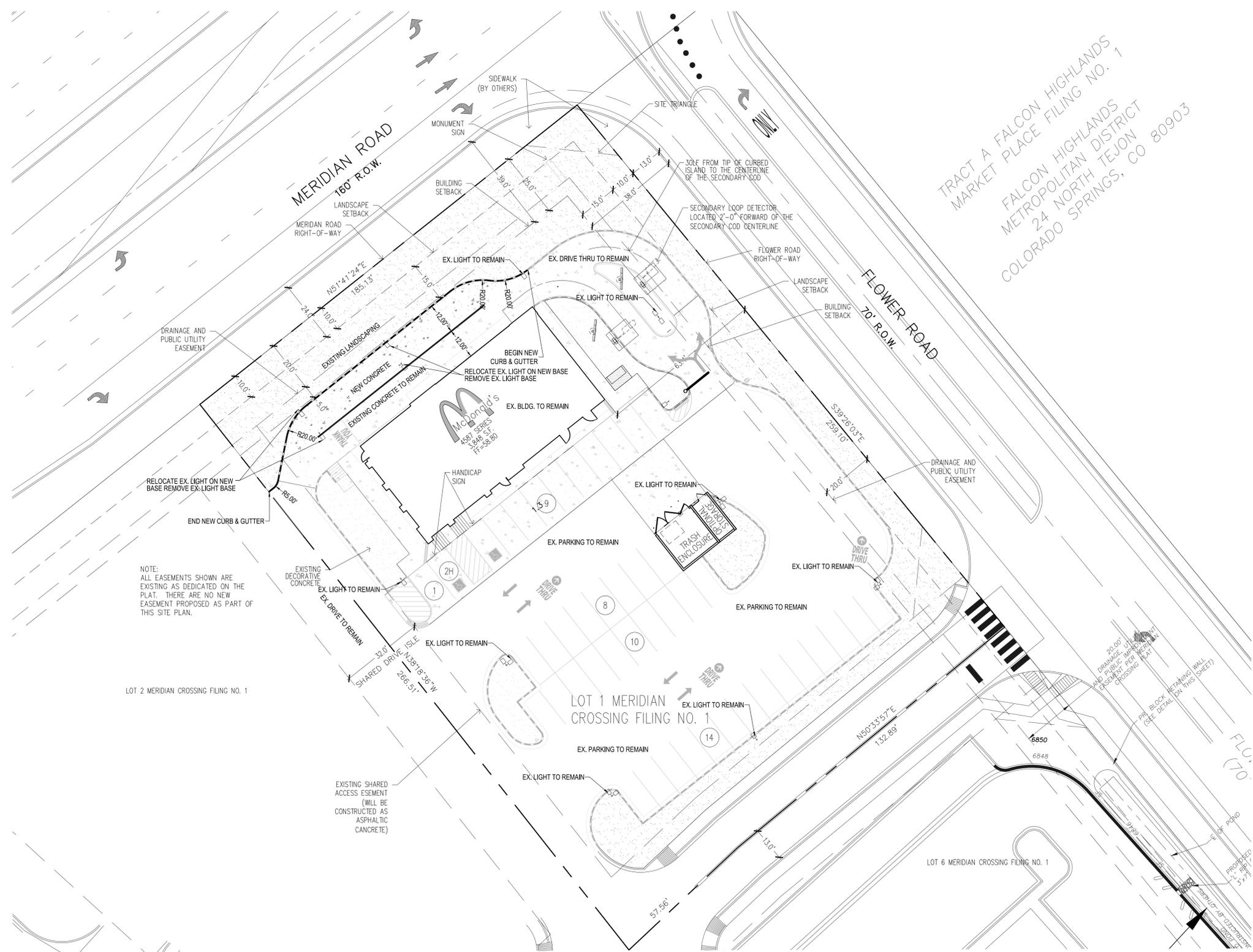


McDONALD'S RESTAURANT SITE DEVELOPMENT PLAN

MERIDIAN CROSSING FILING NO.1

A SUBDIVISION OF A PORTION OF THE NE 1/4 OF SEC. 12, T-13-S, R-65-W OF THE 6th P.M.,
AND A REPLAT OF A PORTION OF THE TOWN OF FALCON
EL PASO COUNTY, COLORADO.



NOTE:
MCDONALD'S LOADING IS DESIGNED TO OFF LOAD DELIVERY TRANSPORT DIRECTLY INTO THE FREEZER LOCATED AT THE BACK OF THE STORE. IN ORDER TO MAKE DELIVERIES, SEVERAL PARKING SPACES WILL BE OCCUPIED BY THE DELIVERY TRANSPORT. AS SUCH, DELIVERS WILL OCCUR DURING NON-OPERATIONAL HOURS, AND WILL BE CONTROLLED BY THE STORE MANAGER.

TRACT A FALCON HIGHLANDS
MARKET PLACE FILING NO. 1
FALCON HIGHLANDS
METROPOLITAN DISTRICT
24 NORTH TEJON
COLORADO SPRINGS, CO 80903

NO.	DATE	REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT:
Strategic Land Solutions, Inc.
Civil Engineering - Land Planning - Estimations
2995 PONDEROSA ROAD
FRANKTOWN, CO 80116
720.384.7661 Phone
rpalmer@strategicsolutions.net
Robert J. Palmer, PE
President

PREPARED UNDER THE DIRECT SUPERVISION OF:
SEAL: COLORADO REGISTERED PROFESSIONAL ENGINEER
ROBERT J. PALMER
36320
By Robert J. Palmer, PE
Licensed Professional Engineer (CO PE #36320),
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF STRATEGIC SOLUTIONS CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: DENVER REGION
ADDRESS: 4643 S. ULSTER ST., SUITE 1300, DENVER, COLORADO 80237

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
AREA CONSTRUCTION MGR		
AREA REAL ESTATE MGR		
REAL ESTATE MGR		
DEVELOPMENT MANAGER		
CONSTRUCTION MANAGER		
OPERATIONS DIRECTOR		

SCALE: 1"=20'
DATE: 03/08/2021
DESIGNED BY: RJP
DRAWN BY: LX
CHECKED BY: RJP
DRAWING TITLE: **SITE PLAN**
SHEET NO: **2 OF 2**



C:\LACE\PROJECTS\1706-0002-McDONALD'S\17-6050\PARAWAY\COMMERCE_COUNTY\Draws\12/12/2006 8:45:26 PM.MST