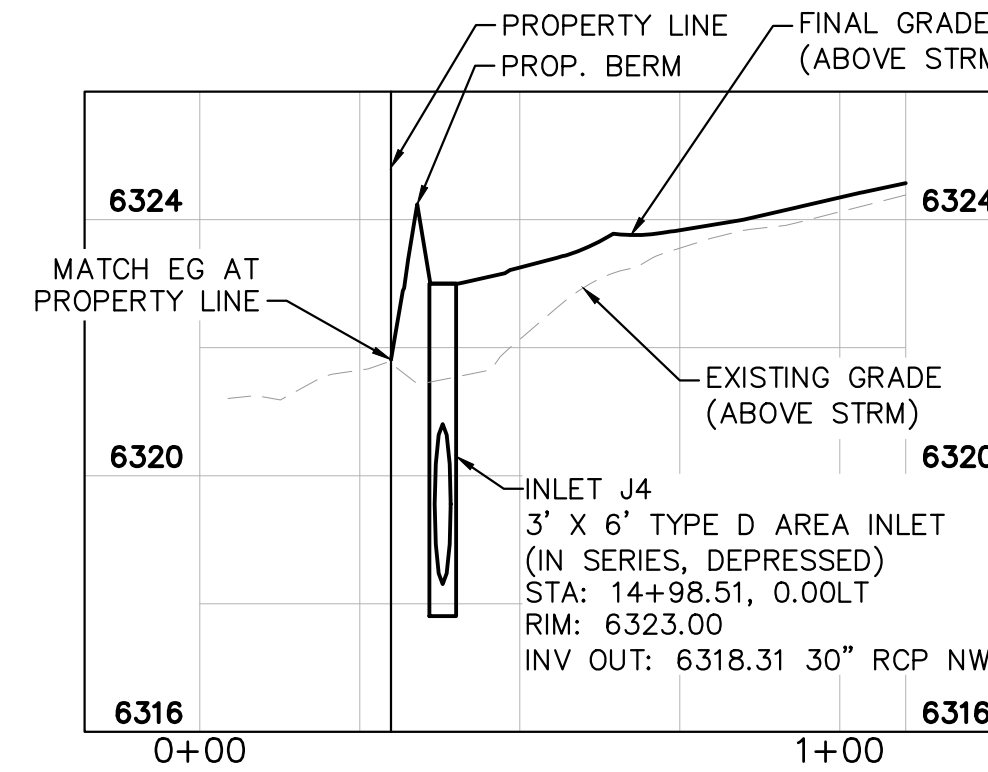
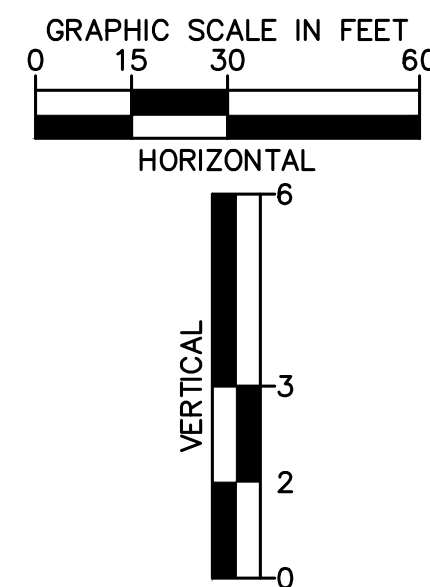
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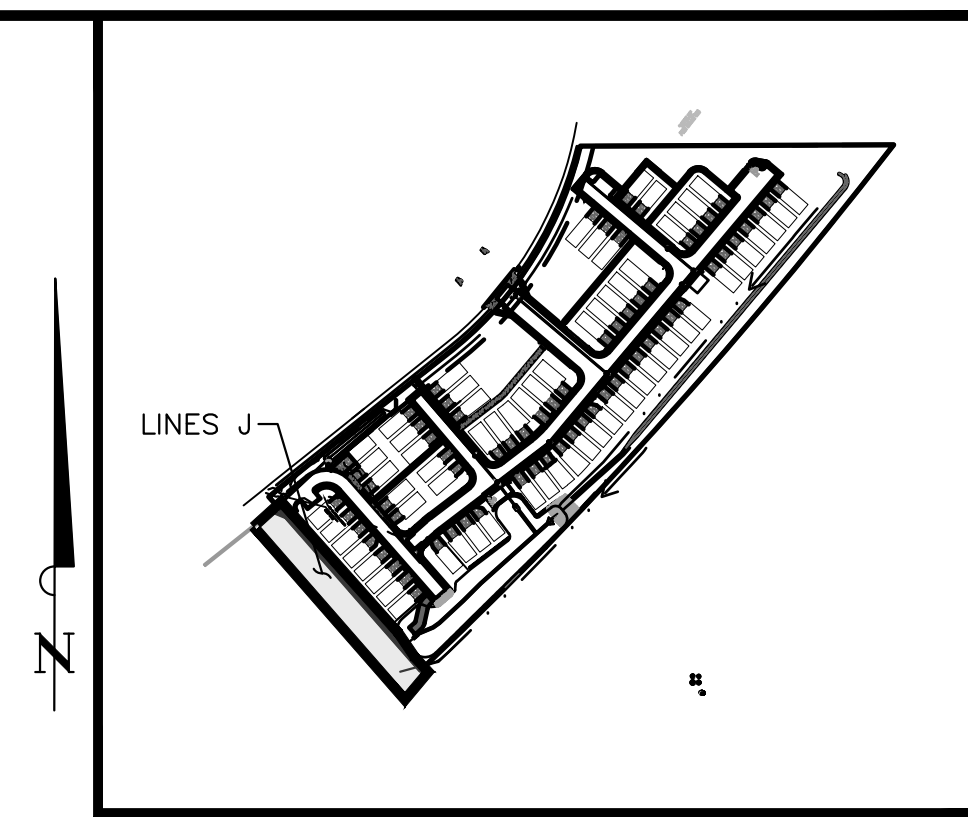
**STORM SEWER LINE J  
PLAN VIEW**



**STORM SEWER LINE J  
PROFILE VIEW**



**STORM SEWER INLET J4  
BERM CROSS-SECTION  
PROFILE VIEW**



**KEY MAP  
NOT TO SCALE**

**LEGEND:**

- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- ⊙ PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
- PROPOSED GRATE INLET
- PROPOSED LANDSCAPE DRAIN
- DAE DRAINAGE ACCESS EASEMENT
- TOC TOP OF CURB

**STORM SEWER NOTES:**

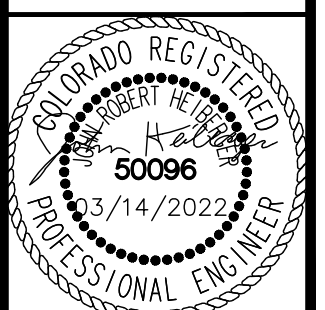
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9. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.

NO.	REVISION	BY	DATE	APPR
1	ISSUE FOR PERMITS	JRH	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/14/2022

**MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM SEWER PLAN & PROFILES-LINES J & DETAILS**

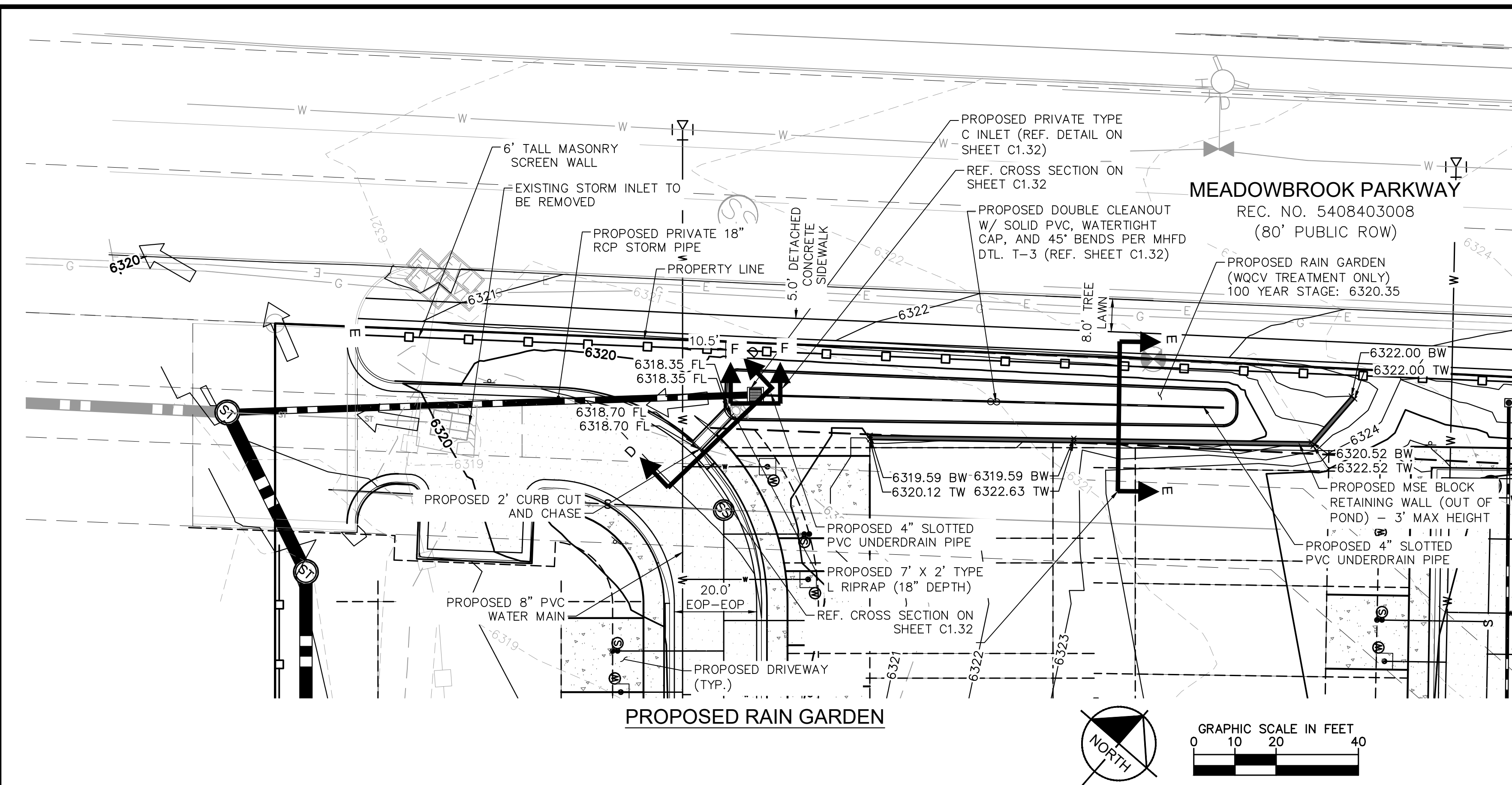


PROJECT NO.  
096956009

SHEET  
**C1.29**



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**WARNING**  
KEEP SCREEN AND GRATE CLEAN. UNAUTHORIZED MODIFICATION OF THIS OUTLET STRUCTURE IS A CODE OF VIOLATION.

**WARNING**  
STORMWATER DETENTION POND MAINTENANCE ROAD. UNAUTHORIZED ACCESS IS PROHIBITED.

**SIGN 1**      **SIGN 2**

**WARNING**  
THIS AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING.

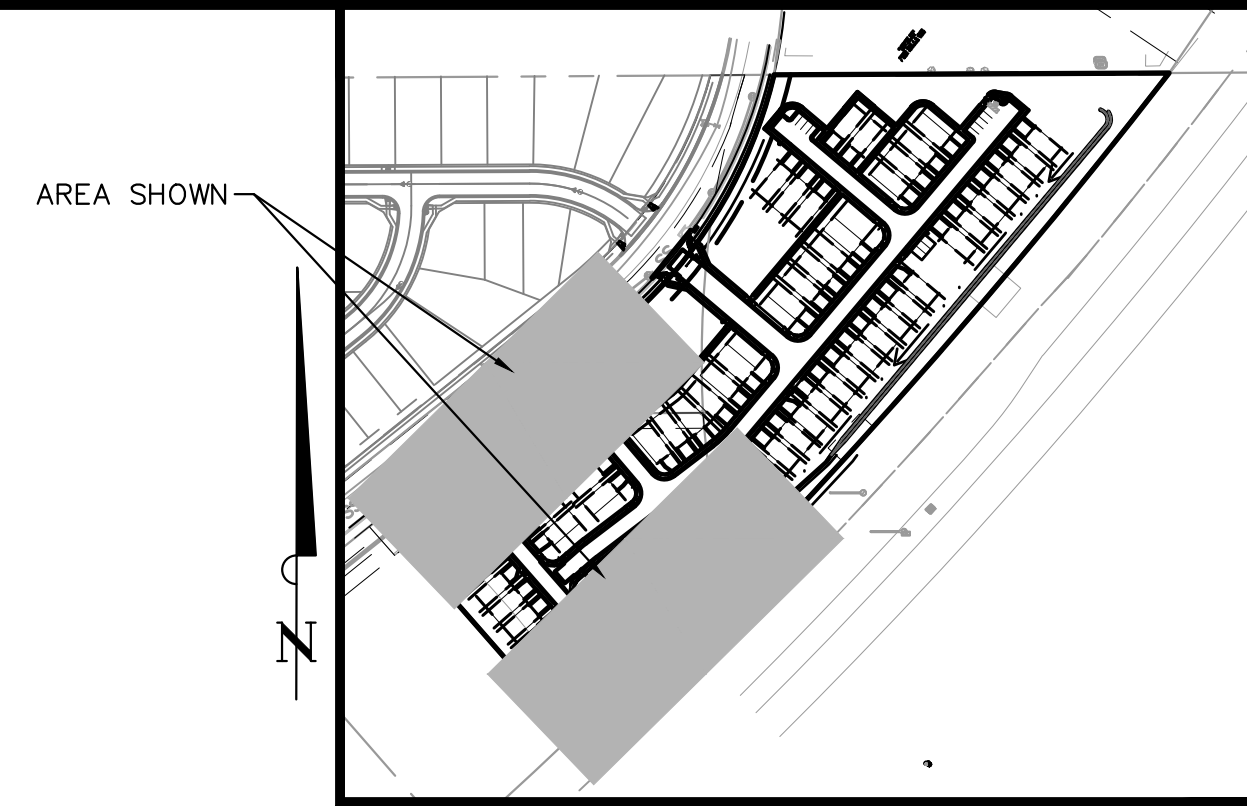
**SIGN 3**

**DETECTION POND SIGNAGE NOTES:**

SIGN 1. A SIGN WITH A MINIMUM AREA OF 1.0 SQUARE FOOT SHALL BE ATTACHED TO THE DETENTION POND OUTLET STRUCTURE OR POSTED ON THE RETAINING WALL ADJACENT TO THE OUTLET STRUCTURE (IF UNABLE TO BE POSTED TO THE OUTLET) WITH THE FOLLOWING MESSAGE: "WARNING KEEP SCREEN AND GRATE CLEAN. UNAUTHORIZED MODIFICATION OF THIS OUTLET STRUCTURE IS A CODE VIOLATION."

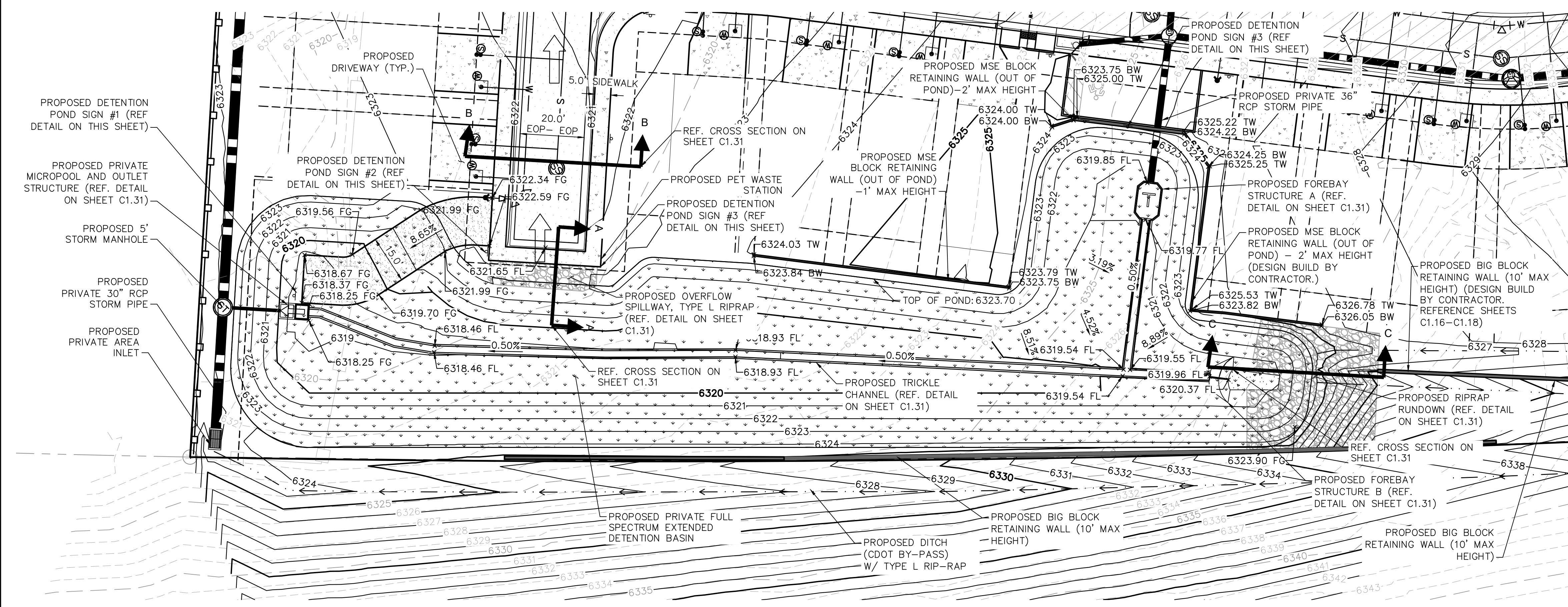
SIGN 2. A SIGN WITH A MINIMUM AREA OF 1.0 SQUARE FOOT SHALL BE PLACED ADJACENT TO THE DETENTION POND ACCESS ROAD WITH THE FOLLOWING MESSAGE: "STORMWATER DETENTION POND MAINTENANCE ROAD. UNAUTHORIZED ACCESS IS PROHIBITED."

SIGN 3. TWO SIGNS, EACH WITH A MINIMUM AREA OF 3.0 SQUARE FEET, SHALL BE POSTED IN THE LOCATIONS SHOWN ON EACH CORRESPONDING SHEET. THE SIGNS SHALL BE FABRICATED OF DURABLE MATERIALS, SUCH AS METAL OR PLASTIC, USING RED LETTERING ON A WHITE BACKGROUND WITH THE FOLLOWING MESSAGE: "WARNING THIS AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING."



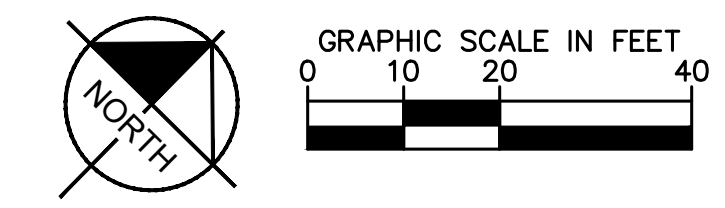
**LEGEND**

---	PROPERTY LINE
- - - -	EASEMENT
---	PROPOSED STORM SEWER
---	PROPOSED FLOW DIRECTION
6000	PROPOSED MAJOR CONTOUR
6001	PROPOSED MINOR CONTOUR
6000	EXISTING MAJOR CONTOUR
6001	EXISTING MINOR CONTOUR
---	PROPOSED CONCRETE
---	PROPOSED LANDSCAPE AREA/ NATIVE SEEDING
---	PROPOSED MAINTENANCE ACCESS ROAD
---	PROPOSED RIPRAP
---	OVERFLOW ROUTING
FG	FINISHED GRADE SPOT ELEVATION
FL	FLOW LINE SPOT ELEVATION
TW	TOP OF WALL SPOT ELEVATION
BW	BOTTOM OF WALL SPOT ELEVATION



NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING ENGINEERED WALL PLANS FOR ALL SITE RETAINING WALLS SHOWN HEREON FOR REFERENCE. CONTRACTOR SHALL SUBMIT ENGINEERED WALL PLANS TO ENGINEER OF RECORD AND EL PASO COUNTY FOR REVIEW AND ISSUANCE OF WALL BUILDING PERMITS PRIOR TO CONSTRUCTION.

**PROPOSED FULL SPECTRUM DETENTION BASIN**



NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

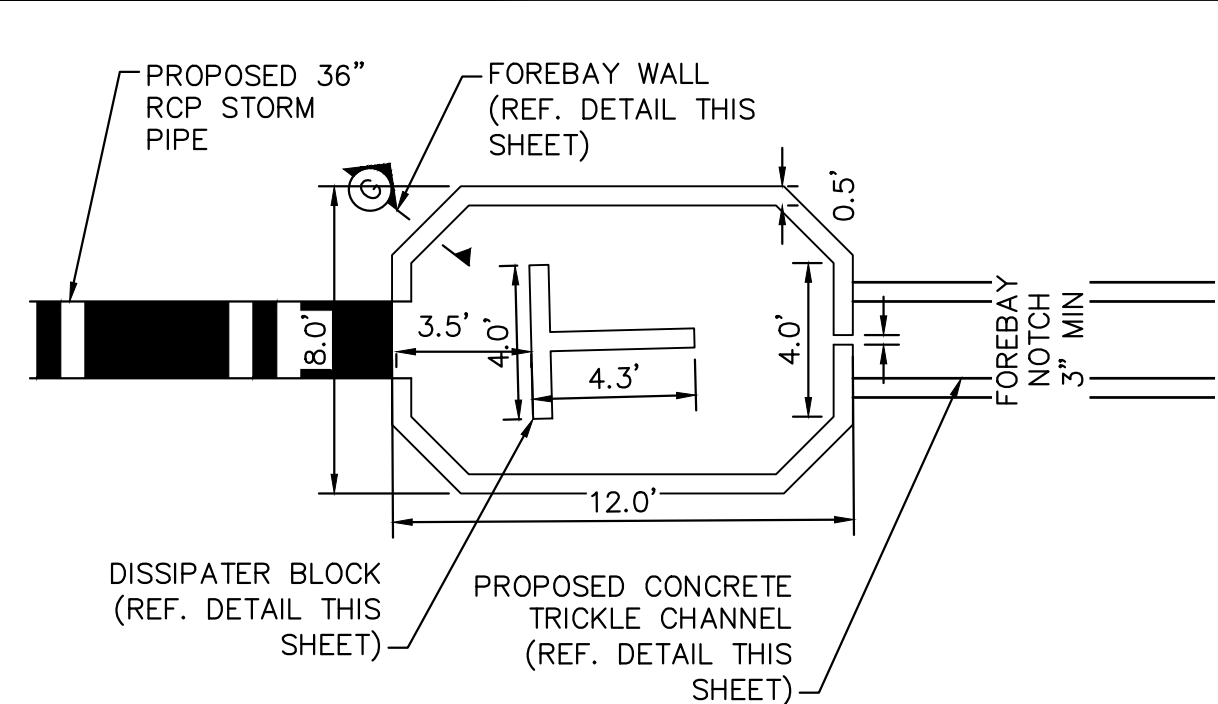
DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/21/2022

**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
**DETECTION POND PLAN**



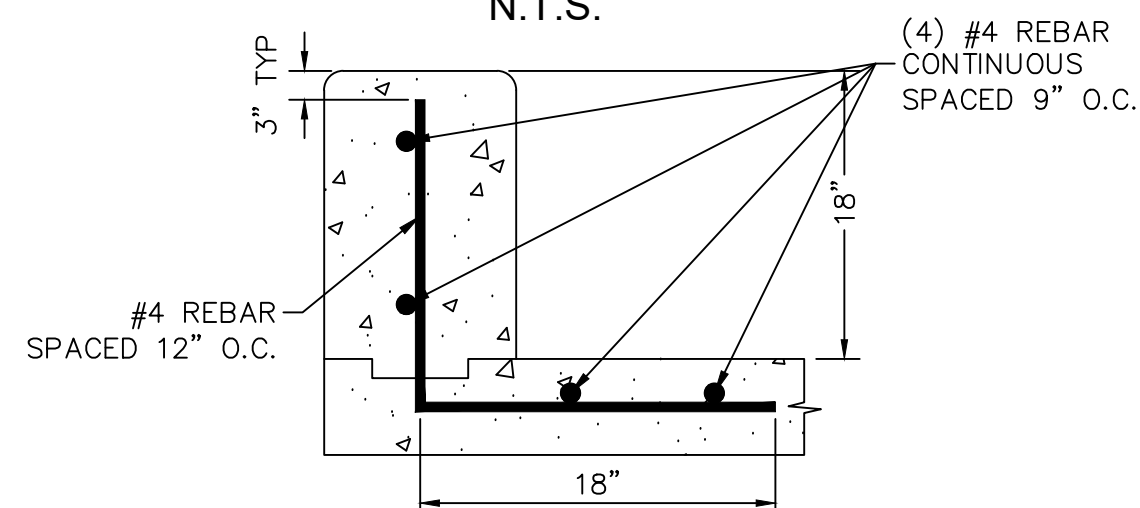
PROJECT NO.  
096956009  
SHEET  
**C1.30**





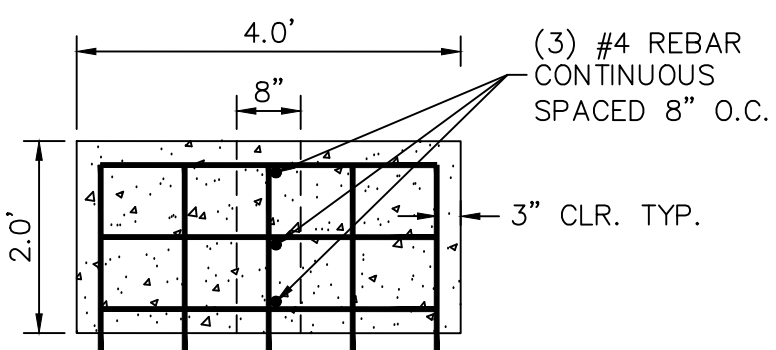
**FOREBAY A PLAN VIEW DETAIL**

N.T.S.



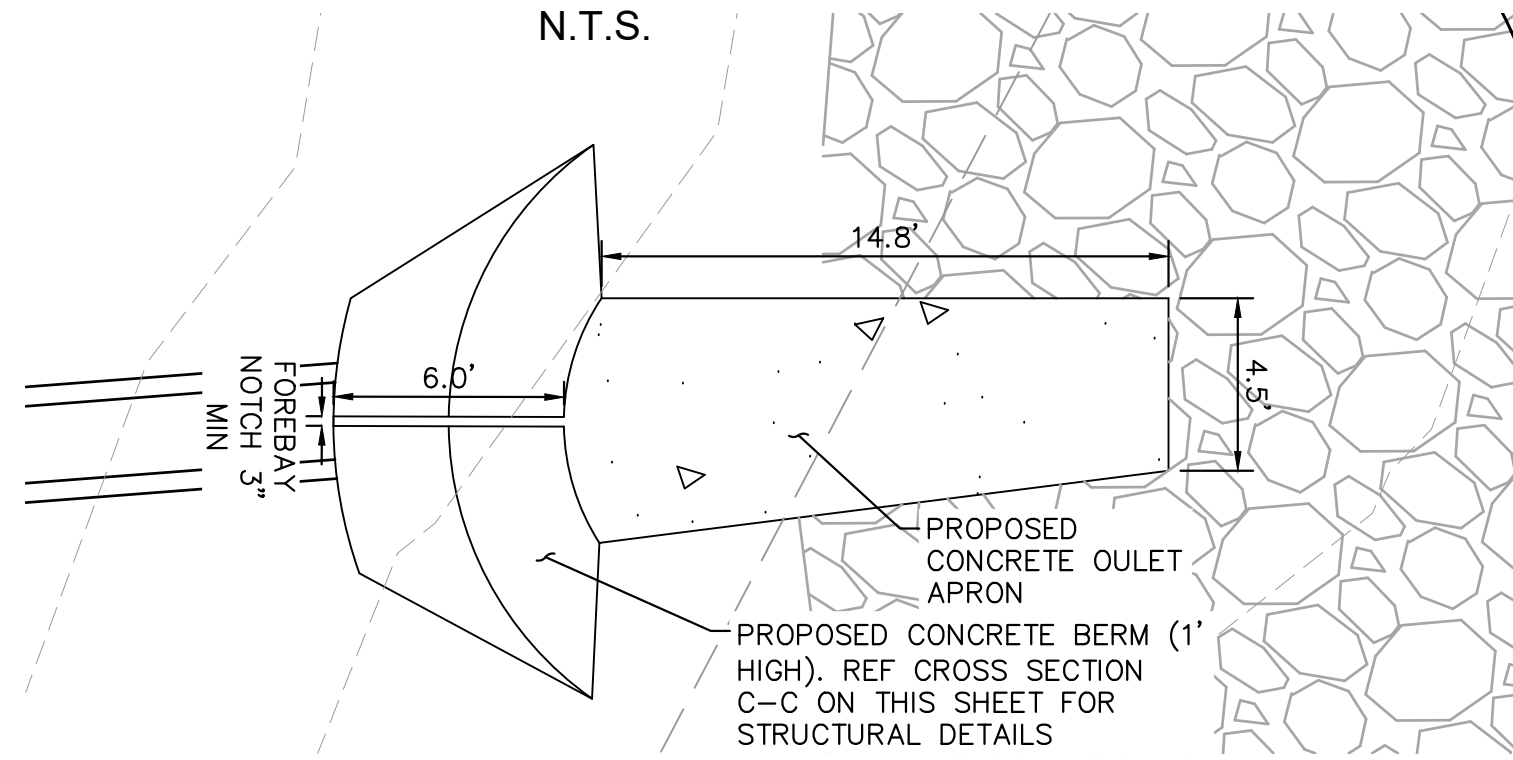
**FOREBAY A WALL SECTION G**

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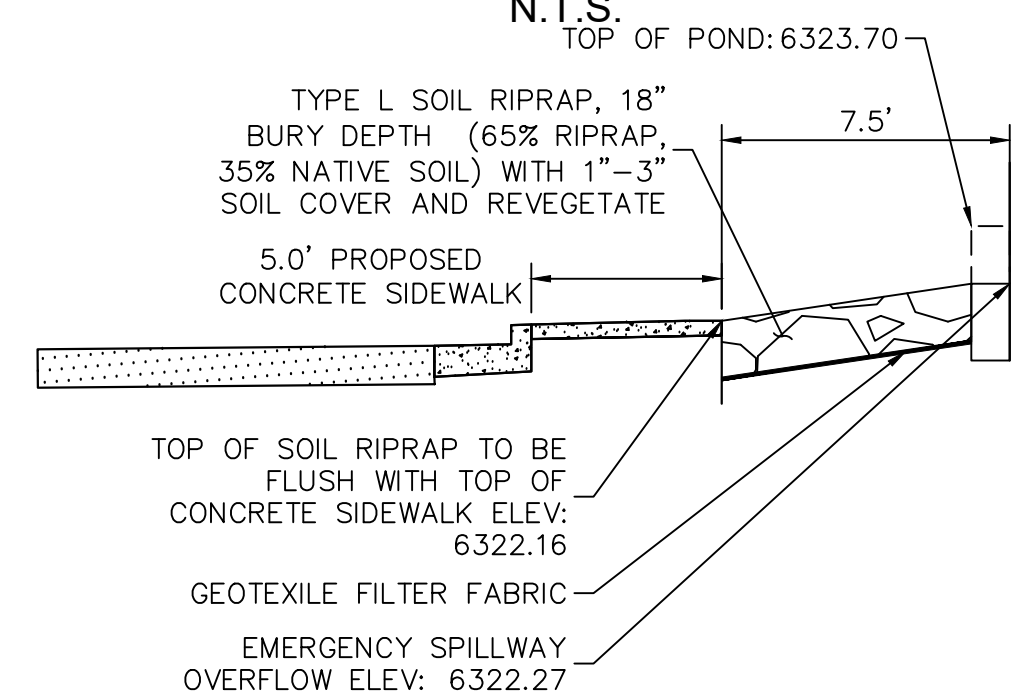
**FOREBAY A DISSIPATER DETAIL**

N.T.S.



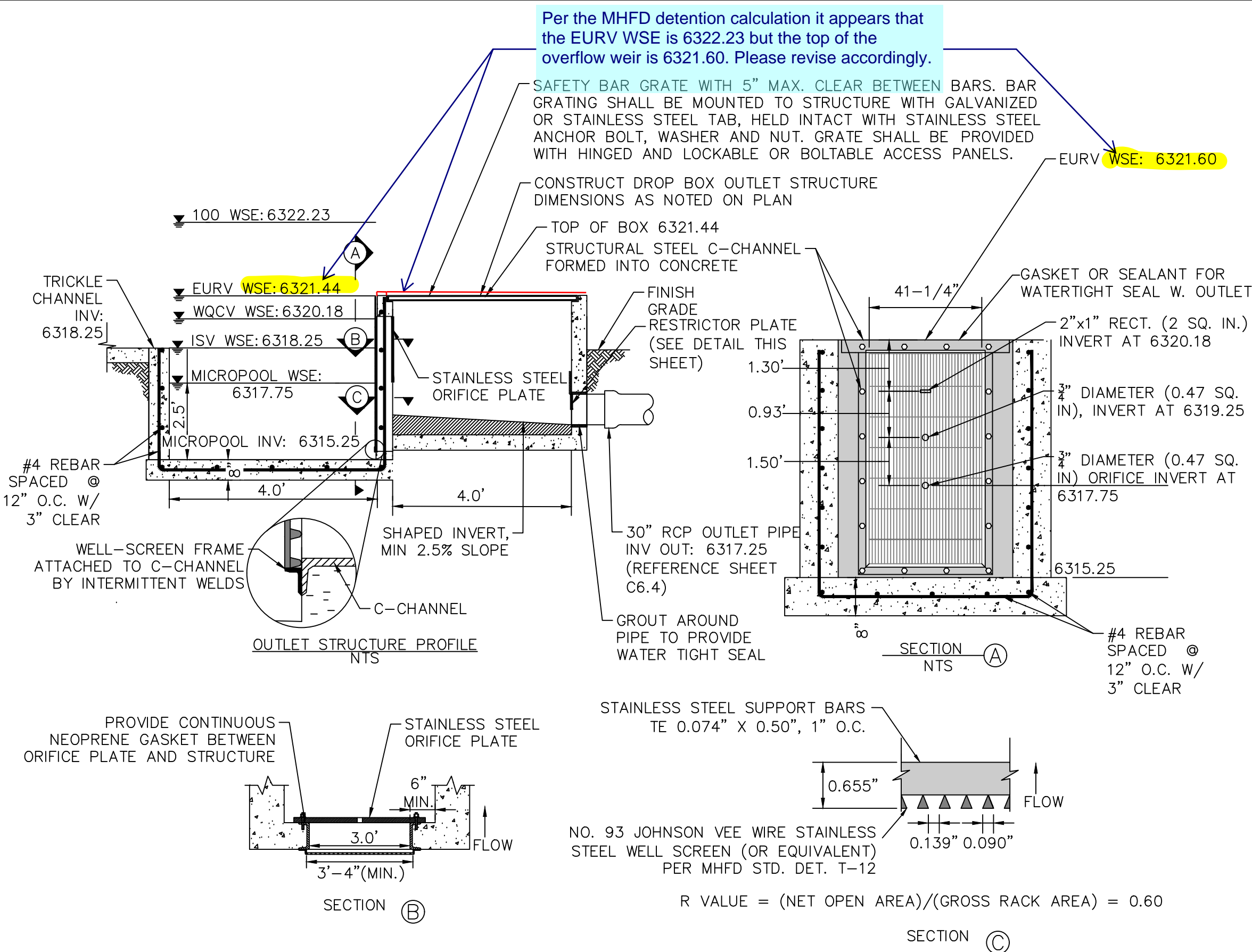
**FOREBAY B WALL PLAN VIEW**

N.T.S.



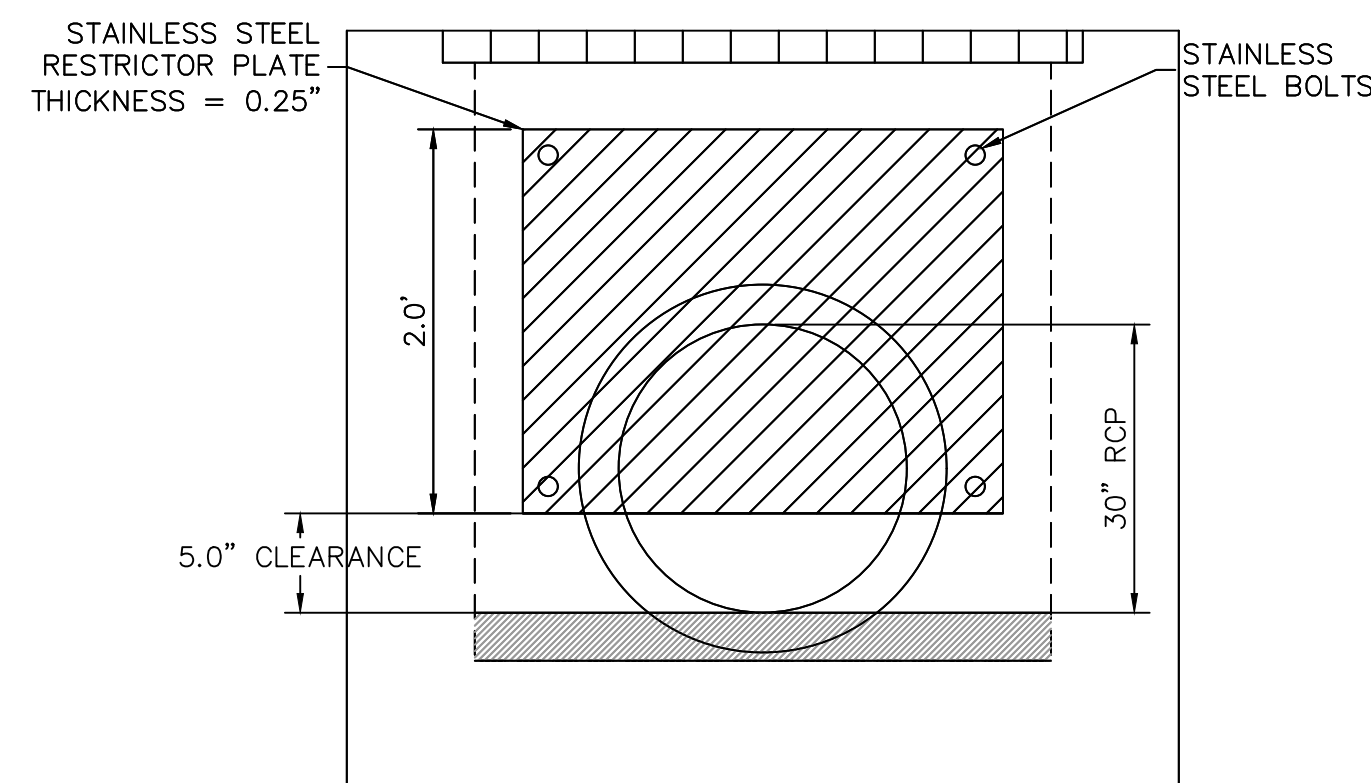
**SECTION A-A: EMERGENCY OVERFLOW**

SCALE: 1" = 2'



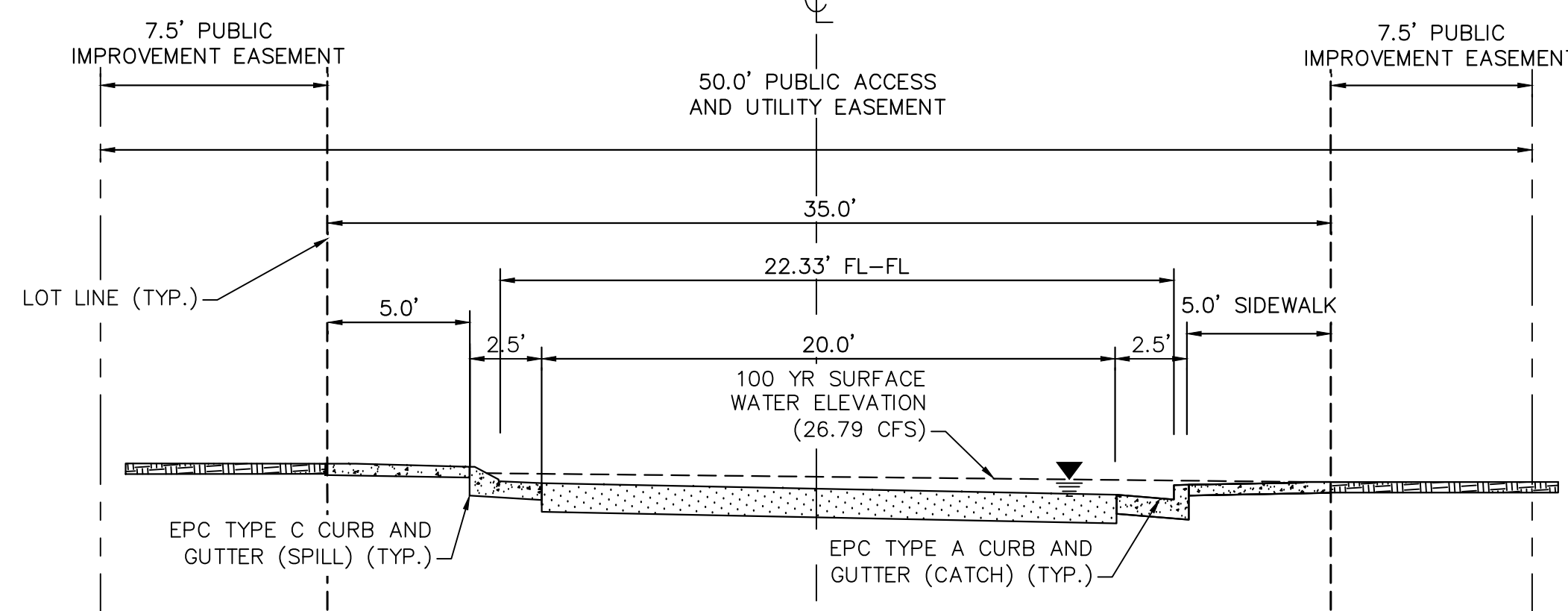
**OUTLET STRUCTURE PROFILE DETAIL**

N.T.S.



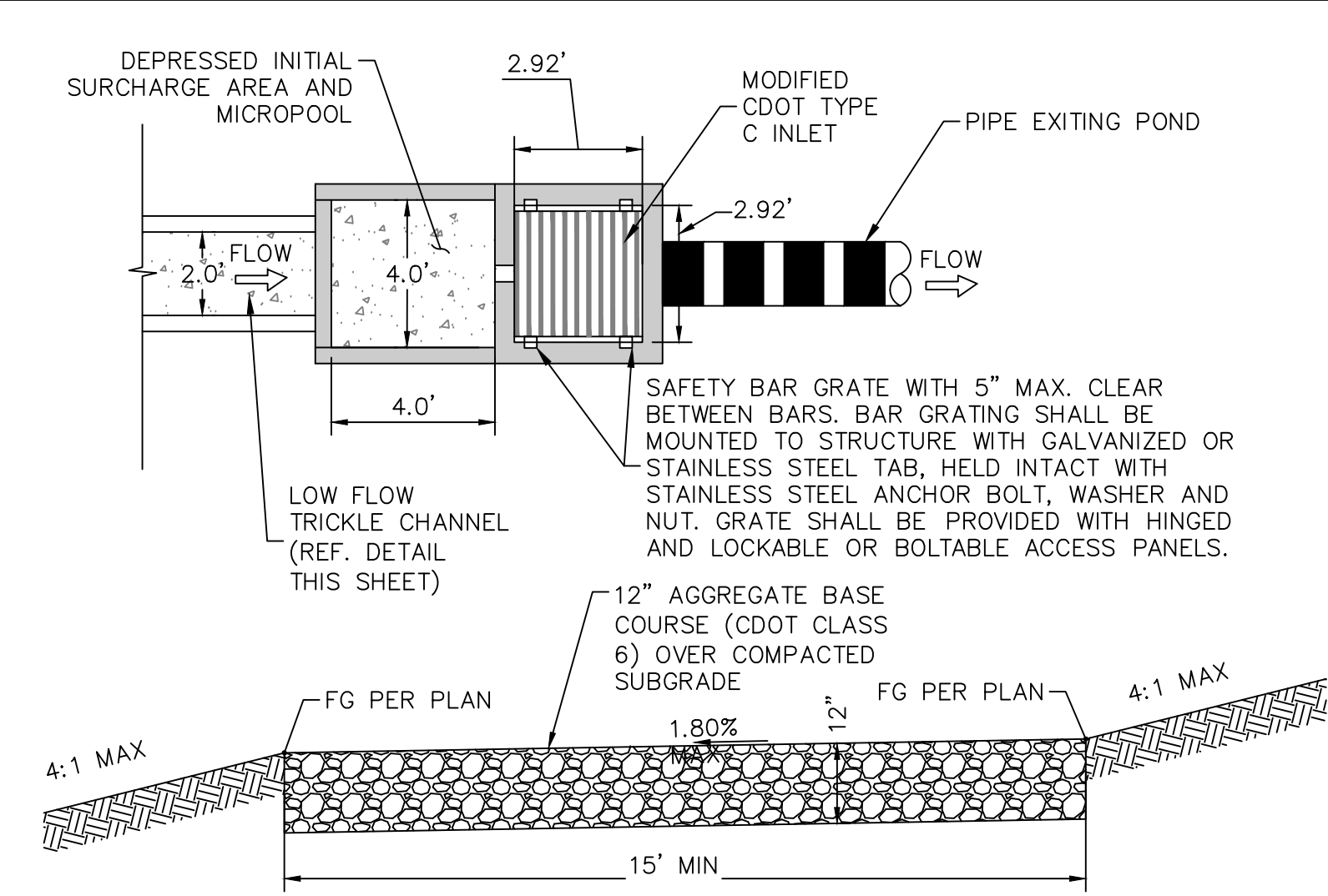
**100-YEAR FLOW RESTRICTOR DETAIL**

N.T.S.



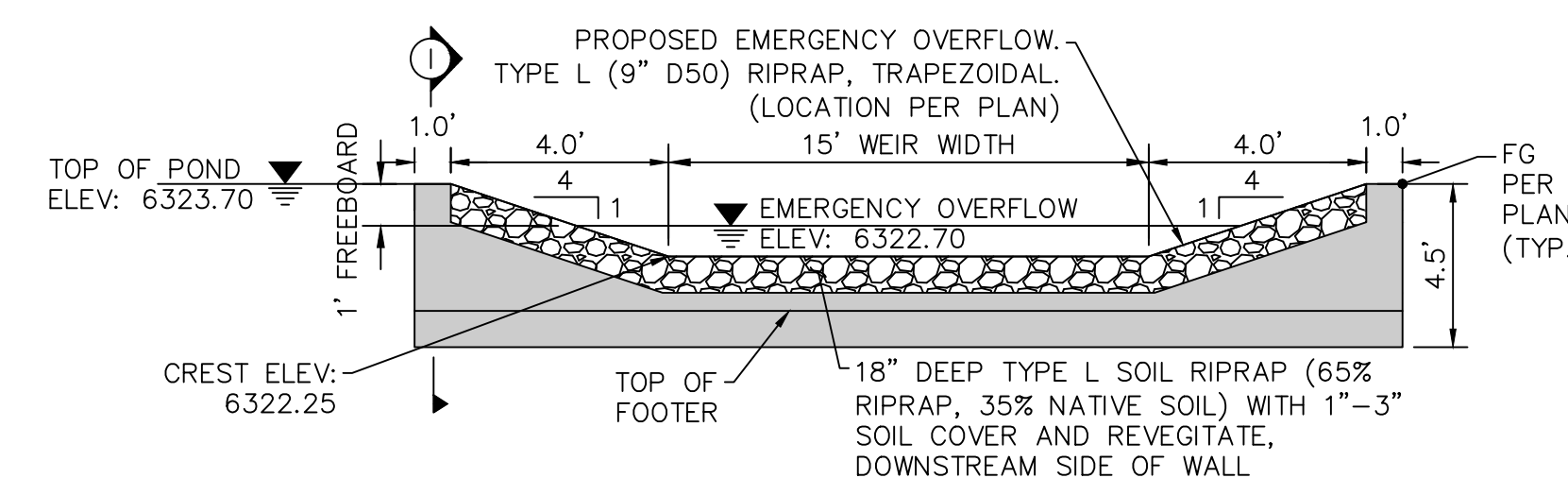
**SECTION B-B: SOLUM GROVE CROSS SECTION- EMERGENCY OVERFLOW PATH**

SCALE: 1" = 5'



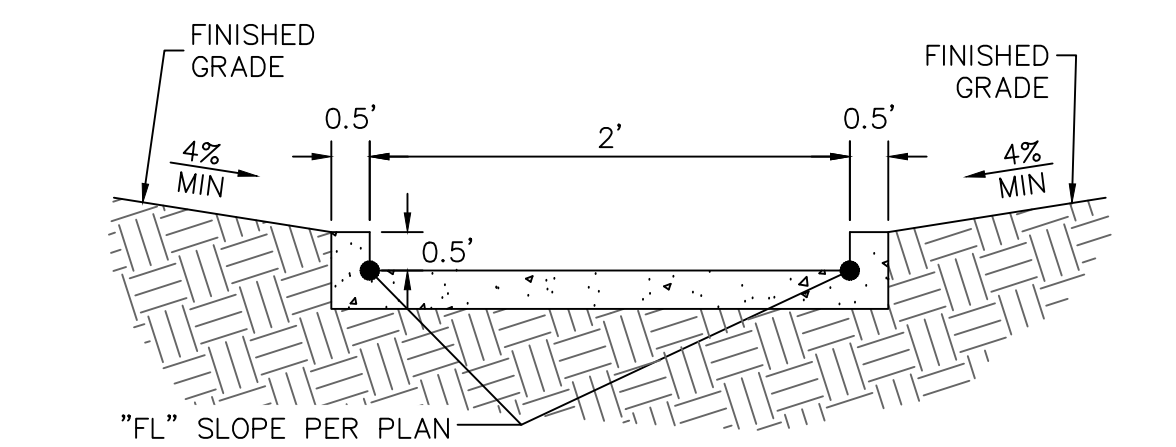
**MAINTENANCE ROAD CROSS SECTION**

N.T.S.



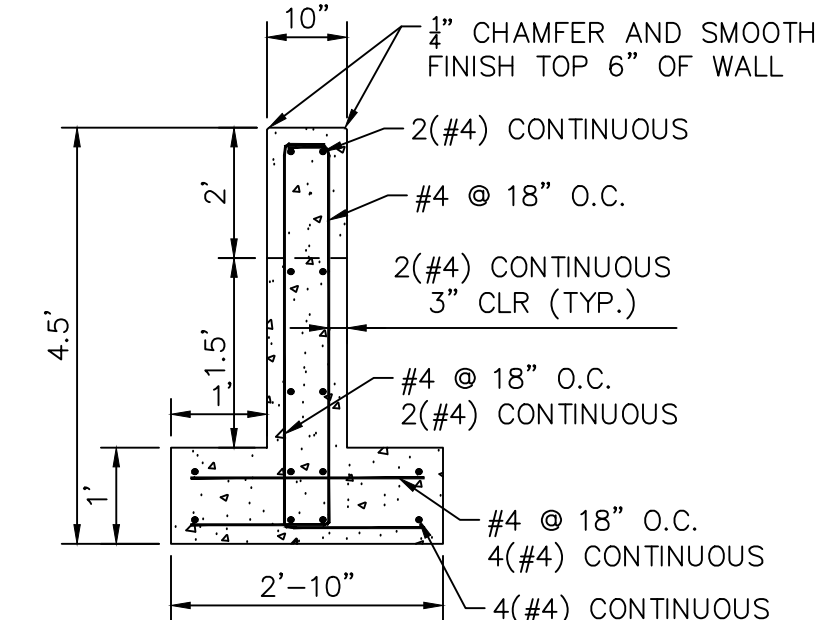
**EMERGENCY OVERFLOW CUT-OFF WALL PROFILE**

N.T.S.



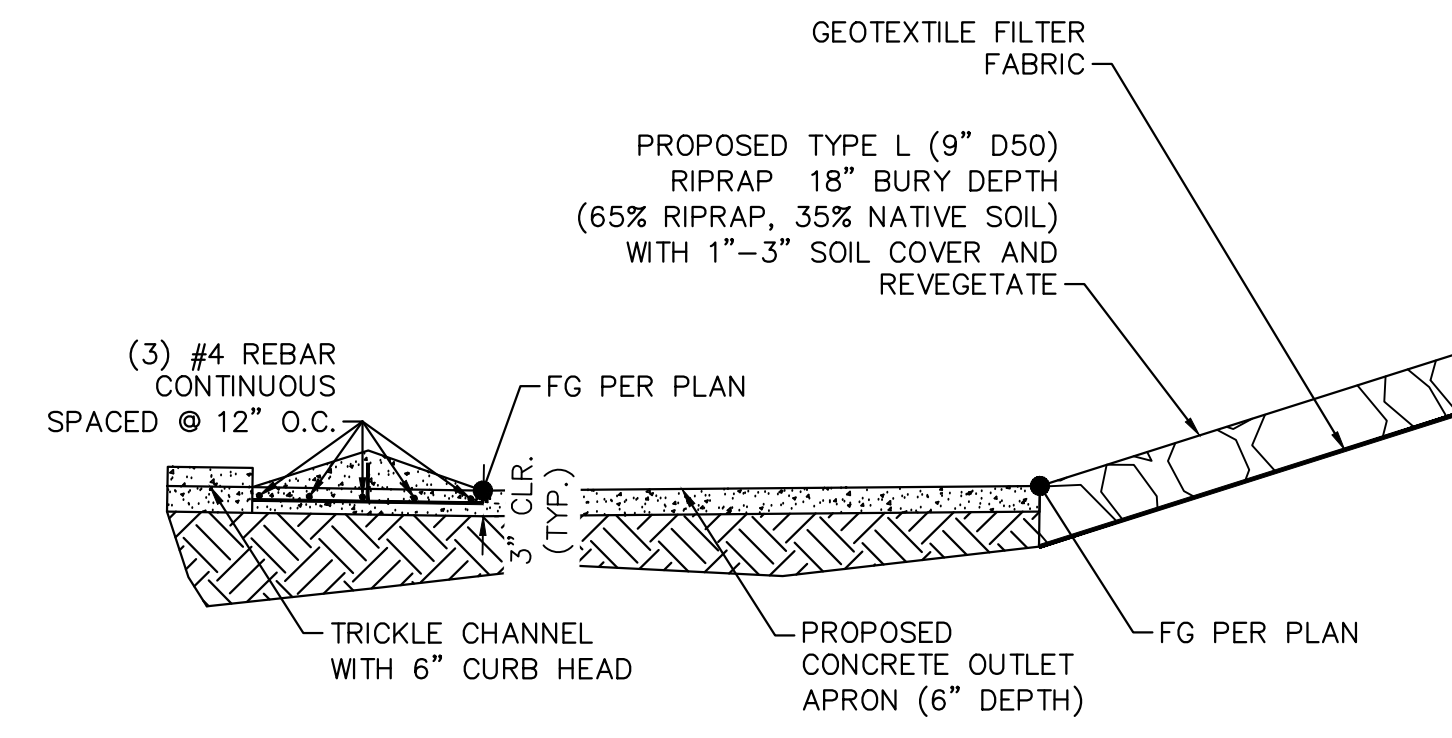
**TRICKLE CHANNEL CROSS-SECTION DETAIL**

N.T.S.



**EMERGENCY OVERFLOW CUT-OFF WALL SECTION I**

N.T.S.



**SECTION C-C: CONCRETE BERM, APRON AND RUNDOWN DETAIL**

SCALE: 1" = 5'

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NO.	REVISION	BY	DATE	APPR.

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 03/21/2022

**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 CONSTRUCTION DOCUMENTS  
**POND DETAILS**



PROJECT NO.  
096956009

SHEET  
**C1.31**



**Table GS-2. Gradation Specifications for Class C Filter Material**  
(Source: CDOT Table 703-7)

Sieve Size	Mass Percent Passing Square Mesh Sieves
19.0 mm (3/4")	100
4.75 mm (No. 4)	60 - 100
300 µm (No. 50)	10 - 30
150 µm (No. 100)	0 - 10
75 µm (No. 200)	0 - 3

**NOTES**

- WHERE POSSIBLE, IRRIGATION SYSTEMS SHALL BE INSTALLED IN CONJUNCTION WITH FINISH GRADING. IF IRRIGATION INSTALLATION WILL LAG, BUFFER AND SWALE SHALL BE RESTORED TO ORIGINAL CONDITION FOLLOWING INSTALLATION. DISTURBED MEDIA LAYERS SHALL BE RESTORED, GEOTEXTILES AND EROSION CONTROL BLANKETS SHALL BE REPLACED OR PATCHED, AND FINISH GRADES SHALL BE RESTORED TO THE DESIGNED SLOPES.
- FERTILIZERS SHALL NOT BE APPLIED WHEN HEAVY PRECIPITATION IS ANTICIPATED. APPLICATION SHALL BE IN ACCORDANCE WITH THE SITE'S STANDARD OPERATION PROCEDURES AND THE MANUFACTURER'S RECOMMENDATIONS.
- SEE BMP MATERIAL SPECIFICATIONS, THIS SHEET, FOR ADDITIONAL DETAILS.

**BMP MATERIAL SPECIFICATIONS:**

**SANDY LOAM (GROWING MEDIA)**

SANDY LOAM SHALL CONSIST OF NATIVE TOPSOIL (SURFACE 0 - AND A-HORIZONS HAVING MAXIMUM ROOT MASS, ORGANIC MATTER, AND BIOLOGICAL ACTIVITY) STRIPPED FROM GRASSY AREAS OF THE SITE OR A NEARBY SITE AND SHALL MEET THE FOLLOWING PROPERTIES:

**ORGANIC MATTER:** 2.0% OR GREATER

**SOIL TEXTURE:** SANDY LOAM OR SANDY CLAY LOAM MEETING THE FOLLOWING COMPONENT RANGES:

SAND OR COARSER 50 - 80 %  
SILT 5 - 40 %  
CLAY 5 - 25 %  
COARSE PARTICLES > 2MM 0 - 20 %

**SALTS, SALINITY (ELECTRICAL CONDUCTIVITY, EC):** 0 TO 2 MILL-MHOS PER CENTIMETER (MMHOS/CM) OR DECI-SIEMENS PER METER (DS/M) (MMHOS/CM ARE EQUIVALENT TO DS/M)

**SODIUM (SODIUM ADSORPTION RATIO, SAR):** 0 TO 4

**ACIDITY, ALKALINITY (PH):** 6.5 TO 7.5

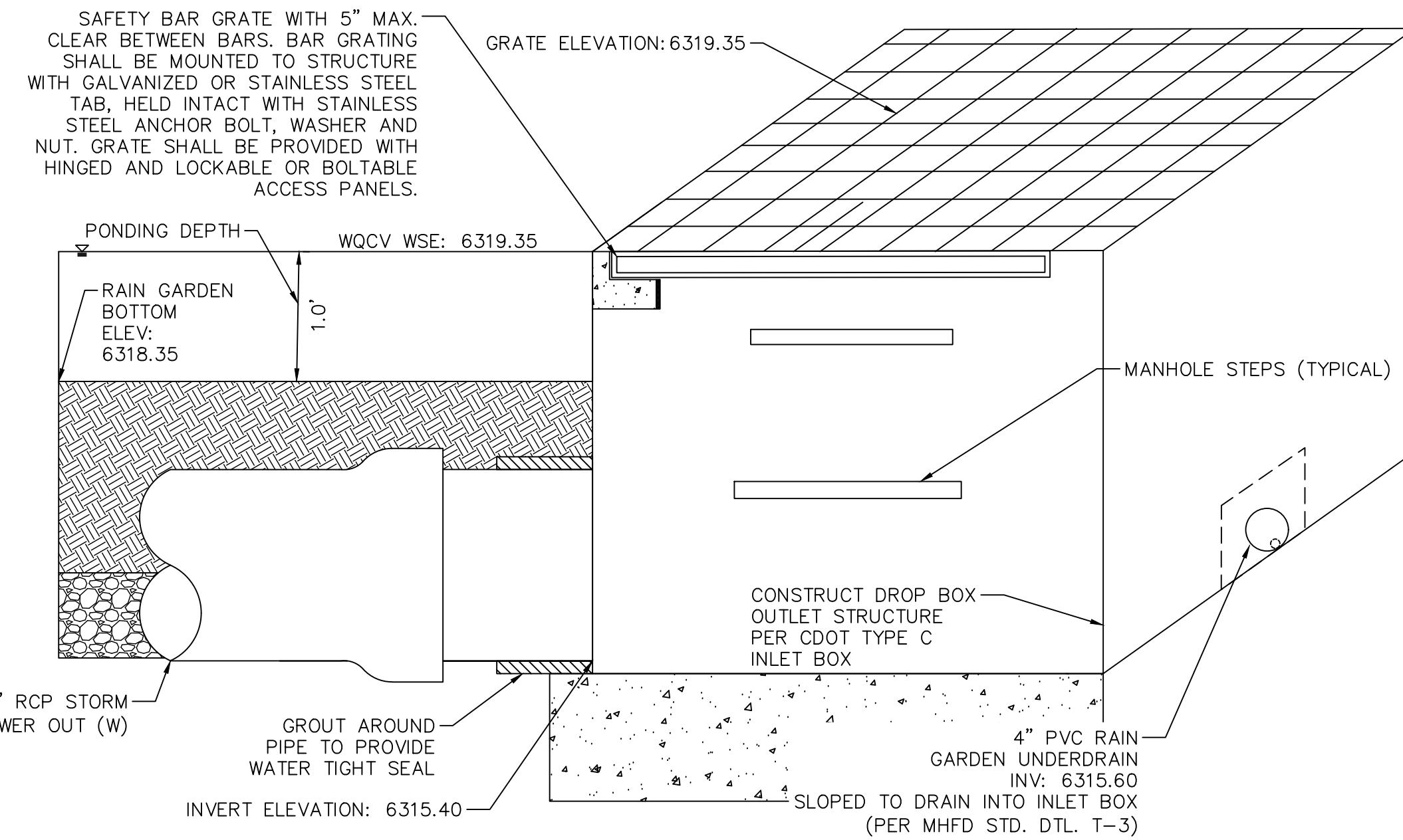
TO DETERMINE ADEQUACY OF SANDY LOAM, AT LEAST THREE REPRESENTATIVE SAMPLES OF THE NATIVE TOPSOIL SHALL RECEIVE A TEXTURAL ANALYSIS AND STANDARD AGRONOMIC TEST BY A QUALIFIED SOIL LAB. IF ORGANIC MATTER OR PH IS OUTSIDE OF THE SPECIFIED RANGE, AMENDMENTS MAY BE RECOMMENDED FOR REVIEW AND APPROVAL OF SEMSWA. ANY RECOMMENDATION FOR AMENDMENTS SHALL INCLUDE DOCUMENTATION OF AMENDMENT PROPERTIES, RATER OF APPLICATION, AND METHOD OF INCORPORATION. THE USE OF CHEMICAL FERTILIZERS OTHER THAN AN ORGANIC SLOW-RELEASE TYPE SUCH AS BIOSOL BY ROCKY MOUNTAIN BIO PRODUCTS IS NOT PERMITTED. THE USE OF ORGANIC MATTER THAT WOULD SIGNIFICANTLY INCREASE SOIL SALINITY IS NOT PERMITTED.

**FILTER MATERIAL**

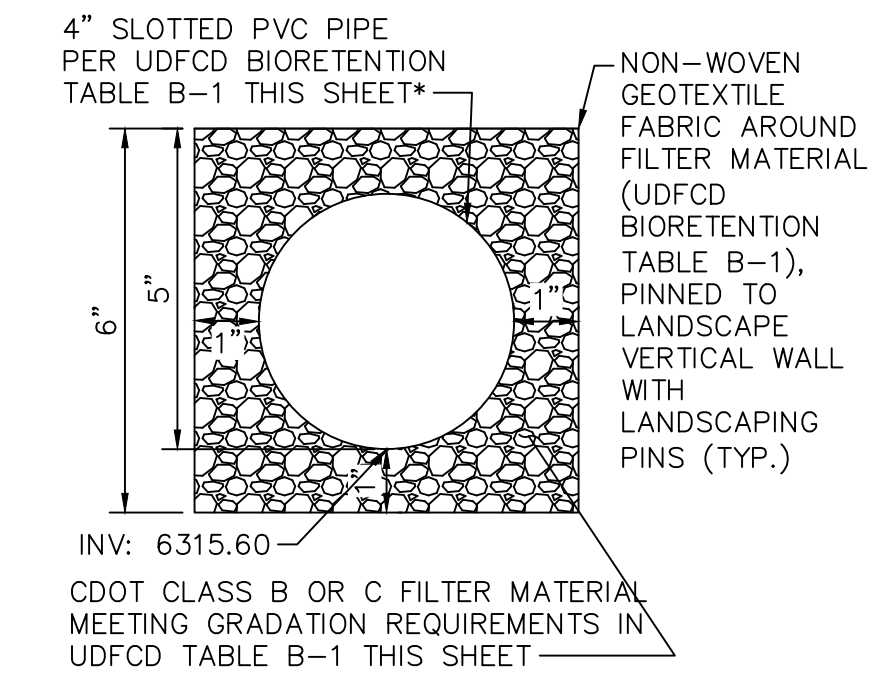
FILTER MATERIAL SHALL BE CDOT CLASS C OR APPROVED EQUAL.

**NONWOVEN GEOTEXTILE**

PROPERTY	CRITERION		TEST METHOD
	ELONGATION<50%	ELONGATION>50%	
GRAB STRENGTH	800N (180 LBS)	510N (115 LBS)	ASTM D4632
PUNCTURE RESISTANCE	310N (70 LBS)	180N (40 LBS)	ASTM D6241
TRAPEZOIDAL TEAR STRENGTH	310N (70 LBS)	180N (40 LBS)	ASTM D6241
APPARENT OPENING SIZE	0.3MM(NO. 50)		ASTM D4751
PERMITTIVITY	0.02 SEC-1 DEFAULT VALUE		ASTM D4491
PERMEABILITY	K FABRIC > K SOIL CM/SEC		ASTM D4491
UV DEGRADATION AT 500 HOURS	50% STRENGTH		ASTM D4355

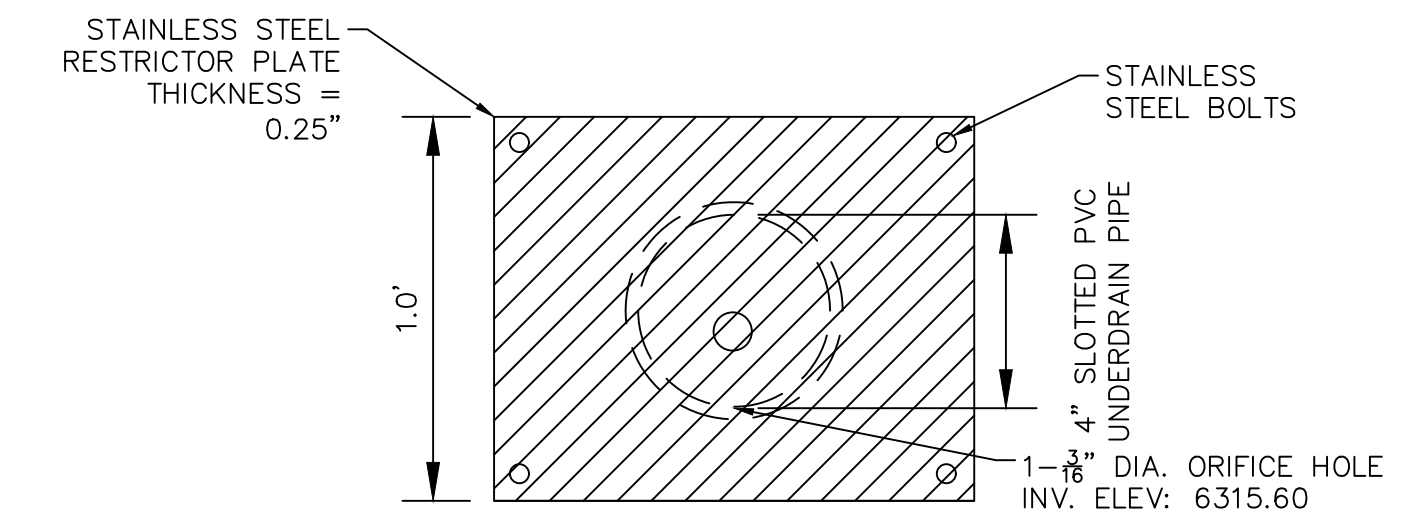


**RAIN GARDEN INLET STRUCTURE SECTION F-F DETAIL**  
N.T.S.

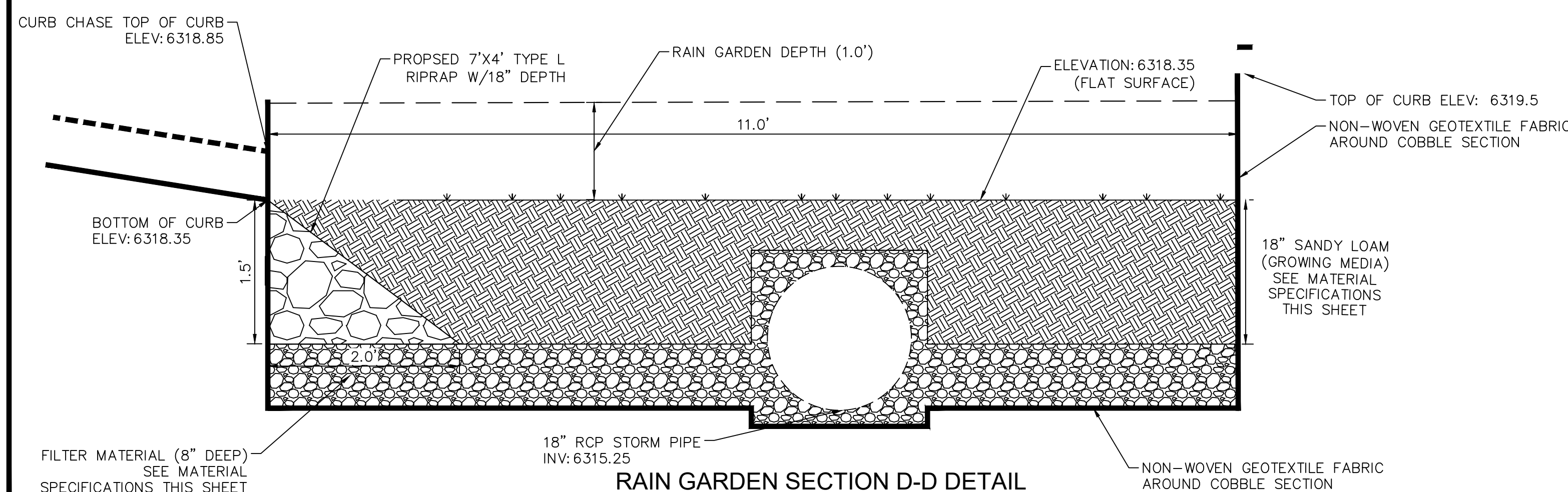


**RAIN GARDEN UNDERDRAIN**  
N.T.S.

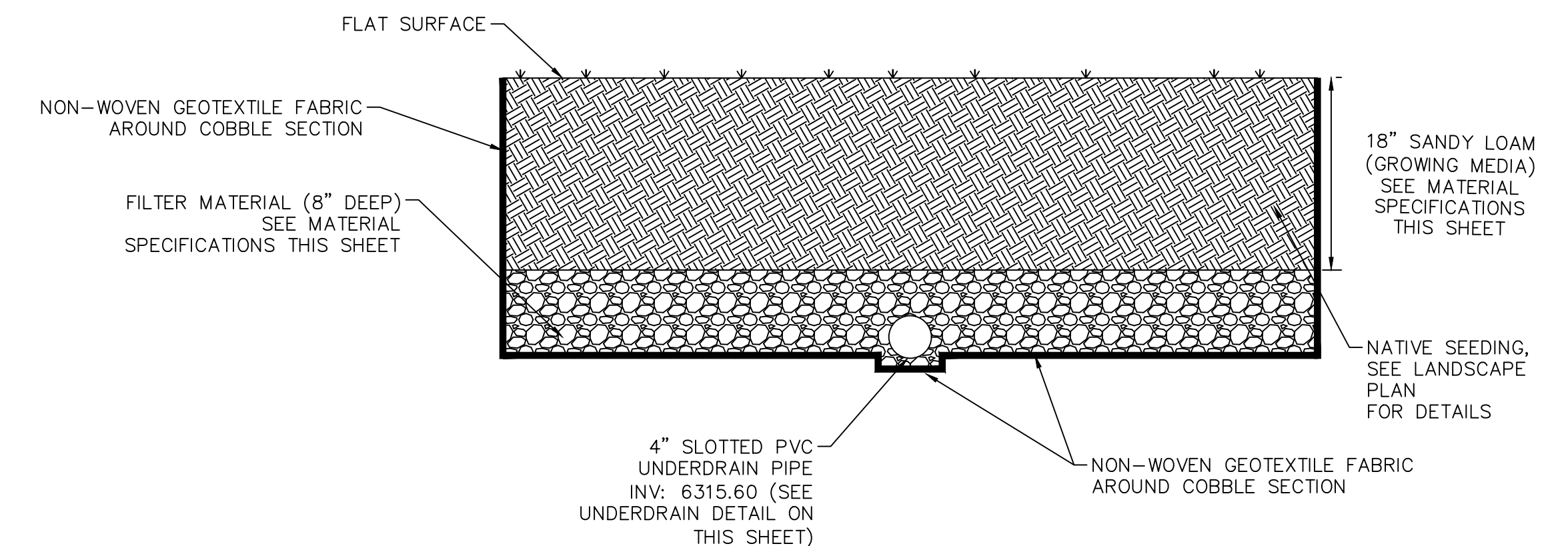
\*SUBGRADE TO SLOPE TOWARD UNDERDRAIN PER MHFD DETAIL T-3.



**FLOW RESTRICTOR DETAIL**  
N.T.S.



**RAIN GARDEN SECTION D-D DETAIL**  
N.T.S.



**RAIN GARDEN SECTION E-E DETAIL**  
N.T.S.

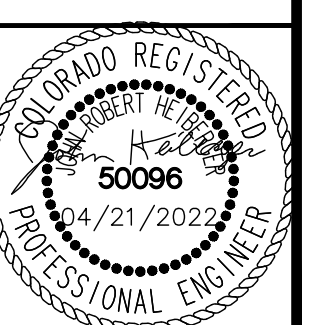
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NO.	REVISION	BY	DATE	APPR.

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2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 03/21/2022

**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
CONSTRUCTION DOCUMENTS  
**RAIN GARDEN DETAILS**



PROJECT NO.  
096956009

SHEET  
**C1.32**

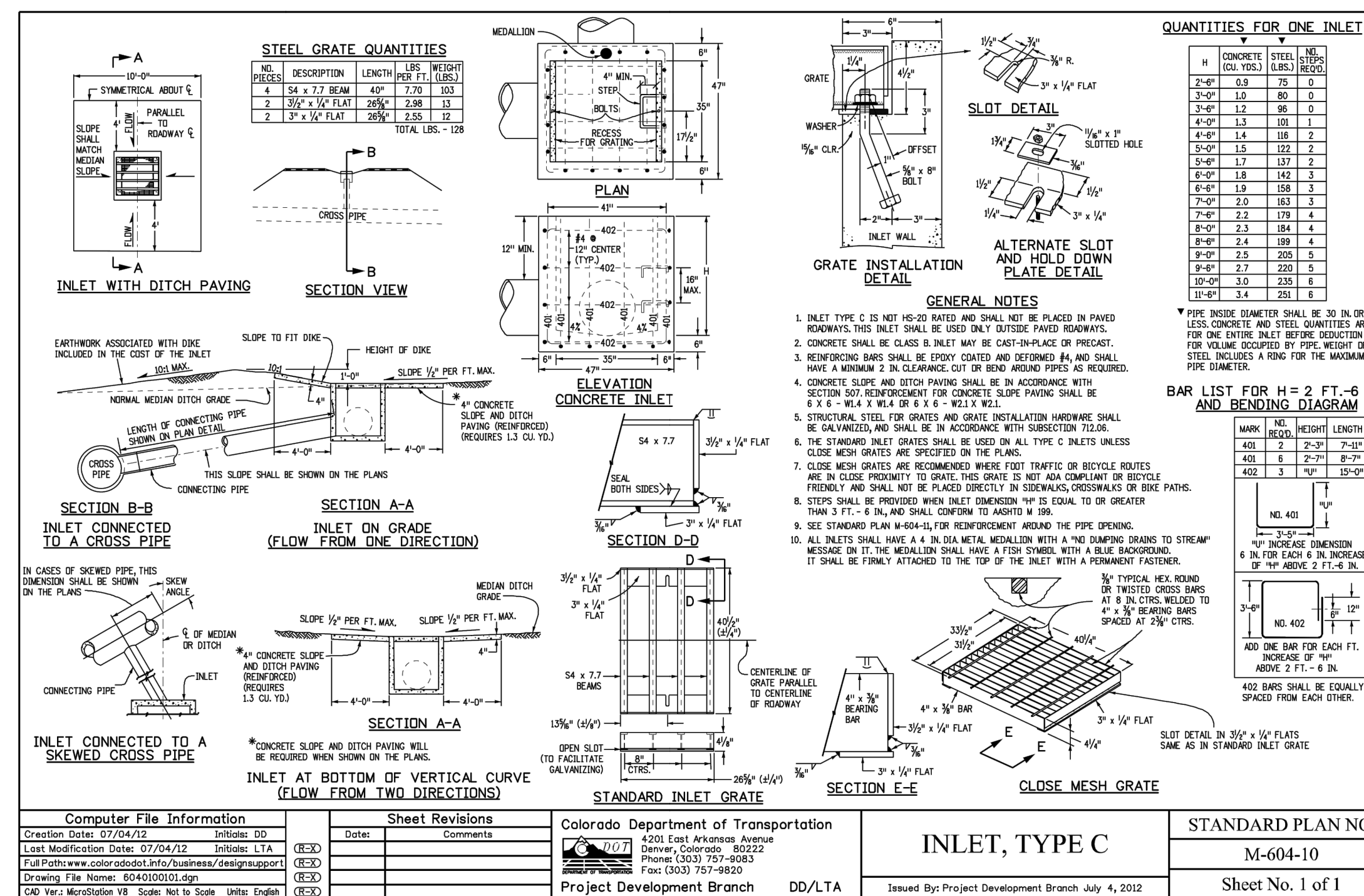


Material	Specification	Submittals	Testing	Notes	
Bioretention Growing Media (soil + organics)	Particle size distribution: 80-90% sand (0.075 - 2.0 mm diameter) 3-17% silt (0.002-0.5 mm diameter) 3-17% clay (<0.002 diameter) Chemical attribute and nutrient analysis: pH 6.8 - 7.5 organic matter < 15% nitrogen < 15 ppm phosphorus < 15 ppm salinity < 5 mmhos/cm	Particle size distribution and nutrient analysis required		Percentages are in weight.	
	Bioretention organics				3 to 5% shredded mulch (by weight of growing media)
Landscape mulch	Shredded hardwood				
Underdrain aggregate	CDOT filter material (Class B or C as specified)	Mass Percent Passing Square Mesh Sieve	Particle size distribution required		
					Sieve Size
Underdrain Pipe	Pipe diameter and type	Maximum slot width (inches)	Minimum open area (per foot)	Required	Pipe must conform to requirements of ASTM designation F794. There shall be no evidence of spalling, cracking, or breaking when the pipe is tested per ASTM test method D2412 in accordance with F843 section 7.5 and ASTM F794 section 8.5.
Impermeable liner	Thickness, % tolerance	Test method	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					6-inch slotted PVC
Impermeable liner	Thickness, % tolerance	Test method	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Tensile strength, kN/m (lbf/in)	ASTM D 639	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Modulus at 100% elongation, kN/m	ASTM D 882, method B	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Ultimate elongation, %	ASTM D 882, method A	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Tear resistance, N/5cm	ASTM D 1004	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Low temperature impact, °C (°F)	ASTM D 1790	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Volatiles loss, % maximum	ASTM D 882, method A	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Pinholes, no. per 8 m <sup>2</sup> (no. per 10 yd <sup>2</sup> )	NA	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC
Impermeable liner	Bonded seam strength, % of tensile	NA	Required	Thermal welding required for fully lined facilities (not a cutout). Leak testing in the field required.	
					4-inch slotted PVC

Table B-1. Material specification for bioretention/rain garden facilities

Bioretention

T-3



Bioretention

T-3

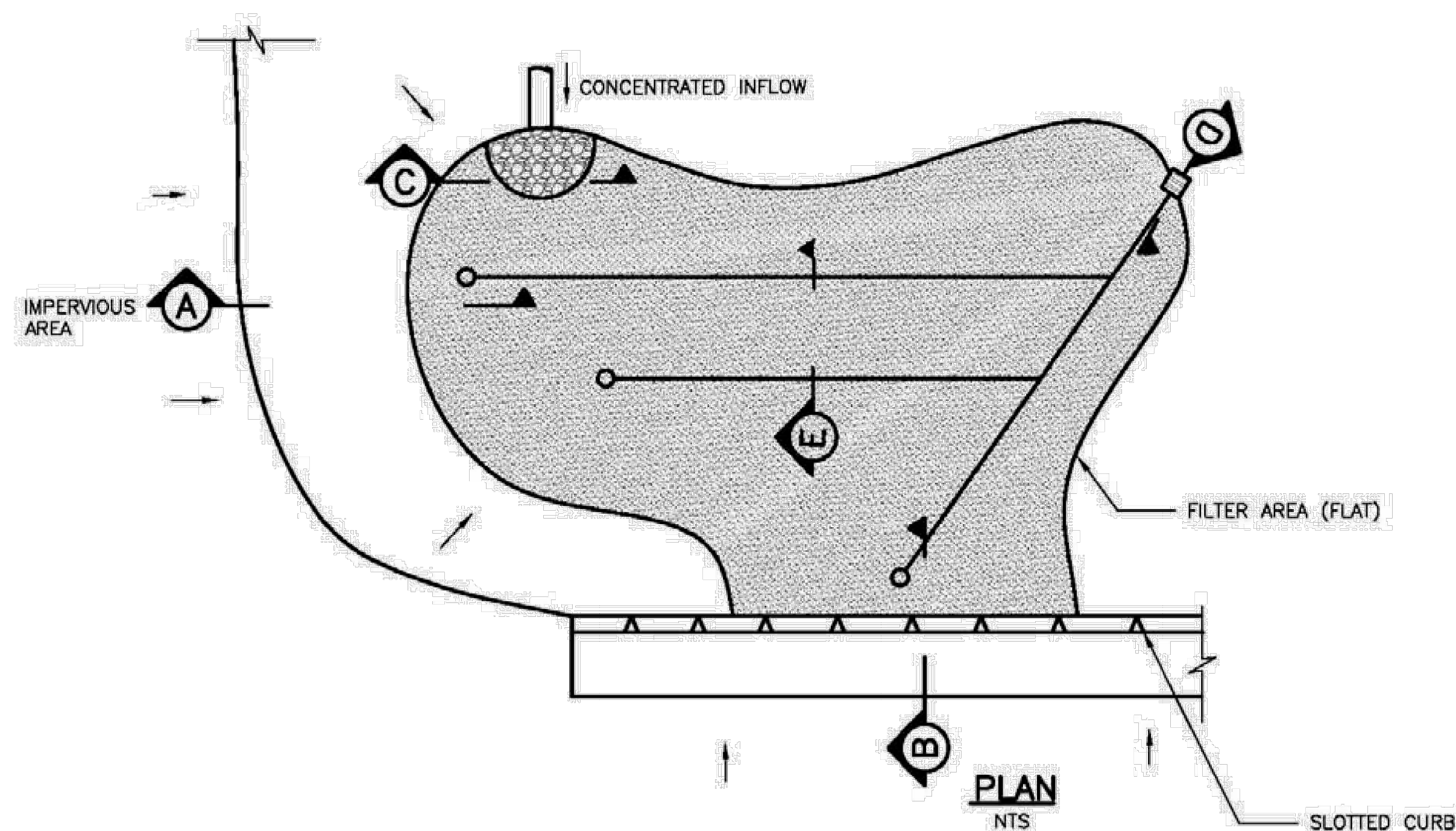
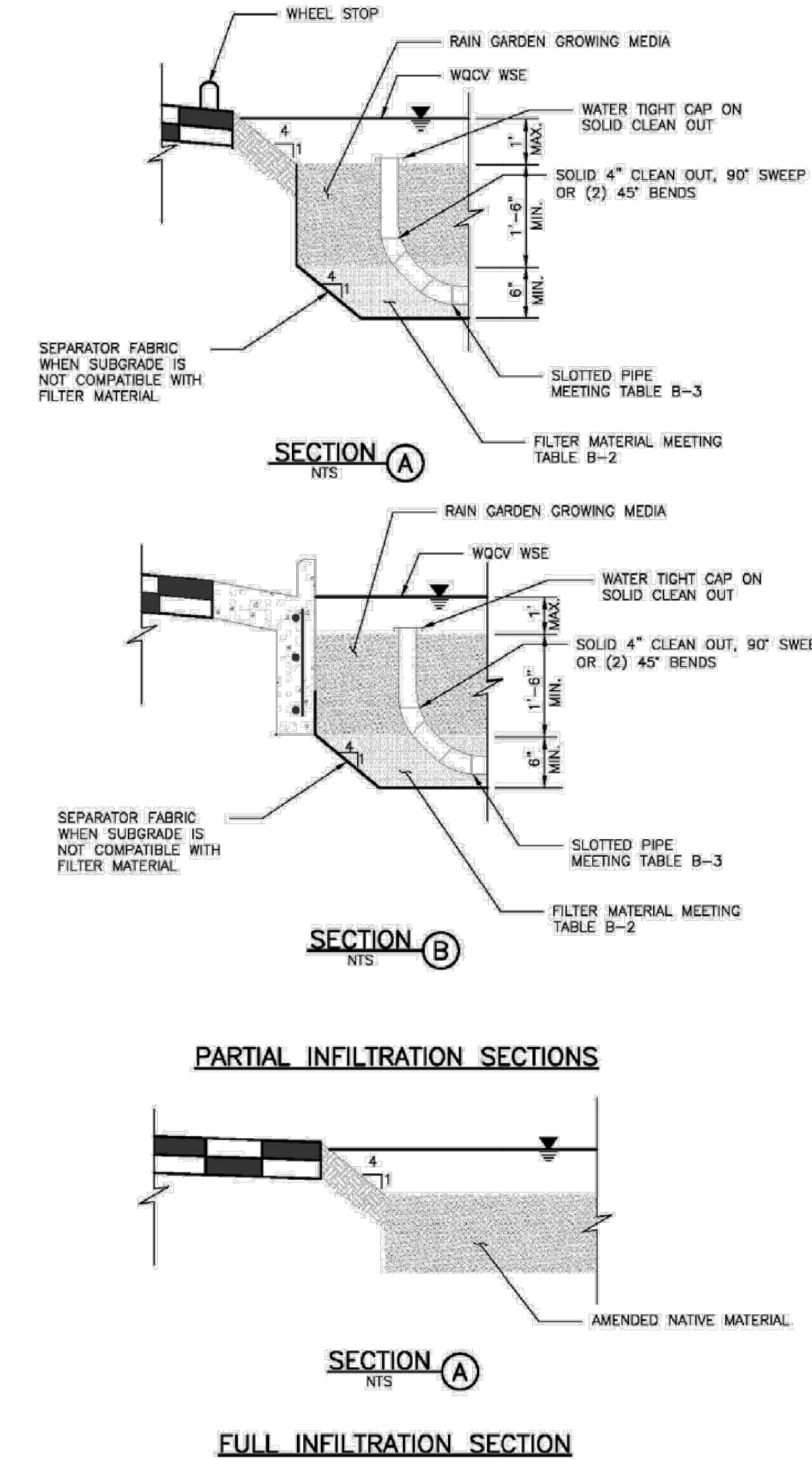


Figure B-1 - Typical Rain Garden Plan and Sections



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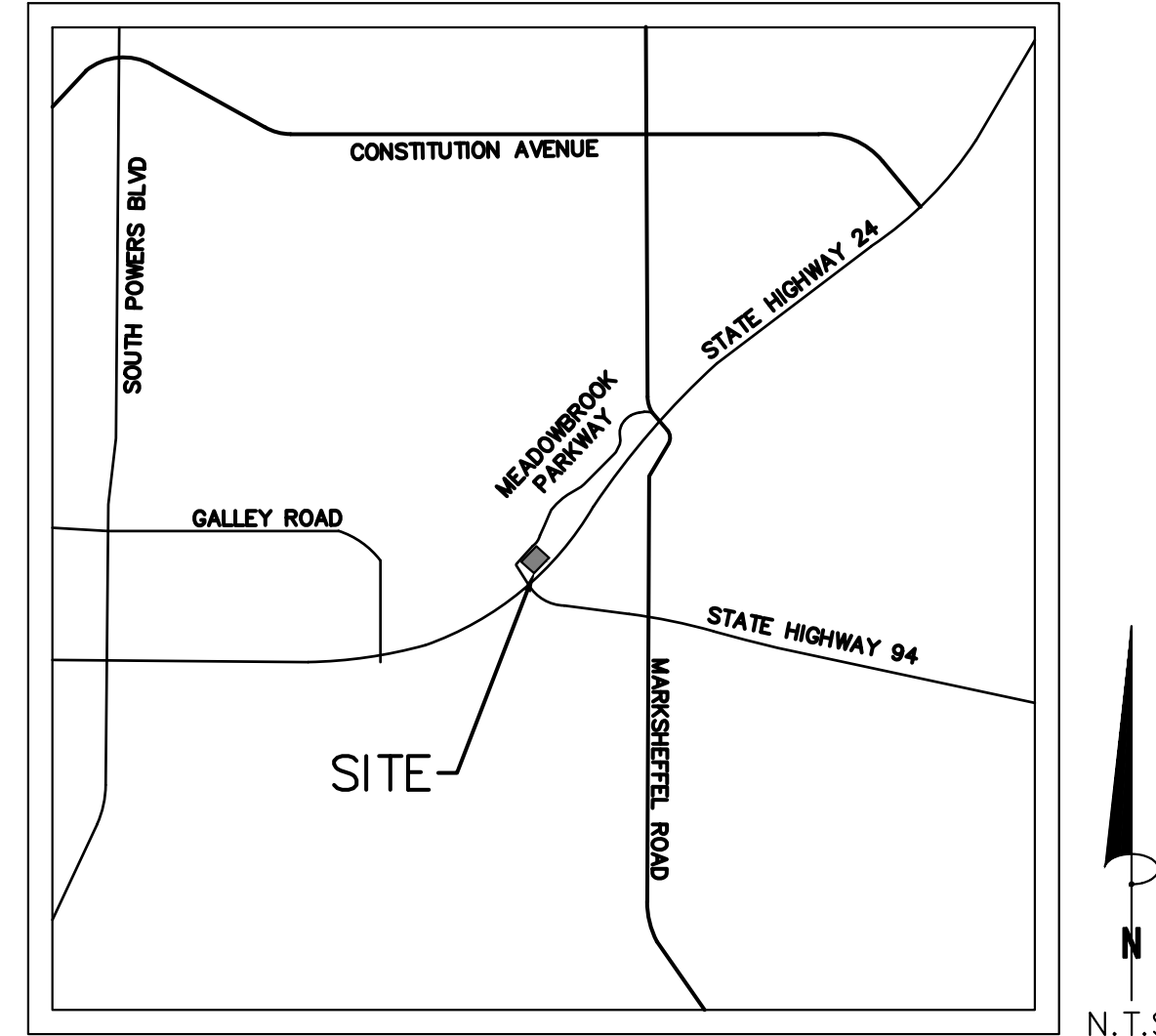
PROJECT NO. 096956009  
SHEET

C1.33

NO.	REVISION	BY	DATE	APPR.



# MEADOWBROOK PARK UTILITY AND MAIN SERVICE PLANS TRACT A 24/94 BUSINESS PARK FILING NO.1 EL PASO COUNTY, STATE OF COLORADO



VICINITY MAP  
N.T.S

**LAND AREA:**

351,529 SQ. FT. OR 8.07 ACRES MORE OR LESS

**BASIS OF BEARING:**

MEASURED BETWEEN THE NW CORNER OF TRACT 1, 94/24 BUSINESS PARK FILING NO. 1, MONUMENTED WITH A NO. 4 REBAR WITH 1" RED PLASTIC CAP MARKED PLS 37928, AND THE SOUTHWEST CORNER OF LOT 1, MONUMENTED WITH A FOUND NO. 5 REBAR WITH BLUE PLASTIC CAP MARKED WITH PLS 32820

**BENCHMARK/ PROJECT CONTROL:**

NORTHWEST CORNER OF TRACT A AND IS MONUMENTED AS A NO. 4 REBAR WITH RED PLASTIC CAP FLUSH WITH THE GROUND EL.6321.70

**LEGAL DESCRIPTION**

TRACT A, 94/24 BUSINESS PARK FILING NO. 1, EL PASO COUNTY, STATE OF COLORADO

**SOIL TYPE:**

THE SOIL ON SITE IS CLASSIFIED WITH THE USCS AS NATIVE SILTY TO CLAYEY SAND (SM-SC)

**FLOOD ZONE DESIGNATION**

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBERS 08041C0970G & 08041C1160G EFFECTIVE DATE DECEMBER 7, 2018 INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE X (OUT OF THE 500 YEAR FLOODPLAIN)

**QUANTITIES\***

WATER		SANITARY SEWER	
PIPES		PIPES	
1" HDPE Water Service	1570 LF	4" SDR-35 SSWR Service	1662 LF
12" PVC Main	498 LF	8" PVC Main	1570 LF
8" PVC Main	1778 LF		
6" PVC Main	196 LF		
STRUCTURES		STRUCTURES	
Fire Hydrant Assembly (including 6" GV)	6	Two-Way Cleanout	67
Gate Valve, 6"	1	Sanitary Sewer Manhole	10
Gate Valve, 8"	26		
Gate Valve, 12"	9		
12" x 12" x 12" Tee	1		
12" x 12" x 8" Tee	4		
8" x 8" x 8" Tee	3		
8" x 8" x 6" Tee	5		
6" 45° Bend	4		
8" 45° Bend	1		
8" 22.5° Bend	1		
12" 11.25° Bend	1		
8" 11.25° Bend	2		
Curb Stop w/ Encasement	67		
8" x 6" Reducer	1		
8" 45° Vertical Bend	7		

\*QUANTITY TABLES PROVIDED FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXACT QUANTITIES REQUIRED FOR CONSTRUCTION

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C3.0	COVER SHEET
C3.1	GENERAL NOTES
C3.2	GENERAL NOTES
C3.3	UTILITY SERVICE PLAN
C3.4	UTILITY SERVICE PLAN
C3.5	UTILITY SERVICE PLAN
C3.6	WATER PLAN
C3.7	WATER PLAN
C3.8	WATER PLAN
C3.9	HYDRANT & MAIN LOWERING PLAN & PROF.
C3.10	HYDRANT PLAN & PROFILE
C3.11	HYDRANT PLAN & PROFILE
C3.12	SAN. SEWER PLAN & PROFILE-LINE A
C3.13	SAN. SEWER PLAN & PROFILE-LINE A
C3.14	SAN. SEWER PLAN & PROFILE-LINE A
C3.15	SAN. SEWER PLAN & PROFILE-LINE B
C3.16	SAN. SEWER PLAN & PROFILE-LINE C
C3.17	SAN. SEWER PLAN & PROFILE-LINE D
C3.18	UTILITY DETAILS

**CONTACTS:**

**OWNER:**  
MEADOWBROOK PARK, LLC  
90 S. NEVADA AVENUE  
COLORADO SPRINGS, CO 80903  
TEL: (719) 475-7621  
CONTACT: DANNY MIENKA

**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
2 NEVADA NORTH AVE., SUITE 300  
COLORADO SPRINGS, CO 80903  
TEL: (719) 453-0182  
CONTACT: JOHN HEIBERGER, P.E.

**SURVEYOR:**  
CLARK LAND SURVEYING, INC.  
177 S. TIFFANY DRIVE, UNIT 1  
PUEBLO WEST, CO 81007  
TEL: (719) 582-1270  
CONTACT: STEWART L. MAPES JR., PLS

**EL PASO COUNTY:**  
EL PASO COUNTY  
DEVELOPMENT SERVICES DEPARTMENT  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, CO 80910  
PHONE: (719) 520-3600

**CHEROKEE METROPOLITAN DISTRICT:**  
6250 PALMER PARK BLVD  
COLORADO SPRINGS, CO 80915  
PHONE: (719) 597-5080

**COLORADO SPRINGS UTILITIES:**  
1521 HANCOCK EXPRESSWAY  
MAIL CODE 1812  
COLORADO SPRINGS, CO 80910  
PHONE: (719) 668-8769

**OWNER'S SIGNATURE BLOCK**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

*Kelly Nelson* 4-25-22  
NAME DATE

**ENGINEER'S SIGNATURE BLOCK**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

*John Heiberger* 04/25/2022  
JOHN HEIBERGER, PE - KIMLEY-HORN AND ASSOCIATES, INC. DATE

**EL PASO COUNTY REVIEW STATEMENT**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSION, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR A CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF THE CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JENNIFER IRVINE, COUNTY ENGINEER/ ECM ADMINISTRATOR DATE

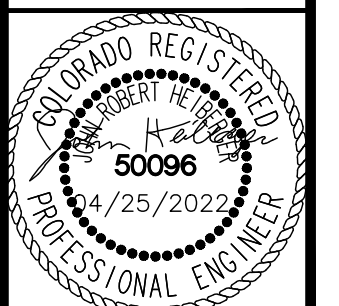
NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH



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DATE: 04/25/2022

MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
COVER SHEET



PROJECT NO.  
096956009

SHEET  
C3.0



**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:**

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.

1. THE CHEROKEE METRO DISTRICT ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE HELD RESPONSIBLE FOR THEIR ENFORCEMENT.
2. APPROVAL OF THESE PLANS BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4. NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
5. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF RECORD AT 719-453-0180. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (SAND BAGS, HAY BALES, TEMPORARY DESILTING BASINS, DIKES, SHORING, ETC.) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHATEVER OWNER, AGENCY, OR ASSOCIATION IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
7. EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
8. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.
9. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
10. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
11. FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
12. ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
14. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
15. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
16. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN BEFORE PROCEEDING WITH THE WORK IN QUESTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. CONTRACTOR'S LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, CONTRACTOR'S LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE COLORADO SPRINGS (EL PASO COUNTY) FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
18. DEVIATIONS FROM THESE PLANS SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR REQUIRES THE CHANGE.
19. AS-BUILT DRAWINGS MUST BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.
20. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
21. NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
22. IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
23. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE ADDITIONAL CARE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE WHILE MEETING MINIMUM AND MAXIMUM PAVEMENT SLOPES AS DEFINED IN THE CRITERIA.
24. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
25. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
26. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY CONTRACTOR'S LICENSED LAND SURVEYOR.
27. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
28. SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
29. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
30. WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
31. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
32. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
33. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING A STATE STORMWATER DISCHARGE PERMIT FROM COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AT MINIMUM 10 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES ONSITE. 10 BUSINESS DAYS IS THE MINIMUM TIME REQUIRED BY THE STATE TO PROCESS THE APPLICATION. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR APPLY FOR THE PERMIT AT LEAST 20 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES.

**WATER PLAN NOTES**

**\*THE CONTRACTOR SHALL NOTIFY 'CHEROKEE METRO DISTRICT' OFFICE (719-597-5081) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.**

**PRIOR TO THE START OF CONSTRUCTION.**

**GENERAL:**

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU *WATER LINE EXTENSION AND SERVICE STANDARDS (WATER LESS)* AND CHEROKEE EXCEPTIONS TO CSU STANDARDS.
2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WATER MAIN.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF COLORADO SPRINGS UTILITIES.
6. ALL FIELD STAKING SHALL COMPLY WITH THE *WATER LESS*.
7. THE CONTRACTOR SHALL MAKE THEIR BEST EFFORT TO ENSURE THAT WATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
8. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE *WATER LESS*.
9. NO SERVICE TAPS WILL BE ALLOWED UNTIL THE MAIN IS EXTENDED TO THE NEXT MAIN-LINE VALVE.
10. NO SERVICE TAPS SHALL BE MADE UNTIL AUTHORIZATION HAS BEEN GRANTED BY THE CHEROKEE METRO DISTRICT INSPECTOR.
11. ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION AND THE STATIONING ON THE FIELD STAKES SHALL MATCH THE STATIONING ON THE PLANS.
12. FIELD MODIFICATIONS TO A FIRE SERVICE LINE OR FIRE HYDRANT DESIGN OR LOCATION MAY NEED TO BE APPROVED BY THE DESIGN ENGINEER, COLORADO SPRINGS FIRE DEPARTMENT AND CHEROKEE METRO DISTRICT, AS REQUIRED BY THE INSPECTOR.
13. REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT INSPECTOR.
14. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CSU STANDARDS.

**WASTEWATER PLAN NOTES**

**\*THE CONTRACTOR SHALL NOTIFY 'CHEROKEE METRO DISTRICT' OFFICE (719-597-5081) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.**

**GENERAL:**

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU *WASTEWATER LINE EXTENSION AND SERVICE STANDARDS (WASTEWATER STANDARDS)* AND CHEROKEE EXCEPTIONS TO CSU STANDARDS.
2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
4. NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WASTEWATER MAIN.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METRO DISTRICT.
6. ALL FIELD STAKING SHALL COMPLY WITH THE WASTEWATER STANDARDS.
7. THE CONTRACTOR SHALL ENSURE THAT WASTEWATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
8. ALL MANHOLES LOCATED WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISH GRADE. IF MANHOLES ARE IN POOR CONDITION OR IF THE DISTANCE BETWEEN THE RING/COVER AND CONE OF THE MANHOLE EXCEEDS THE WASTEWATER STANDARDS, THE CONTRACTOR MAY BE REQUIRED TO REPLACE PART OR ALL OF THE EXISTING MANHOLES.
9. REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT INSPECTOR.
10. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CSU STANDARDS WITH CHEROKEE EXCEPTIONS TO THE CSU STANDARDS.
11. ALL MANHOLES SHALL BE 5' INNER DIAMETER WITH EXTERIOR COATED WITH 45 MIC COAL TAR EPOXY AND JOINTS WRAPPED WITH ELASTOMERIC JOINT WRAP (12" MIN). INTERIOR LINING PER CSU SECTION 4.5.A AND CHEROKEE METRO DISTRICT STANDARDS.
12. PIPE MATERIALS TO CONFORM TO ALL APPLICABLE STANDARDS, INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING:  
WATER - C900 PVC W/ 0.1 MJ FITTINGS  
SANITARY - MIN. SDR35

**UTILITY SERVICE PLAN NOTES**

**\*THE CONTRACTOR SHALL NOTIFY 'CHEROKEE METRO DISTRICT' OFFICE (719-597-5081) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.**

**GENERAL:**

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CHEROKEE METRO DISTRICT *WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS)*.
2. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, MANHOLES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE DESIGN ENGINEER IMMEDIATELY.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF CHEROKEE METRO DISTRICT.
4. ALL FIELD STAKING SHALL COMPLY WITH THE *WATER/WASTEWATER LESS*.
5. CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE *WATER/WASTEWATER LESS*.

6. FINAL LOCATION OF ALL WASTEWATER AND WATER SERVICES SHALL BE APPROVED IN THE FIELD BY THE CHEROKEE METRO DISTRICT INSPECTOR.
7. ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 CHEROKEE METRO DISTRICT *SPECIFICATIONS MANUAL AND SECTION 5.18 OF THE WATER LESS*.
10. CMD DOES NOT HAVE SPECIFIC WATER AND SEWER LINE MARKER DECALS. THE CONTRACTOR SHOULD USE GENERIC BLUE WATER MARKERS FOR WATER LINES AND GENERIC GREEN SEWER MARKERS FOR SEWER LINES.

**WASTEWATER:**

1. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN, AND THE END OF THE STUB SHALL BE MARKED WITH A 2"X4"X12' STEEL OR WOODEN POST.
2. SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE ON THE MAIN LINE AND SHALL MAINTAIN TWO FEET (2') OF SEPARATION BETWEEN TAPS CENTER TO CENTER.
3. ALL CLEANOUTS SHALL BE THE SAME SIZE AS THE SERVICE LINE.
4. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF HEALTH AND ENVIRONMENT WHEN ANY SEPTIC TANK IS TO BE ABANDONED AND PAY ALL FEES NECESSARY TO OBTAIN A PERMIT.
5. A CMD INSPECTOR MUST BE PRESENT FOR THE COLLECTION OF BACTERIOLOGICAL SAMPLES WHENEVER THIS IS REQUIRED.
6. MANHOLE ADJUSTMENTS DUE TO PAVING ARE THE RESPONSIBILITY OF THE PAVER UNLESS CHEROKEE HAS ISSUED A FINAL LETTER OF ACCEPTANCE AND THE MANHOLE IS IN A PUBLIC RIGHT OF WAY.
7. SELECT BEDDING REQUIRED FOR SEWER SLOPES LESS THAN 1.04%.

**WATER:**

1. SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS (SEE DETAIL DRAWING B2-3).
2. SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN. TAPS SHALL BE A MINIMUM OF THREE FEET (3') APART ON THE SAME SIDE OF THE WATER MAIN AND A MINIMUM OF ONE-AND-A-HALF FEET (1.5') WHEN TAPS ARE MADE ON OPPOSITE SIDES OF THE WATER MAIN.
3. ALL SERVICES FOR COMMERCIAL USE AND SOME RESIDENTIAL USES REQUIRE INSTALLATION OF A BACKFLOW PREVENTION ASSEMBLY IMMEDIATELY AFTER THE METER. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE APPROVED BY THE CHEROKEE METRO DISTRICT FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH OF THE UNIVERSITY OF SOUTHERN CALIFORNIA (USC-FCCCHR) AND INSTALLED IN ACCORDANCE WITH THIS LISTING. PLEASE REFERENCE THE WATER LINE EXTENSION STANDARDS FOR ADDITIONAL REQUIREMENTS.
4. CONNECTIONS TO CMD WATER MAINS WILL BE COMPLETED BY THE CONTRACTOR UNDER THE SUPERVISION OF CHEROKEE METRO DISTRICT PERSONNEL. ALL VALVES SHALL OPEN LEFT.
5. ANY ABANDONED SERVICES MUST BE PHYSICALLY DISCONNECTED AT THE MAIN. ANY NECESSARY REPAIRS TO THE MAIN AND/OR SHUT DOWN OF THE TAPPING VALVE SHALL BE AS DIRECTED BY COLORADO SPRINGS UTILITIES.
6. ALL WATER SERVICE LINES SHOULD ENTER THE BUILDING WITHIN 3 FEET OF AN EXTERIOR WALL. EXPOSED WATER PLUMBING SHALL BE MINIMIZED INSIDE THE BUILDING PRIOR TO THE WATER METER AND/OR APPROVED BACKFLOW PREVENTION ASSEMBLY OR METHOD.
7. ALL HDPE WATER SERVICE LINES MUST EXTEND A MINIMUM OF 6 INCHES ABOVE THE FLOOR AND BE 90 DEGREES FROM THE FLOOR PLAN TO ALLOW FOR BRACING AND TRANSITION TO THE METER LOOP ASSEMBLY.
8. MINIMUM DEPTH OF BURY SHALL BE 5 FEET AND MAXIMUM DEPTH OF BURY SHALL BE 6 FEET UNLESS OTHERWISE APPROVED BY THE DISTRICT
9. POTABLE FIRE HYDRANT BODIES SHALL BE PAINTED WITH RUSTOLEUM 7792402 GLOSS WHITE. POTABLE FIRE HYDRANT CAPS AND BONNETS SHALL BE PAINTED WITH RUSTOLEUM 7524402 SAFETY BLUE. IF OIL-BASED PAINTS ARE UNAVAILABLE, A REASONABLE SUBSTITUTE MAY BE USED WITH CMD APPROVAL.
10. CONTRACTOR SHALL DISPOSE OF CHLORINATED WATER AS PER COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) REGULATIONS

**WATER PROJECT SPECIFIC NOTES**

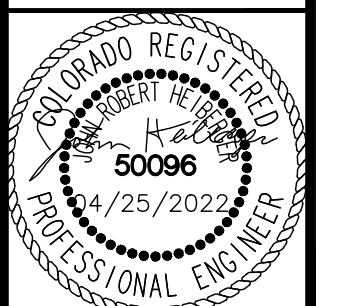
	APPLICABLE	NOT-APPLICABLE	
1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	ANY EXISTING STUBS AND APPURTENANCES THAT WILL NOT BE USED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF MAIN AT THE EXPENSE OF THE CONTRACTOR.
2.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A CONNECTION TO AN EXISTING STUB IS PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY "AS-BUILT" DRAWINGS.
3.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A WATER STUB-OUT(S) IS/ARE PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THAT THE DESIGN OR INSTALLATION OF THE PROPOSED WATER STUB-OUT WILL MEET FUTURE DEVELOPMENT NEEDS.
4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A WATER QUALITY PLAN HAS BEEN APPROVED FOR THIS PROJECT

DATE	10/05/21	JRH
DATE	03/14/22	JRH
BY		DATE
NO.		REVISION

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 GENERAL NOTES



PROJECT NO.  
096956009

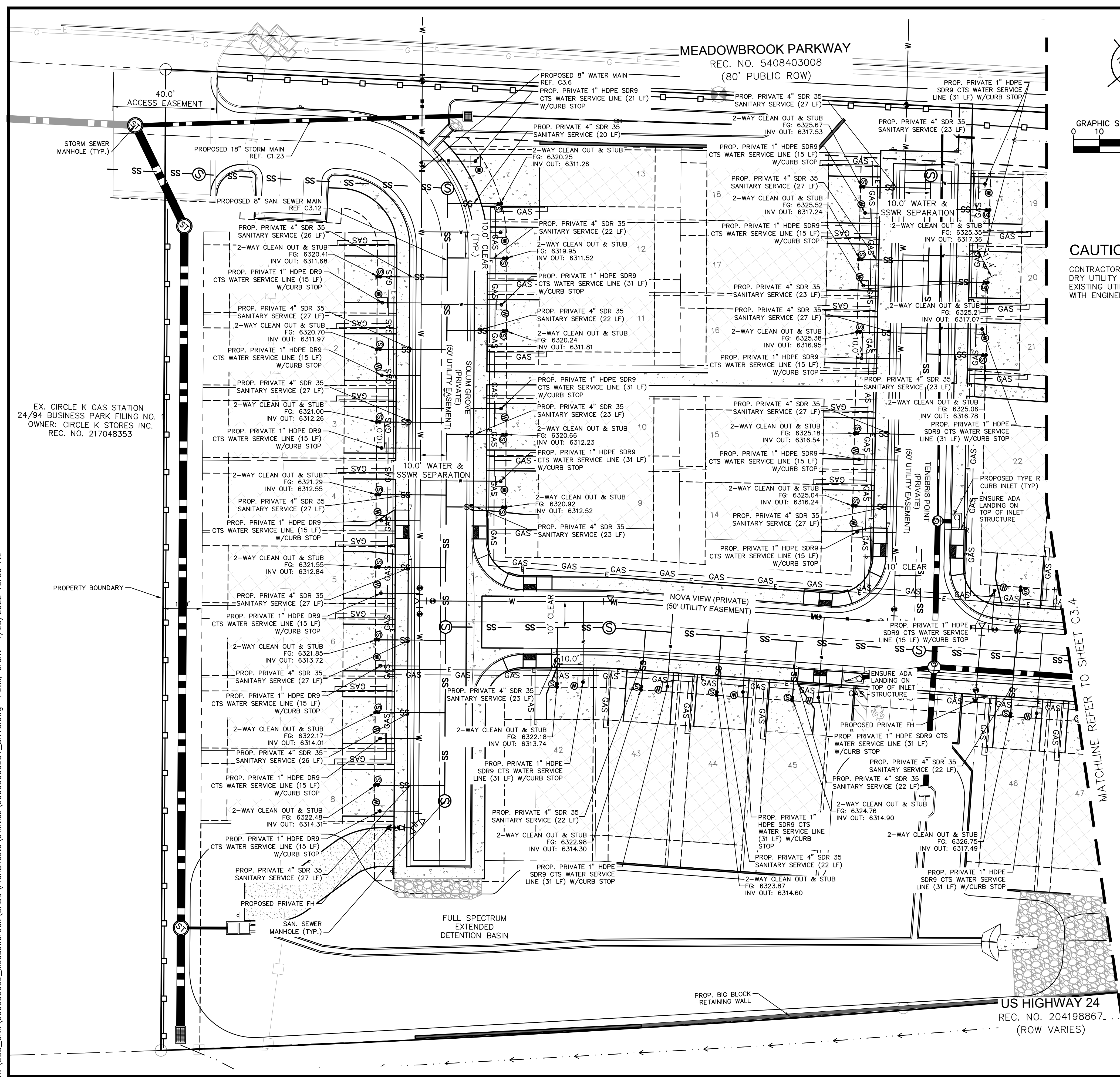
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**C3.1**





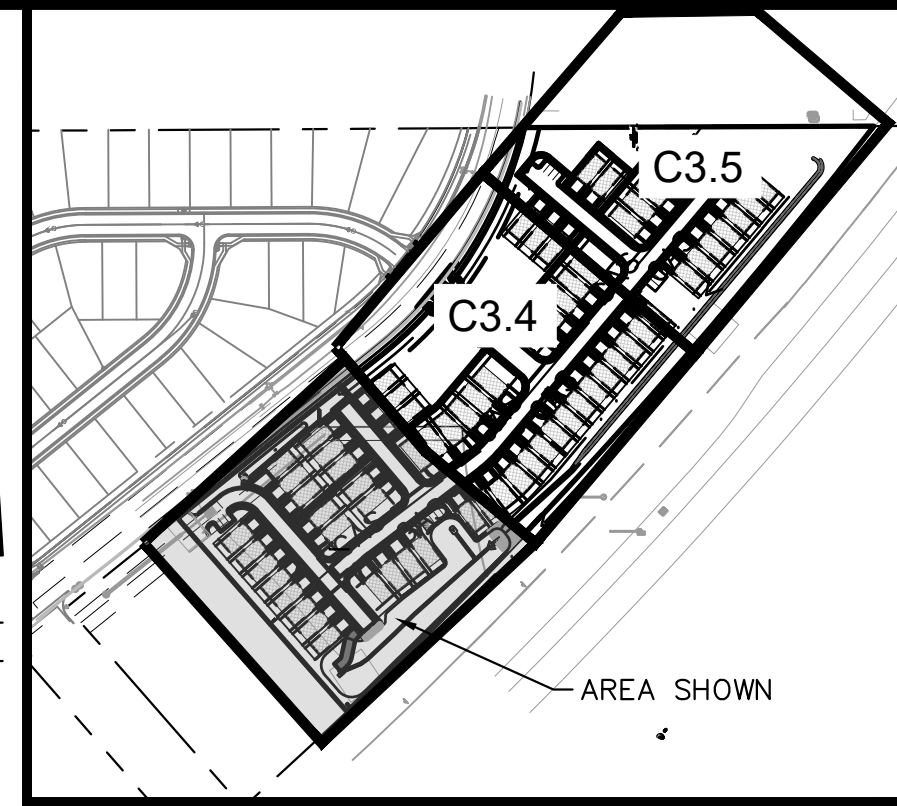
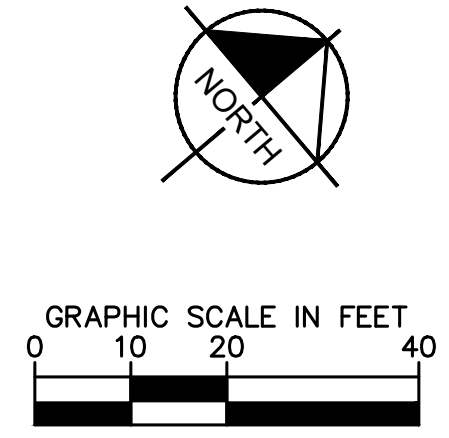


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EX. CIRCLE K GAS STATION  
24/94 BUSINESS PARK FILING NO.  
OWNER: CIRCLE K STORES INC.  
REC. NO. 217048353

MEADOWBROOK PARKWAY  
REC. NO. 5408403008  
(80' PUBLIC ROW)



KEY MAP  
NOT TO SCALE

**CAUTION NOTE (SERVICE LINES):**

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

**LEGEND**

- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & MANHOLE
- LOT LINE
- PROPOSED STORM SEWER LINE (WITH FLAT TOP AND ECCENTRIC TOP MANHOLES)
- PROPOSED STORM SEWER STRUCTURES
- W WATER SERVICE (1" HDPE SDR9 CTS) CURB STOP LOCATED AT EASEMENT LINE. (BUILDER TO INSTALL 4"X4" FORM CENTERED ON CURB STOP TO ALLOW CHEROKEE METRO DISTRICT MAINTENANCE ACCESS.)
- S SANITARY SEWER SERVICE (4" PVC @ 2.08% MIN. TYP.) (SDR-35 GREEN PIPE). SANITARY SERVICE DOUBLE CLEANOUT IN DRIVEWAY (TYP.) WITH TRAFFIC RATED CAP PER CSU STANDARDS. (C.O. LOCATED AT EASEMENT LINE.)

**UTILITY SERVICE NOTES:**

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7. THE COST FOR ONSITE PRIVATE CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK, CONCRETE DRIVEWAY, ASPHALT ROADWAY, AND LANDSCAPING REPLACEMENT IN LIKE KIND DUE TO SANITARY SEWER MAIN, WATER MAIN, SANITARY SEWER SERVICE, OR WATER SERVICE REPAIR AND/OR REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1.
8. CHEROKEE METROPOLITAN DISTRICT IS RESPONSIBLE TO MAINTAIN THE 12" PUBLIC WATER MAIN IN THE 30' EASEMENT PARALLELING THE NORTH PROPERTY LINE.
9. CSU GAS AND ELECTRIC METERS TO BE INSTALLED 3' BEHIND THE FACE OF THE GARAGE.

NO.	REVISION	DATE	BY	APPR.
1	WATER LINE EXTENSION	10/05/21	JRH	
2	CHEROKEE METRO COMMENTS	03/14/22	JRH	

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

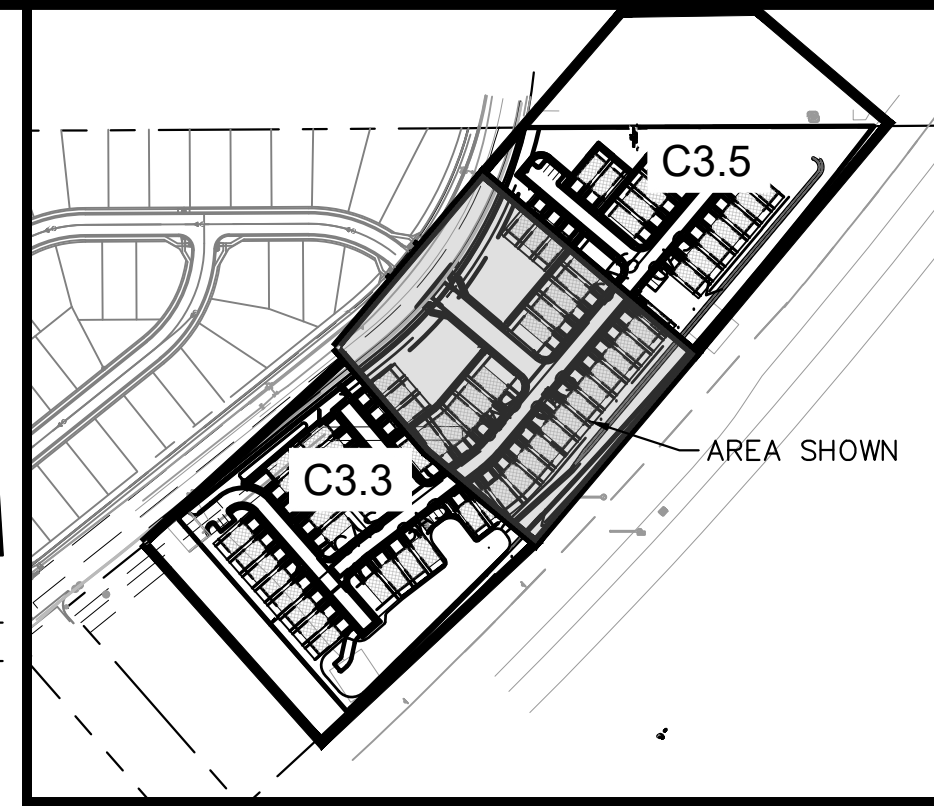
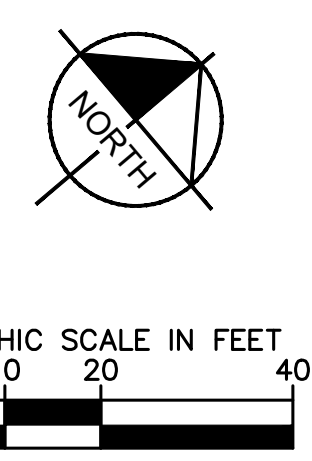
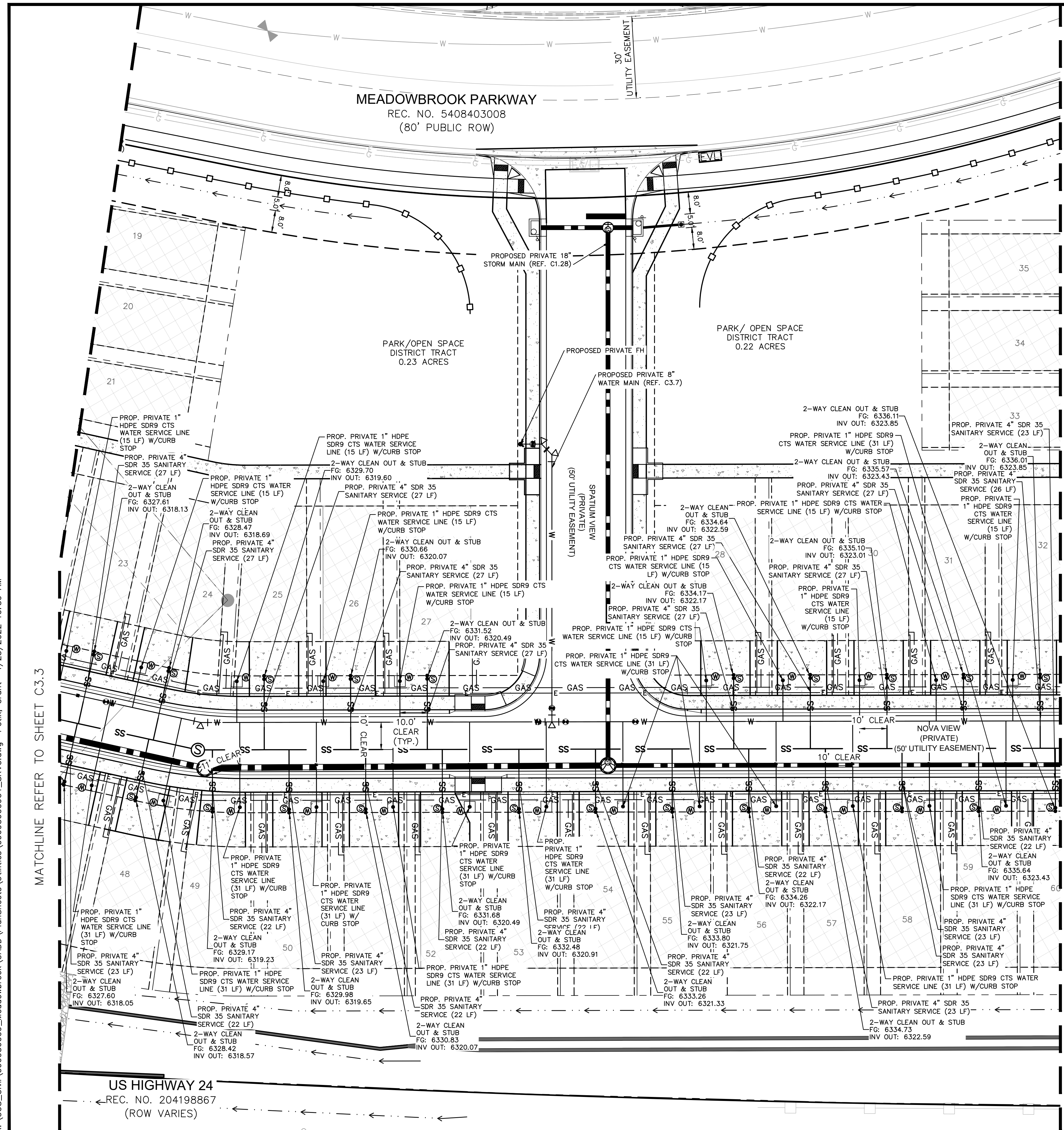
**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 UTILITY SERVICE PLAN



PROJECT NO.  
096956009  
 SHEET  
**C3.3**



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**CAUTION NOTE (SERVICE LINES):**  
 CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

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**UTILITY SERVICE NOTES:**

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WATER LINE EXTENSION	GP	10/05/21	JRH
CHEROKEE METRO COMMENTS	GP	03/14/22	JRH
NO.		REVISION	BY DATE APPR

**Kimley»Horn**  
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 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 UTILITY SERVICE PLAN**



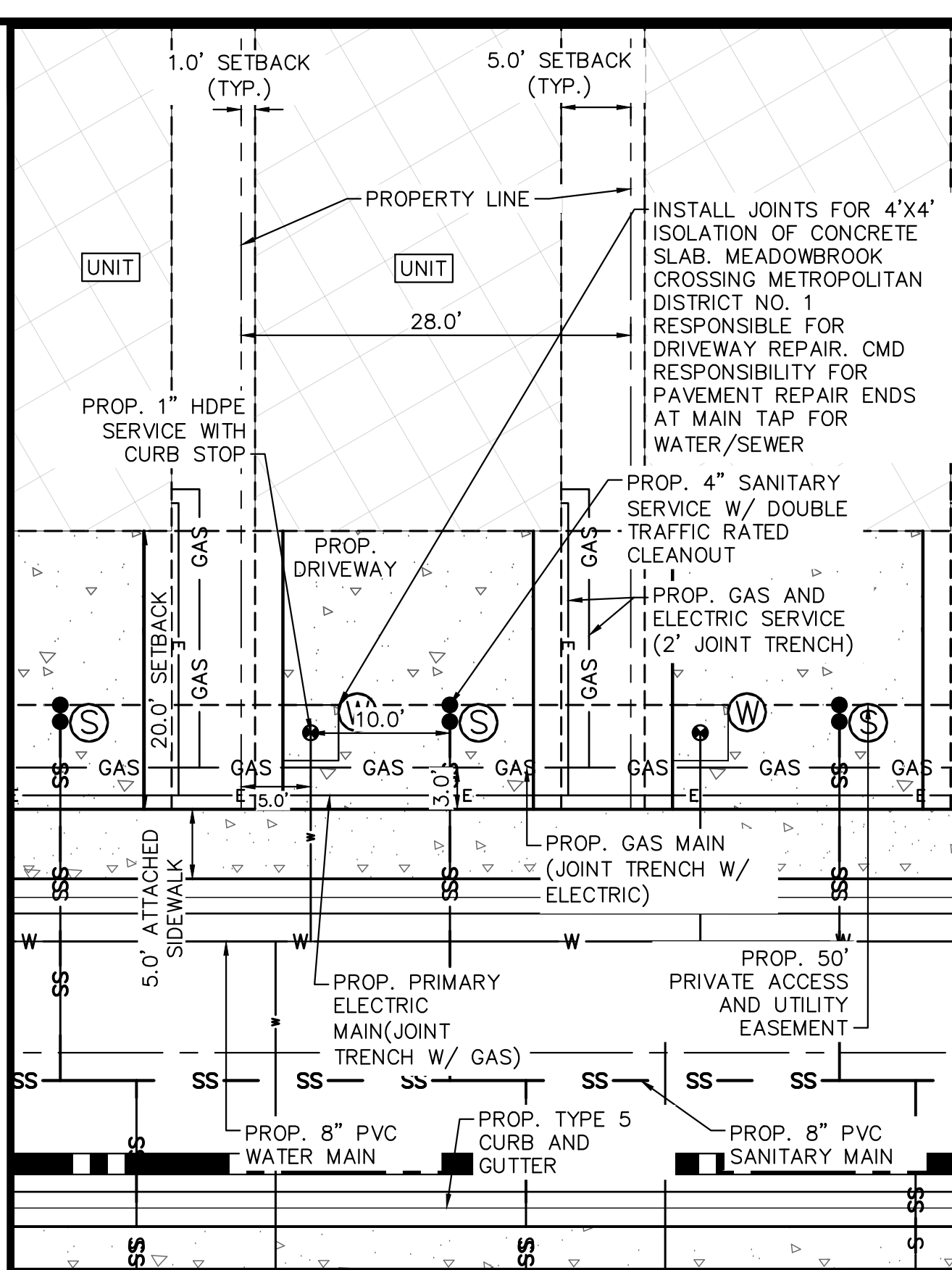
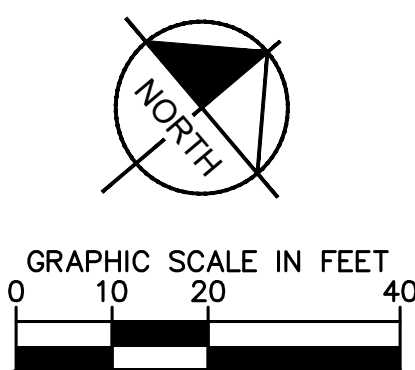
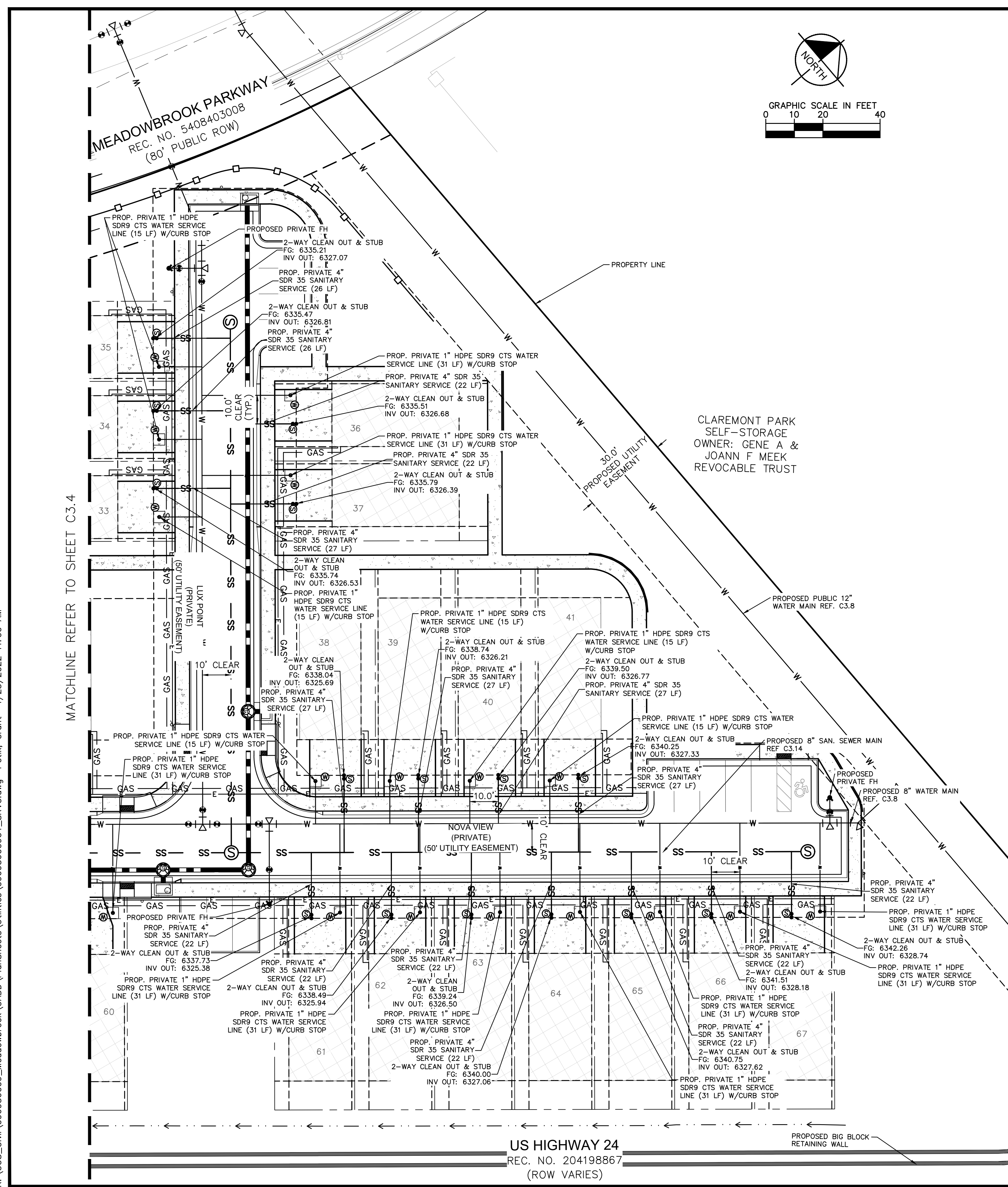
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096956009  
 SHEET  
**C3.4**

MATCHLINE REFER TO SHEET C3.3

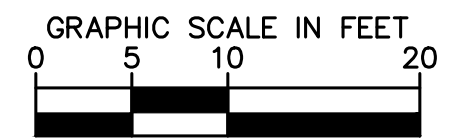
MATCHLINE REFER TO SHEET C3.5



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TYPICAL UTILITY SERVICE CONNECTIONS DETAIL



CAUTION NOTE (SERVICE LINES):

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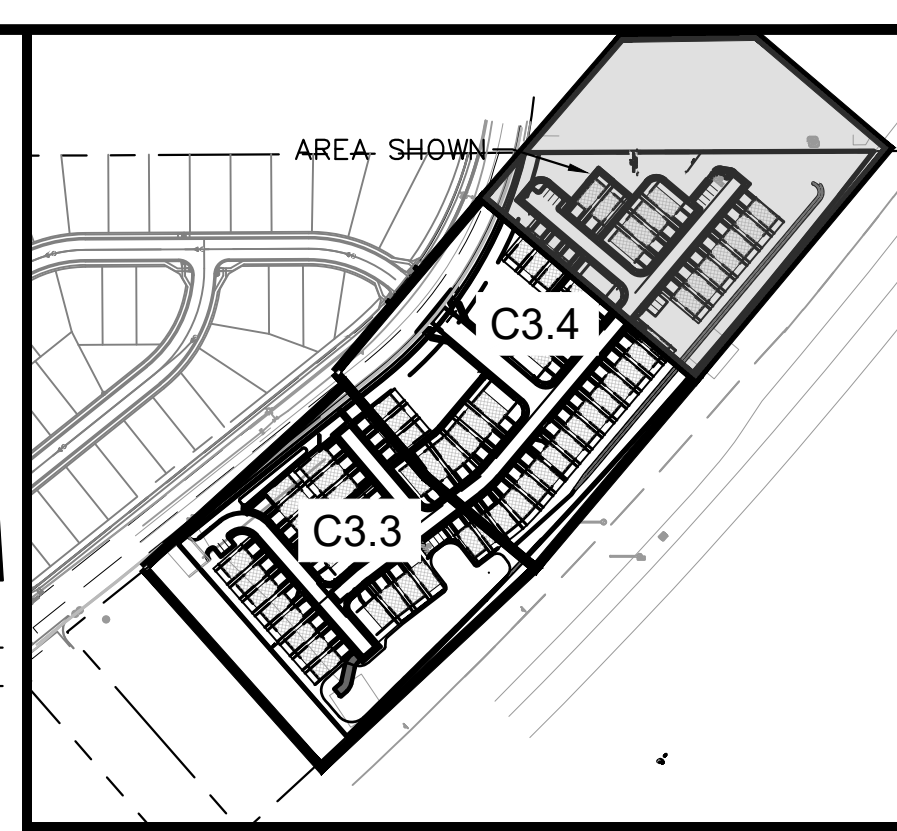


Table with columns: NO., WATER LINE EXTENSION, DATE, BY, APPR. Includes entries for 10/05/21 JRH and 03/14/22 JRH.

Kimley-Horn logo and address: 2021 KIMLEY-HORN AND ASSOCIATES, INC., 2 North Nevada Avenue Suite 300, Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK
DRAWN BY: KK
CHECKED BY: JH
DATE: 04/25/2022

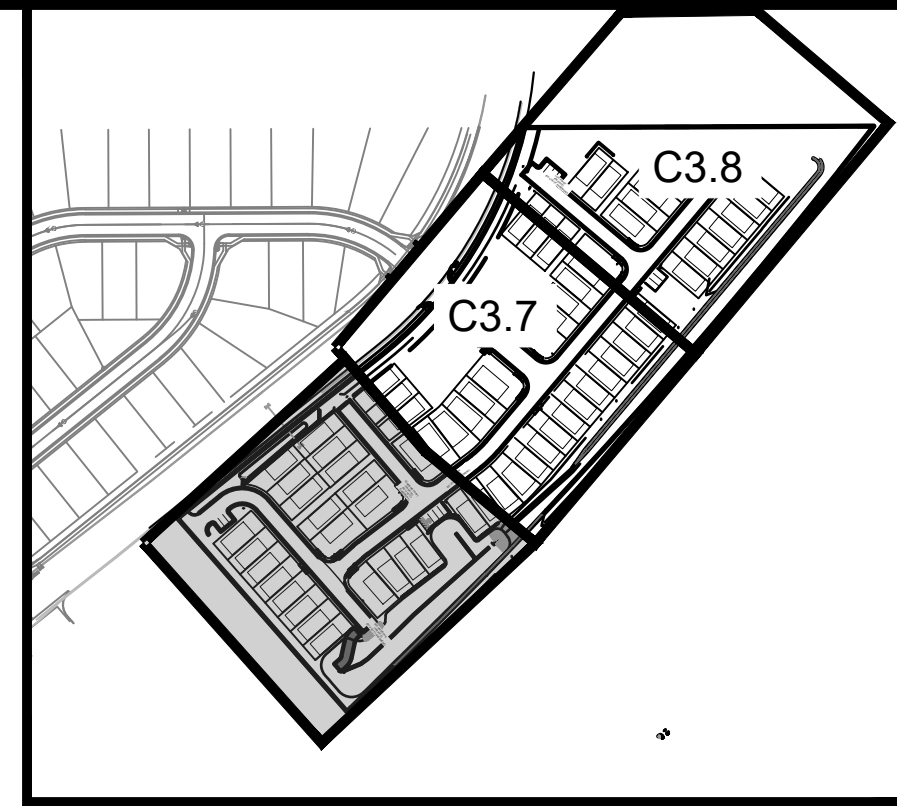
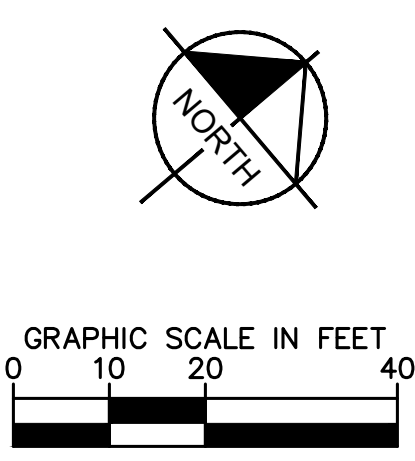
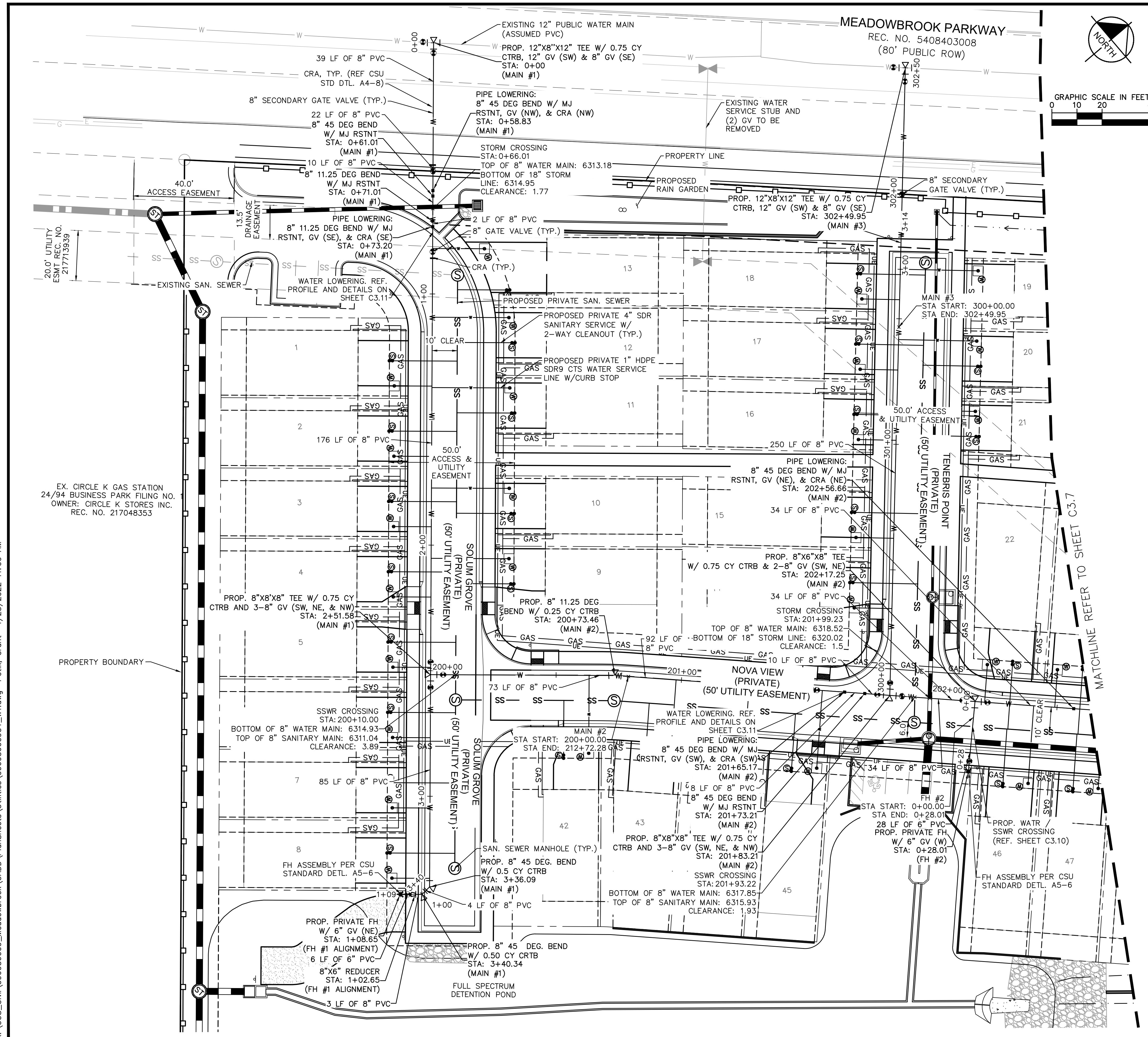
MEADOWBROOK PARK
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
UTILITY SERVICE PLAN



PROJECT NO. 096956009
SHEET C3.5



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KEY MAP NOT TO SCALE

LEGEND

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
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WATER SERVICE NOTES:

1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS AND CHEROKEE METRO DISTRICT STANDARDS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLING OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
3. UNLESS OTHERWISE INDICATED, MJ RESTRAINTS WILL BE USED ON ALL HORIZONTAL BENDS. MJ RESTRAINED PIPE LENGTHS ARE BASED ON CSU STD DTL A4-4. IF DETERMINED IN THE FIELD THAT THE MJ RESTRAINTS WILL NOT WORK, THEN USE CONCRETE THRUST BLOCKS PER CSU STD DTL A4-2
4. AS NOTED ON THE PLANS, ANCHOR TEES MUST BE USED FOR HYDRANT TEES, ELIMINATING THE 30" SPACER PIPE, TO KEEP THE HYDRANT VALVE OUT OF THE CURB AND GUTTER PAN.
5. WHEN WATER MAIN CROSSES UNDER A WASTEWATER MAIN OR STORM SEWER MAIN, SECONDARY CONTAINMENT MUST BE PROVIDED:
  - 5.1. WATER MAIN OR ABOVE UTILITY SHALL BE CONSTRUCTED WITHOUT MECHANICAL JOINTS FOR 9 FEET ON EITHER SIDE OF THE CROSSING.
  - 5.2. THE WATER MAIN OR ABOVE UTILITY SHALL BE ENCASED IN FLOW FILL PER CSU SPECIFICATION SECTION 4.4S FOR 9 FEET ON EITHER SIDE OF CROSSING.
6. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.
7. ALL ONSITE WATER AND SANITARY SEWER MAINS TO BE PRIVATE UNLESS OTHERWISE NOTED ON PLANS.
8. THE COST FOR ONSITE PRIVATE CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK, CONCRETE DRIVEWAY, ASPHALT ROADWAY, AND LANDSCAPING REPLACEMENT IN LIKE KIND DUE TO SANITARY SEWER MAIN, WATER MAIN, SANITARY SEWER SERVICE, OR WATER SERVICE REPAIR AND/OR REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1.

CAUTION NOTE (SERVICE LINES):

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

NO.	REVISION	BY	DATE	APPR
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**Kimley-Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 WATER PLAN



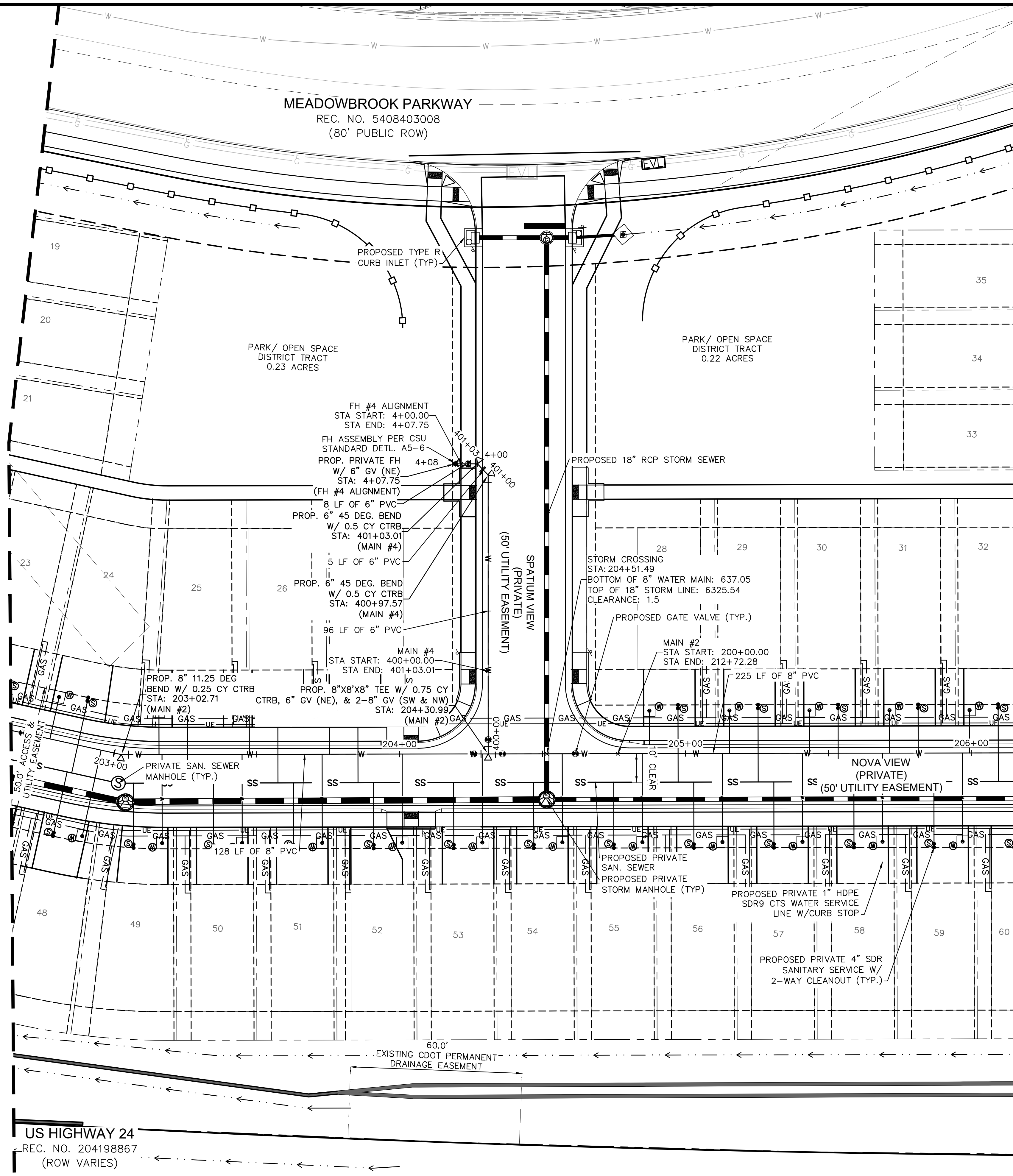
PROJECT NO.  
096956009

SHEET  
**C3.6**



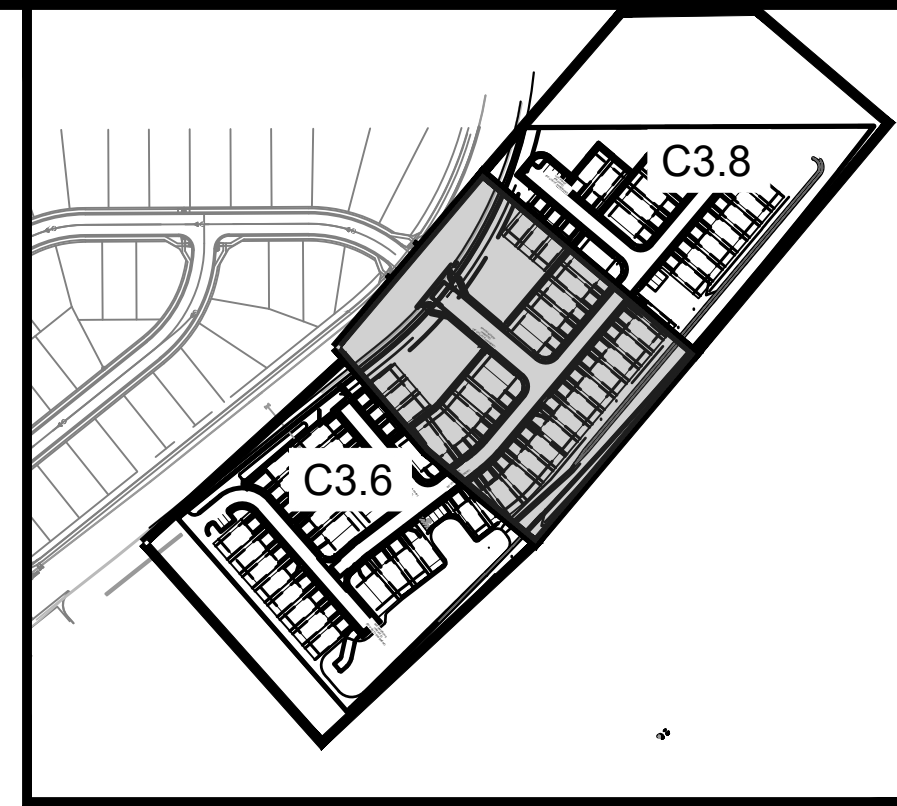
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MATCHLINE REFER TO SHEET C3.6



**LEGEND**

- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & MANHOLE
- LOT LINE
- PROPOSED STORM SEWER LINE (WITH FLAT TOP AND ECCENTRIC TOP MANHOLES)
- PROPOSED STORM SEWER STRUCTURES
- WATER SERVICE (1" HDPE SDR9 CTS) CURB STOP LOCATED AT EASEMENT LINE. (BUILDER TO INSTALL 4'X4' FORM CENTERED ON CURB STOP TO ALLOW CHEROKEE METRO DISTRICT MAINTENANCE ACCESS.)
- SANITARY SEWER SERVICE (4" PVC @ 2.08% MIN. TYP.) (SDR-35 GREEN PIPE). SANITARY SERVICE DOUBLE CLEANOUT IN DRIVEWAY (TYP.) WITH TRAFFIC RATED CAP PER CSU STANDARDS. (C.O. LOCATED AT EASEMENT LINE.)

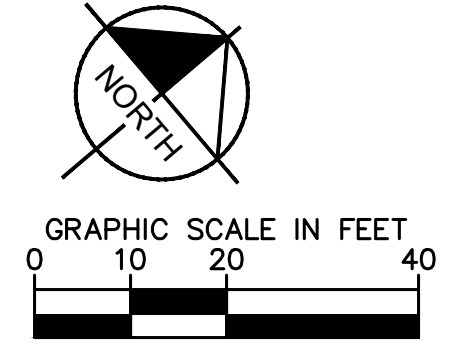


KEY MAP  
NOT TO SCALE

MATCHLINE REFER TO SHEET C3.8

**WATER SERVICE NOTES:**

1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS AND CHEROKEE METRO DISTRICT STANDARDS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLES OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
3. UNLESS OTHERWISE INDICATED, MJ RESTRAINTS WILL BE USED ON ALL HORIZONTAL BENDS. MJ RESTRAINED PIPE LENGTHS ARE BASED ON CSU STD DTL A4-4. IF DETERMINED IN THE FIELD THAT THE MJ RESTRAINTS WILL NOT WORK, THEN USE CONCRETE THRUST BLOCKS PER CSU STD DTL A4-2.
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**CAUTION NOTE (SERVICE LINES):**

CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 WATER PLAN**



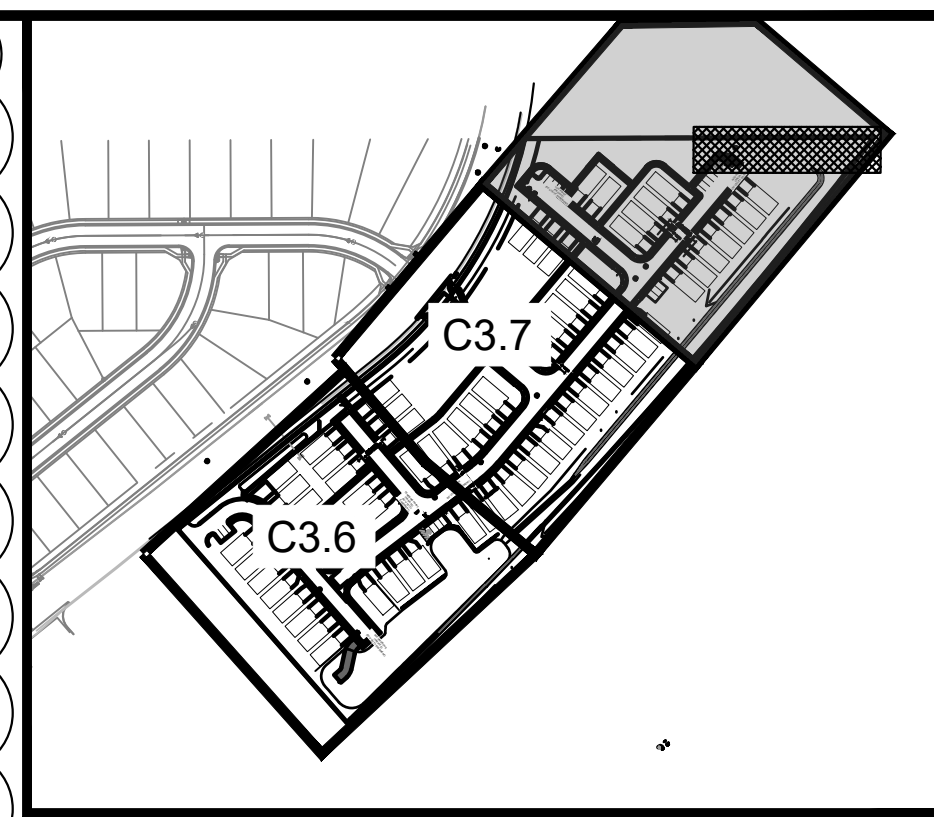
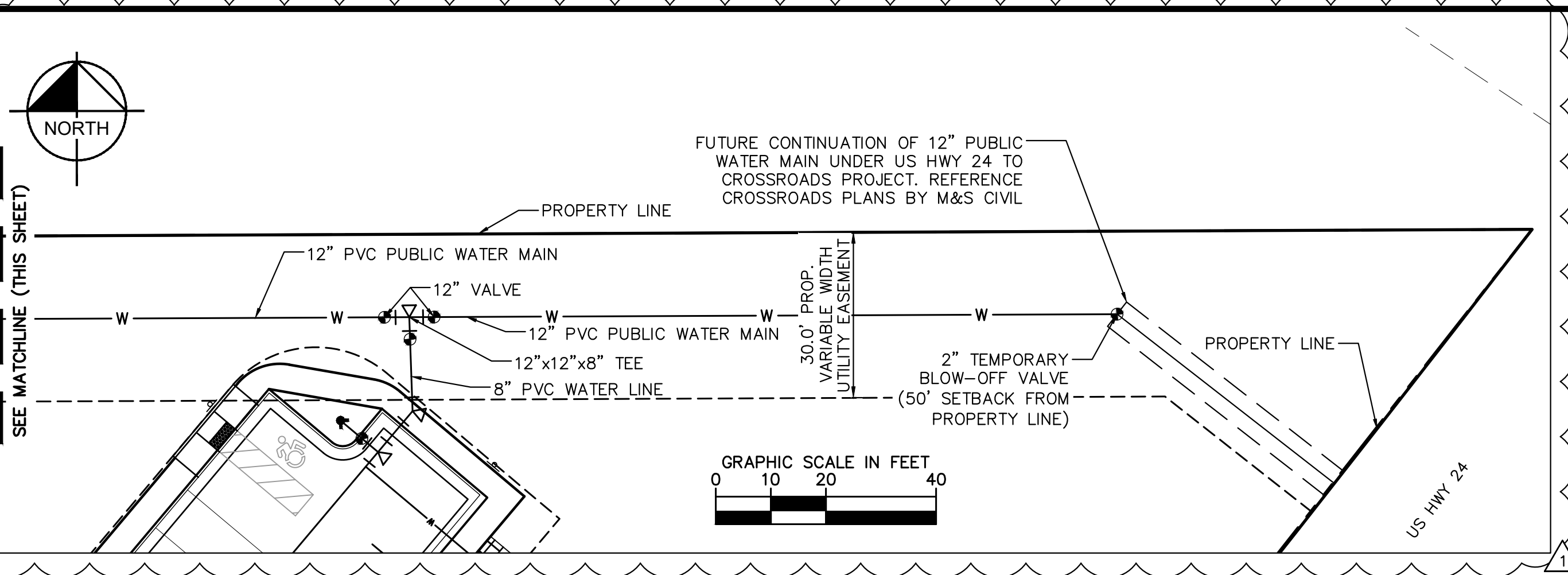
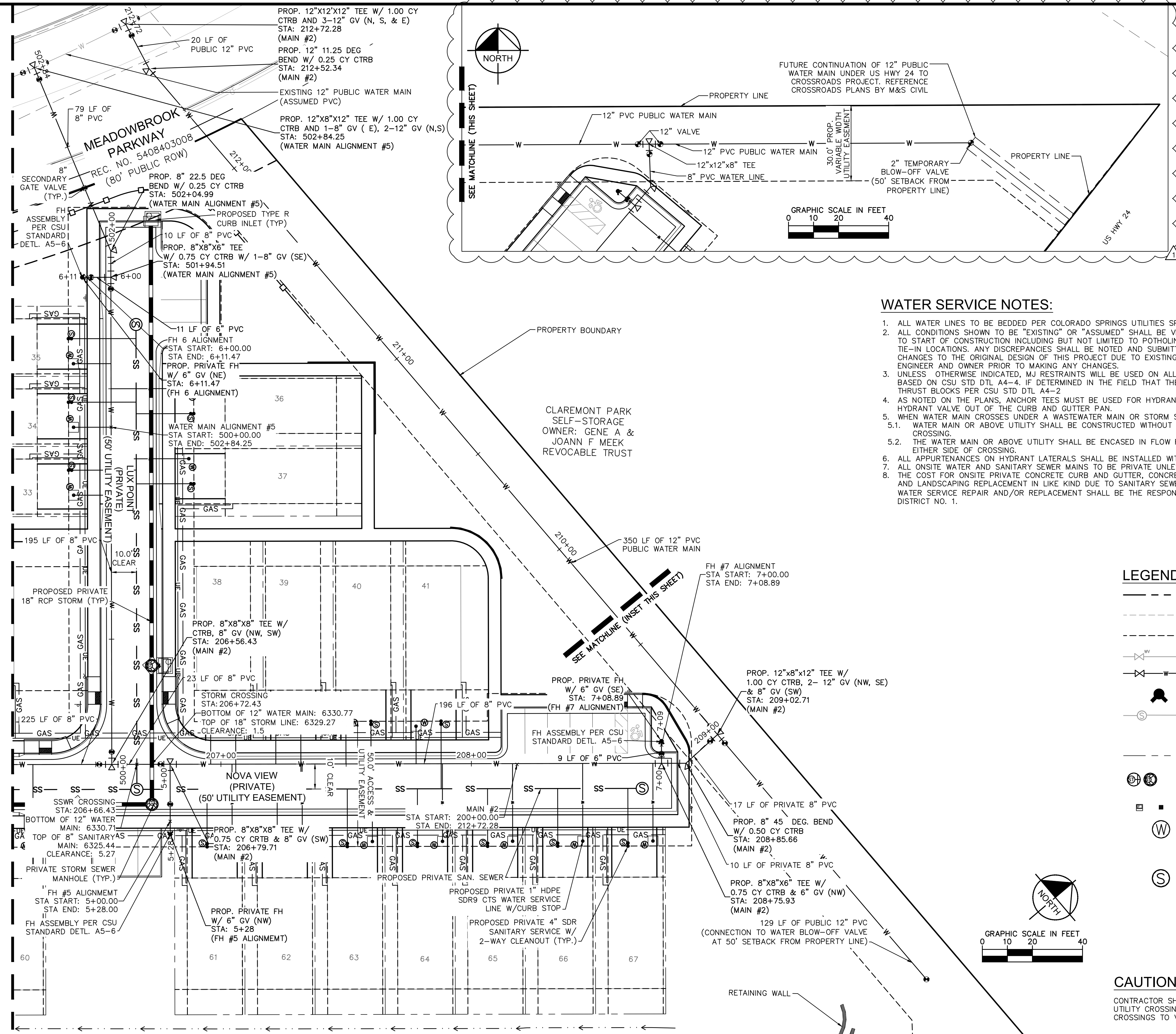
PROJECT NO.  
096956009

SHEET  
**C3.7**



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MATCHLINE REFER TO SHEET C3.7



**WATER SERVICE NOTES:**

1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS AND CHEROKEE METRO DISTRICT STANDARDS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLES OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
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**LEGEND**

- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & MANHOLE
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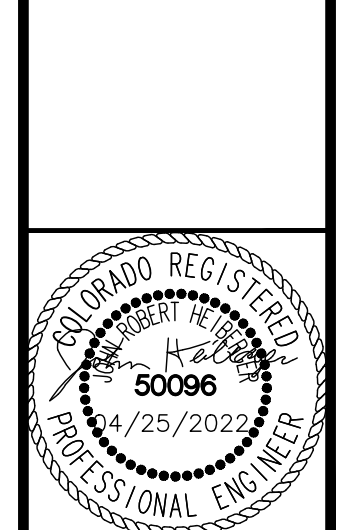
NO.	REVISION	BY	DATE	APPR
1	ISSUE FOR PERMIT	JRH	03/14/22	
2	CHEROKEE METRO COMMENTS	GP	03/14/22	
3	WATER LINE EXTENSION	GP	10/05/21	

**Kimley»Horn**

2021 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue Suite 300  
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
DRAWN BY: KK  
CHECKED BY: JH  
DATE: 04/25/2022

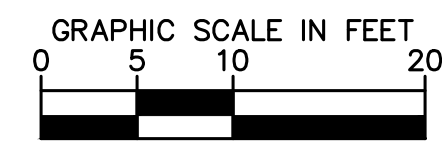
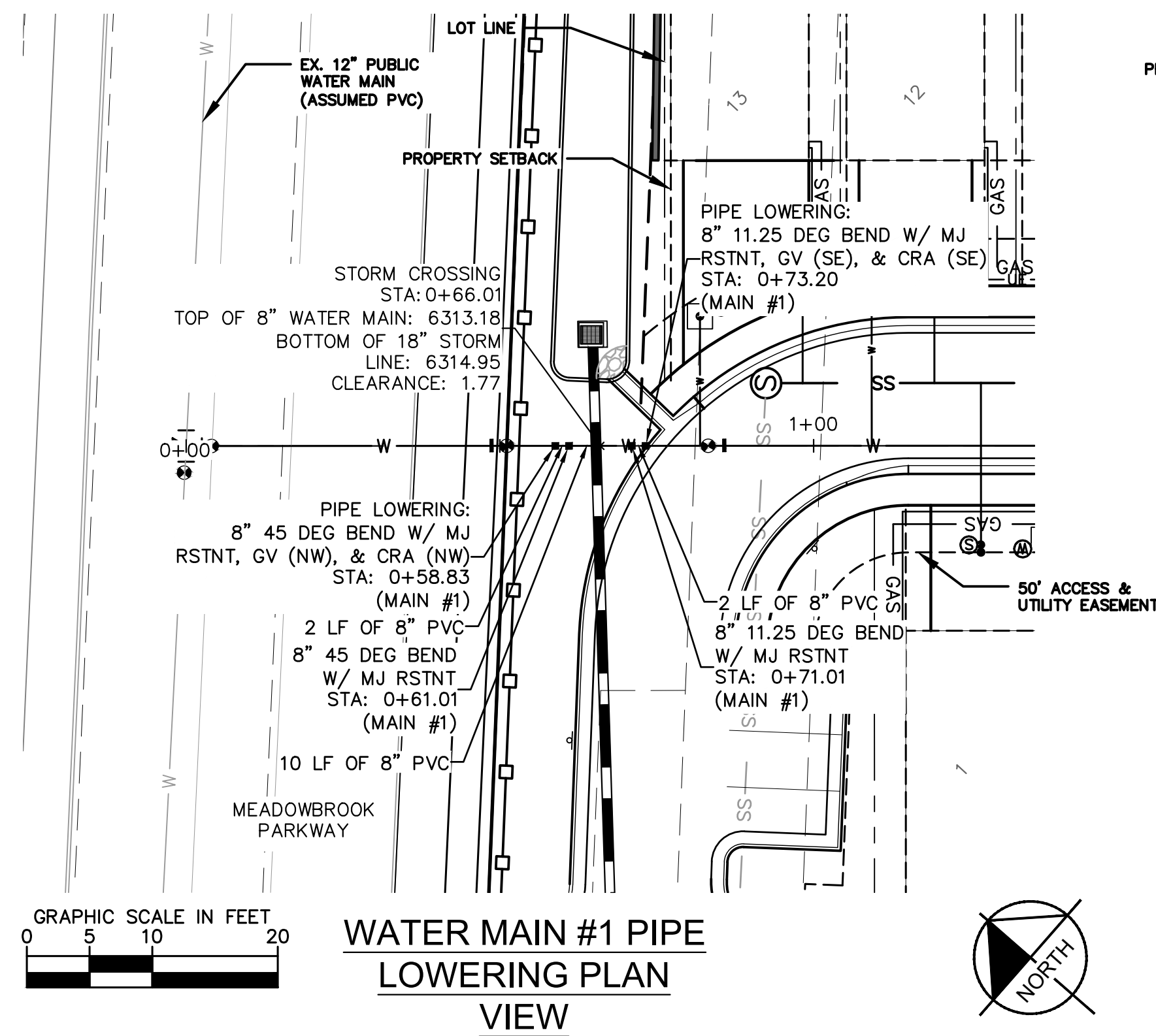
**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
WATER PLAN



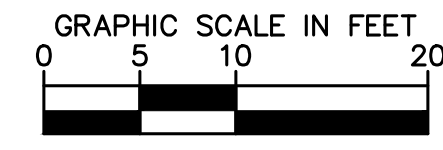
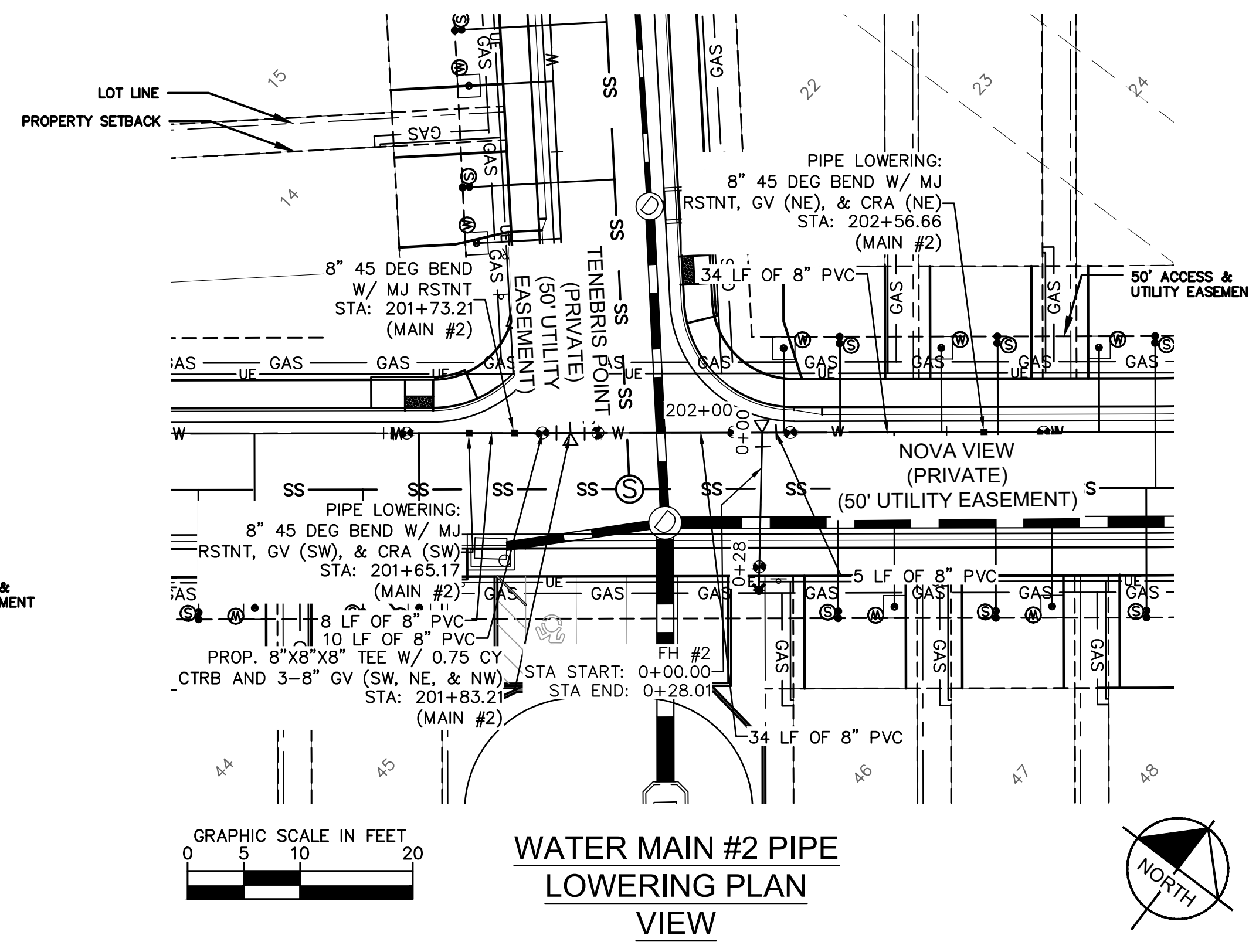
PROJECT NO.  
096956009

SHEET  
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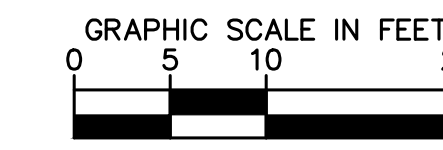
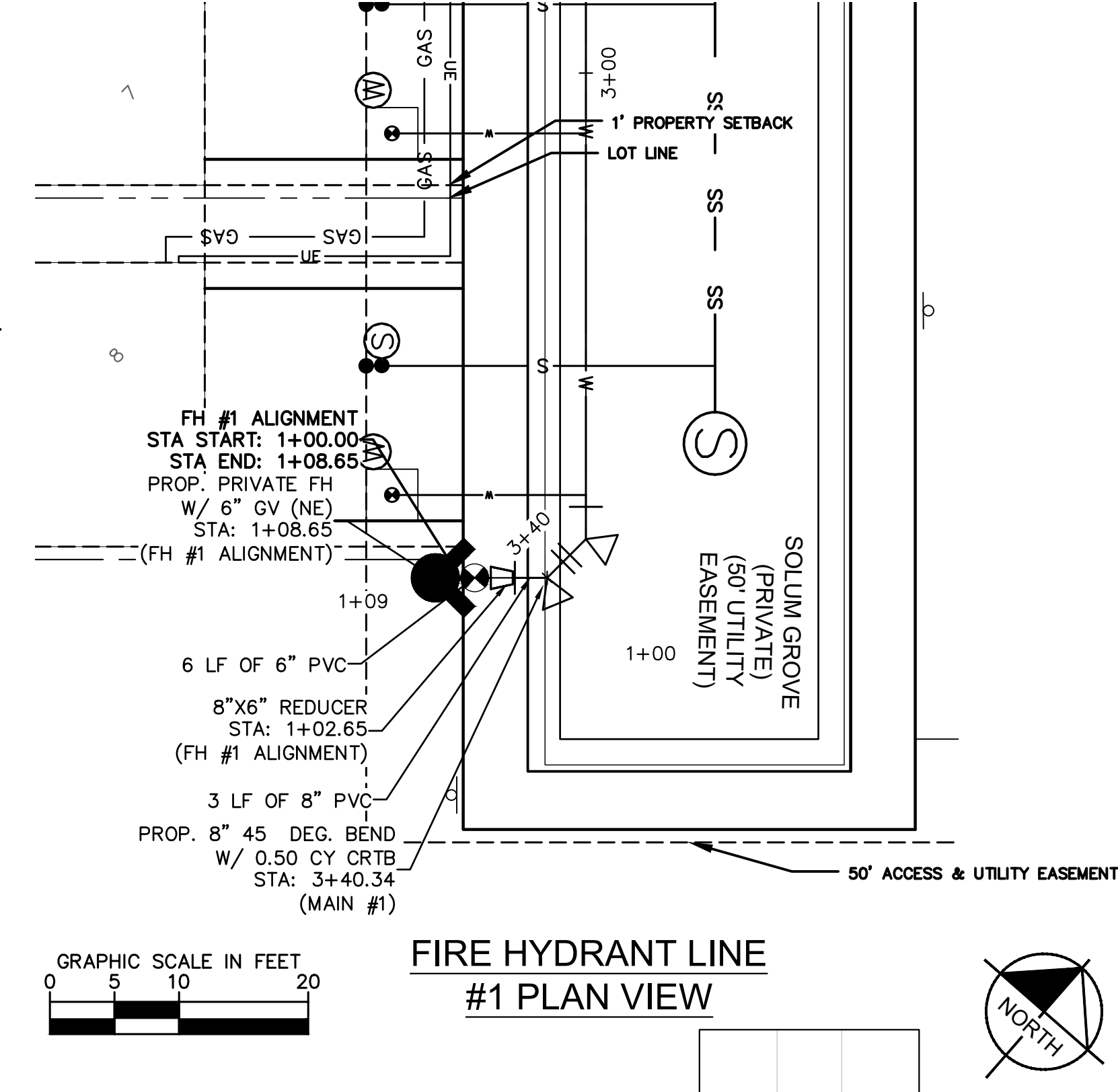




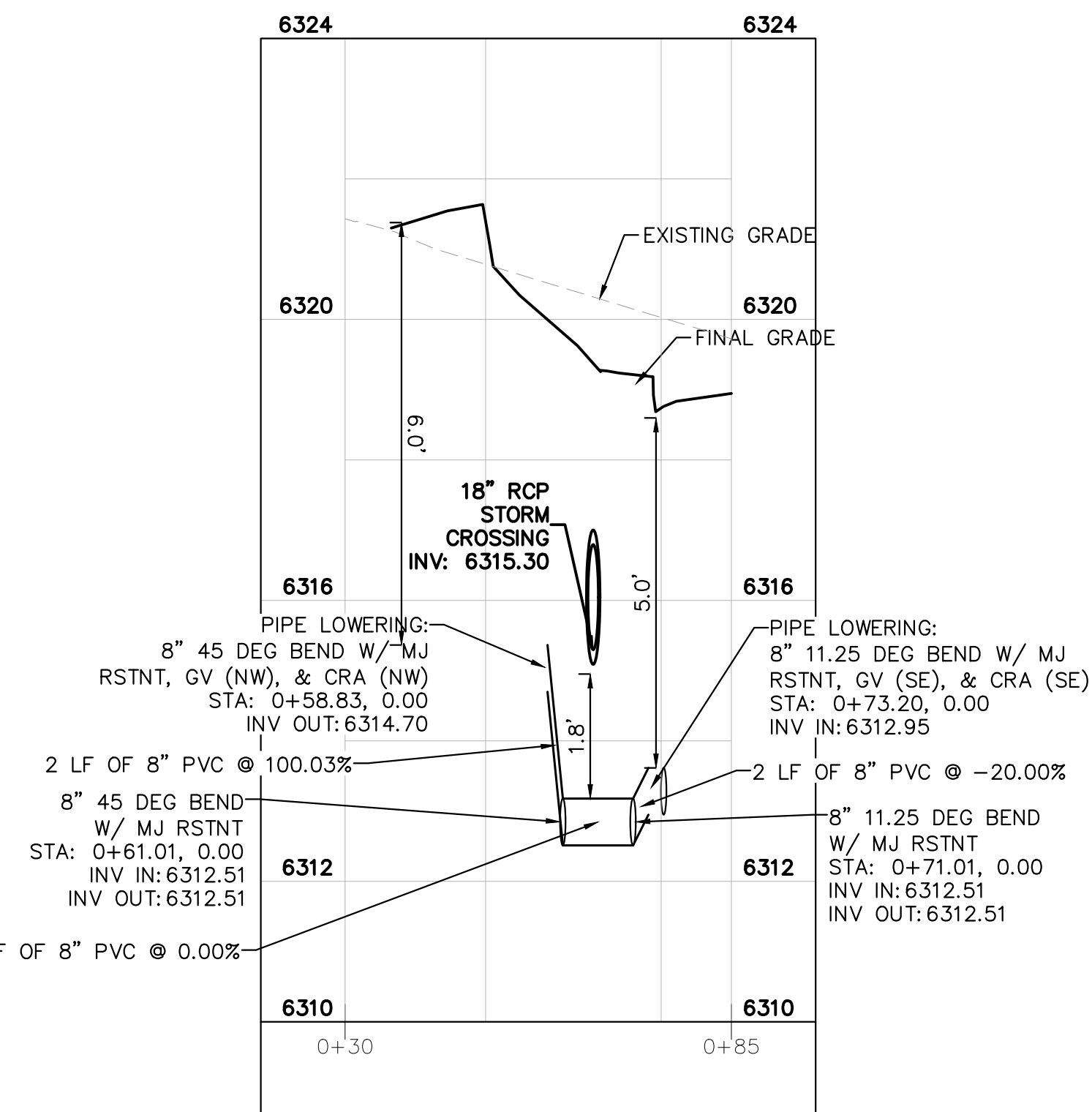
**WATER MAIN #1 PIPE LOWERING PLAN VIEW**



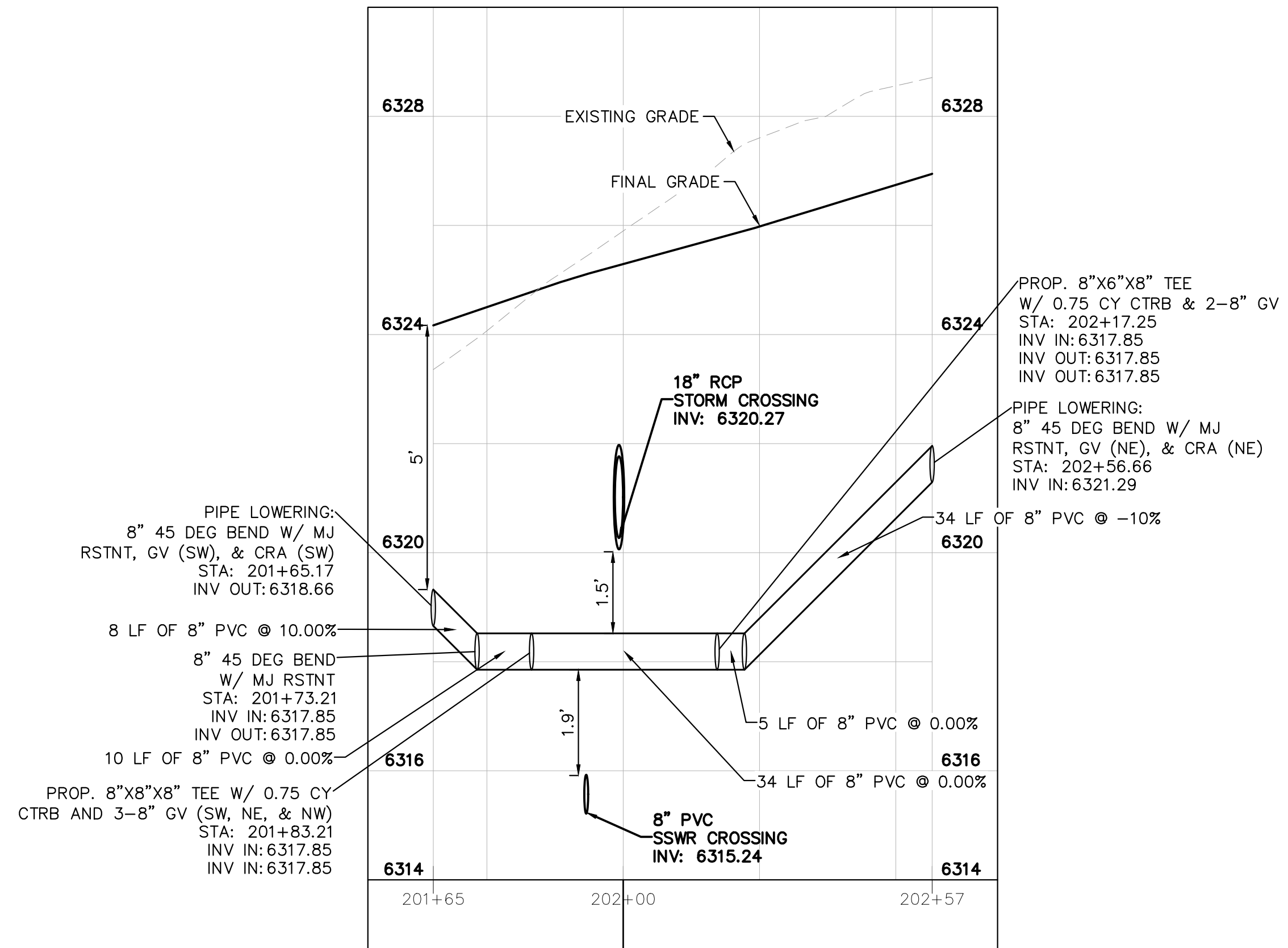
**WATER MAIN #2 PIPE LOWERING PLAN VIEW**



**FIRE HYDRANT LINE #1 PLAN VIEW**



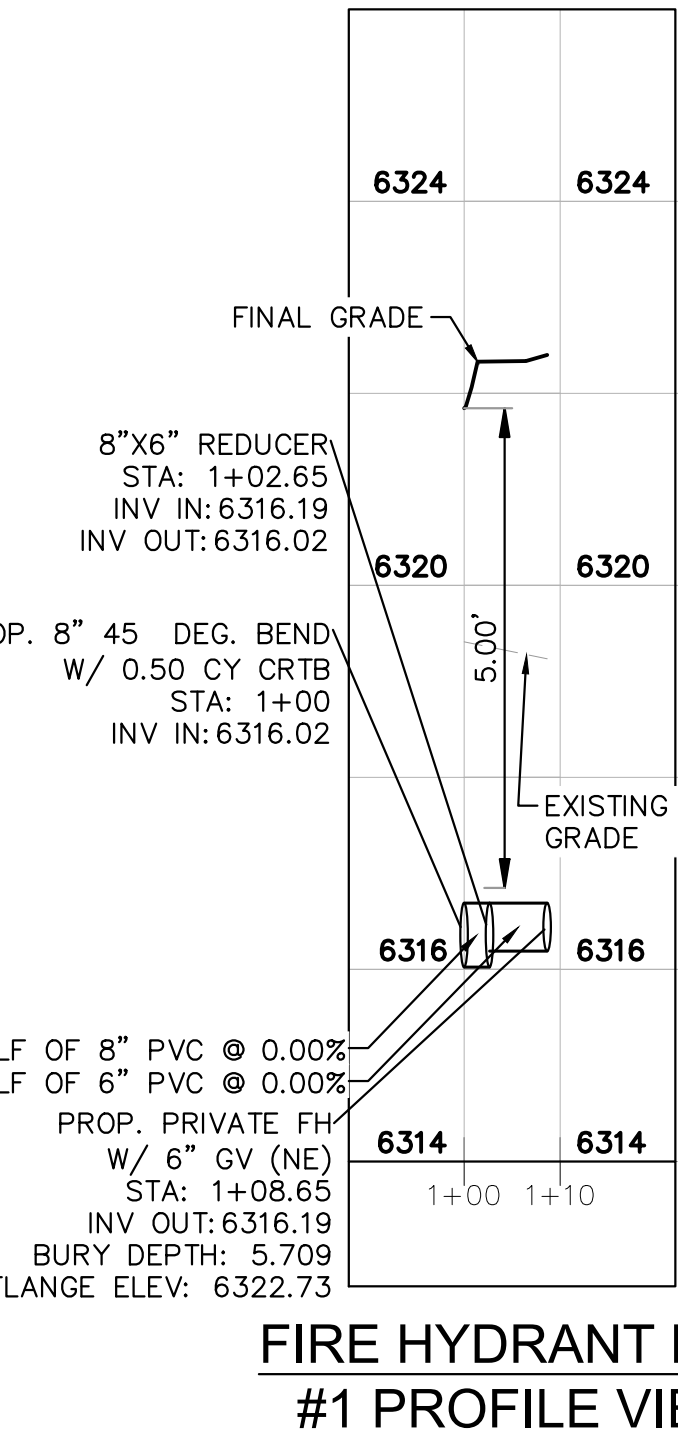
**WATER MAIN #1 PIPE LOWERING PROFILE VIEW**



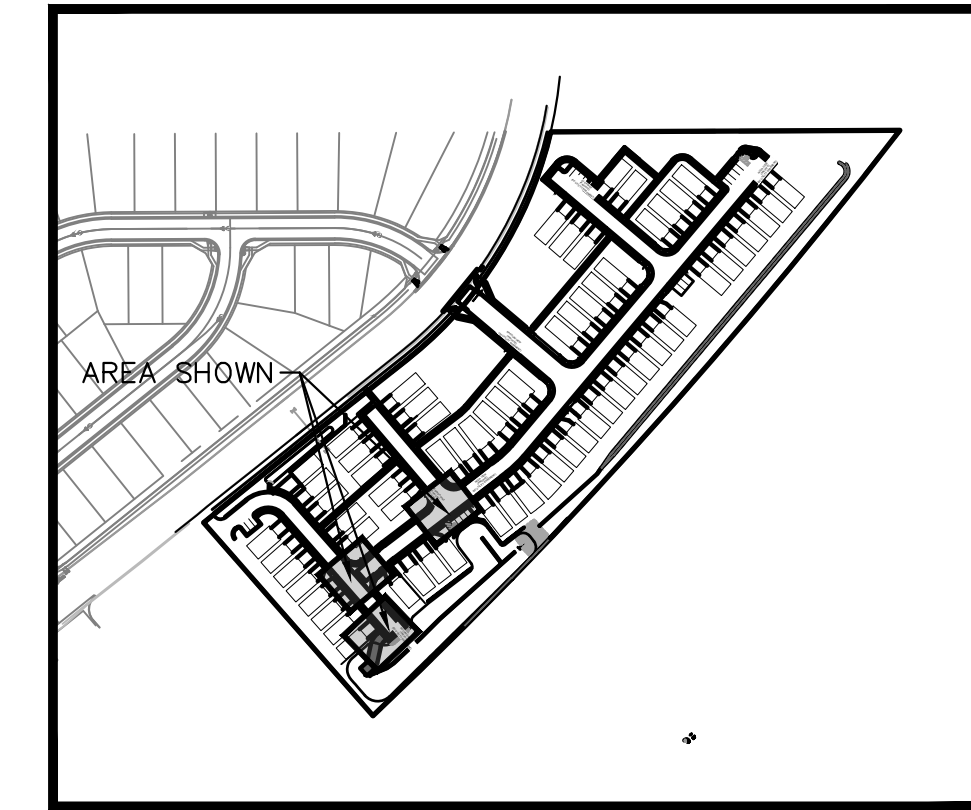
**WATER MAIN #2 PIPE LOWERING PROFILE VIEW**



**FIRE HYDRANT LINE #1 PROFILE VIEW**



**FIRE HYDRANT LINE #1 PROFILE VIEW**



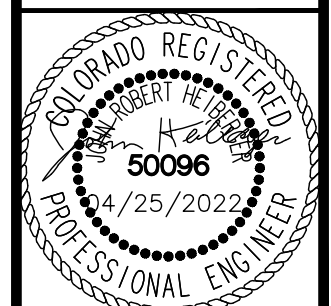
**KEY MAP NOT TO SCALE**

NO.	REVISION	BY	DATE	APPR
1	ISSUE FOR PERMIT	JRH	10/05/21	GP
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
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**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 WATER PLAN



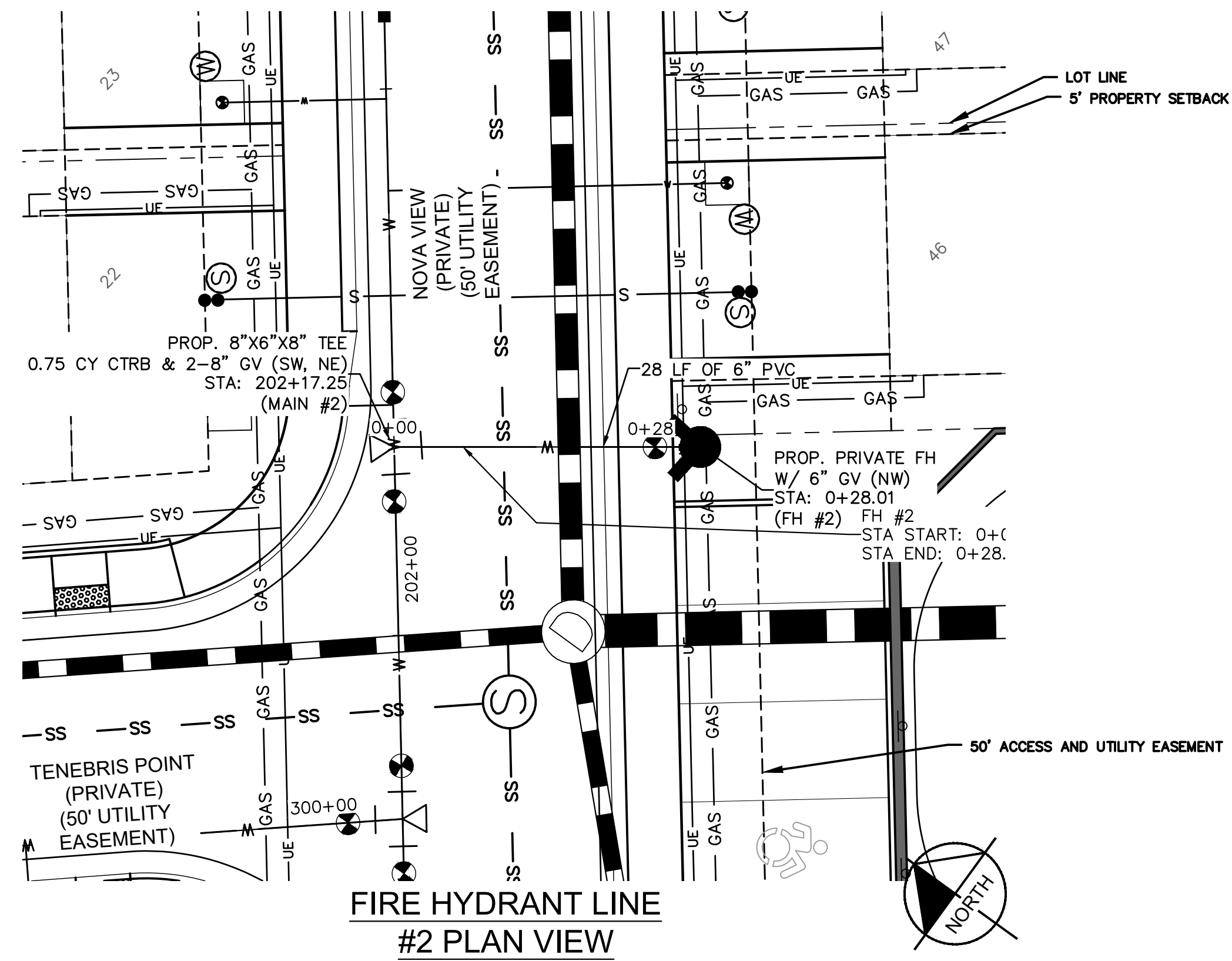
PROJECT NO. 096956009

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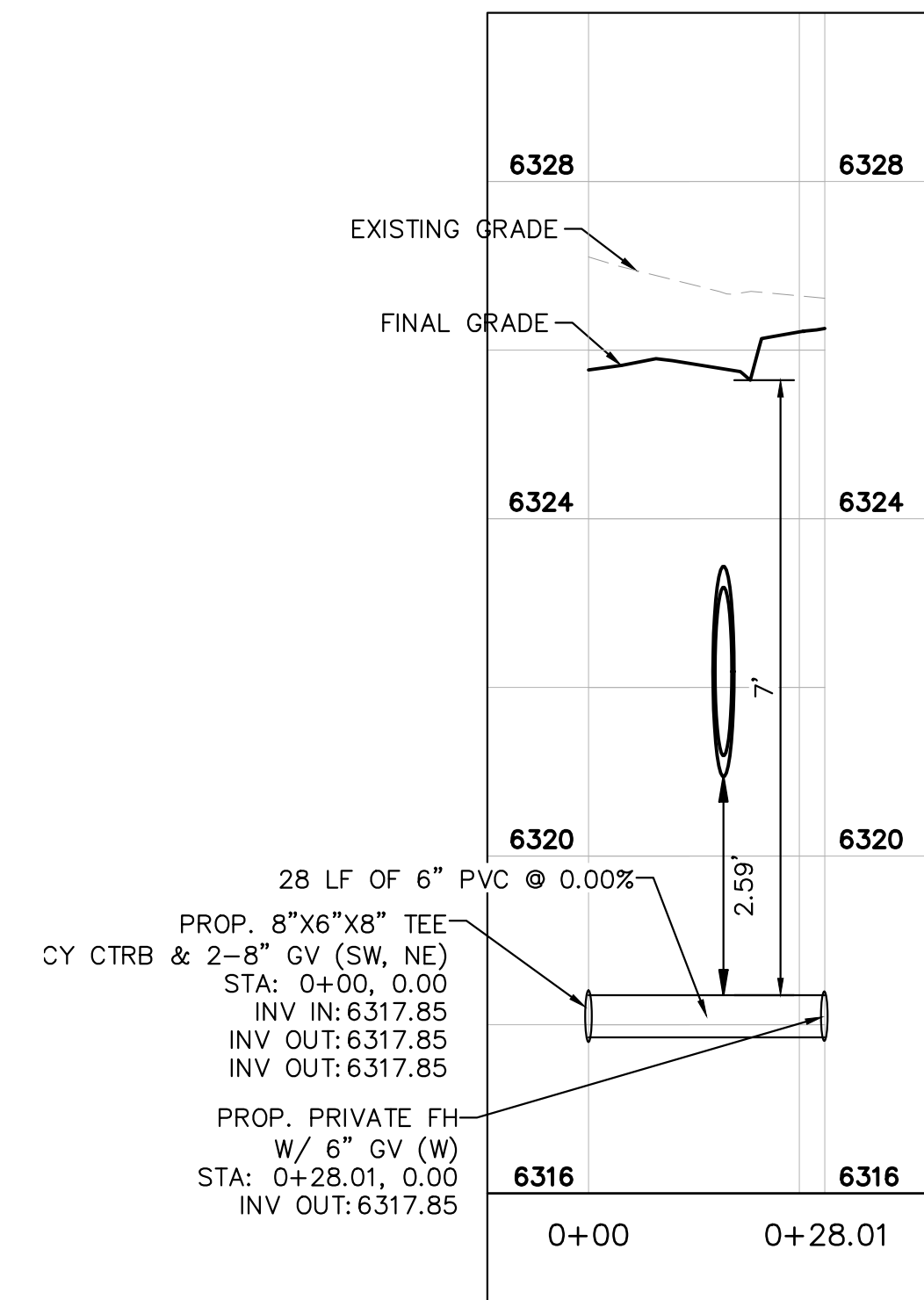
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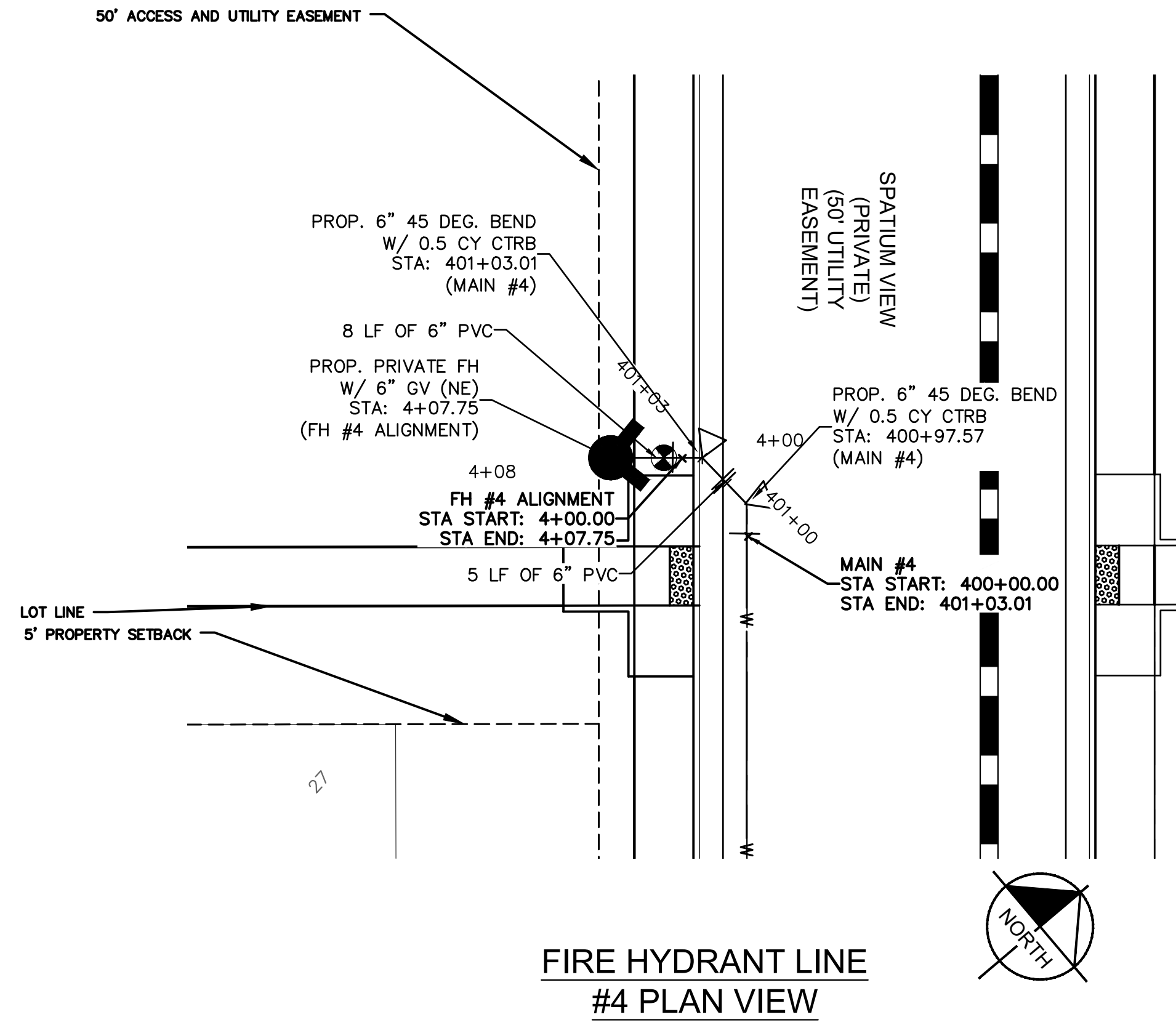
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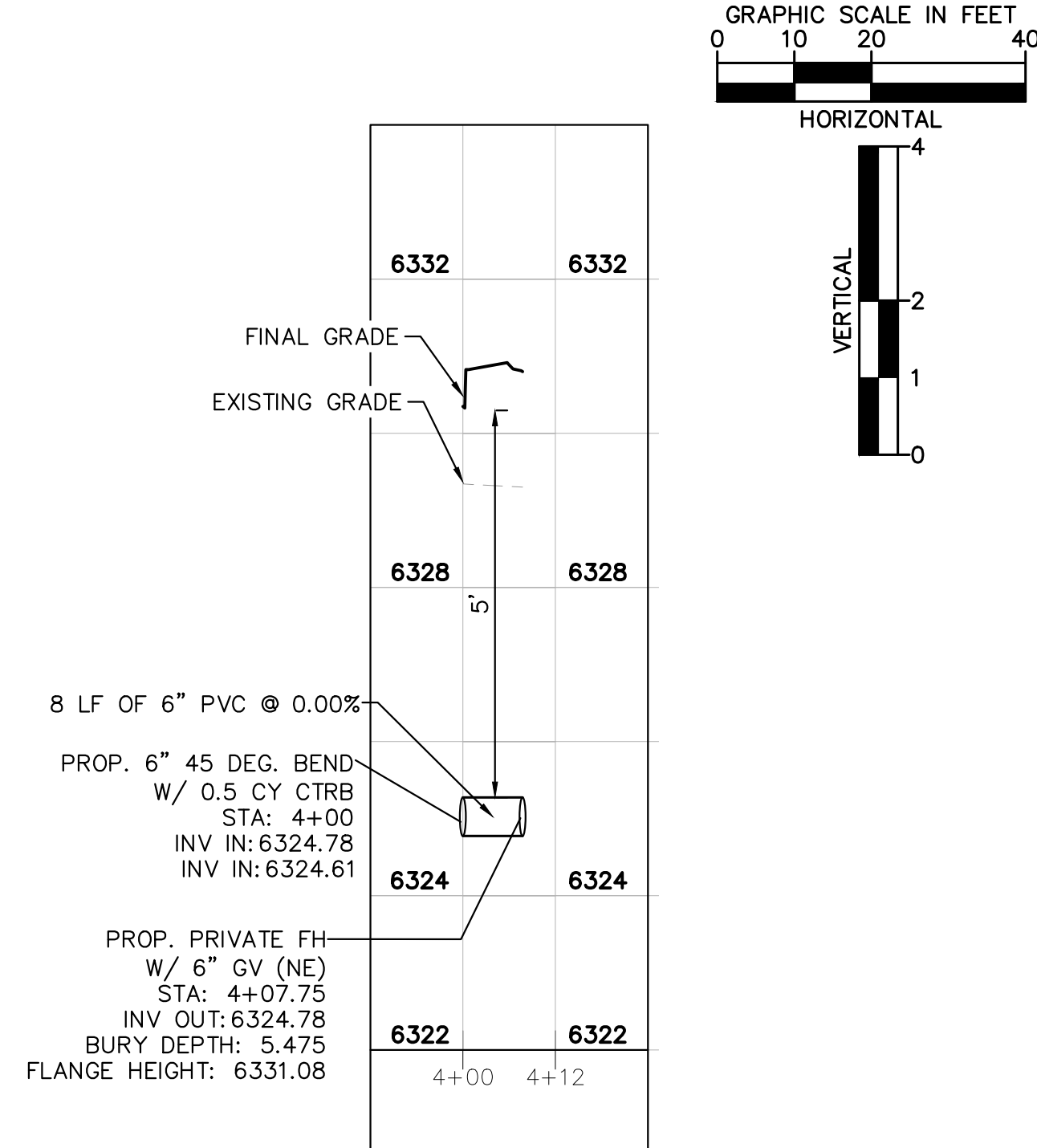
FIRE HYDRANT LINE #2 PLAN VIEW



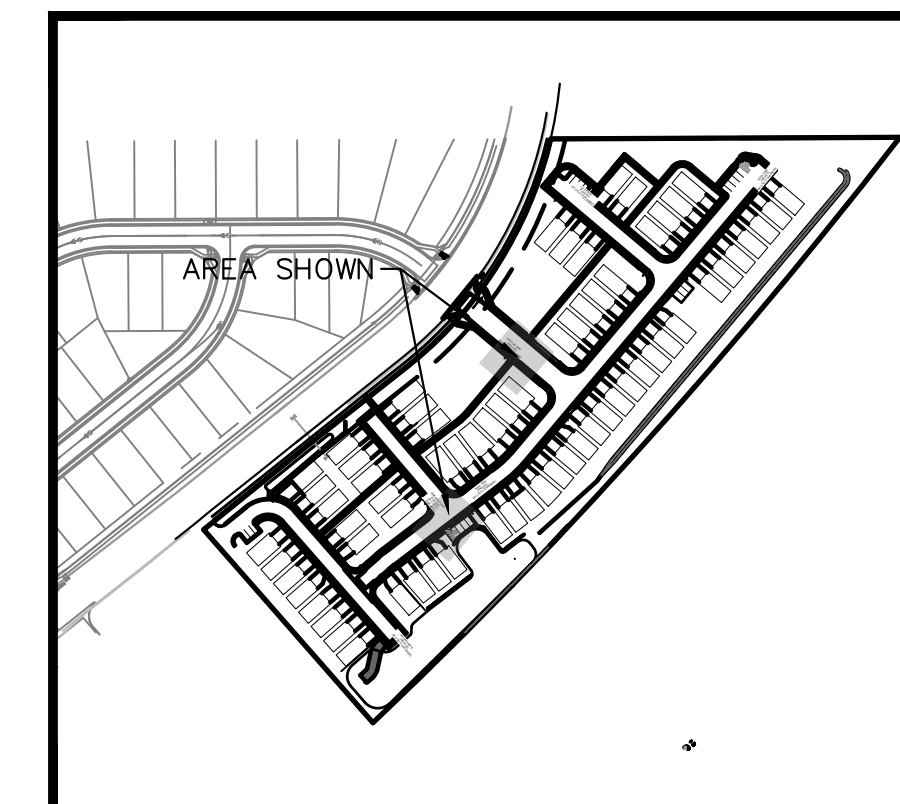
FIRE HYDRANT LINE #2 PROFILE VIEW



FIRE HYDRANT LINE #4 PLAN VIEW



FIRE HYDRANT LINE #4 PROFILE VIEW



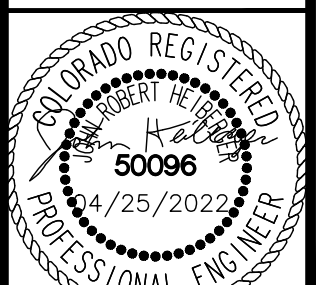
KEY MAP NOT TO SCALE

NO.	REVISION	BY	DATE	APPR
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MEADOWBROOK PARK  
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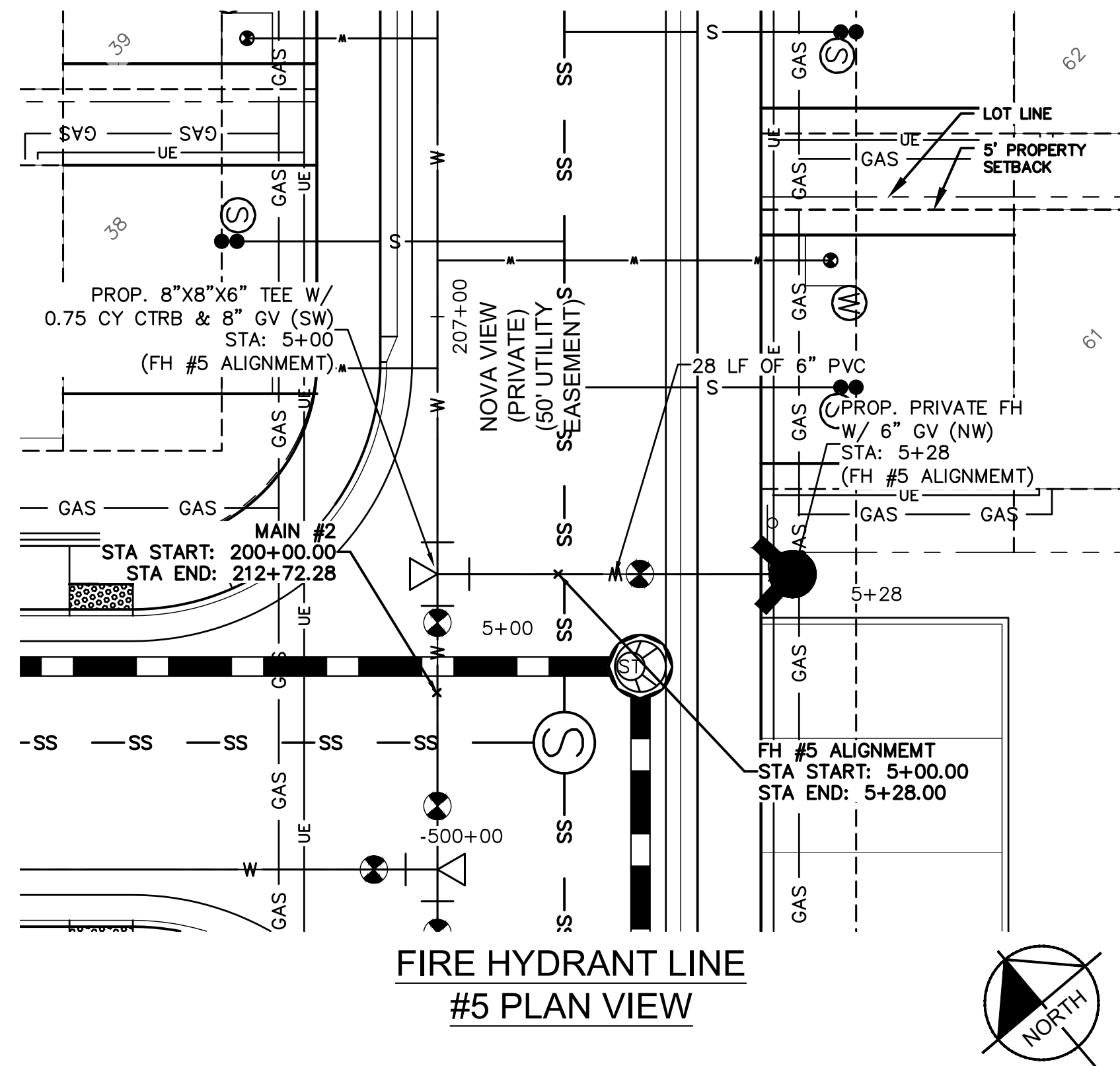


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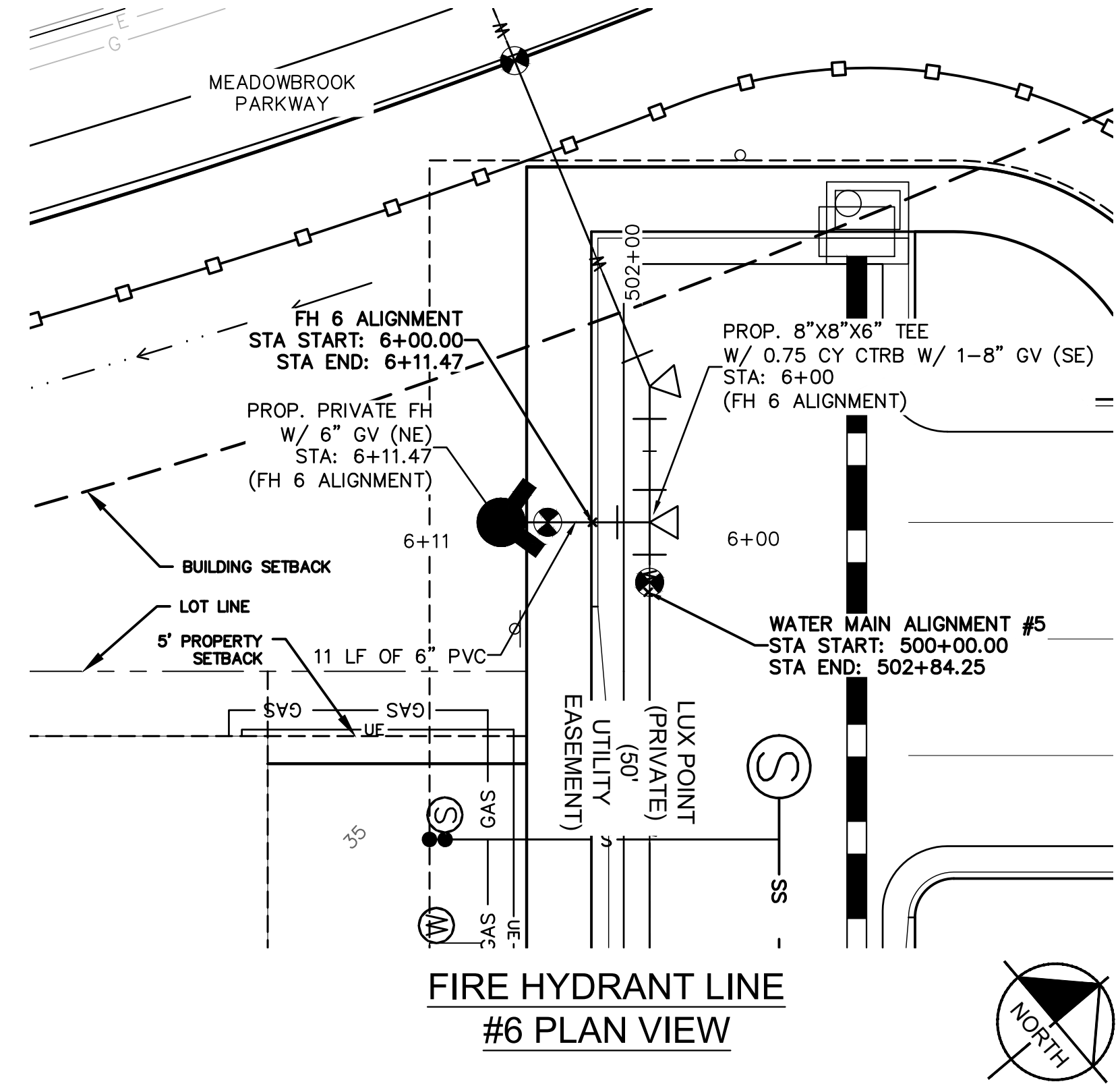
SHEET  
C3.10



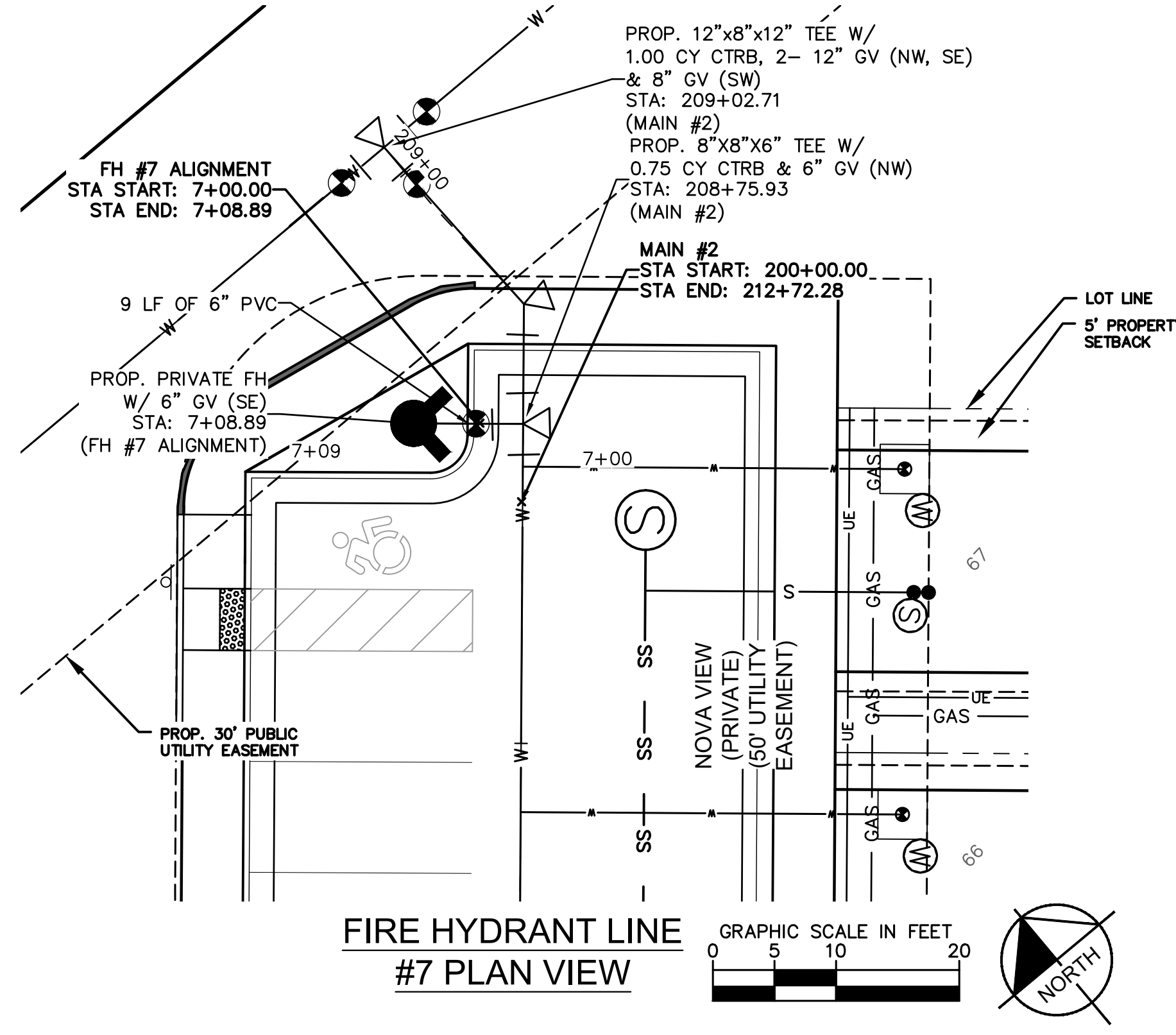
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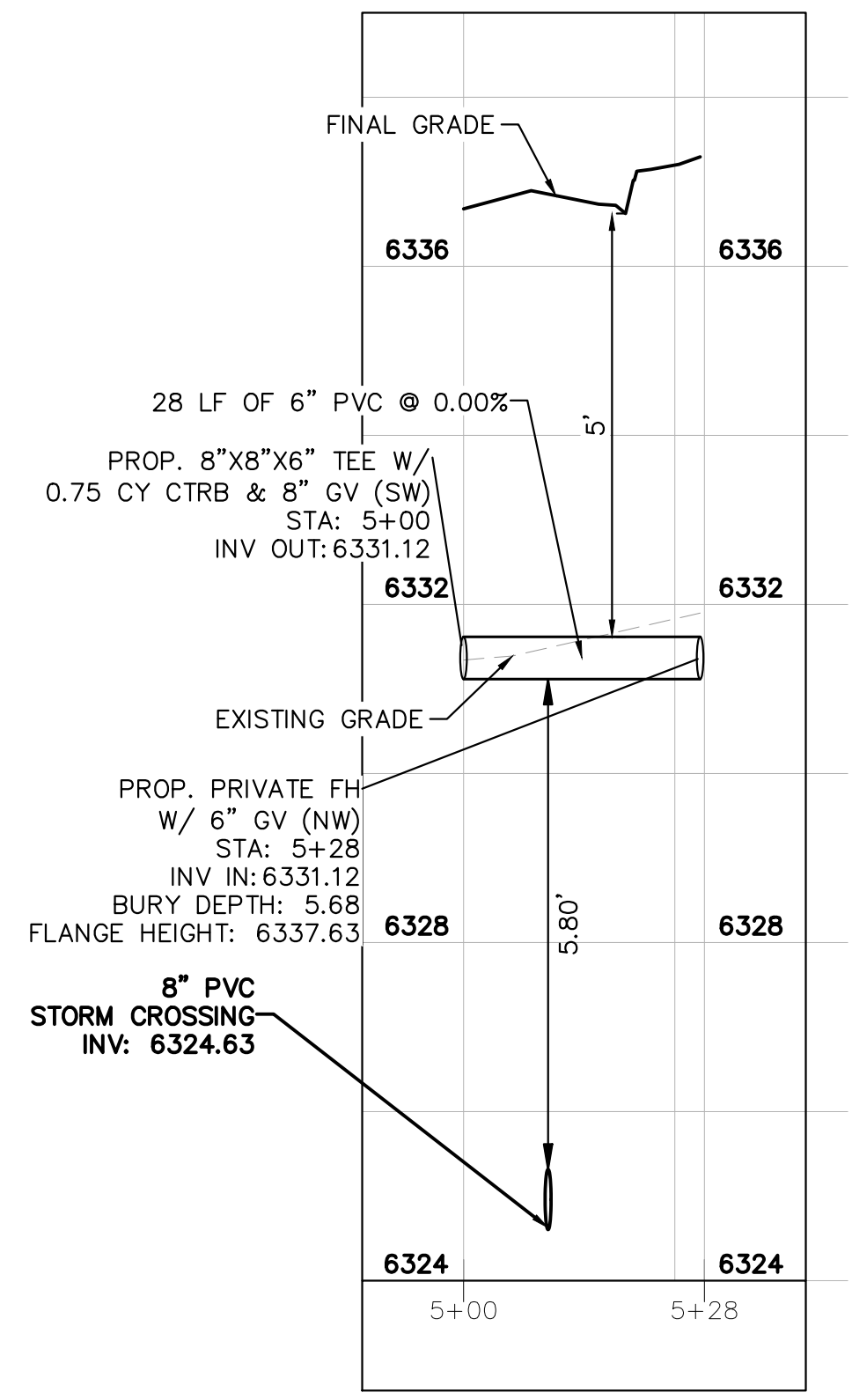
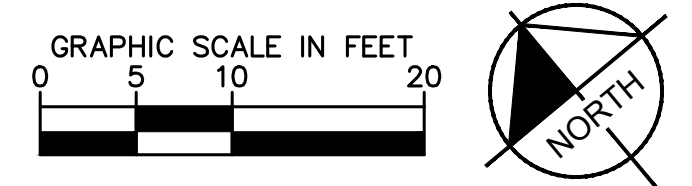
FIRE HYDRANT LINE #5 PLAN VIEW



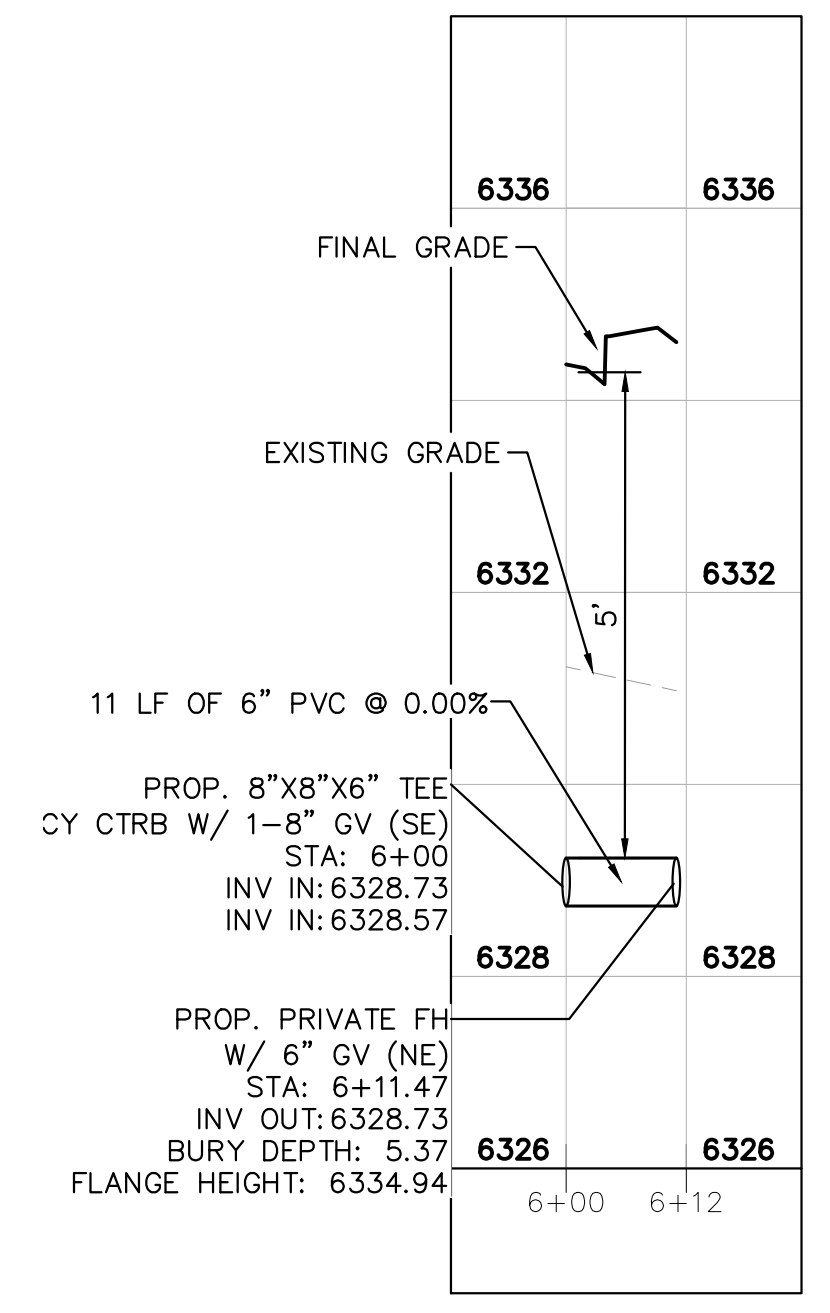
FIRE HYDRANT LINE #6 PLAN VIEW



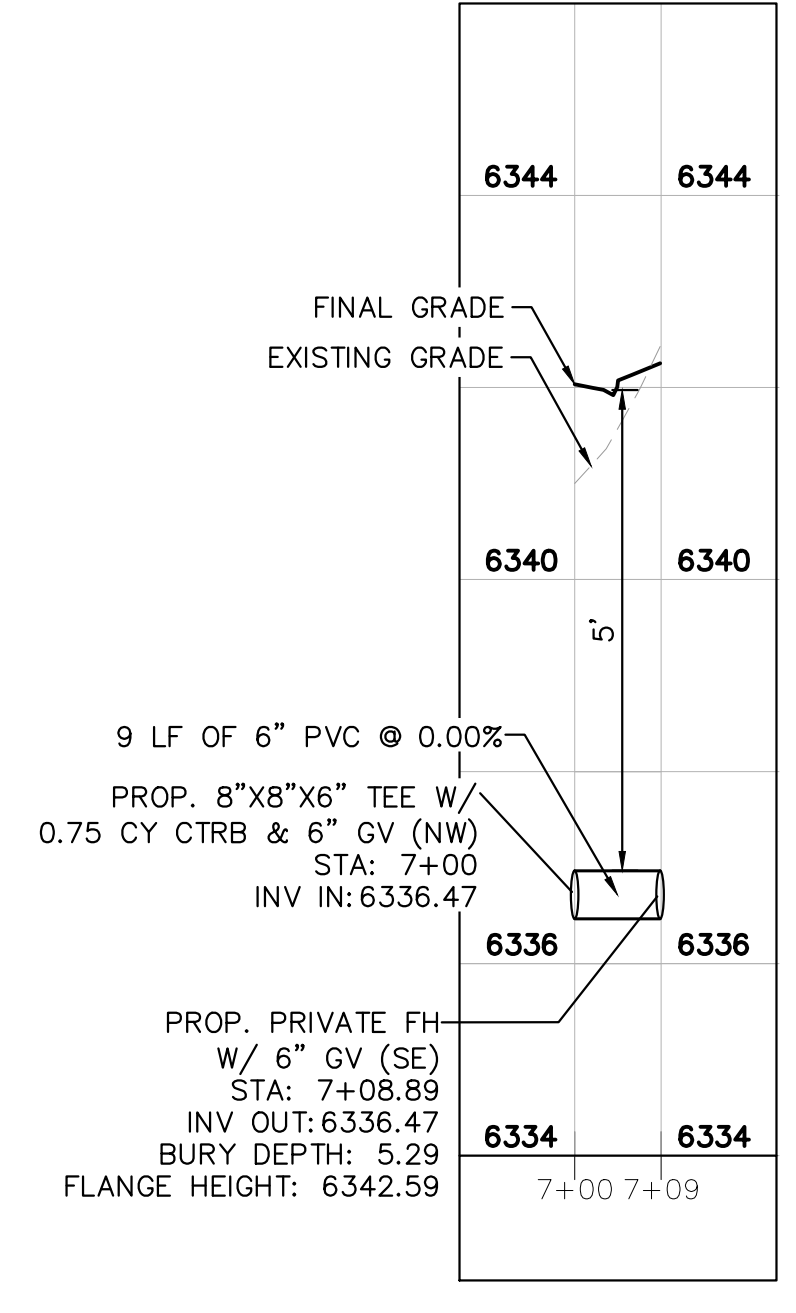
FIRE HYDRANT LINE #7 PLAN VIEW



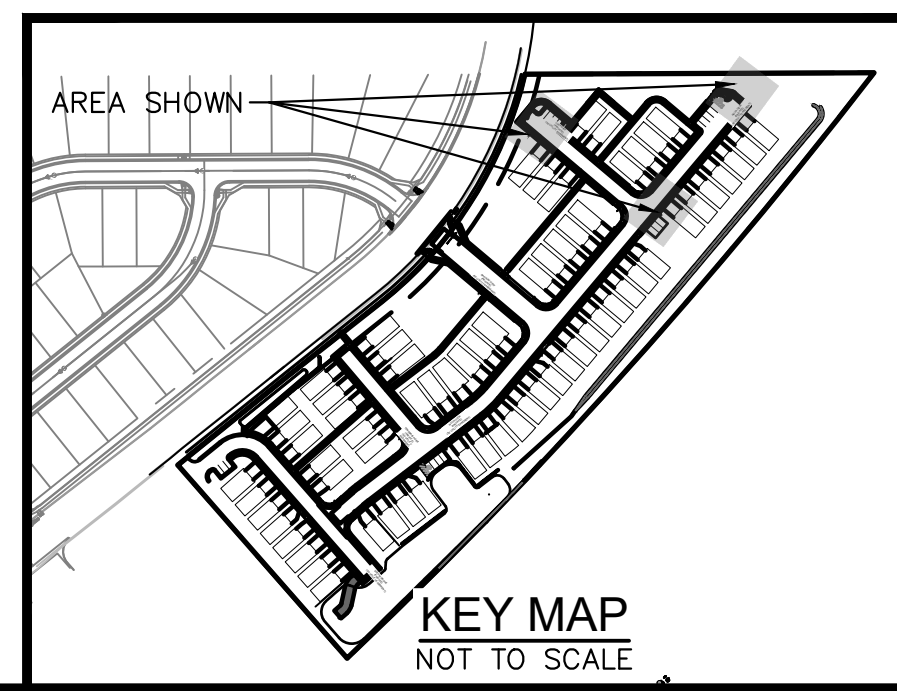
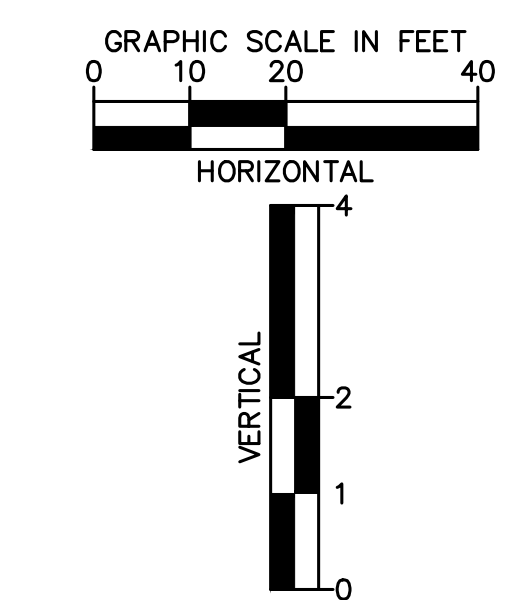
FIRE HYDRANT LINE #5 PROFILE VIEW



FIRE HYDRANT LINE #6 PROFILE VIEW



FIRE HYDRANT LINE #7 PROFILE VIEW



NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

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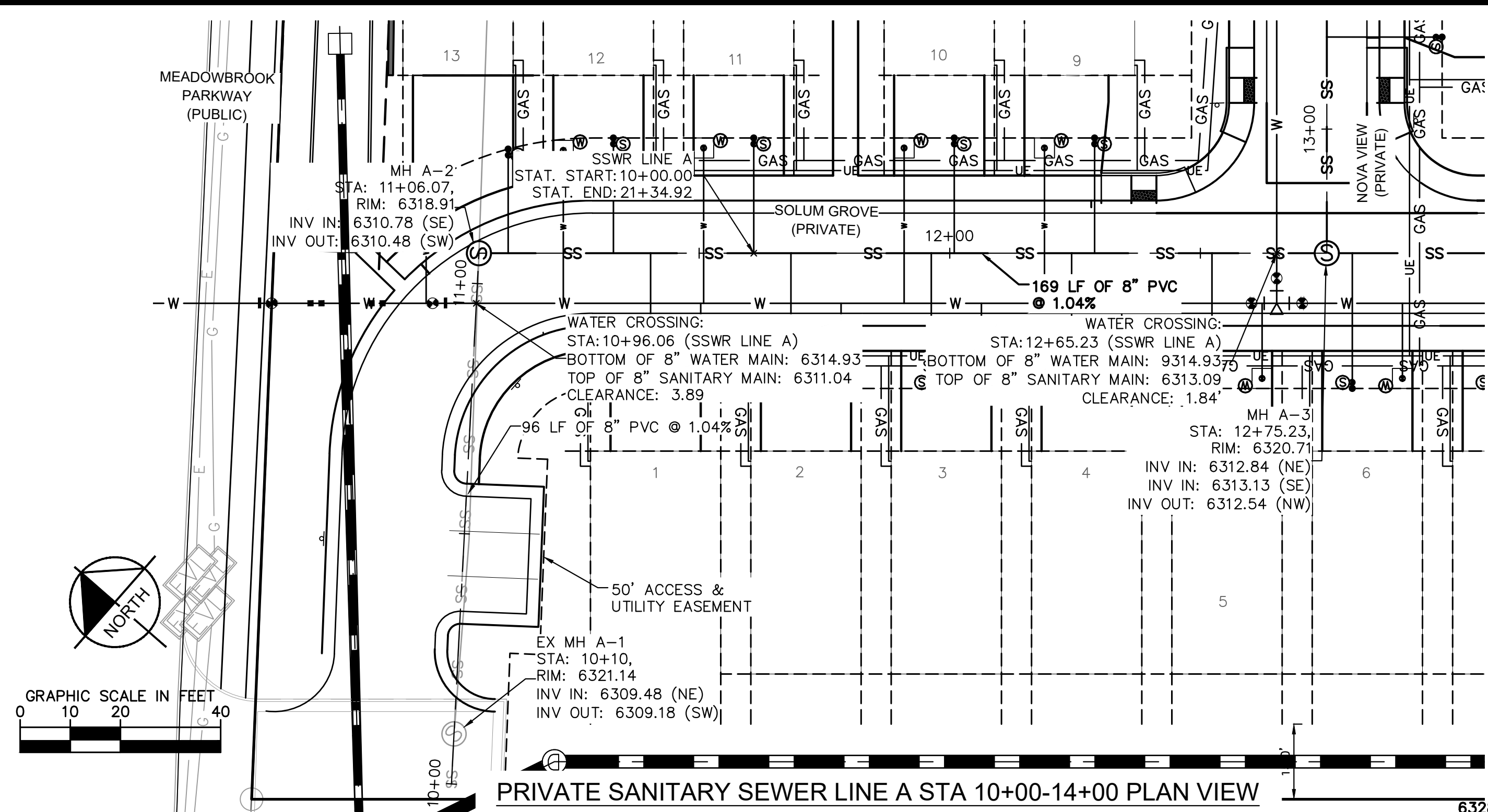
MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
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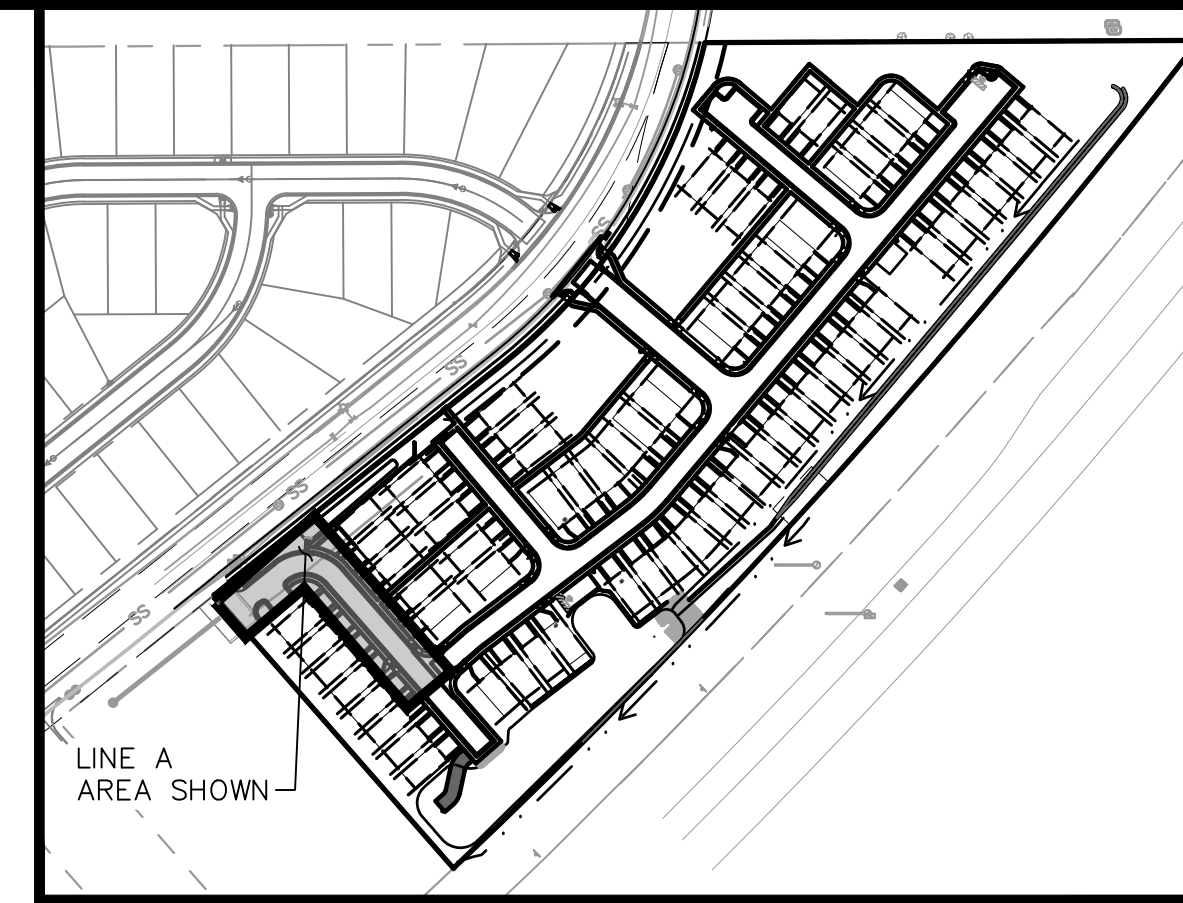
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096956009  
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**C3.11**



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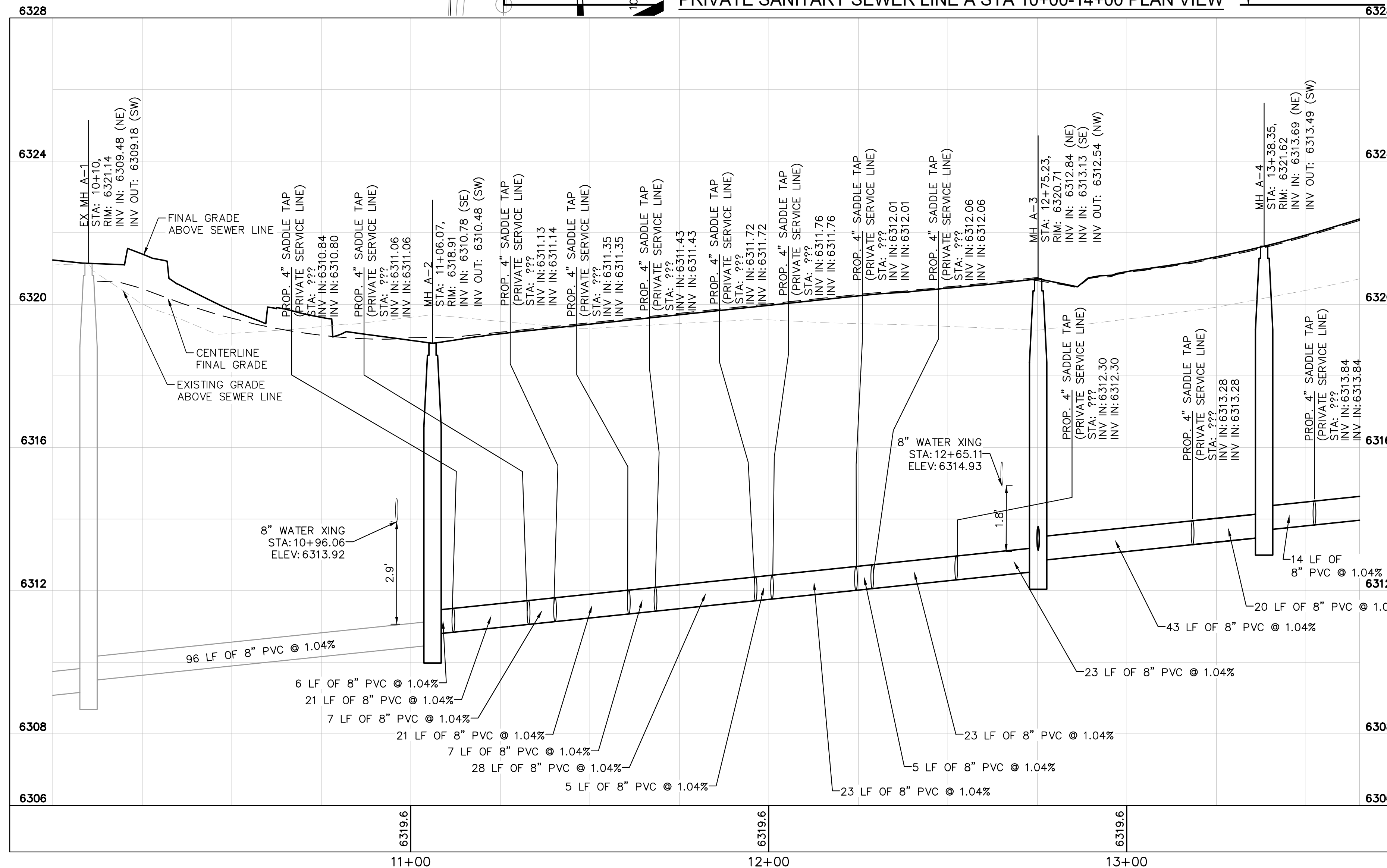
PRIVATE SANITARY SEWER LINE A STA 10+00-14+00 PLAN VIEW



KEYMAP SCALE: 1"=200'

**SANITARY SEWER NOTES**

1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. ALL ONSITE SANITARY SEWER MANHOLES AND MAINS ARE PRIVATE UNLESS OTHERWISE NOTED.
3. SANITARY SERVICE LINES SHALL BE A MINIMUM OF 4" PVC AND SHALL BE PRIVATE UNLESS OTHERWISE NOTED ON PLANS.
4. THE COST FOR ONSITE PRIVATE CONCRETE CURB AND GUTTER, CONCRETE SIDEWALK, CONCRETE DRIVEWAY, ASPHALT ROADWAY, AND LANDSCAPING REPLACEMENT IN LIKE KIND DUE TO SANITARY SEWER MAIN, WATER MAIN, SANITARY SEWER SERVICE, OR WATER SERVICE REPAIR AND/OR REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE MEADOWBROOK CROSSING METROPOLITAN DISTRICT NO. 1.
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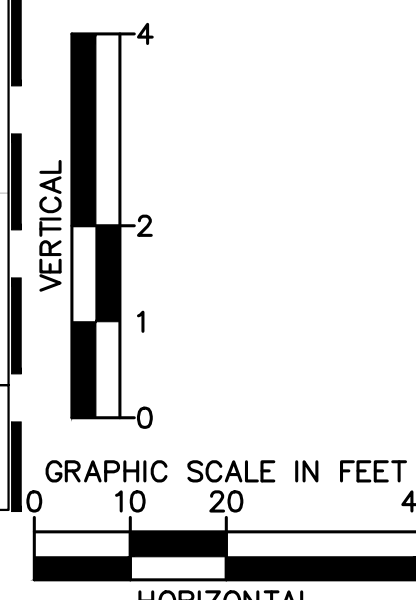


PRIVATE SANITARY SEWER LINE A STA 10+00-13+65 PROFILE VIEW

MATCHLINE REFER TO SHEET C3.13 FOR LINE A STA 13+65 TO 18+00

**LEGEND**

- PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED SANITARY SEWER & MANHOLE
- LOT LINE
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- PROPOSED STORM SEWER STRUCTURES
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NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

**MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 SAN. SEWER PLAN & PROFILE-LINE A**



PROJECT NO.  
096956009

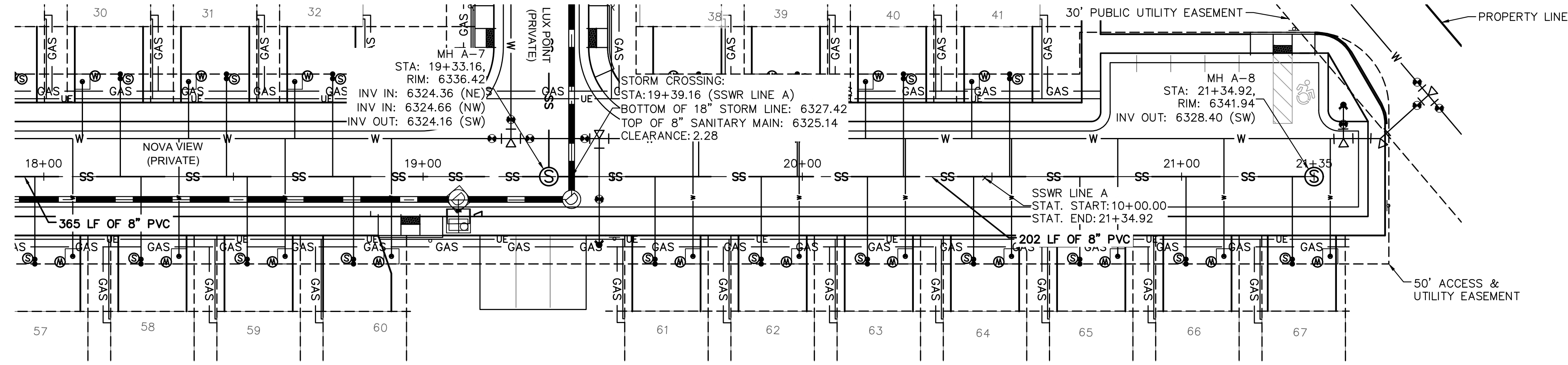
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**C3.12**



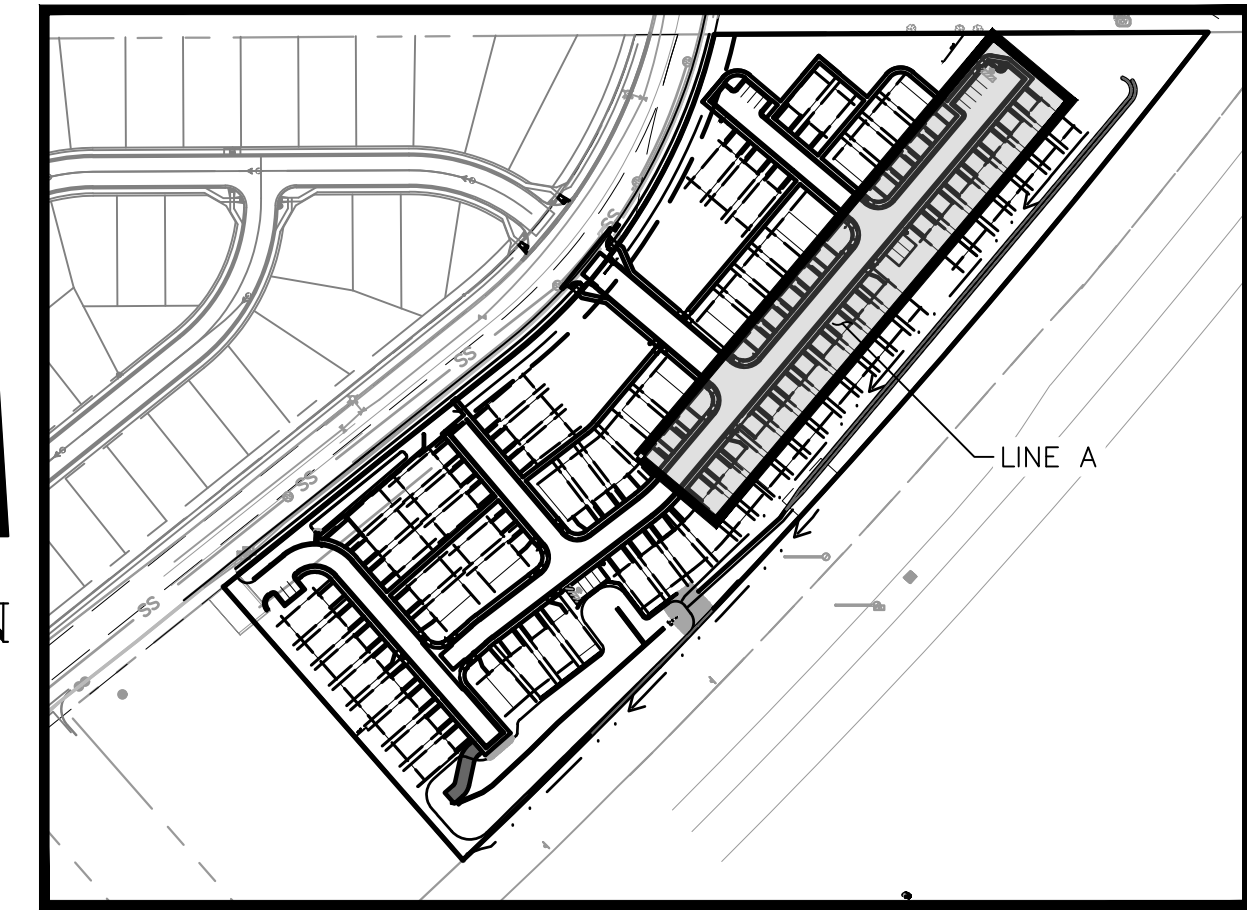




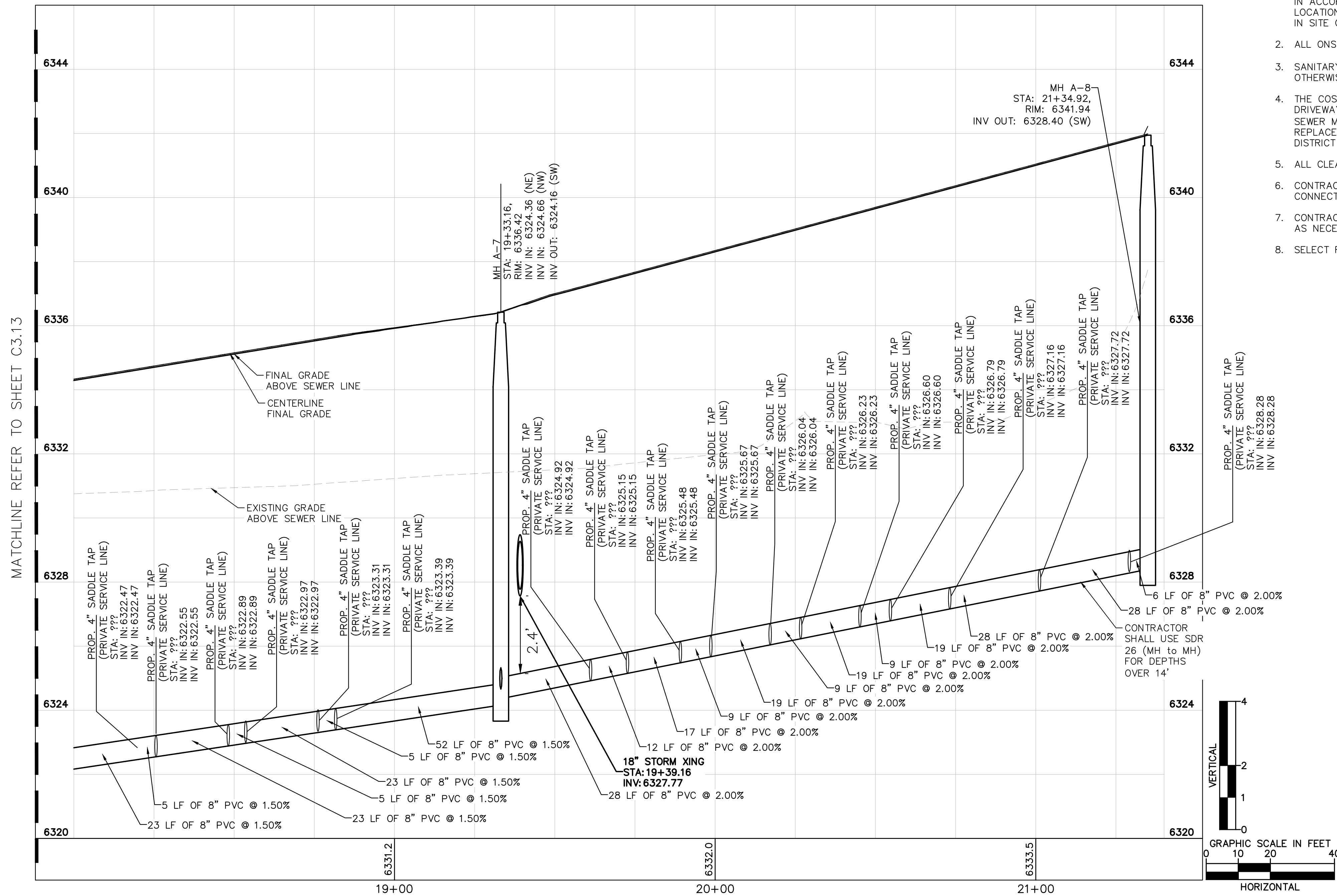
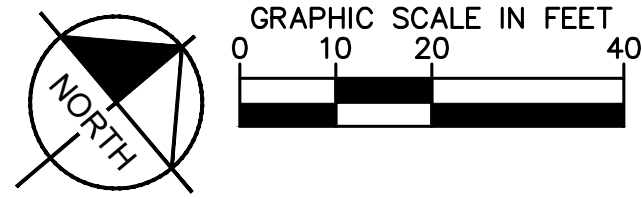
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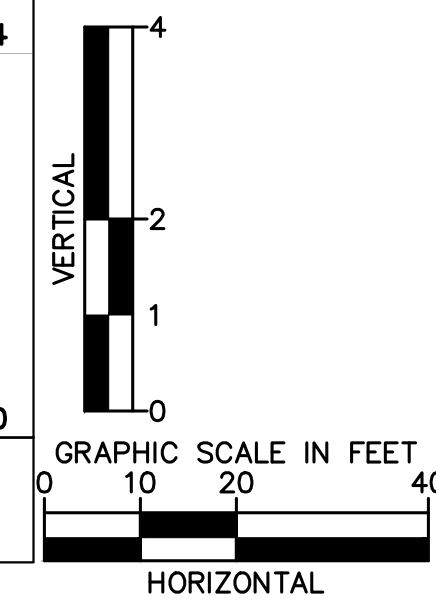
PRIVATE SANITARY SEWER LINE A STA 18+00-21+35 PLAN VIEW



KEYMAP SCALE: 1"=200'



PRIVATE SANITARY SEWER LINE A STA 18+00-21+35 PROFILE VIEW



**SANITARY SEWER NOTES**

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**LEGEND**

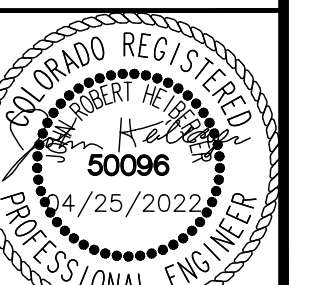
- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
- PROPOSED FIRE HYDRANT
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NO.	REVISION	BY	DATE	APPR
GP	10/05/21	JRH		
GP	03/14/22	JRH		

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DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
**SAN. SEWER PLAN & PROFILE-LINE A**

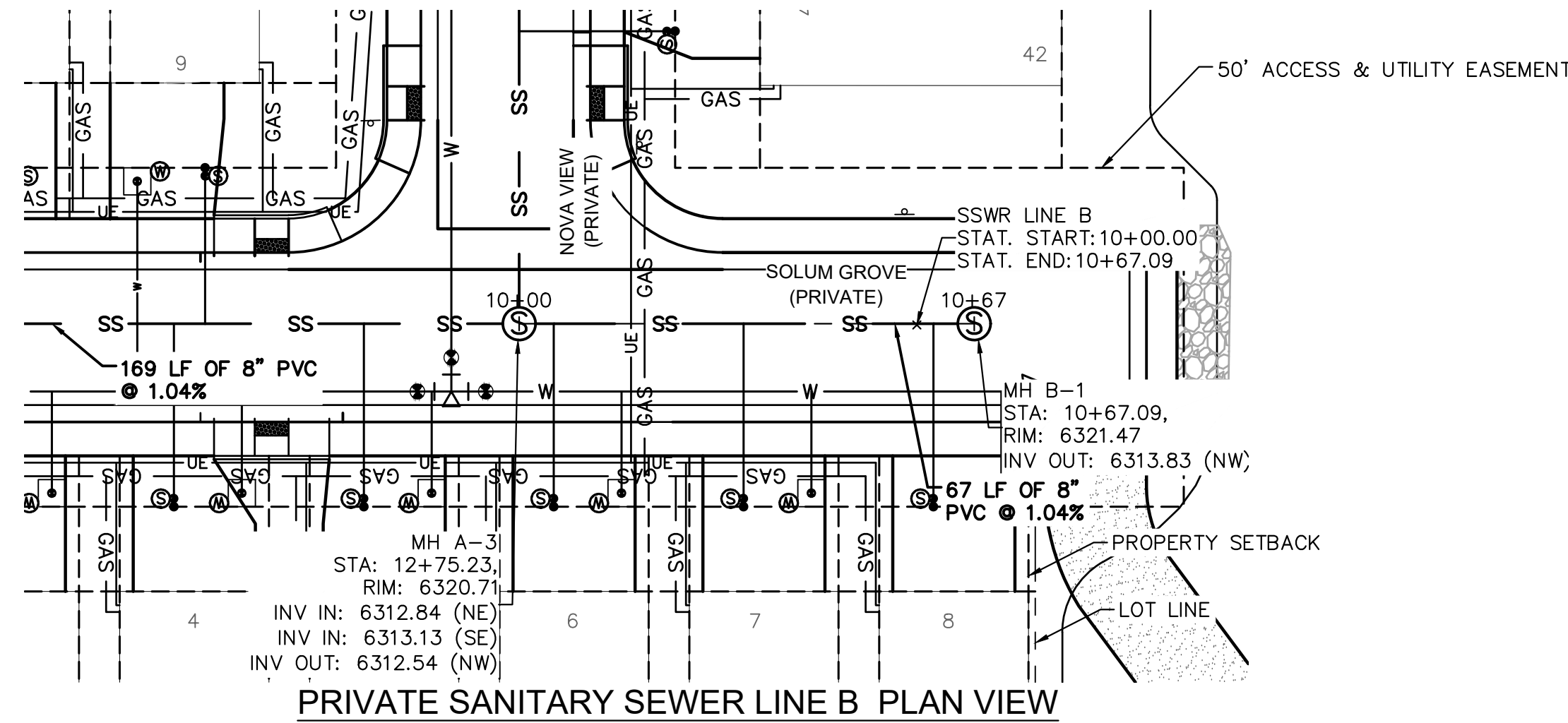
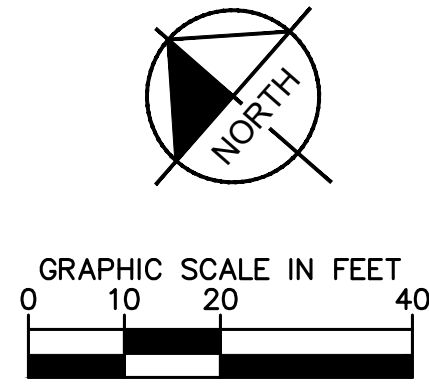


PROJECT NO. 096956009

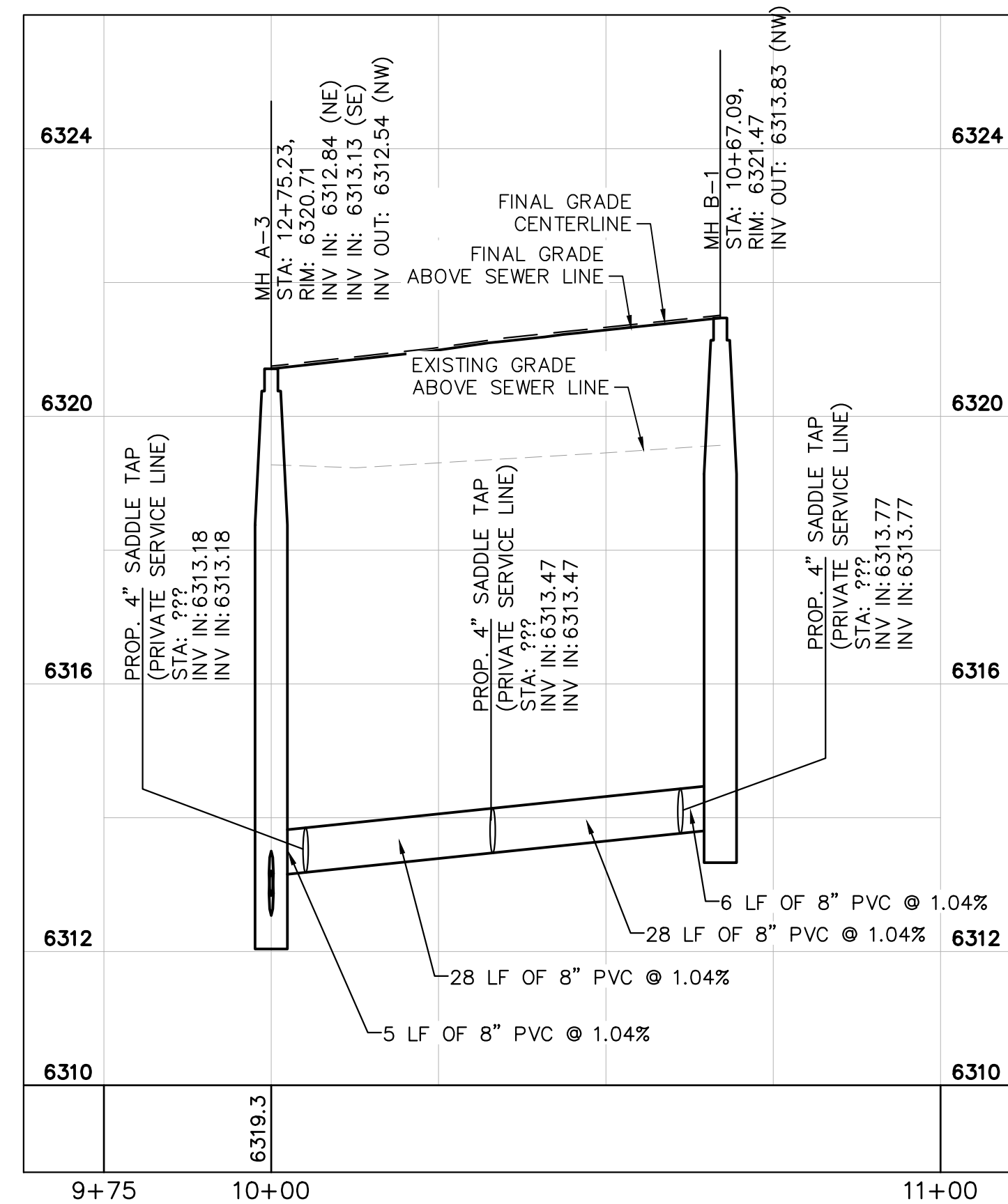
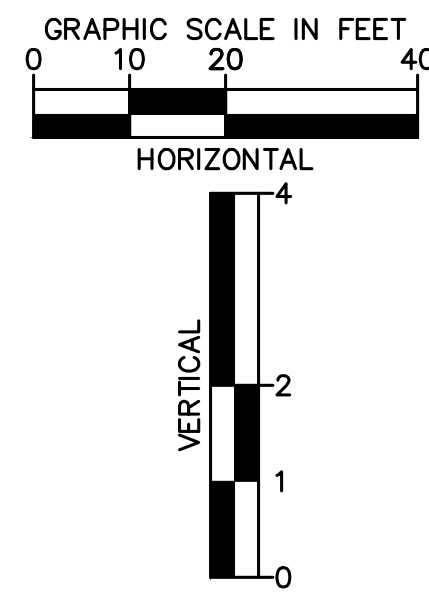
SHEET C3.14



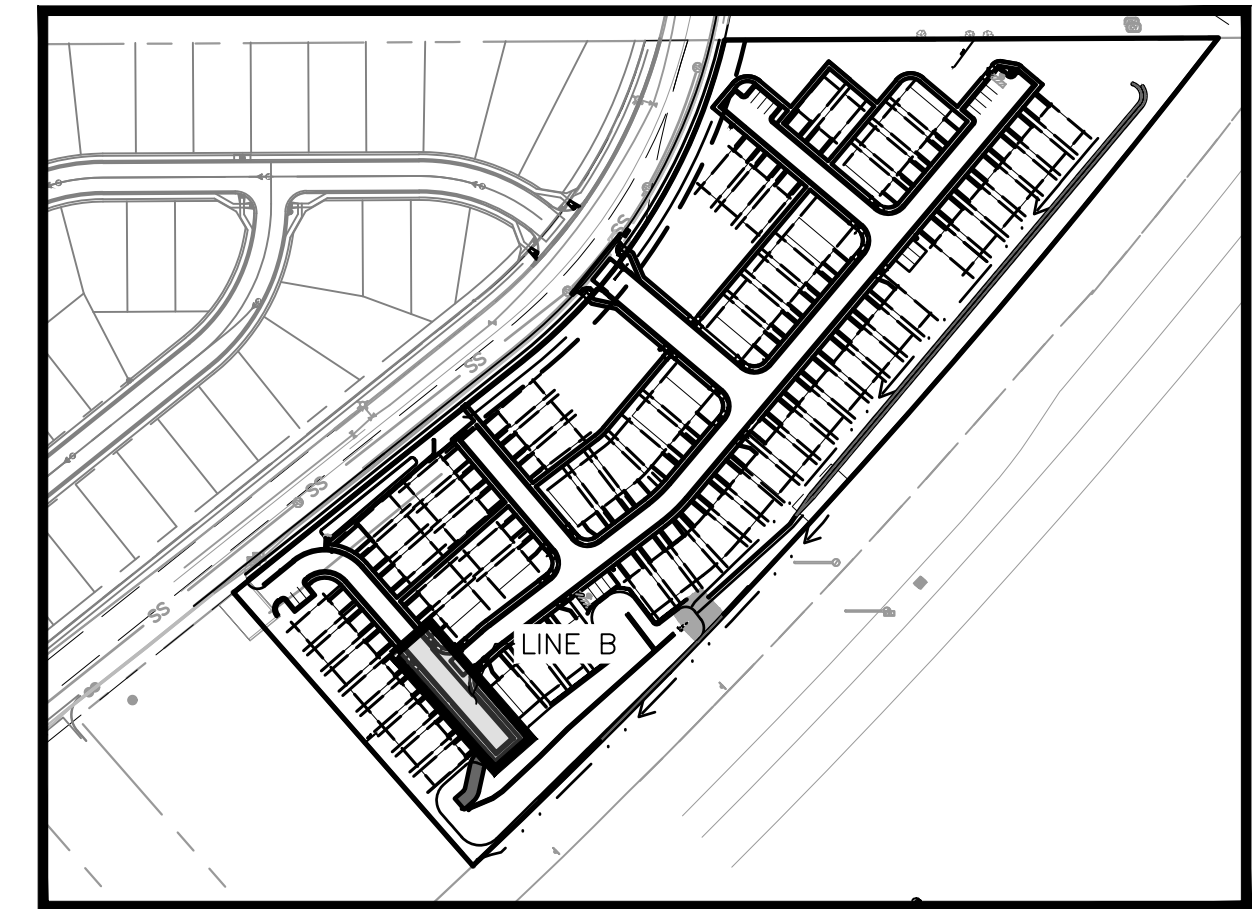
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PRIVATE SANITARY SEWER LINE B PLAN VIEW



PRIVATE SANITARY SEWER LINE B PROFILE VIEW



KEYMAP  
SCALE: 1"=200'

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**LEGEND**

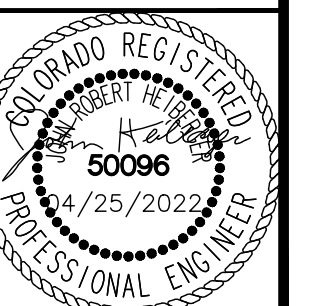
- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- EXISTING WATER LINE & VALVE
- PROPOSED WATER LINE & VALVE
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DESIGNED BY: KK  
 DRAWN BY: KK  
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**MEADOWBROOK PARK**  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
**SAN. SEWER PLAN & PROFILE-LINE B**

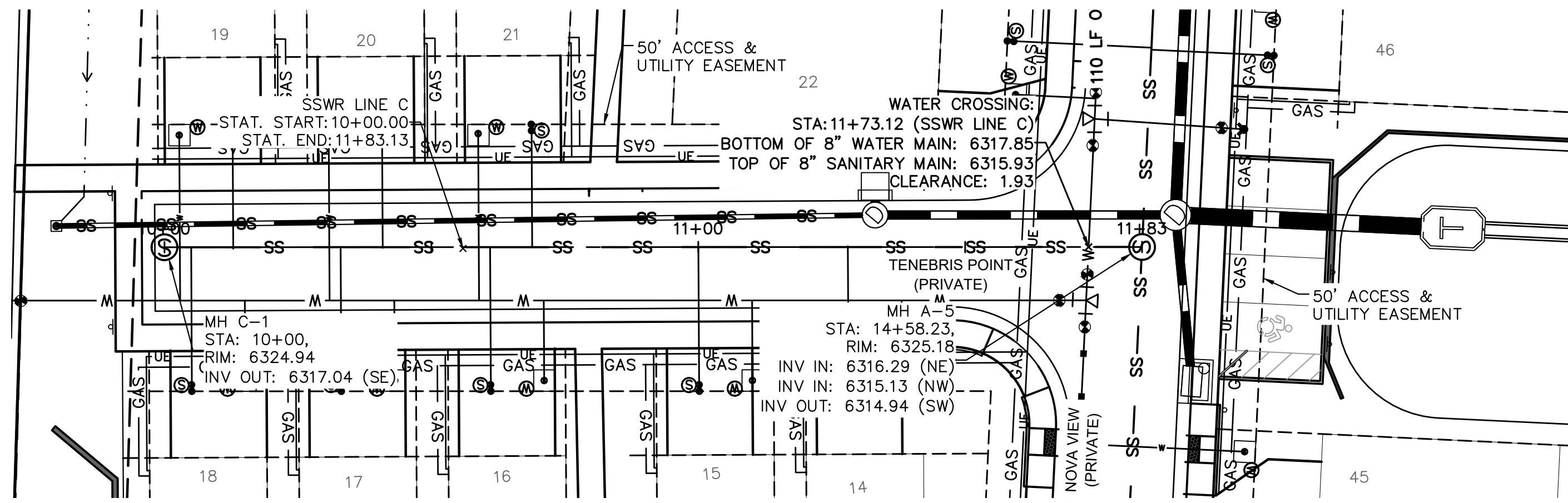
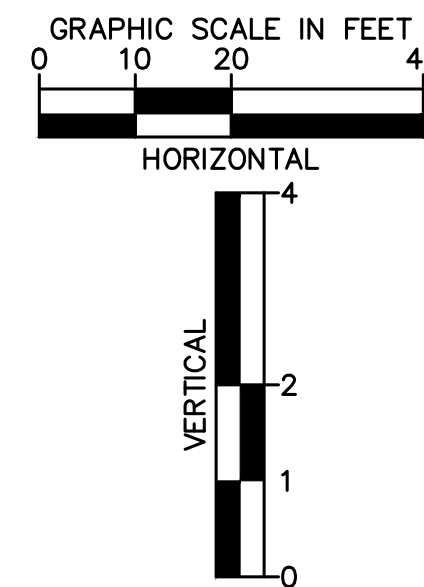
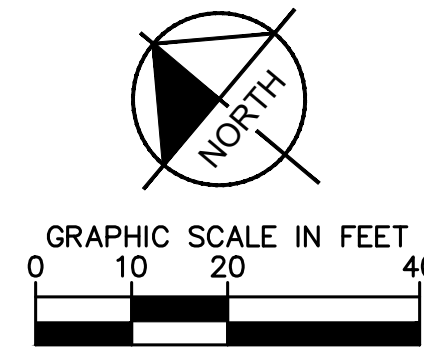


PROJECT NO.  
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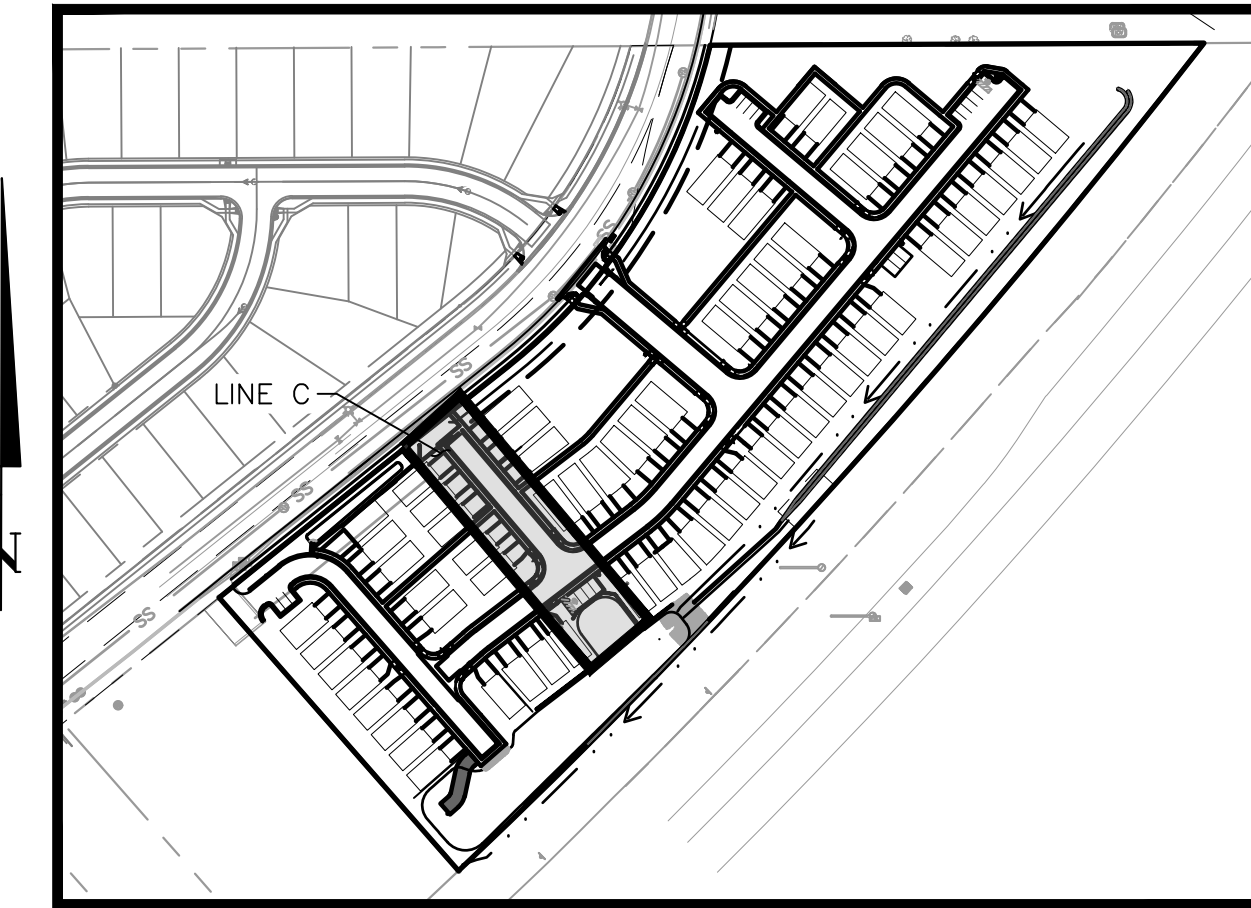
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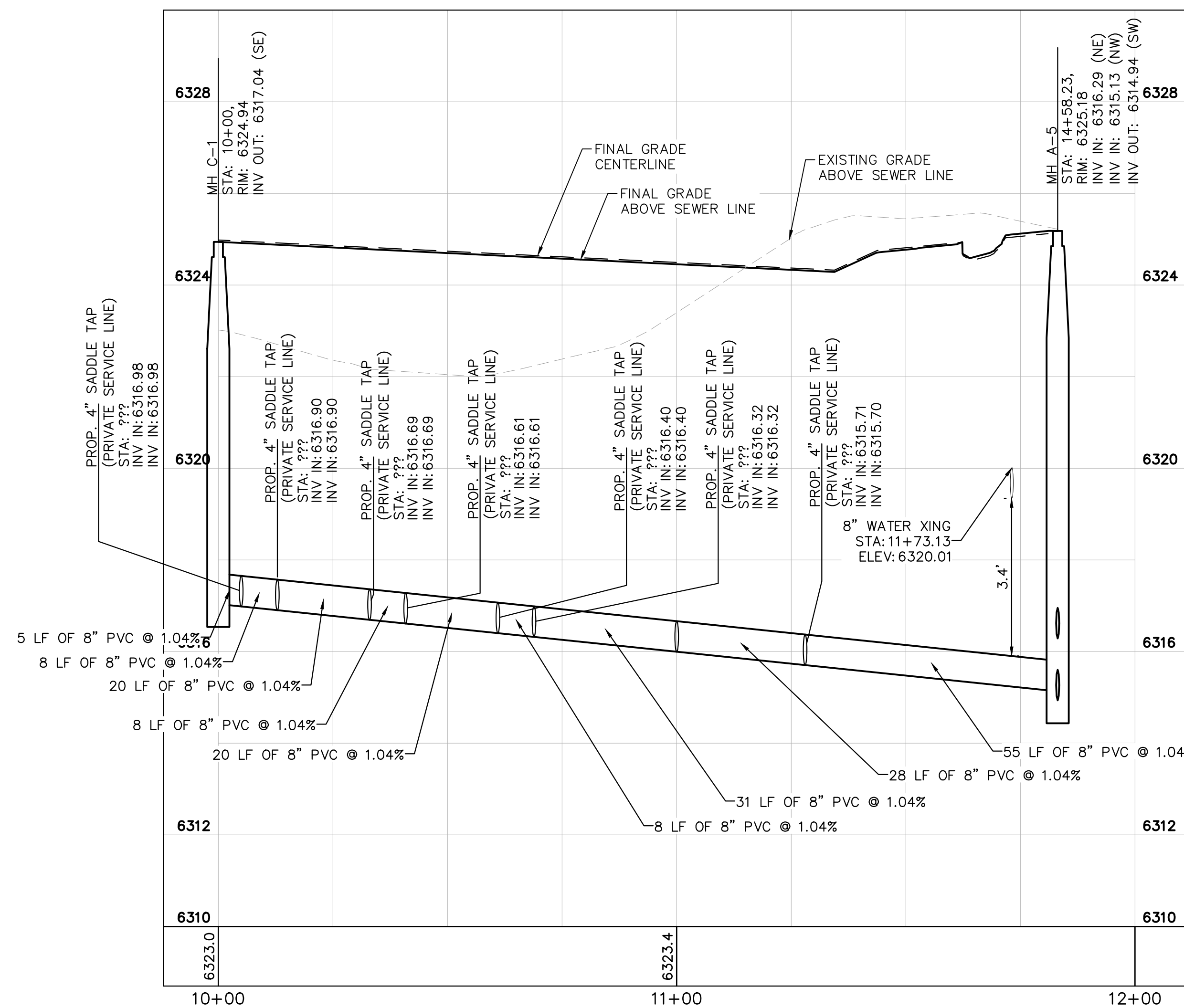
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PRIVATE SANITARY SEWER LINE C PLAN VIEW



KEYMAP  
SCALE: 1"=200'



PRIVATE SANITARY SEWER LINE C PROFILE VIEW

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LEGEND

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GP	10/05/21	JRH
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DESIGNED BY: KK  
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MEADOWBROOK PARK  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
SAN. SEWER PLAN & PROFILE-LINE C

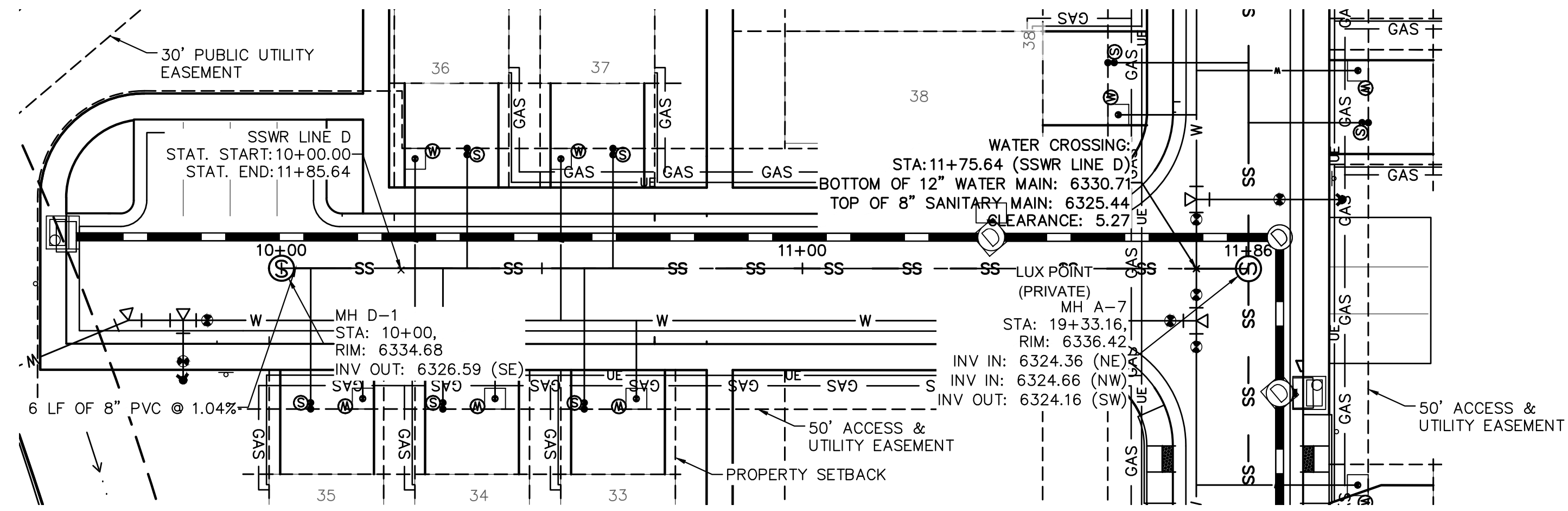
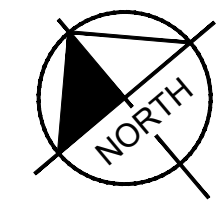
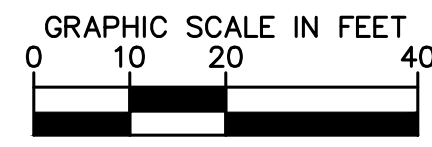


PROJECT NO.  
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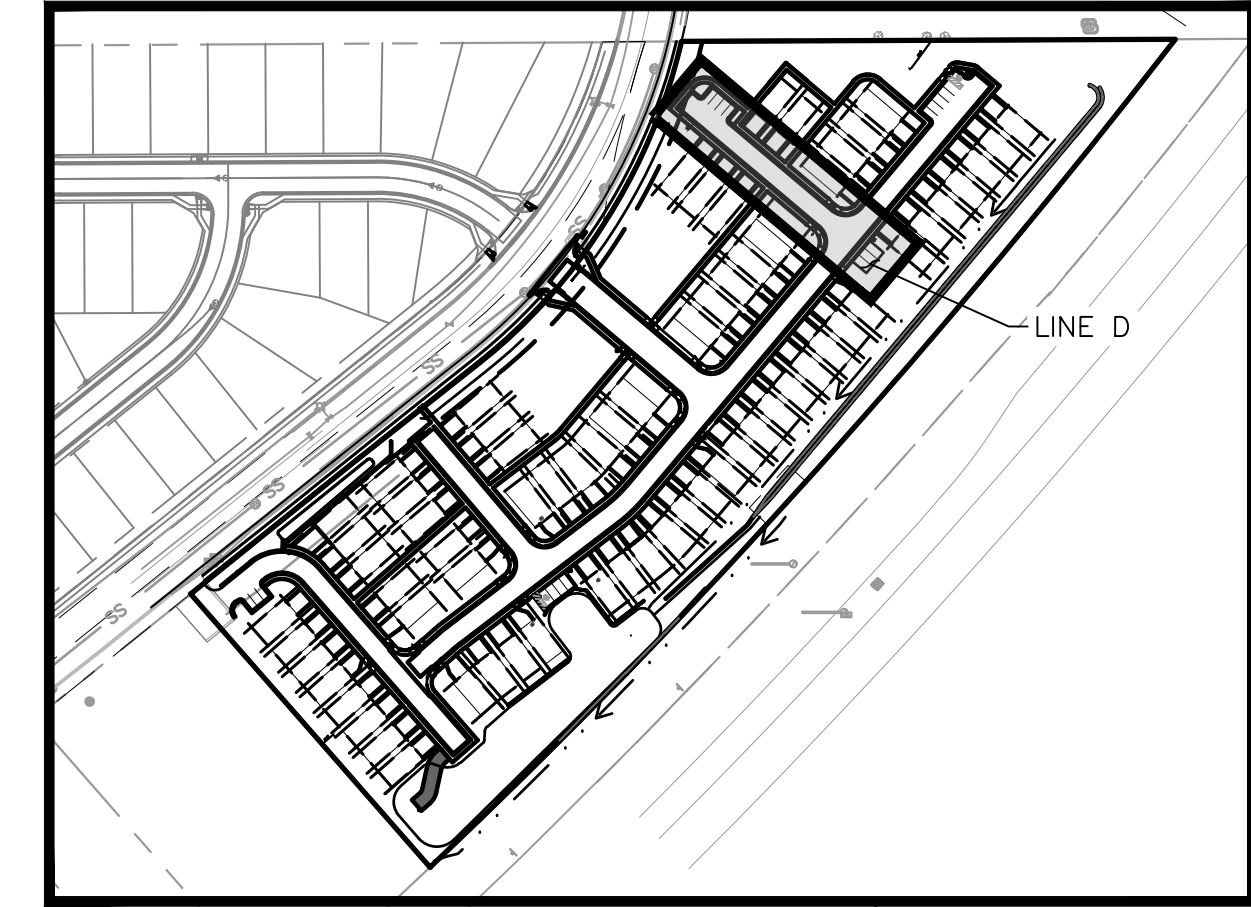
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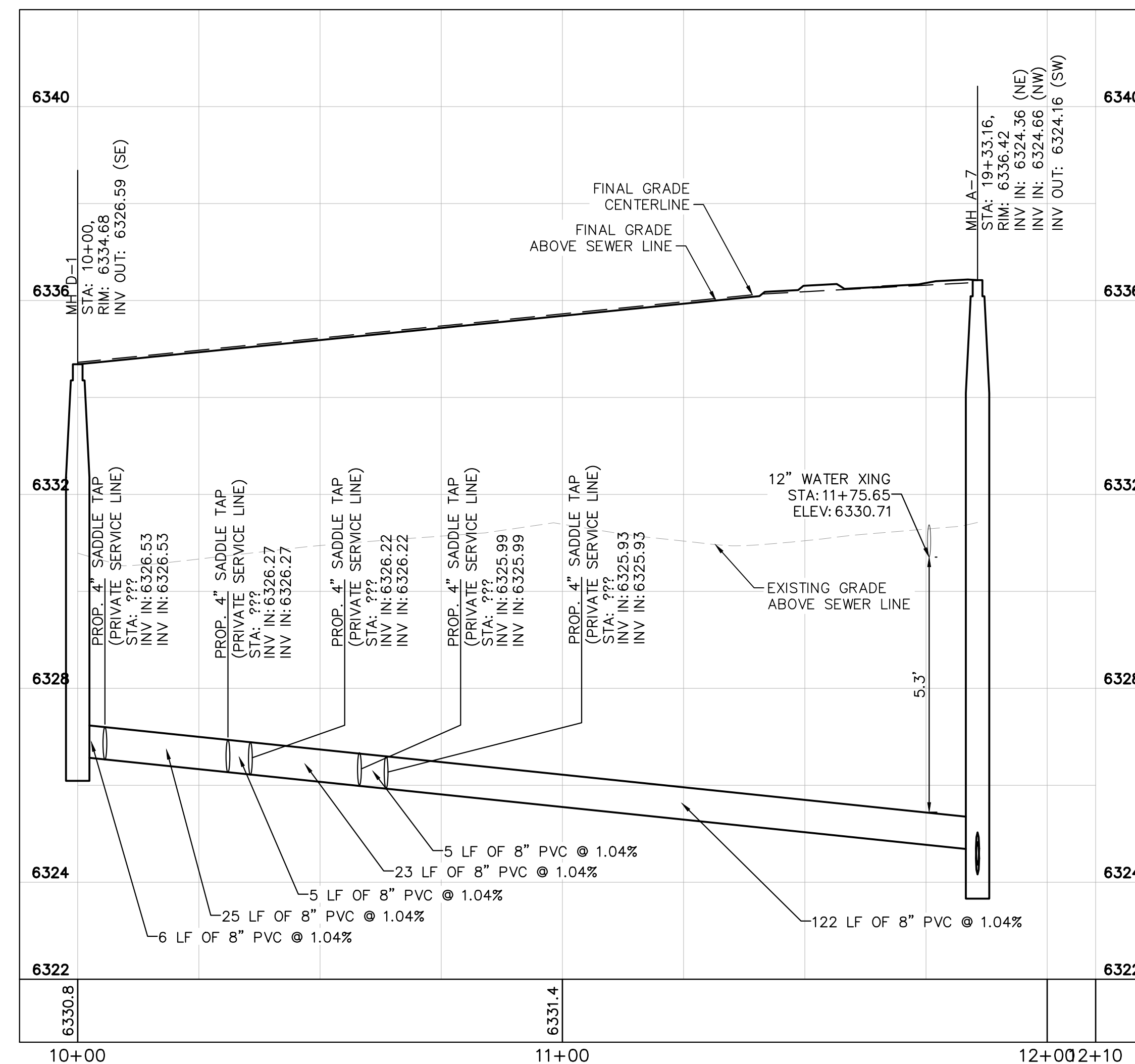
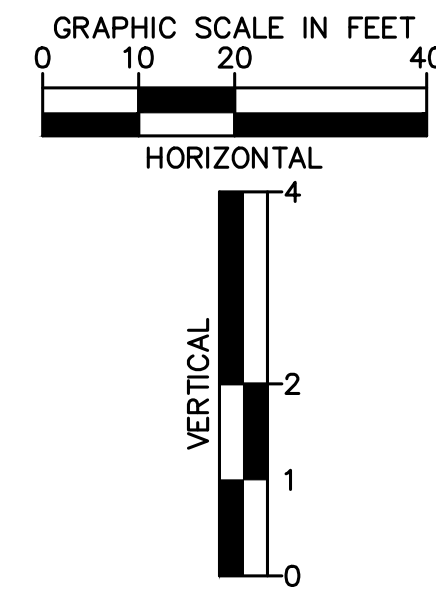
PRIVATE SANITARY SEWER LINE D PLAN VIEW



KEYMAP  
SCALE: 1"=200'

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PRIVATE SANITARY SEWER LINE D PROFILE VIEW

**LEGEND**

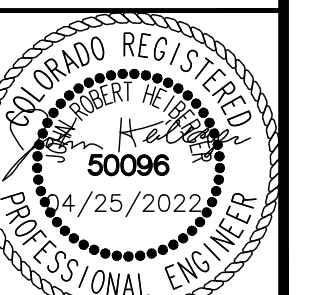
- PROPERTY LINE
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- - - - - PROPOSED EASEMENT LINE
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DRAWN BY: KK  
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DATE: 04/25/2022

**MEADOWBROOK PARK**  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
**SAN. SEWER PLAN & PROFILE-LINE D**

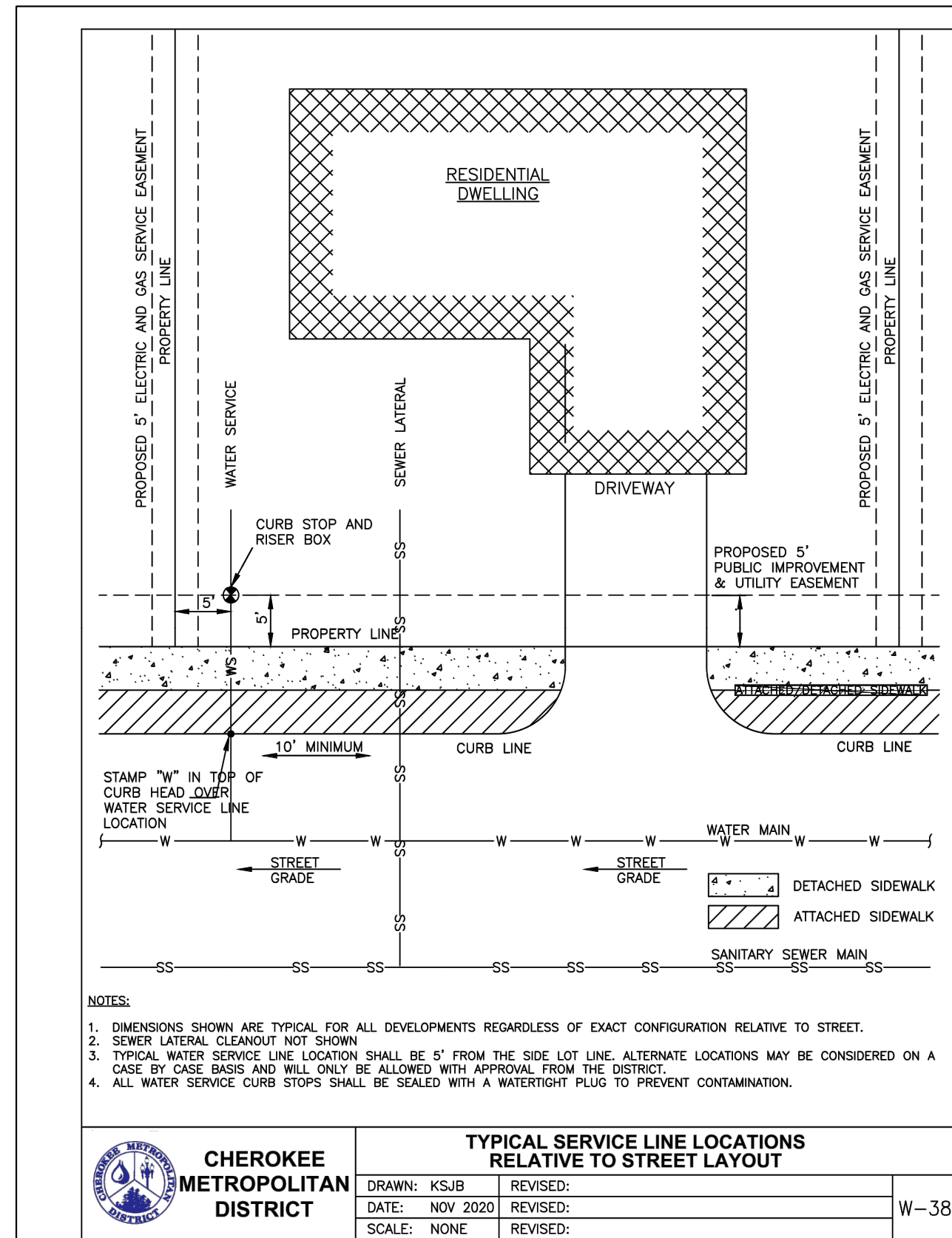


PROJECT NO.  
096956009

SHEET  
**C3.17**



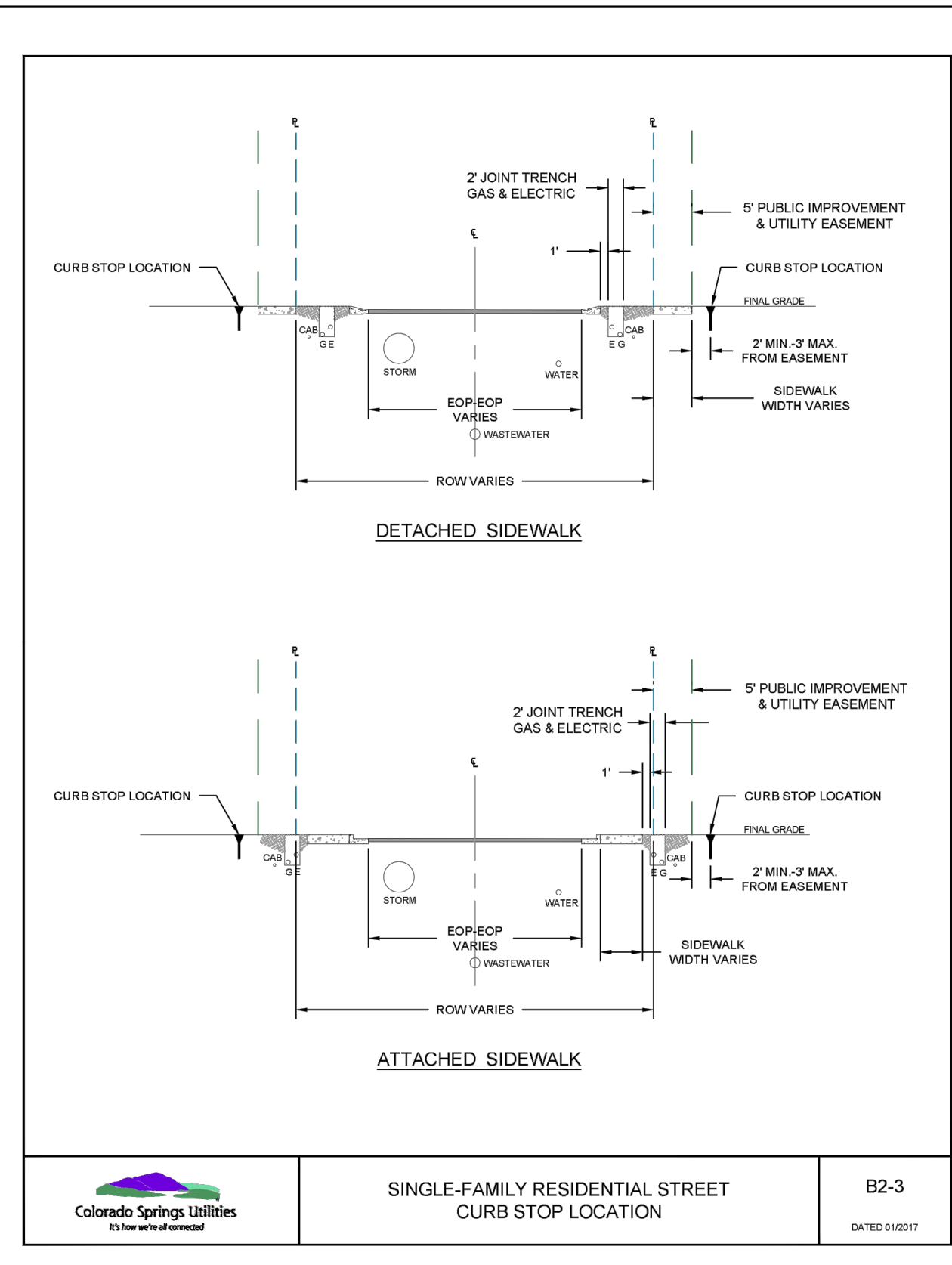
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- NOTES:
1. DIMENSIONS SHOWN ARE TYPICAL FOR ALL DEVELOPMENTS REGARDLESS OF EXACT CONFIGURATION RELATIVE TO STREET.
  2. SEWER LATERAL CLEANOUT NOT SHOWN.
  3. TYPICAL WATER SERVICE LINE LOCATION SHALL BE 5' FROM THE SIDE LOT LINE. ALTERNATE LOCATIONS MAY BE CONSIDERED ON A CASE BY CASE BASIS AND WILL ONLY BE ALLOWED WITH APPROVAL FROM THE DISTRICT.
  4. ALL WATER SERVICE CURB STOPS SHALL BE SEALED WITH A WATERTIGHT PLUG TO PREVENT CONTAMINATION.

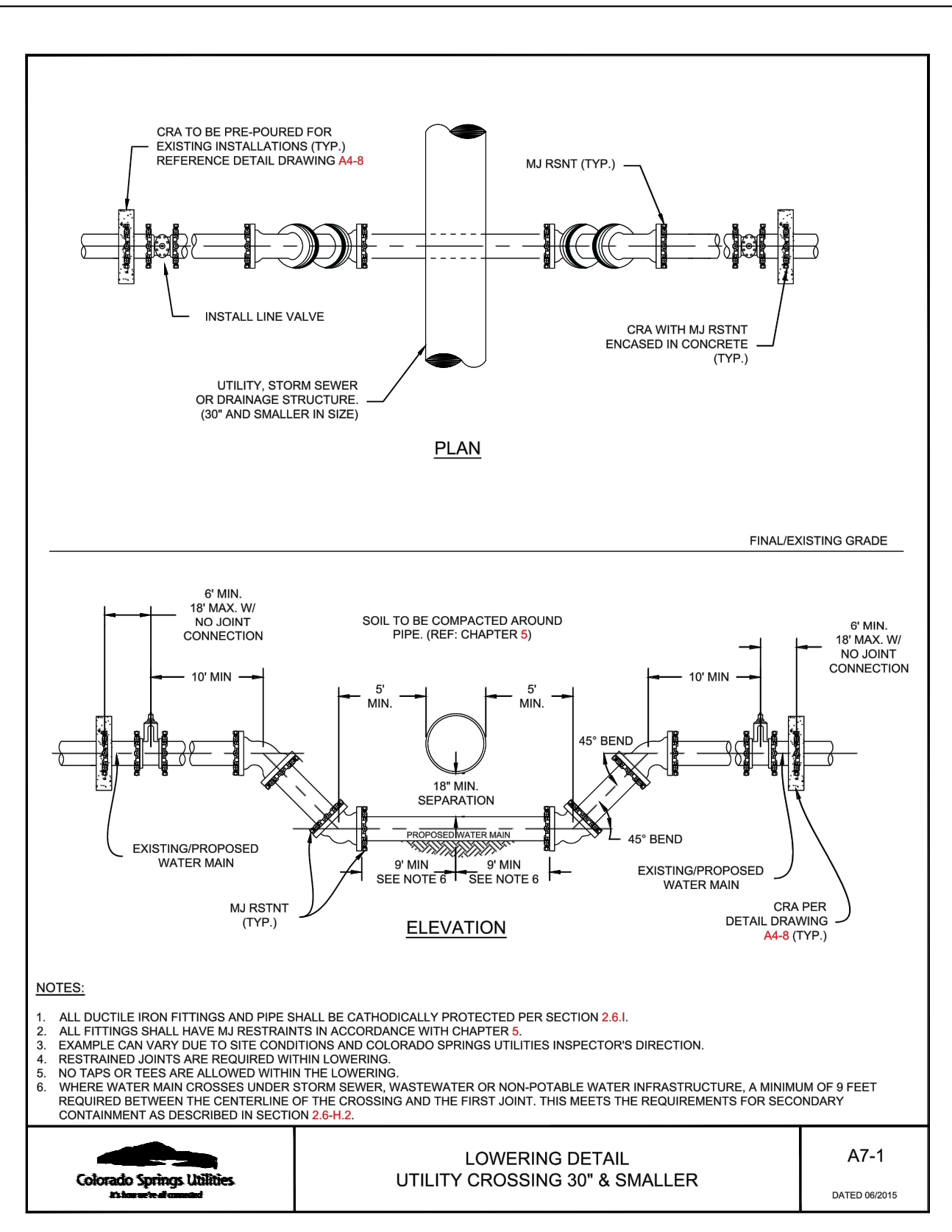
**CHEROKEE METROPOLITAN DISTRICT**

DRAWN: KSUB REVISED: W-38  
 DATE: NOV 2020 REVISED:  
 SCALE: NONE REVISED:



**Colorado Springs Utilities**

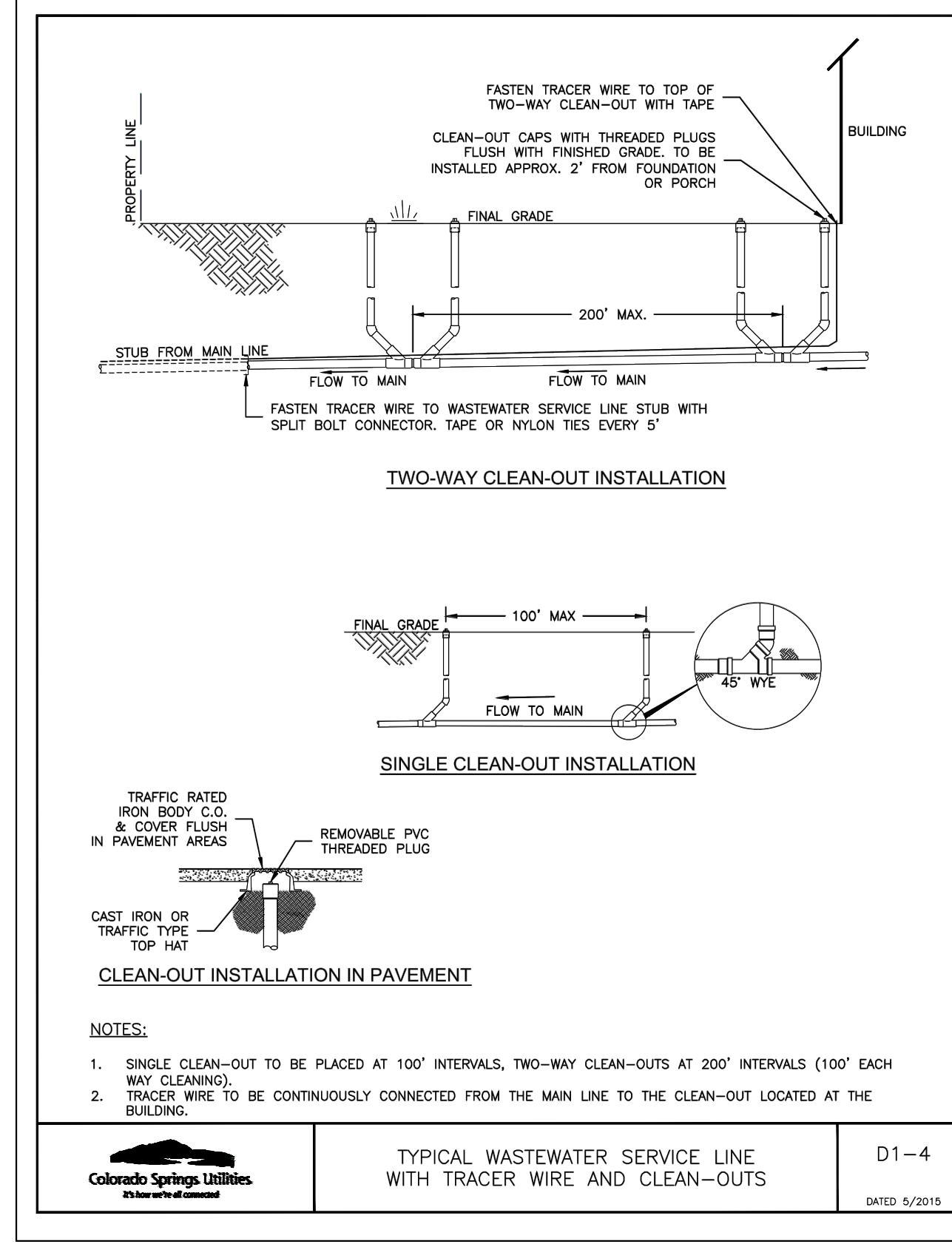
SINGLE-FAMILY RESIDENTIAL STREET CURB STOP LOCATION B2-3  
 DATE: 01/07/17



- NOTES:
1. ALL DUCTILE IRON FITTINGS AND PIPE SHALL BE CATHODICALLY PROTECTED PER SECTION 2.6.1.
  2. ALL FITTINGS SHALL HAVE MU RESTRAINTS IN ACCORDANCE WITH CHAPTER 5.
  3. EXAMPLE CAN VARY DUE TO SITE CONDITIONS AND COLORADO SPRINGS UTILITIES INSPECTOR'S DIRECTION.
  4. RESTRAINED JOINTS ARE REQUIRED WITHIN LOWERING.
  5. NO TAPS OR TEES ARE ALLOWED WITHIN THE LOWERING.
  6. WHERE WATER MAIN CROSSES UNDER STORM SEWER, WASTEWATER OR NON-POTABLE WATER INFRASTRUCTURE, A MINIMUM OF 8 FEET REQUIRED BETWEEN THE CENTERLINE OF THE CROSSING AND THE FIRST JOINT. THIS MEETS THE REQUIREMENTS FOR SECONDARY CONTAINMENT AS DESCRIBED IN SECTION 2.6.6.2.

**Colorado Springs Utilities**

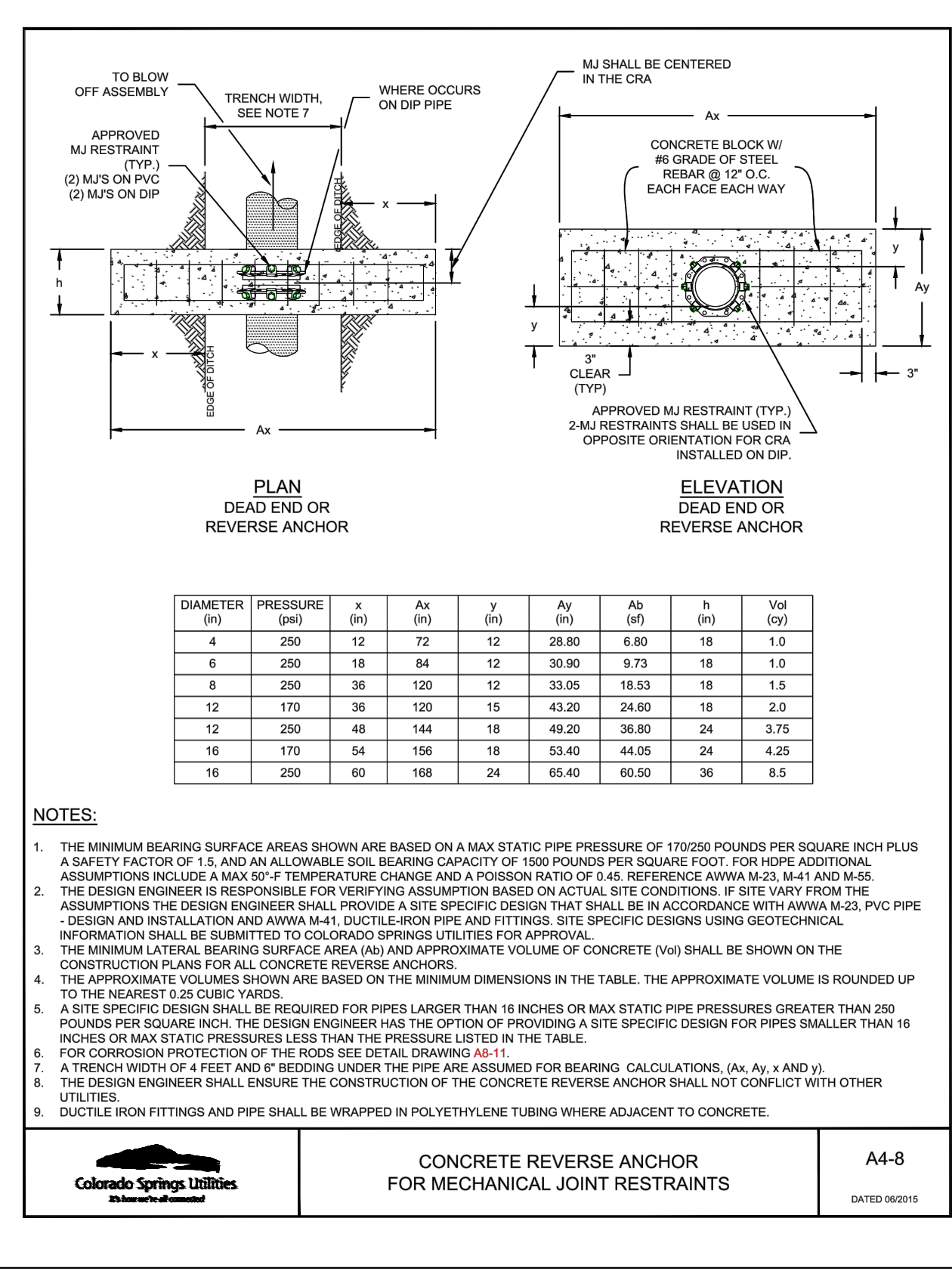
LOWERING DETAIL UTILITY CROSSING 30' & SMALLER A7-1  
 DATE: 06/05/15



- NOTES:
1. SINGLE CLEAN-OUT TO BE PLACED AT 100' INTERVALS, TWO-WAY CLEAN-OUTS AT 200' INTERVALS (100' EACH WAY CLEANING).
  2. TRACER WIRE TO BE CONTINUOUSLY CONNECTED FROM THE MAIN LINE TO THE CLEAN-OUT LOCATED AT THE BUILDING.

**Colorado Springs Utilities**

TYPICAL WASTEWATER SERVICE LINE WITH TRACER WIRE AND CLEAN-OUTS D1-4  
 DATE: 9/2015



DIAMETER (D)	PRESSURE (PSI)	x (IN)	Ax (IN)	y (IN)	Ay (IN)	Ab (IN)	h (IN)	Vol (CU YD)
4	250	12	72	12	28.80	6.80	18	1.0
6	250	18	84	12	30.90	9.73	18	1.0
8	250	36	120	12	33.05	18.53	18	1.5
12	170	36	120	15	43.20	24.60	18	2.0
12	250	48	144	18	49.20	28.80	24	3.75
16	170	54	156	18	53.40	44.05	24	4.25
16	250	60	168	24	65.40	60.50	36	8.5

- NOTES:
1. THE MINIMUM BEARING SURFACE AREAS SHOWN ARE BASED ON A MAX STATIC PIPE PRESSURE OF 170/250 POUNDS PER SQUARE INCH PLUS A SAFETY FACTOR OF 1.5 AND AN ALLOWABLE SOIL BEARING CAPACITY OF 1000 POUNDS PER SQUARE FOOT. FOR HIPS ADDITIONAL ASSUMPTIONS INCLUDE A MAX 50°-F TEMPERATURE CHANGE AND A POISSON RATIO OF 0.45. REFERENCE AWWA M23, M-41 AND M-55.
  2. THE DESIGN ENGINEER IS RESPONSIBLE FOR VERIFYING ASSUMPTION BASED ON ACTUAL SITE CONDITIONS. IF SITE VARY FROM THE ASSUMPTIONS THE DESIGN ENGINEER SHALL PROVIDE A SITE SPECIFIC DESIGN THAT SHALL BE IN ACCORDANCE WITH AWWA M23, PVC PIPE.
  3. DESIGN AND INSTALLATION AND AWWA M-41. DUCTILE IRON PIPE AND FITTINGS. SITE SPECIFIC DESIGNS USING GEOTECHNICAL INFORMATION SHALL BE SUBMITTED TO COLORADO SPRINGS UTILITIES FOR APPROVAL.
  4. THE MINIMUM LATERAL BEARING SURFACE AREA (Ax) AND APPROXIMATE VOLUME OF CONCRETE (Vol) SHALL BE SHOWN ON THE CONSTRUCTION PLANS FOR ALL CONCRETE REVERSE ANCHORS.
  5. THE APPROXIMATE VOLUMES SHOWN ARE BASED ON THE MINIMUM DIMENSIONS IN THE TABLE. THE APPROXIMATE VOLUME IS ROUNDED UP TO THE NEAREST 0.25 CUBIC YARDS.
  6. A SITE SPECIFIC DESIGN SHALL BE REQUIRED FOR PIPES LARGER THAN 16 INCHES OR MAX STATIC PIPE PRESSURES GREATER THAN 250 POUNDS PER SQUARE INCH. THE DESIGN ENGINEER HAS THE OPTION OF PROVIDING A SITE SPECIFIC DESIGN FOR PIPES SMALLER THAN 16 INCHES OR MAX STATIC PRESSURES LESS THAN THE PRESSURE LISTED IN THE TABLE.
  7. FOR CORROSION PROTECTION OF THE ROOF SEE DETAIL DRAWING A4-11.
  8. A TRENCH WIDTH OF 4 FEET AND 6" BEDDING UNDER THE PIPE ARE ASSUMED FOR BEARING CALCULATIONS. (Ax, Ay, x AND y).
  9. THE DESIGN ENGINEER SHALL ENSURE THE CONSTRUCTION OF THE CONCRETE REVERSE ANCHOR SHALL NOT CONFLICT WITH OTHER UTILITIES.
  10. DUCTILE IRON FITTINGS AND PIPE SHALL BE WRAPPED IN POLYETHYLENE TUBING WHERE ADJACENT TO CONCRETE.

**Colorado Springs Utilities**

CONCRETE REVERSE ANCHOR FOR MECHANICAL JOINT RESTRAINTS A4-8  
 DATE: 06/05/15

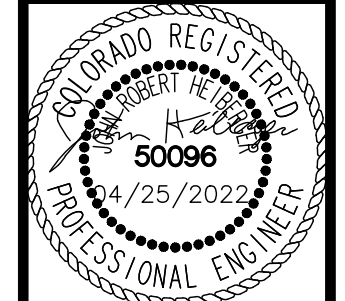
NO.	REVISION	BY	DATE	APPR
1	WATER LINE EXTENSION	GP	10/05/21	JRH
2	CHEROKEE METRO COMMENTS	GP	03/14/22	JRH

**Kimley-Horn**

2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue Suite 300  
 Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: KK  
 DRAWN BY: KK  
 CHECKED BY: JH  
 DATE: 04/25/2022

MEADOWBROOK PARK  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 UTILITY DETAILS



PROJECT NO.  
 096956009

SHEET  
**C3.18**