

C:\MCE\PROJECTS\1706-0002-McDONALD'S\27-600OPAR\W\COMMERCE_COUNTY\Draws\CSPP-1.dwg 12/11/2006 8:45:26 PM MST

GENERAL NOTES:

- UTILITY LOCATION: THE TYPE, SIZE LOCATION AND NUMBER UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES IN THE VICINITY OF THE WORK. FOR INFORMATION CONTACT: COLORADO UTILITY NOTIFICATION CENTER, 1-800-922-1987. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND COUNTY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- LIMITED REVIEW: THE DUTY OF THE COUNTY OWNER/ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- NOTIFICATION: CONTRACTOR SHALL NOTIFY THE COUNTY, OWNER AND ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- APPROVED PLANS: THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS AND ONE COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
- PERMITS: CONTRACTOR SHALL OBTAIN SHALL PERMITS FOR STREET CUTS, UTILITY WORK, AND TRAFFIC CONTROL.
- MATERIALS: ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO COUNTY REQUIREMENTS. ALL STREET, WATER MAIN, STORM SEWER AND SANITARY SEWER CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE COUNTY, AS APPLICABLE.
- TRAFFIC CONTROL: THE CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A TRAFFIC MAINTENANCE PLANS TO THE COUNTY AND TO COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) PRIOR TO CONSTRUCTIONS.
- SOIL REPORT: REFER TO THE SOILS AND FOUNDATION INVESTIGATION REPORT FOR PAVEMENT DESIGN, RECOMMENDATIONS REGARDING EXCAVATION, COMPACTION, EMBANKMENT, TOPSOIL REMOVAL AND REPLACEMENT.
- EROSION CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION THE PLAN MAY BE MODIFIED WITH APPROPRIATE APPROVALS AS FIELD CONDITIONS WARRANT.
- WATER/SEWER SEPARATION: IN ALL CASES MAINTAIN TEN FEET (10) HORIZONTAL DISTANCE BETWEEN WATER AND SANITARY SEWER.
- TRENCHES ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED FOR THE SAFETY OF WORKERS AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION". THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE SIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY. TO THE PIPE BEING PLACED, TO TREES, OR TO ANY EXISTING STRUCTURE. WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS, THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
- DEWATERING: IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATERS OF THE UNITED STATES.
- TRENCHES BACKFILL: COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE ENGINEER AND THE COUNTY PRIOR TO FINAL ACCEPTANCE.
- PATCHING: WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET SHALL BE RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN ITS ORIGINAL CONDITIONS. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE COUNTY AND CDOT CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN CONFORMANCE WITH THE COUNTY AND CDOT STANDARDS. ALL LARGE PATCHES SHALL BE PAVED WITH ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREAS, MAY BE REQUIRED.
- STORM DRAINAGE: ALL CONSTRUCTION ACTIVITIES MUSH COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY". FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WOOD-PF-82, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3590.
- UTILITY COORDINATION: PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SCHEDULES.
- SERVICE INTERRUPTION: CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING PRIOR TO NAY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND AN EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS.
- DAMAGE: REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DAMAGE TO EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED.
- INSPECTION: ALL PUBLIC IMPROVEMENT WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY A COUNTY REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN STANDARD PRACTICES ARE NOT BEING FOLLOWED.
- WARRANTEE: THE CONTRACTOR SHALL WARRANT ALL WORK TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF TWO-YEAR FROM THE DATE OF ACCEPTANCE.
- FLOOD PLAIN: FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0537 F, EFFECTIVE DATE, MARCH 17, 1997, INDICATED THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOOD PLAIN).
- APPROXIMATE SCHEDULE FOR DEVELOPMENT: OCTOBER 2007 PRE-APPLICATION, JANUARY 2008 PLANNING SUBMITTAL, NOVEMBER 2008 PLANNING APPROVAL, DECEMBER 2008 BUILDING PERMIT, "120 DAYS CONSTRUCTION".
- MAINTENANCE OF PRIVATE ROADS WITHIN THE DEVELOPMENT IS THE RESPONSIBILITY OF THE RESPECTIVE PROPERTY OWNERS. DETAILS ARE IN ACCORDANCE WITH RECORDED DOCUMENT 206037533 (EL PASO COUNTY).

McDONALD'S RESTAURANT SITE DEVELOPMENT PLAN

MERIDIAN CROSSING FILING NO.1

A SUBDIVISION OF A PORTION OF THE NE 1/4 OF SEC. 12, T-13-S, R-65-W OF THE 6th P.M., AND A REPLAT OF A PORTION OF THE TOWN OF FALCON EL PASO COUNTY, COLORADO.

Please revise. Subdivision is not being reviewed

Remove prior legal description and include only current legal description

Please remove "County" from note.

COUNTY REMOVED

Please clarify what soils report this note is referencing.

INFORMATION ADDED. THIS IS A SMALL AREA OF CONCRETE, SO WE ARE USING THE ORIGINAL REPORT PREPARED WITH THE SITE CONSTRUCTION AS A GUIDE.

VICINITY MAP
NTS

DESIGN TEAM CONTACTS

OWNER/DEVELOPER

McDONALD'S USA, LLC.
4643 S. ULSTER STREET, SUITE 1300
DENVER, CO. 80237
MR. KORTNEY PEDIGO
(303) 262-3773

SITE ENGINEER

STRATEGIC LAND SOLUTIONS, INC.
2595 PONDEROSA ROAD
FRANKTOWN, CO 80116
ROBERT J. PALMER, P.E.
(303) 384-7661

REVIEW AGENCY

EL PASO COUNTY HEALTH DEPARTMENT
301 SOUTH UNION BLVD.
EL PASO , CO 80910
(719) 575-8636

REVIEW AGENCY

EL PASO COUNTY PLANNING
2880 INTERNATIONAL CIR.
EL PASO , CO 80910
(719) 327-2880

LIST OF DRAWINGS	
DWG NO.	TITLE
1 OF 2	COVER SHEET
2 OF 2	SITE LAYOUT PLAN

Please add the grading plan to the sheet index and include it in the site development plan contents.

THE GRADING SHEET HAS BEEN ADDED. NOTE WE HAD THE GRADING SHEET INCLUDED, BUT WE WERE ASKED TO REMOVE IT FROM THE SET AS OART OF THE SUBMITTAL TRIAGE.

Please move any grading related information/linework/symbols to the grading plan.

THE RELEVANT LINE WORK AND SYMBOLS HAVE BEEN ADDED TO THE GRADING PLAN. HOWEVER, THE LEGEND HAS BEEN LEFT ON THE COVERSHEET PER OUR COMPANIES QAQC CHECKLIST AND AS RECOMMENDED BY OUR INSURANCE COMPANIES 3RD PARTY RECCOMENDATIONS.

LEGEND:

EL

EROSION LOG

SF

SILT FENCE

CD

CHECK DAM

VTC

VEHICLE TRACKING PAD

UgE
SAN
UgT
WAT
GAS

SURVEY REBAR
EXISTING POWER POLE
EXISTING SIGN
BOUNDARY SYMBOL
EXISTING WATER METER
EXISTING LIGHT
EXISTING ELECTRICAL LINE
EXISTING MANHOLE
EXISTING SANITARY SEWER LINE
EXISTING TELEPHONE LINE
EXISTING WATER LINE
EXISTING GAS LINE
EASEMENT/ROW

FL
HP
ME
P
TC
W

FLOW LINE
HIGH POINT
MATCH EXISTING
PAVEMENT
TOP OF CURB
SIDEWALK

ELEC
SAN
WAT
SF

PROPOSED ELECTRICAL LINE
PROPOSED STORM DRAIN
PROPOSED SANITARY SEWER
WATER LINE
EXISTING INTRM CONTOUR
EXISTING INDEX CONTOUR
PROPOSED INDEX CONTOUR
PROPOSED INTRIM CONTOUR
PROPOSED SILT FENCE
PROPERTY LINE
100-YEAR FLOOD BOUNDARY

PROPOSED CLEANOUT
PROPOSED HANDICAP PARKING STALL
PROPOSED PARKING LOT LIGHTING
PROPOSED ELECTRICAL TRANSFORMER


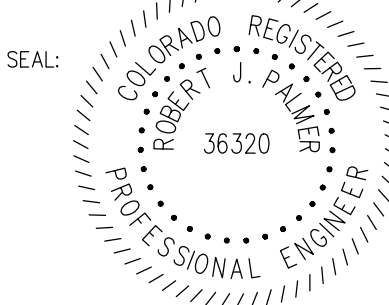

PROPOSED 8" STAMPED DECORATIVE
CONCRETE PAVEMENT
PROPOSED LANDSCAPING

ADDED

Add "PCD File No. PPR-21-022".



IF YOU DIG COLORADO - CALL US FIRST!
UTILITIES NOTIFICATION CENTER
1-800-922-1987
CALL 2 BUSINESS DAYS PRIOR TO
EXCAVATION FOR UTILITY LOCATIONS

NO.		DATE		REVISION DESCRIPTION	
CIVIL ENGINEERING CONSULTANT:					
 Strategic Land Solutions, Inc. <small>Civil Engineering • Land Planning • Estimating</small> 2595 PONDEROSA ROAD FRANKTOWN, CO 80116 720.384.7661 Phone rpalmer@strategicsolutions.net Robert J. Palmer, PE President					
PREPARED UNDER THE DIRECT SUPERVISION OF:					
SEAL: 					
BY Robert J. Palmer, PE Licensed Professional Engineer (CO PE #36320), AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.					
		McDonald's®		THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	
OFFICE		DENVER REGION		ADDRESS	
4643 S. ULSTER ST., SUITE 1300,		DENVER, COLORADO 80237			
PLAN APPROVALS					
SIGNATURE (2 REQUIRED)		DATE			
AREA CONSTRUCTION MGR					
AREA REAL ESTATE MGR					
REAL ESTATE MGR					
DEVELOPMENT MANAGER					
CONSTRUCTION MANAGER					
OPERATIONS DIRECTOR					
SCALE: 1"=20'		MCD RE: BOWEN			
DATE: 03/08/2021		MCD P/CM: PEDIGO			
DESIGNED BY: RJP					
DRAWN BY: RJP				FILE NAME: PLANNING.DWG	
CHECKED BY: RJP				ASCE INJ. 06-0002-TBD	
DRAWING TITLE:					
TITLE SHEET					
SHEET NO:					
1 OF 2					

McDONALD'S RESTAURANT SITE DEVELOPMENT PLAN

MERIDIAN CROSSING FILING NO.1

A SUBDIVISION OF A PORTION OF THE NE 1/4 OF SEC. 12, T-13-S, R-65-W OF THE 6th P.M.,
AND A REPLAT OF A PORTION OF THE TOWN OF FALCON
EL PASO COUNTY, COLORADO.

NOTE:
MCDONALD'S LOADING IS DESIGNED TO OFF LOAD DELIVERY TRANSPORT
DIRECTLY INTO THE FREEZER LOCATED AT THE BACK OF THE STORE.
IN ORDER TO MAKE DELIVERIES, SEVERAL PARKING SPACES WILL BE
OCCUPIED BY THE DELIVERY TRANSPORT. AS SUCH, DELIVERS WILL
OCCUR DURING NON-OPERATIONAL HOURS, AND WILL BE CONTROLLED
BY THE STORE MANAGER.

NO. DATE REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT:

Strategic Land Solutions, Inc.

Civil Engineering & Land Planning-Engineers

2995 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.384.7661 Phone
rpalmer@strategicsolutions.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT
SUPERVISION OF:

SEAL:
COLORADO REGISTERED
ROBERT J. PALMER
36320
PROFESSIONAL ENGINEER

BY Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

McDonald's

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AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

McDonald's

OFFICE DENVER REGION
ADDRESS 4643 S. ULSTER ST., SUITE 1300, DENVER, COLORADO 80237

PLAN APPROVALS		DATE	
SIGNATURE (2 REQUIRED)			
AREA CONSTRUCTION MGR			
AREA REAL ESTATE MGR			
REAL ESTATE MGR			
DEVELOPMENT MANAGER			
CONSTRUCTION MANAGER			
OPERATIONS DIRECTOR			

SCALE: 1"=20'
DATE: 03/08/2021
DESIGNED BY: RJP
DRAWN BY: LX
CHECKED BY: RJP
DRAWING TITLE: SITE PLAN
SHEET NO: 2 OF 2

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The plan shows a McDonald's restaurant building with a drive-thru, parking lot, and surrounding roads including Meridian Road, Flower Road, and Market Place. It includes various setbacks, easements, and utility locations. Key features include: Meridian Road 160' R.O.W., Flower Road 70' R.O.W., Market Place Filing No. 1, Tract A Falcon Highlands, and various setbacks and easements. The plan also shows existing and proposed concrete, curbs, gutters, and lighting. A note indicates that all easements shown are existing as dedicated on the plat, and there are no new easements proposed as part of this site plan. The plan is divided into Lot 1 and Lot 2, both Meridian Crossing Filing No. 1. Lot 1 includes a trash enclosure and a drive-thru. Lot 2 includes a shared drive and a parking lot. The plan also shows a drainage and public utility easement, a sidewalk, and a monument sign. The plan is drawn at a scale of 1" = 20'.

C:\MSCE\PROJECTS\1706-0002-McDONALDS\27-603OPARKWAY\COMMERCE_COUNTY\Draws\CSP-1.dwg 12/12/2006 8:45:26 PM MST