

C:\MCE\PROJECTS\1706-0002-McDONALD'S\27-6000\PARAWA\COMMERCE\_COUNTY\Draws\CSP-1.dwg 12/12/2006 8:45:26 PM MST

GENERAL NOTES:

- UTILITY LOCATION: THE TYPE, SIZE, LOCATION AND NUMBER UTILITIES ARE APPROXIMATE WHEN SHOWN ON THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES IN THE VICINITY OF THE WORK. FOR INFORMATION CONTACT: COLORADO UTILITY NOTIFICATION CENTER, 1-800-922-1987. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND COUNTY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNKNOWN UNDERGROUND UTILITIES.
- SAFETY: THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- LIMITED REVIEW: THE DUTY OF THE COUNTY OWNER/ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
- NOTIFICATION: CONTRACTOR SHALL NOTIFY THE COUNTY, OWNER AND ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- APPROVED PLANS: THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS AND ONE COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
- PERMITS: CONTRACTOR SHALL OBTAIN PERMITS FOR STREET CUTS, UTILITY WORK, AND TRAFFIC CONTROL.
- MATERIALS: ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO COUNTY REQUIREMENTS. ALL STREET, WATER MAIN, STORM SEWER AND SANITARY SEWER CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE COUNTY, AS APPLICABLE.
- TRAFFIC CONTROL: THE CONTRACTOR SHALL PROVIDE ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A TRAFFIC MAINTENANCE PLANS TO THE COUNTY AND TO COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) PRIOR TO CONSTRUCTIONS.
- SOIL REPORT: REFER TO THE SOILS AND FOUNDATION INVESTIGATION REPORT FOR PAVEMENT DESIGN, RECOMMENDATIONS REGARDING EXCAVATION, COMPACTION, EMBANKMENT, TOPSOIL REMOVAL AND REPLACEMENT.
- EROSION CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED WITH APPROPRIATE APPROVALS AS FIELD CONDITIONS WARRANT.
- WATER/SEWER SEPARATION: IN ALL CASES MAINTAIN TEN FEET (10) HORIZONTAL DISTANCE BETWEEN WATER AND SANITARY SEWER.
- TRENCHES ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED FOR THE SAFETY OF WORKERS AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION". THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE SLOPING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY. TO THE PIPE BEING PLACED, TO TREES, OR TO ANY EXISTING STRUCTURE. WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS, THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
- DEWATERING: IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATERS OF THE UNITED STATES.
- TRENCHES BACKFILL: COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE ENGINEER AND THE COUNTY PRIOR TO FINAL ACCEPTANCE.
- PATCHING: WHEN AN EXISTING ASPHALT STREET IS CUT, THE STREET SHALL BE RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN ITS ORIGINAL CONDITIONS. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE COUNTY AND CDOT CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. PATCHING SHALL BE DONE IN CONFORMANCE WITH THE COUNTY AND CDOT STANDARDS. ALL LARGE PATCHES SHALL BE PAVED WITH ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREAS, MAY BE REQUIRED.
- STORM DRAINAGE: ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY". FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WOOD-PF-82, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3590.
- UTILITY COORDINATION: PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SCHEDULES.
- SERVICE INTERRUPTION: CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING PRIOR TO NAY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND AN EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS.
- DAMAGE: REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DAMAGE TO EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED.
- INSPECTION: ALL PUBLIC IMPROVEMENT WORK, INCLUDING CORRECTION WORK, SHALL BE INSPECTED BY A COUNTY REPRESENTATIVE WHO SHALL HAVE THE AUTHORITY TO HALT CONSTRUCTION WHEN STANDARD PRACTICES ARE NOT BEING FOLLOWED.
- WARRANTEE: THE CONTRACTOR SHALL WARRANT ALL WORK TO BE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF TWO-YEAR FROM THE DATE OF ACCEPTANCE.
- FLOOD PLAIN: FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 0804100537 F, EFFECTIVE DATE, MARCH 17, 1997, INDICATED THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOOD PLAIN).
- APPROXIMATE SCHEDULE FOR DEVELOPMENT: OCTOBER 2007 PRE-APPLICATION, JANUARY 2008 PLANNING SUBMITTAL, NOVEMBER 2008 PLANNING APPROVAL, DECEMBER 2008 BUILDING PERMIT, "120 DAYS CONSTRUCTION".
- MAINTENANCE OF PRIVATE ROADS WITHIN THE DEVELOPMENT IS THE RESPONSIBILITY OF THE RESPECTIVE PROPERTY OWNERS. DETAILS ARE IN ACCORDANCE WITH RECORDED DOCUMENT 206037533 (EL PASO COUNTY).

Please remove "County" from note.

Please clarify what soils report this note is referencing.

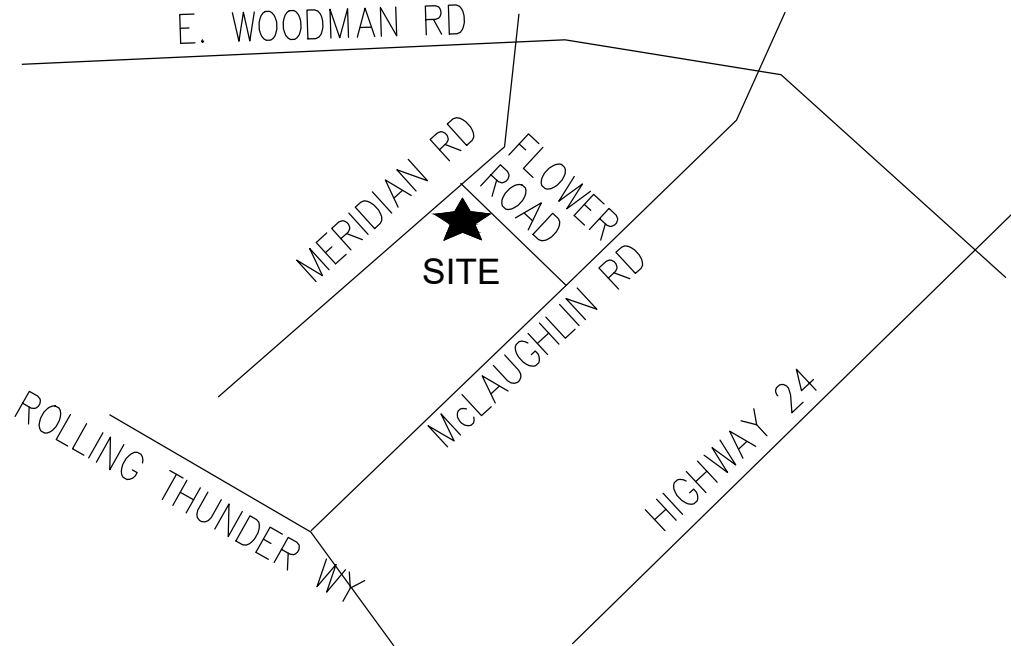
# McDONALD'S RESTAURANT SITE DEVELOPMENT PLAN

## MERIDIAN CROSSING FILING NO.1

### A SUBDIVISION OF A PORTION OF THE NE 1/4 OF SEC. 12, T-13-S, R-65-W OF THE 6th P.M., AND A REPLAT OF A PORTION OF THE TOWN OF FALCON EL PASO COUNTY, COLORADO.

Please revise. Subdivision is not being reviewed

Remove prior legal description and include only current legal description



VICINITY MAP  
NTS

DESIGN TEAM CONTACTS

OWNER/DEVELOPER

McDONALD'S USA, LLC.  
4643 S. ULSTER STREET, SUITE 1300  
DENVER, CO. 80237  
MR. KORTNEY PEDIGO  
(303) 262-3773

SITE ENGINEER

STRATEGIC LAND SOLUTIONS, INC.  
2595 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
ROBERT J. PALMER, P.E.  
(303) 384-7661

REVIEW AGENCY

EL PASO COUNTY HEALTH DEPARTMENT  
301 SOUTH UNION BLVD.  
EL PASO, CO 80910  
(719) 575-8636

REVIEW AGENCY

EL PASO COUNTY PLANNING  
2880 INTERNATIONAL CIR.  
EL PASO, CO 80910  
(719) 327-2880

LIST OF DRAWINGS	
DWG NO.	TITLE
1 OF 2	COVER SHEET
2 OF 2	SITE LAYOUT PLAN

Please add the grading plan to the sheet index and include it in the site development plan contents.

STATISTICAL INFORMATION	
TYPE	
ZONING	0
SITE AREA	49,079 SQ. FT. / 1.13 AC
BUILDING AREA	3,848 SQ. FT.
BUILDING HEIGHT	24 FEET
STRUCTURE GROUND COVERAGE	3,848 S.F.
ASPHALT GROUND COVERAGE	26,905 SQ. FT
CONCRETE PAVEMENT GROUND	3,500 SQ. FT
PARKING COUNT	42 SPACES
HANDICAP PARKING COUNT	2 SPACES
BICYCLE PARKING COUNT	2

Please move any grading related information/linework/symbols to the grading plan.

LEGEND:

EL

CD

EROSION LOG

CHECK DAM

SF

VTC

SILT FENCE

VEHICLE TRACKING PAD

FL

HP

ME

P

TC

W

FLOW LINE

HIGH POINT

MATCH EXISTING PAVEMENT

TOP OF CURB

SIDEWALK

ELEC

SAN

WAT

SF

ELEC

SAN

WAT

SF

PROPOSED ELECTRICAL LINE

PROPOSED STORM DRAIN

PROPOSED SANITARY SEWER

WATER LINE

EXISTING INTRM CONTOUR

EXISTING INDEX CONTOUR

PROPOSED INDEX CONTOUR

PROPOSED INTRM CONTOUR

PROPOSED SILT FENCE

PROPERTY LINE

100-YEAR FLOOD BOUNDARY

PROPOSED CLEANOUT

PROPOSED HANDICAP PARKING STALL

PROPOSED PARKING LOT LIGHTING

PROPOSED ELECTRICAL TRANSFORMER

PROPOSED 8" STAMPED DECORATIVE CONCRETE PAVEMENT

PROPOSED LANDSCAPING

UgE

SAN

UgT

WAT

GAS

EROSION LOG

CHECK DAM

BOUNDARY SYMBOL

EXISTING WATER METER

EXISTING LIGHT

EXISTING ELECTRICAL LINE

EXISTING MANHOLE

EXISTING SANITARY SEWER LINE

EXISTING TELEPHONE LINE

EXISTING WATER LINE

EXISTING GAS LINE

EASEMENT/ROW

6" CURB & 1' CATCH GUTTER

6" CURB & 1.5' SPILL GUTTER

WATER METER

CO

TYP

TRANS

PROPOSED ELECTRICAL TRANSFORMER

LEGAL DESCRIPTION:

LOT 1 MERIDIAN CROSSING FILING NO.1, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

BENCHMARK

BM#1-2" ALUM. CAP IN THE SOUTHWEST END OF A HEADWALL LOCATED ON THE SOUTH SIDE OF WOODMAN ROAD, 1,600 FEET WEST OF THE INTERSECTION OF FOXTAIL MEADOW DRIVE AND WOODMAN RD. FIMS MARKER NO. BL-75 ELEV. 6892.53 (NGVD 29)

BASIS OF BEARING

BEARINGS - NORTH LINE OF THE NW 1/4 OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M., WHICH IS ASSUMED TO BEAR S89°44'56"E FROM THE NORTHWEST CORNER OF SAID SECTION 12 (2 1/2" METAL CAP, PLS 17664) TO THE NORTH QUARTER CORNER OF SAID SECTION 12 (2 1/2" METAL CAP PLS 17664).

NO.

DATE

REVISION DESCRIPTION

Civil Engineering Consultant:

Strategic Land Solutions, Inc.

Civil Engineering • Land Planning • Estimating

2595 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
720.384.7661 Phone  
palmer@strategicsolutions.net  
Robert J. Palmer, PE  
President

PREPARED UNDER THE DIRECT SUPERVISION OF:

SEAL:

COLORADO REGISTERED PROFESSIONAL ENGINEER

ROBERT J. PALMER, PE

36320

BY Robert J. Palmer, PE

Licensed Professional Engineer (CO PE #36320),  
AS PRESIDENT FOR STRATEGIC LAND SOLUTIONS, INC.

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE

ADDRESS

DENVER REGION

4643 S. ULSTER ST., SUITE 1300, DENVER, COLORADO 80237

PLAN APPROVALS

SIGNATURE (2 REQUIRED)

DATE

AREA CONSTRUCTION MGR

AREA REAL ESTATE MGR

REAL ESTATE MGR

DEVELOPMENT MANAGER

CONSTRUCTION MANAGER

OPERATIONS DIRECTOR

SCALE: 1"=20'

MOD. BY: BOWEN

DATE: 03/08/2021

MOD. P/C/M: PEDIGO

DESIGNED BY: RJP

FILE NAME: PLANNING.DWG

DRAWN BY: RJP

ASCT. IN. 08-0002-TBD

CHECKED BY: RJP

ASCT. IN. 08-0002-TBD

DRAWING TITLE:

TITLE SHEET

SHEET NO:

1 OF 2

McDONALD'S RESTAURANT SITE DEVELOPMENT PLAN

MERIDIAN CROSSING FILING NO.1

A SUBDIVISION OF A PORTION OF THE NE 1/4 OF SEC. 12, T-13-S, R-65-W OF THE 6th P.M.,  
AND A REPLAT OF A PORTION OF THE TOWN OF FALCON  
EL PASO COUNTY, COLORADO.

NOTE:  
MCDONALD'S LOADING IS DESIGNED TO OFF LOAD DELIVERY TRANSPORT  
DIRECTLY INTO THE FREEZER LOCATED AT THE BACK OF THE STORE.  
IN ORDER TO MAKE DELIVERIES, SEVERAL PARKING SPACES WILL BE  
OCCUPIED BY THE DELIVERY TRANSPORT. AS SUCH, DELIVERS WILL  
OCCUR DURING NON-OPERATIONAL HOURS, AND WILL BE CONTROLLED  
BY THE STORE MANAGER.

NO. DATE REVISION DESCRIPTION

CIVIL ENGINEERING CONSULTANT:

**Strategic Land Solutions, Inc.**  
Civil Engineering & Land Planning-Entireties  
2995 PONDEROSA ROAD  
FRANKTOWN, CO 80116  
720.384.7661 Phone  
rpalmer@strategicsolutions.net  
Robert J. Palmer, PE  
President

PREPARED UNDER THE DIRECT  
SUPERVISION OF:

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36320

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OFFICE DENVER REGION  
ADDRESS 4643 S. ULSTER ST., SUITE 1300, DENVER, COLORADO 80237

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
AREA CONSTRUCTION MGR		
AREA REAL ESTATE MGR		
REAL ESTATE MGR		
DEVELOPMENT MANAGER		
CONSTRUCTION MANAGER		
OPERATIONS DIRECTOR		

SCALE: 1"=20'

DATE: 03/08/2021

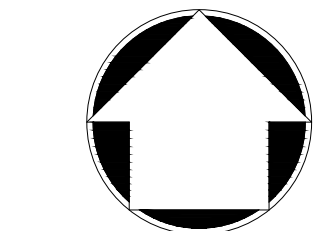
DESIGNED BY: RJP

DRAWN BY: LX

CHECKED BY: RJP

DRAWING TITLE: SITE PLAN

SHEET NO: 2 OF 2



IF YOU DIG COLORADO - CALL US FIRST!  
UTILITIES NOTIFICATION CENTER  
1-800-922-1987  
CALL 2 BUSINESS DAYS PRIOR TO  
EXCAVATION FOR UTILITY LOCATIONS

C:\MSCE\PROJECTS\1706-0002-McDONALD'S\27-6030PARKWAY\COMMERCE\_COUNTY\Draws\CSP-1.dwg 12/12/2006 8:45:26 PM MST