

# JAMES IRWIN CHARTER SCHOOLS / P-TEC OFF-SITE IMPROVMENTS

## 2460 WAYNOKA PLACE

### COLORADO SPRINGS, CO 80915

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Architect  
CO license no. C-4889



A PROPOSED  
REMODEL  
FOR

PTEC  
JAMES IRWIN  
CHARTER  
SCHOOLS

2460 WAYNOKA PL  
COLORADO SPRINGS, CO  
Sheet Title:  
SITE PLAN

Drawing Status:  
COUNTY  
SITE SUBMITTAL

Revisions:  
No. Description By Date

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Date: 2/16/23

Drawn by:

Checked by:

Scale: AS NOTED

Job No.:

Sheet No.:

1  
Of 2

## PROJECT DATA

PROJECT NAME: P-TEC INTERIOR REMODEL / PARTIAL CHANGE OF USE

PROJECT DESCRIPTION: INTERIOR REMODEL OF AN EXISTING FABRICATION FACILITY FOR A NEW CHARTER HIGH SCHOOL, INCLUDING ADMINISTRATIVE-OFFICE/ VOCATIONAL TRAINING AREAS. SITE WORK IS LIMITED TO ACCESSIBLE ACCESS IMPROVEMENTS AND OFF-SITE IMPROVEMENTS. THERE ARE NO NEW BUILDINGS IN THE SCOPE OF THIS PROJECT.

PROJECT ADDRESS: 2460 WAYNOKA PLACE, COLORADO SPRINGS, CO 80915

CURRENT TAX SCHEDULE NO.: 5331301024

CURRENT LEGAL DESCRIPTION: LOT 4 CIMARRON-NORTHWEST INDUSTRIAL, FL NO. 3A, TOG W/ VAC POWERS BLVD ADJ BY REC #20602877

CITY ZONING: I-2 CAD-0

LOT SIZE: 348,915 SF (8.01 ACRES)

LOT COVERAGE: 86,201 SF (24.7%)

BLDG. HEIGHT: 30 FEET

PARKING REQUIREMENTS: EDUCATION, SENIOR HIGH: 1 SPACE / 4 STUDENTS  
720 MAX STUDENTS / 4 = 180 SPACES REQUIRED  
TOTAL PARKING PROVIDED = 237 (NORTH LOT, EXISTING)  
ACCESSIBLE PARKING REQUIRED = 7 (2 VAN ACCESS)  
ACCESSIBLE PARKING PROVIDED = 7 (2 VAN ACCESS)  
ADDITIONAL STAFF PARKING PROVIDED AT SOUTH LOT  
SOUTH LOT PROVIDES AN ADDITIONAL 72 SPACES  
REQUIRED = 5% OF REQUIRED VEHICLE PARKING  
180 SPACES X 5% = 9 REQUIRED  
PROVIDED = 10

BICYCLE PARKING: REQUIRED = 5% OF REQUIRED VEHICLE PARKING  
180 SPACES X 5% = 9 REQUIRED  
PROVIDED = 10

CONSTRUCTION TYPE: I-B

SPRINKLER SYSTEM: YES

FIRE ALARM SYSTEM: YES

EXISTING OCCUP. GROUP: B-2, UNDER PREVIOUS CODE, CURRENT EQUIVALENT - B / F-1

PROPOSED OCCUP. GROUP: B (OFFICE) / E (EDUCATION) / F-1 (VOCATIONAL SHOPS)

TOTAL BUILDING AREA: 1ST FLOOR = 81,473 SF  
2ND FLOOR = B: 5,282 SF  
TOTAL AREA = 87,607 SF

(EXIST) BUILDING HEIGHT: 2 STORES, PARTIAL

ALLOWABLE AREA: N/A PER EBC SECTION 1016.2 AND TABLE 1016  
CHANGE OF USE FROM F-1 TO E OCCUPANCY GROUPS - SAME HAZARD CATEGORY 3 CLASSIFICATION, HEIGHT AND AREA OF THE EXISTING BUILDING SHALL BE DEEMED ACCEPTABLE.

OCCUPANCY SEPARATIONS: NONE REQUIRED - NO OCCUPANCY HAZARD CLASSIFICATION INCREASE.

## CODE DATA

1. Common access drive shall be for the common use of all users, public and private, and owners of the development.

2. Applicable Codes: 2021 International Existing Building Code (IEBC)  
2021 International Building Code (IBC)  
2021 International Mechanical Code (IMC)  
2021 International Energy Conservation Code (IECC)  
2021 International Fire Code (IFC)  
2017 ICC A117.1 Accessibility Standards  
2020 National Electrical Code (NEC)  
2018 International Plumbing Code (IPC)

3. Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.

4. All work and materials shall be in full accordance with the rules and regulations of the Applicable Codes noted above, and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.

5. Dimensions:  
a. Do not scale these drawings.  
b. Contractor to verify overall building layout dimensions prior to construction.  
c. Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.

6. Upon completion of each sub-contractor's work, remove all waste, debris, excess materials, tools and equipment from the premises. Leave entire structure and involved portions of the site in a neat, clean and acceptable condition.

7. All roofing and flashing materials shall be installed to form a waterproof system per the applicable codes.

8. Lathing, plastering and drywall construction, shall be in full accordance with the HANDBOOK OF RECOMMENDED SPECIFICATIONS FOR LATHING, FURRING AND PLASTERING OF THE NATIONAL FOUNDATION FOR Lathing and Plastering, Inc.

9. Site is not within a FEMA designated floodplain per flood map 08041C0751G, effective 12/7/2018.

## GENERAL NOTES

- Common access drive shall be for the common use of all users, public and private, and owners of the development.
- Applicable Codes: 2021 International Existing Building Code (IEBC)  
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a. Do not scale these drawings.  
b. Contractor to verify overall building layout dimensions prior to construction.  
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- All roofing and flashing materials shall be installed to form a waterproof system per the applicable codes.
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- Site is not within a FEMA designated floodplain per flood map 08041C0751G, effective 12/7/2018.

## EXISTING BUILDING SETBACKS

PRIMARY SCHOOL BUILDING  
FRONT SETBACK (EAST) = 88'-4 1/2" PROVIDED  
SIDE SETBACK (NORTH) = 225'-1 1/2" PROVIDED  
SIDE SETBACK (SOUTH) = 102'-8 1/2" PROVIDED  
REAR SETBACK (WEST) = 50'-8 1/2" PROVIDED

ACCESSORY STORAGE BUILDING #1  
FRONT SETBACK (EAST) = 48'-3 1/2" PROVIDED  
SIDE SETBACK (NORTH) = 45' PROVIDED  
SIDE SETBACK (SOUTH) = 265' PROVIDED  
REAR SETBACK (WEST) = 294' PROVIDED

ACCESSORY STORAGE BUILDING #2  
FRONT SETBACK (EAST) = 84'-1 1/2" PROVIDED  
SIDE SETBACK (NORTH) = 6' PROVIDED  
SIDE SETBACK (SOUTH) = 102'-8 1/2" PROVIDED  
REAR SETBACK (WEST) = 278' PROVIDED

## LOADING/UNLOADING DATA

STUDENT DROP-OFF/PICK-UP NOTE:  
PER TRAFFIC REPORT BY LSC TRANSPORTATION CONSULTANTS  
(PCD FILE #COM-2222 / PPR-239)

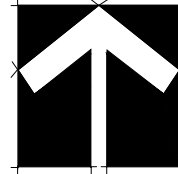
SHORT TERM REQUIRED = 825'  
SHORT TERM (SINGLE LANE) PROVIDED = 780'  
2ND LANE AVAILABLE = 570'  
TOTAL SHORT TERM AVAILABLE = 1,350'

LONG TERM (MAX ENROLLMENT) REQUIRED = 1650'  
LONG TERM PROVIDED VIA 3RD LANE - TO BE RE-STRIPPED AT A LATER DATE TO BE DETERMINED, AS NEEDED = 400' ADDITIONAL FOR A TOTAL QUEUE LENGTH OF 1,750'

DROP-OFF LENGTH  
REQUIRED = 175'  
PROVIDED = 175'

## SITE PLAN

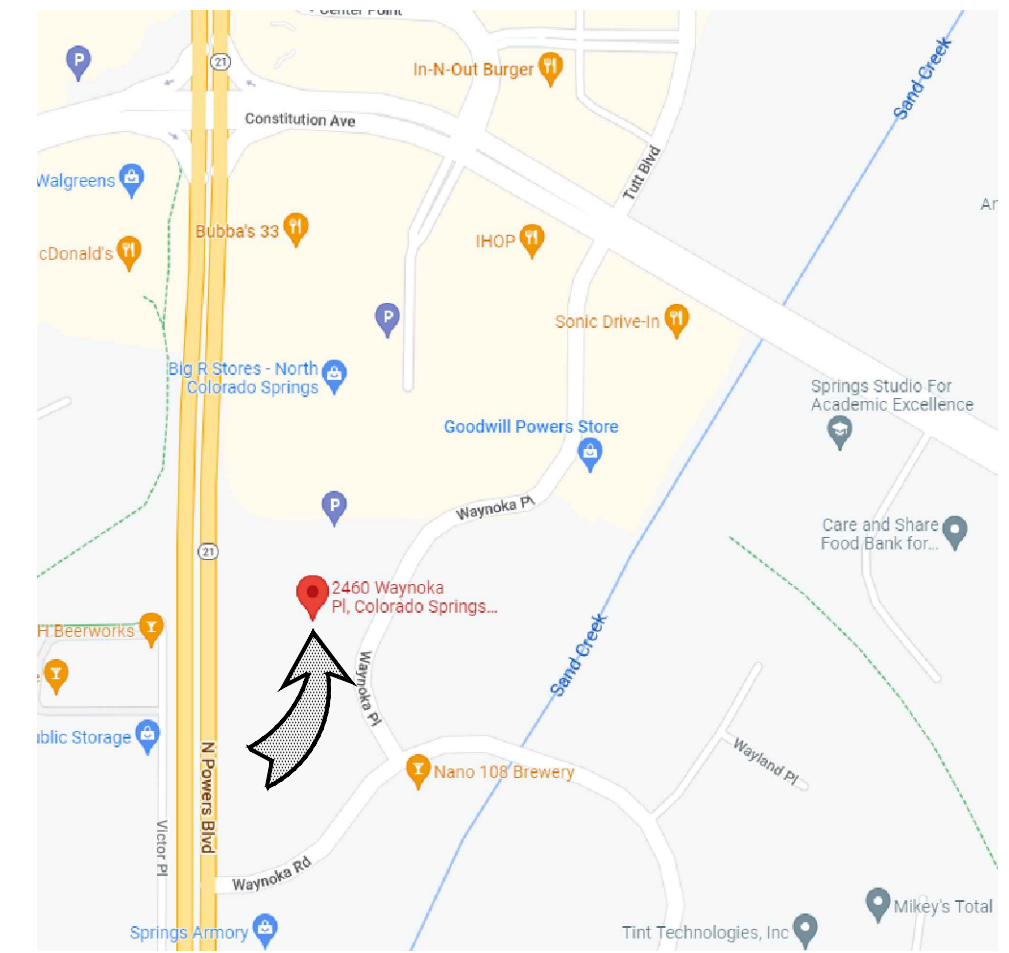
0 20' 40' 80' 120'



SCALE: 1" = 50'-0"

## DRAWING INDEX

SHT. #	DESCRIPTION
1	SITE PLAN
2	ENLARGED SITE PLANS



VICINITY MAP  
NO SCALE

## PROJECT TEAM

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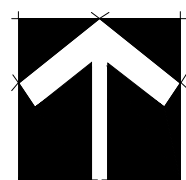
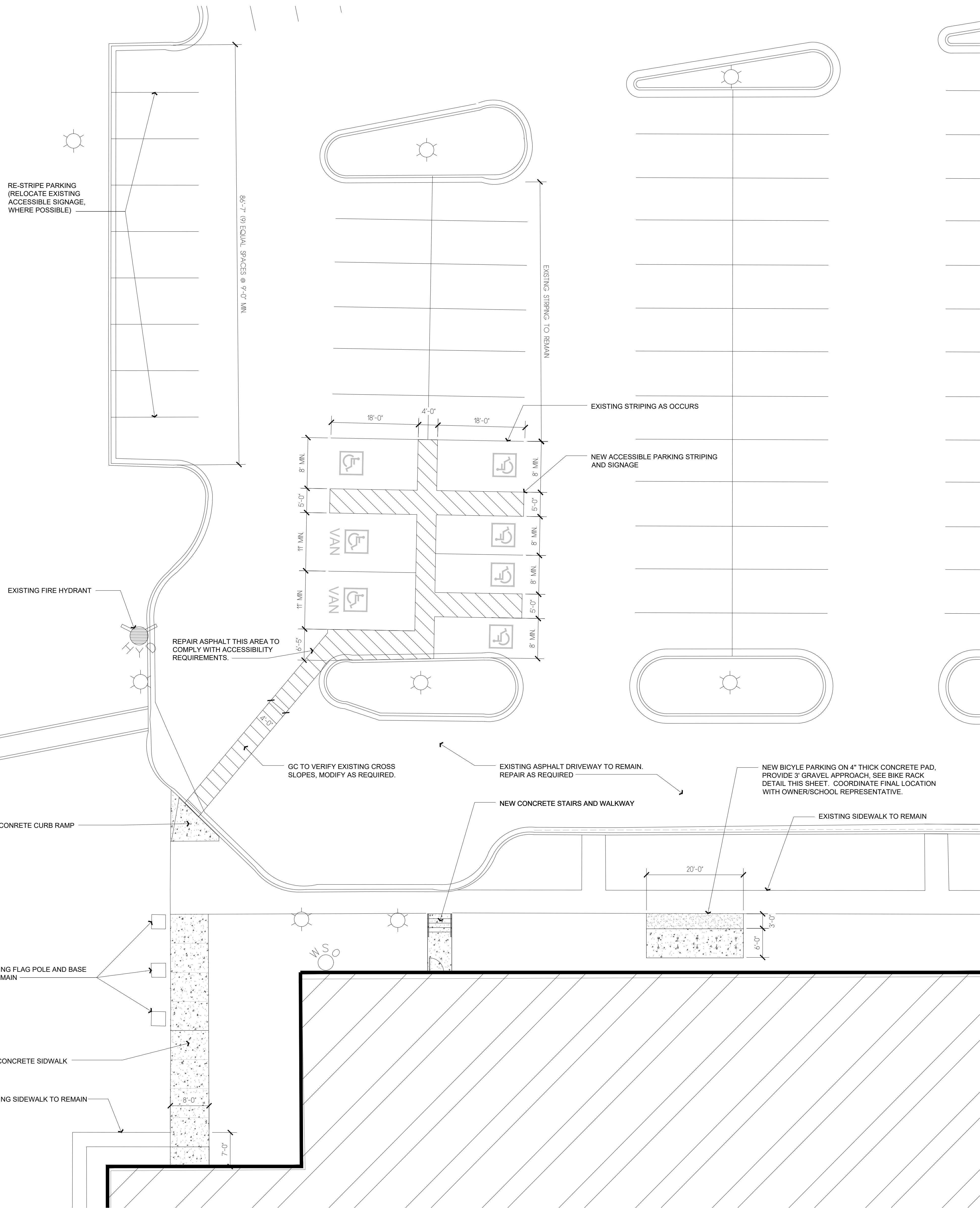
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Approved  
By: Justin Kilgore  
Planning Manager  
Date: 05/30/2023  
El Paso County Planning & Community Development



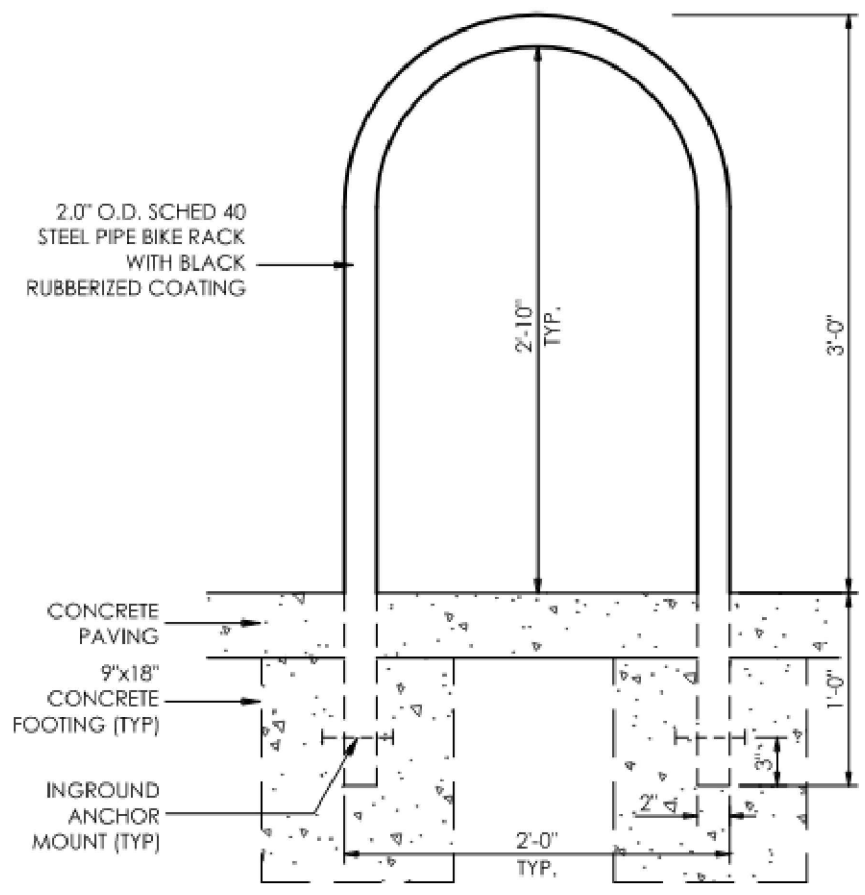
PCD FILE NO. PPR-239





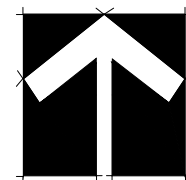
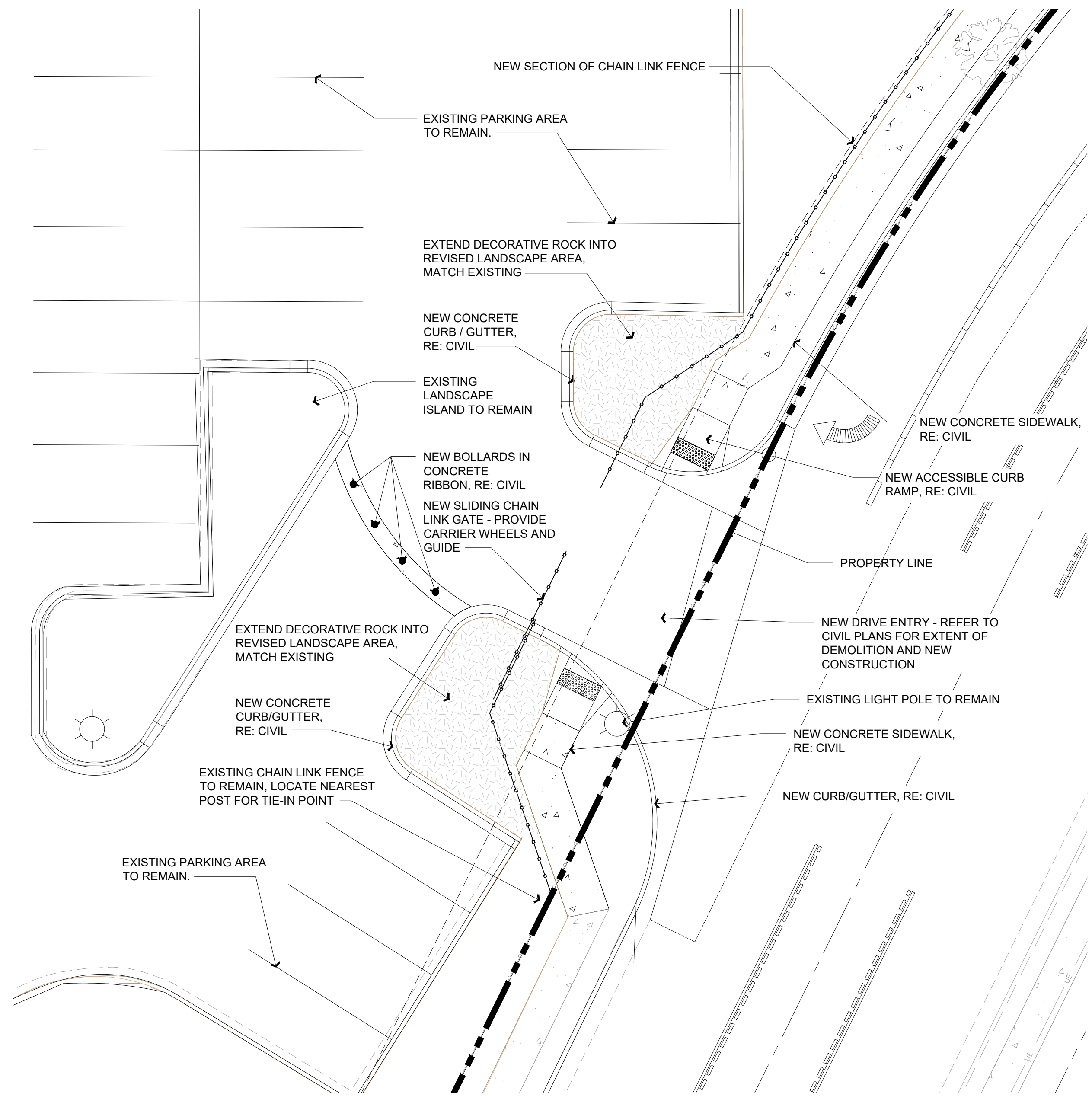
1 ENLARGED PLAN • NORTH LOT  
SCALE: 1" = 10'-0"

- ACCESSIBLE PARKING NOTES:**
- ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND SIGNAGE SHALL MEET ALL APPLICABLE COUNTY CODE REQUIREMENTS INCLUDING:
1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2-PERCENT) IN ALL DIRECTIONS.
  2. ACCESSIBLE PARKING SPACES SHALL BE MARKED WITH FOUR INCH (4") LINES
  3. ACCESSIBLE AISLES SHALL BE OUTLINED IN DIAGONALLY STRIPES AT FORTY-FIVE DEGREE (45°) ANGLES IN A CONTRACTING COLOR SUCH AS YELLOW, WHITE, OR BLUE.
  4. EACH ACCESSIBLE PARKING SPACE SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN CONTAINING THE DESIGNATION "VAN ACCESSIBLE". MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. EACH ACCESSIBLE PARKING SPACE SIGN SHALL BE NO SMALLER THAN EIGHTEEN INCHES (18") TALL BY TWELVE INCHES (12") WIDE. EACH VAN ACCESSIBLE SIGN SHALL BE NO SMALLER THAN SIX INCHES (6") TALL BY TWELVE INCHES (12") WIDE. SIGNS SHALL BE LOCATED AT THE HEAD OF THE SPACE WITH THE BOTTOM OF THE SIGN(S) BETWEEN FIVE FEET (5') AND SEVEN FEET (7') ABOVE THE FINISH FLOOR OR GROUND SURFACE.



**BIKE RACK DETAIL**

CONTRACTOR MAY RE-USE EXISTING BIKE RACKS, IN LIEU OF THIS DETAIL. COORDINATE WITH OWNER/SCHOOL FOR REVISED CONDITIONS.



2 ENLARGED PLAN • NEW ENTRY  
SCALE: 1" = 10'-0"

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**20th ANNIVERSARY**  
YEARS  
**BUCHER DESIGN STUDIO**  
2002-2022

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ARC.00406777  
*Brian K. Bucher*  
ARCHITECT

A PROPOSED  
REMODEL  
FOR

PTEC  
JAMES IRWIN  
CHARTER  
SCHOOLS

2480 WAYNOKA PL  
COLORADO SPRINGS, CO  
Sheet Title:  
ENLARGED  
SITE PLANS

Drawing Status:  
COUNTY  
SITE SUBMITTAL

Revisions:

No.	Description	By	Date
1	COUNTY SDP COMMENTS	JHB	5/10/23

Date: 2/16/23  
Drawn by:  
Checked by:  
Scale: AS NOTED  
Job No.:

Sheet No.:  
2  
Of 2



## LAYOUT NOTES

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

## IRRIGATION SYSTEM NOTE

FOR NEW PLANT MATERIAL CONNECT NEW DRIP IRRIGATION TO EXISTING SYSTEM WHERE FEASIBLE

## TREE AND SITE PROTECTION

CONTRACTOR TO PROVIDE PROTECTION FOR EXISTING AND/OR RELOCATED TREES TO BE PROTECTED AS SHOWN PER PLAN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DAMAGE TO PROTECTED TREES AND/OR ADJACENT LANDSCAPE. CONTRACTOR SHALL PROVIDE 4" HIGH RIGID TREE PROTECTION FENCING. EACH TREE TO BE PROTECTED SHALL BE MARKED-SEE DETAIL.

CONTRACTOR SHALL COORDINATE EXISTING TREE / LANDSCAPE REMOVAL AND PROTECTION PER PLAN WITH GENERAL CONTRACTOR.

## CODE REQUIREMENTS

### LANDSCAPE SETBACKS (LS)

STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
POWERS BLVD	EXPRESSWAY	25/25	1050	1/20 FT	52/14 - EXISTING / 38 NEW
WAYNOKA PLACE	NON-ARTERIAL	10/10	303	1/30 FT	31/8 EXISTING / 23 NEW

### MOTOR VEHICLE LOTS (MV)

NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT)
238	16/16 (11 EXISTING)	WAYNOKA - 203 LF	135 LF
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.		
21/21	14/14		

### INTERNAL LANDSCAPING (IL)

INTERNAL LANDSCAPE AREA IS CALCULATED USING THE ENTIRE LOT. MAXIMUM OF 50% OF REQUIRED TREES MAY BE SUBSTITUTED WITH 10 SHRUBS. FOR EACH TREE REQUIRED.

NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)
343,855 SF	NON-RESIDENTIAL	17,193/18,000 SF	35/13 EXISTING / 15 NEW
SHRUB SUBSTITUTES (50%) REQ./PROV.		INTERNAL PLANT ABBR. DENOTED ON PLAN	
10/10		IL	

### LANDSCAPE BUFFERS AND SCREENS (LB)

STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE: ---	SETBACK BUFFER REQ. / PROV.-FENCE	BUFFER TREES (1/20') REQ./PROV. - NA	EVERGREEN TREES (1/3) REQ./PROV. - NA
OPAQUE FENCE REQUIREMENT: NONE REQUIRED				

## PLANT SCHEDULE

Symbol	Abbr.	Quant.	Botanical Name	Common Name	Mature Wdth/Hght	Size
EVERGREEN TREES:						
	PE	41	Pinus edulis	Pinyon Pine	15'x15'	B & B 6'-8" ht.
DECIDUOUS TREES:						
	GTSB	5	Gleditsia triacanthos 'Sunburst'	Sunburst Honeylocust	30'X30'	1-1/2" cal.
	CH	49	Crataegus crus-galli inermis 'Hawthorn'	Cockspur Hawthorn	20'X20'	1-1/2" cal.
EVERGREEN SHRUBS:						
	JA	14	Juniperus chinensis 'Armstrong'	Armstrong Juniper	3'-4' x 3'-4'	5 gal.
DECIDUOUS SHRUBS:						
	PO	19	Potentilla fruticosa 'Abbotswood'	Abbotswood Potentilla	2'-4' x 2'-4'	5 gal.

## GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR LANDSCAPE AND IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL RECEIVE SLEEVING. REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CITY STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL PROTECT ALL SITE ELEMENTS DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO: CONCRETE FLATWORK, CURB & GUTTER, PAVING, SIGNS, TREES, UTILITIES, ETC. ANY DAMAGE TO INFRASTRUCTURE SHALL BE RESPONSIBILITY OF CONTRACTOR TO REPAIR AND/OR REPLACE IN EQUAL OR BETTER CONDITION. ANY DAMAGE SHALL BE DOCUMENTED THE DAY IT OCCURS AND REPORTED TO THE CLIENT WITHIN 12 HOURS. COORDINATE WITH GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING LANDSCAPE AND IRRIGATION SUBMITTALS FOR APPROVAL PRIOR TO START OF ANY WORK.

## UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL, VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

## DOCUMENT NOTE

RESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

PCD FILE NO. PPR-239

# OVERALL LANDSCAPE PLAN

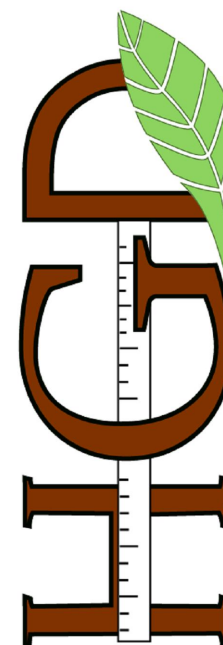


Know what's below.  
Call before you dig.

HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5550 NORTH ACADEMY BLVD., STE 207  
COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-265-1122



HIGHER GROUND  
DESIGNS

PTEC  
JAMES IRWIN CHARTER SCHOOLS  
2460 WAYNOKA PLACE  
COLORADO SPRINGS, EL PASO COUNTY, CO

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PREPARED FOR:  
BUCHER DESIGN STUDIO

NOT FOR CONSTRUCTION

JOB NUMBER  
1134-23

REVISIONS

ORIGINAL DATE  
5-4-23

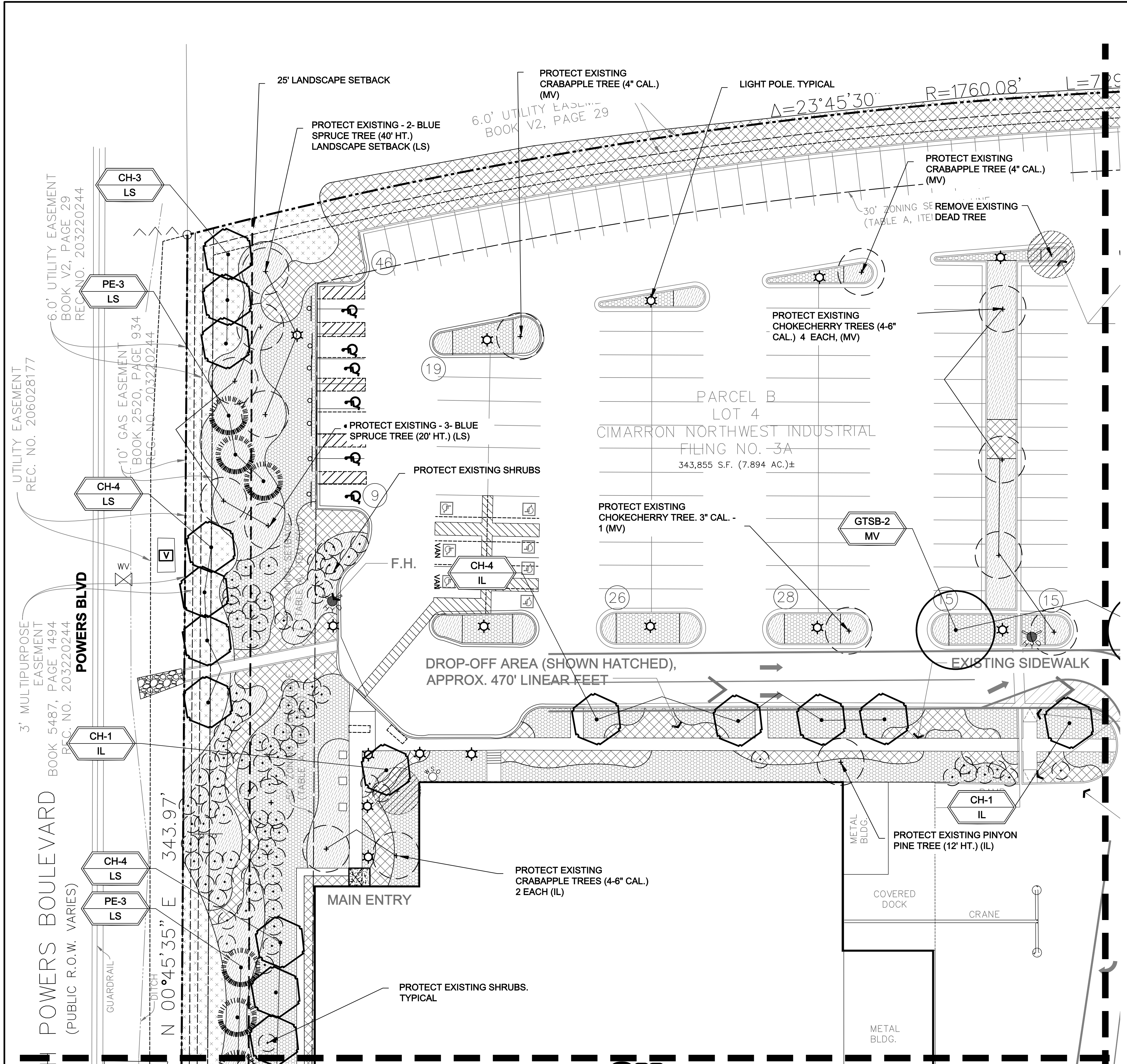
DRAWN BY: JM

DESCRIPTION:  
ALTERNATE  
LANDSCAPE PLAN

SHEET NO.

L1.1





LANDSCAPE PLAN - AREA 'A'



**UTILITIES NOTE**

VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO STARTING WORK. CALL 811 FOR UTILITY LOCATIONS. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLAN SHALL BE RESOLVED WITH THE LANDSCAPE ARCHITECT. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODE.

SCALE 1" = 20'

**INSTALLATION NOTES**

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

STEEL EDGING TO BE GREEN PRO-STEEL (1/8" x 4" x 10') WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3 OZ PROFESSIONAL GRADE POLYSPUN WEED BARRIER WITH STAPLES AT 8" O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE 'CASCADE CEDAR' WITH NO LANDSCAPE FABRIC 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST (PLANT SAFE) PREEN WEED PRE-EMERGENT, OR APPROVED EQUAL, IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. [WWW.PREEN.COM](http://WWW.PREEN.COM)

**FIRE SIGNAGE NOTE**

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LANE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

**GRADING AND DRAINAGE NOTE**

ALL GRADES SHOULD SLOPE AWAY FROM ALL BUILDING FOUNDATION. PRIOR TO, OR DURING CONSTRUCTION IF DRAINAGE PROBLEMS ARE IDENTIFIED CONTACT LANDSCAPE ARCHITECT AND CEASE WORK UNTIL A SOLUTION IS AGREED TO BY ALL PARTIES. HGD, INC. PREPARED THIS LANDSCAPE PLAN BASED ON CIVIL PLANS BY OTHERS AND IS NOT RESPONSIBLE FOR ANY DAMAGE TO BUILDING AND/OR SITE DUE TO IMPROPER GRADING AND/OR DRAINAGE.

GROUND COVER LEGEND		
SYMBOL	DESCRIPTION	APPROX. SF
	Arkansas Tan Cobble: 2-4" Diameter (with weed barrier) Submit sample to owner prior to ordering material	1,286 SF
	Decorative Rock: 1.5" Diameter (with weed barrier) Submit sample to owner prior to ordering material	563 SF
	EXISTING: Wood Mulch	16,999 SF
	EXISTING: River Rock Cobble	26,411 SF
	EXISTING: Black Granite Rock	33,940 SF
	EXISTING: Seed Grass	29,100 SF
	EXISTING: Steel Edger	
	Protect Existing Tree	
	Remove Existing Tree	

**GRADE NOTE**

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOD/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

**DOCUMENT NOTE**

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

PCD FILE NO. PPR-239

**HIGHER GROUND DESIGNS, INC.**

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5550 NORTH ACADEMY BLVD, STE 207  
COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-266-1122

**HIGHER GROUND DESIGNS**

PTEC

JAMES IRWIN CHARTER SCHOOLS  
2460 WAYNOKA PLACE  
COLORADO SPRINGS, EL PASO COUNTY, CO

PREPARED FOR:  
BUCHER DESIGN STUDIO

NOT FOR CONSTRUCTION

JOB NUMBER	1134-23
REVISIONS	
ORIGINAL DATE	5-4-23
DRAWN BY:	JM
DESCRIPTION:	AREA A LANDSCAPE PLAN
SHEET NO.	L1.2





- 
- PROPOSED GRADE (WHERE APPLICABLE)
- SET SHRUBS PLUMB. SHRUB SPACING AS PER THE LAYOUT. VARIOUS FINISHED GRADE OF SHRUB BED TO BE 2" BELOW ADJACENT FINISH GRADE AT EDGE.
- PLANT TOP OF ROOTBALL AT GRADE
- 3" SPECIFIED ORGANIC MULCH IN SHRUB BED'S, TURF SEEDED AREAS AND ALL ROCK MULCH AREAS. PROVIDE 3" PLANTING RIM FOR SHRUBS NOT IN PLANTER BEDS OR IN NON-IRRIGATED SEED AREAS. PLACE SAUCER ON DOWNHILL SIDE OF ANY SLOPES. NO PLANTING RIM FOR SHRUBS IN IRRIGATED NATIVE TURF. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH WOODY TRUNK-2" RADIUS.
- EXISTING SLOPE (WHERE APPLICABLE)
- NO RIM ON SLOPE CONDITION (THIS SIDE)
- REMOVE SHRUB FROM CONTAINER & CULTIVATE SOIL TO DEPTH OF ROOT BALL THOROUGHLY. BACKFILL HOLE WITH APENDED SOIL MIX. SCARIFY SIDES OF PLANTING PIT AND ROOT BALL. ROOT BALL SHALL REST ON FIRM, UNDISTURBED SOIL.
- 12" MIN. 12" MIN. PLANT BED
- SHRUB PLANTING DETAIL**
- NOT TO SCALE**

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

NOT FOR CONSTRUCTION	JOB NUMBER	
	1134-23	
	REVISIONS	
ORIGINAL DATE		
5-4-23		
DRAWN BY: JM		
DESCRIPTION:		
AREA B		
LANDSCAPE PLAN		
SHEET NO.		
L1.3		

PCD FILE NO. PPR-239







File: C:\000224-Waynoka Rd\Elder Const\Dwg\Const\Wgn\Street\301.dwg Plotstamp: 5/10/2023 9:53 AM

GENERAL CONSTRUCTION NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED PER THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY PCD.
- ALL STATIONING IS CENTERLINE OF IMPROVEMENTS UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED AS TOP BACK OF CURB (TBC), ASPHALT (ASP), OR TOP OF INLET OR BOX (TOB).
- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO EPC ECM APPENDIX K – 1.2C.
- ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES IS REQUIRED AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" VERTICAL IN THIS AREA.
- ALL CULVERTS AND STORM DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE, REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNER'S GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 – CULVERTS.
- ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER. OWNER'S GEOTECHNICAL ENGINEER TO BE ON SITE AT THE TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO CONSTRUCTION.

STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M & S STANDARDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS--ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

PROJECT DATUM

HORIZONTAL DATUM IS MODIFIED TO GROUND STATE PLANE COORDINATES  
VERTICAL DATUM IS NAVD88, ADJUSTMENT TO FIMS –3.55'

BASIS OF BEARINGS

BEARINGS ARE BASED ON GPS OBSERVATIONS OF BENCHMARKS PW13 AND PW12.  
THE BEARING IS N00°05'18"W, A DISTANCE OF 2099.44 US SURVEY FEET

BENCHMARKS:

- FIMS MONUMENT PW12 IS A 2" DIA. ALUMIUM CAP STAMPED "CSU FIMS CONTROL PW12" ON THE NE CORNER OF AN ELECTRIC VAULT ON THE WEST SIDE OF POWERS BLVD. OPPOSITE THE LITTON DATA SYSTEMS BLDG AT 2460 WAYNOKA PLACE.  
ELEV.= 6383.21 (NAVD29 & 1960 SUPPLEMENTARY ADJUSTMENT)
- MONUMENT PW13, 2" FIMS CAP MARKED PW13 IN CONC WW ON THE NORTH SIDE OF SAND CREEK.  
ELEV.= 6350.64' (NAVD88)

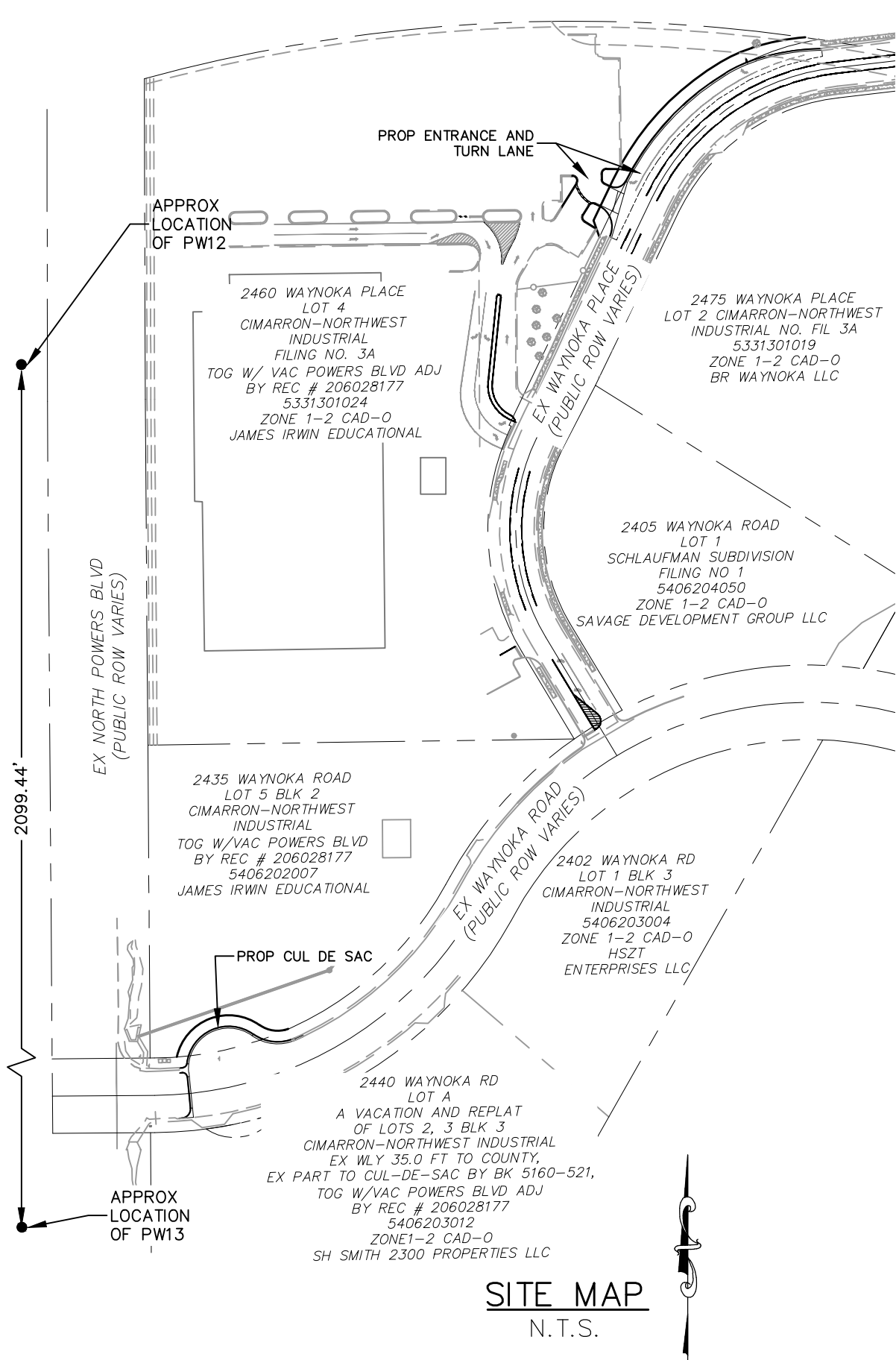


# JICS - WAYNOKA

## COUNTY OF EL PASO, STATE OF COLORADO

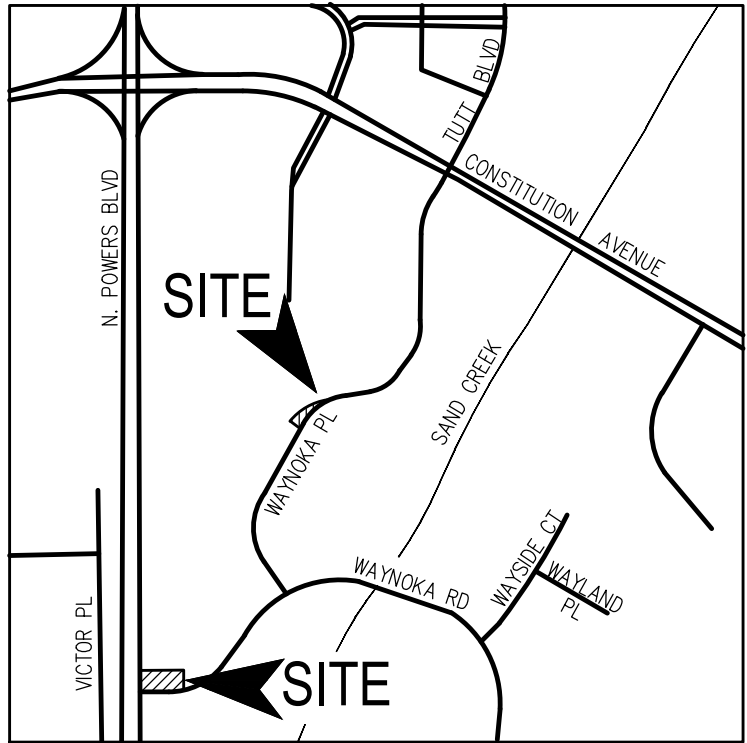
# CONSTRUCTION PLANS

MAY 2023



SIGNAGE AND STRIPING NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINIUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.



SHEET INDEX

- | SHEET   | TITLE                                 |
|---------|---------------------------------------|
| SHEET 1 | TITLE SHEET                           |
| SHEET 2 | TYPICAL DETAILS                       |
| SHEET 3 | WAYNOKA ROAD DEMOLITION PLAN          |
| SHEET 4 | WAYNOKA PLACE DEMOLITION PLAN         |
| SHEET 5 | WAYNOKA ROAD STREET IMPROVEMENT PLAN  |
| SHEET 6 | WAYNOKA ROAD STREET IMPROVEMENT PLAN  |
| SHEET 7 | WAYNOKA PLACE STREET IMPROVEMENT PLAN |
| SHEET 8 | WAYNOKA PLACE PEDESTRIAN RAMP DETAIL  |
| SHEET 9 | SIGNAGE AND STRIPING PLAN             |

AGENCIES:

OWNER/DEVELOPER:	ELDER CONSTRUCTION 4870 CENTENNIAL BLVD, SUITE 100 COLORADO SPRINGS, CO 80919 JEREMY HAMMERS (719)471-2708
CIVIL ENGINEER:	M & S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH, SUITE 305 COLORADO SPRINGS, CO 80903 VIRGIL A. SANCHEZ P.E. (719) 955-5485
COUNTY ENGINEERING:	EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910
TRAFFIC ENGINEERING:	EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS 3275 AKERS DRIVE COLORADO SPRINGS, CO 80922
WATER RESOURCES:	CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BOULEVARD COLORADO SPRINGS, CO 80915-1721 JEFF MUNGER (719) 597-5080
FIRE DISTRICT:	CIMARRON HILLS FIRE DEPARTMENT 1835 TUSKEGEE PLACE COLORADO SPRINGS, CO 80915 (719) 591-0960
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
ELECTRIC DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
COMMUNICATIONS:	QWEST COMMUNICATIONS (U.N.C.C. LOCATORS) (800) 922-1987 AT&T (LOCATORS) (719) 635-3674

DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



VIRGIL A. SANCHEZ, COLORADO P.E. #37160  
FOR AND ON BEHALF OF M & S CIVIL CONSULTANTS, INC. DATE

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS IN THESE DETAILED PLANS AND SPECIFICATIONS.

*Jeremy Hammers* 5/10/23

JEREMY HAMMERS (719)471-2708  
ELDER CONSTRUCTION DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E.  
COUNTY ENGINEER/ECM ADMINISTRATOR

DATE

JICS – WAYNOKA

COVER SHEET

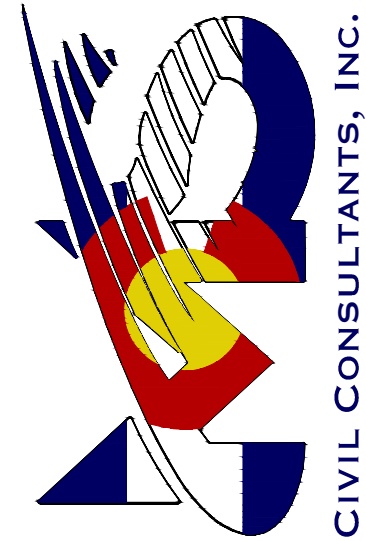
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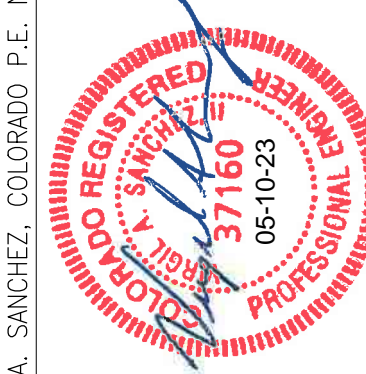
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SHEET 1 OF 9

212 N WAHSATCH AVE, STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.955.5485



FOR AND ON  
BEHALF OF  
M & S CIVIL  
CONSULTANTS,  
INC.



REVISIONS:

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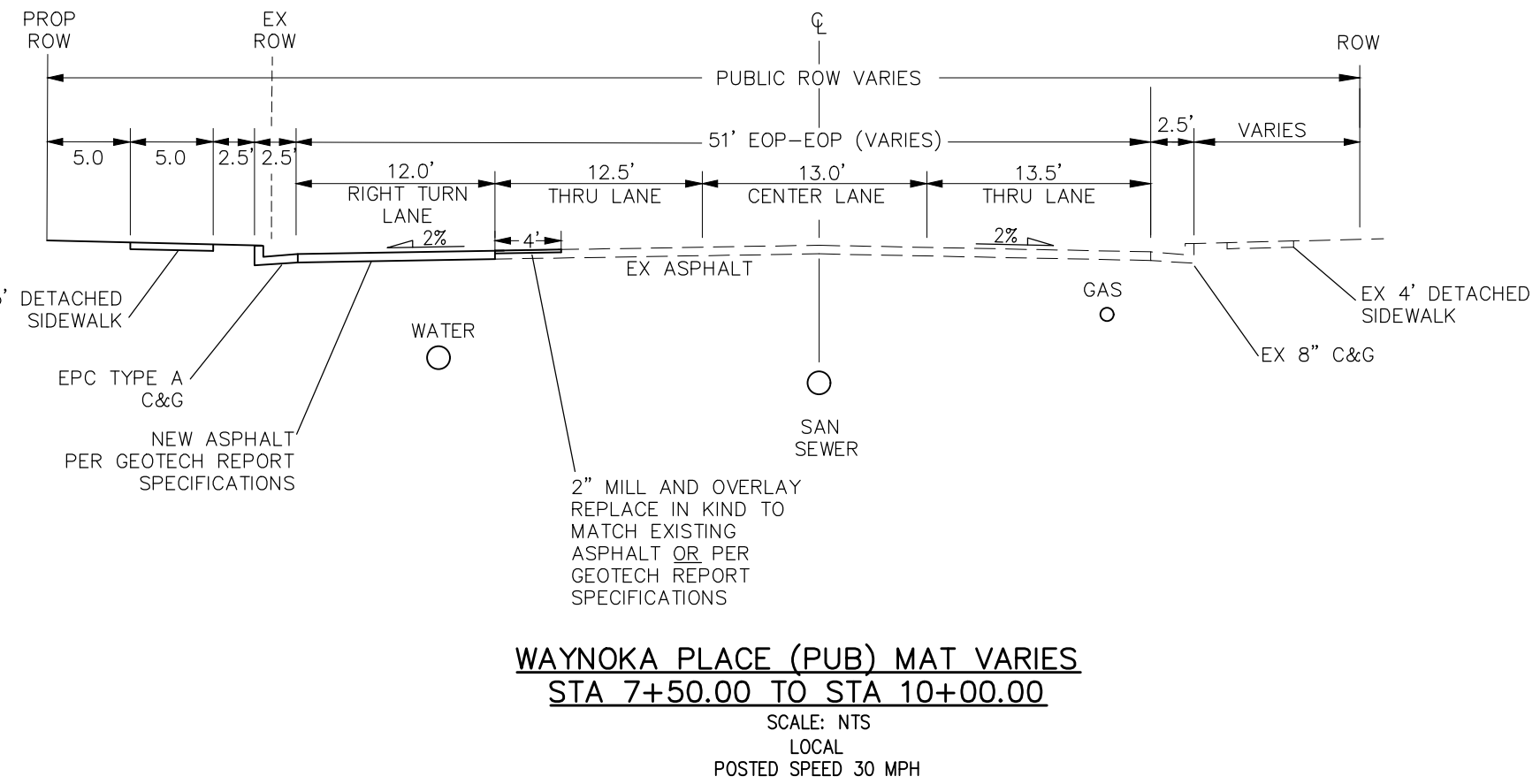
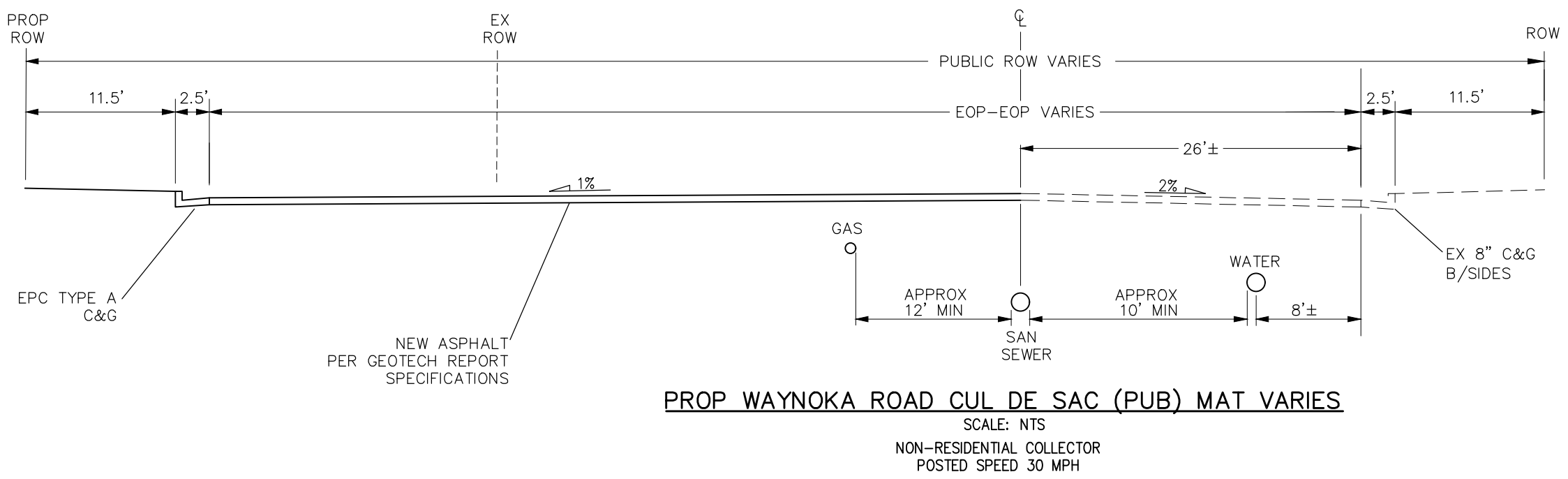
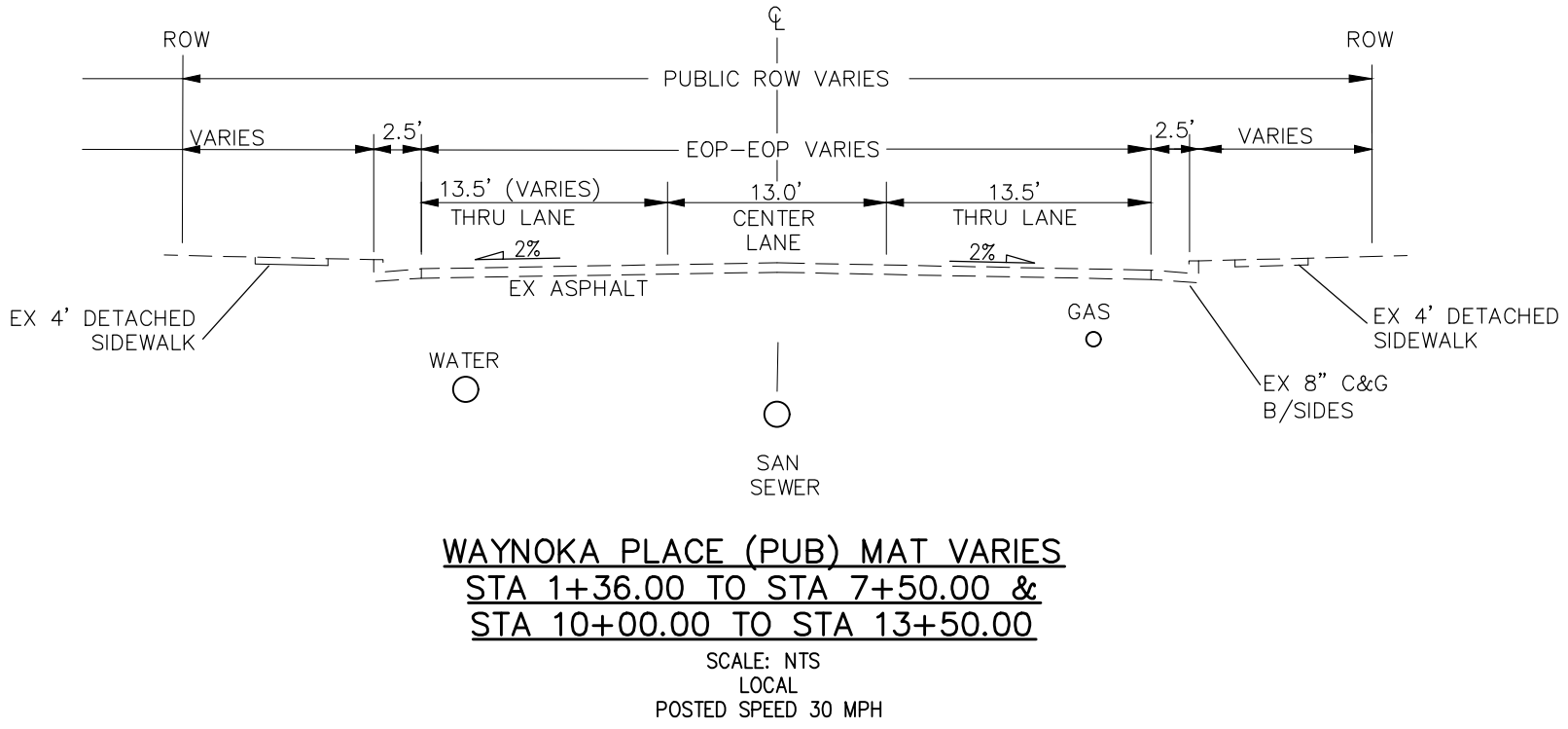
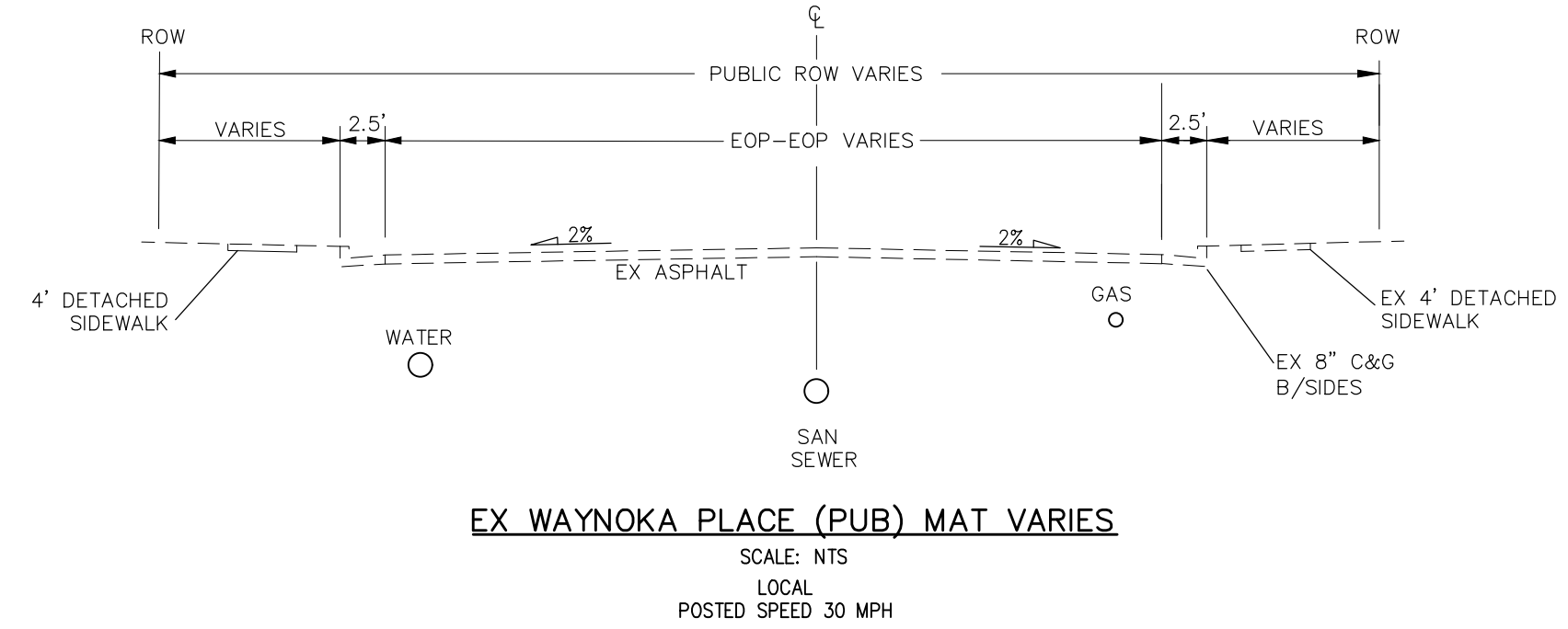
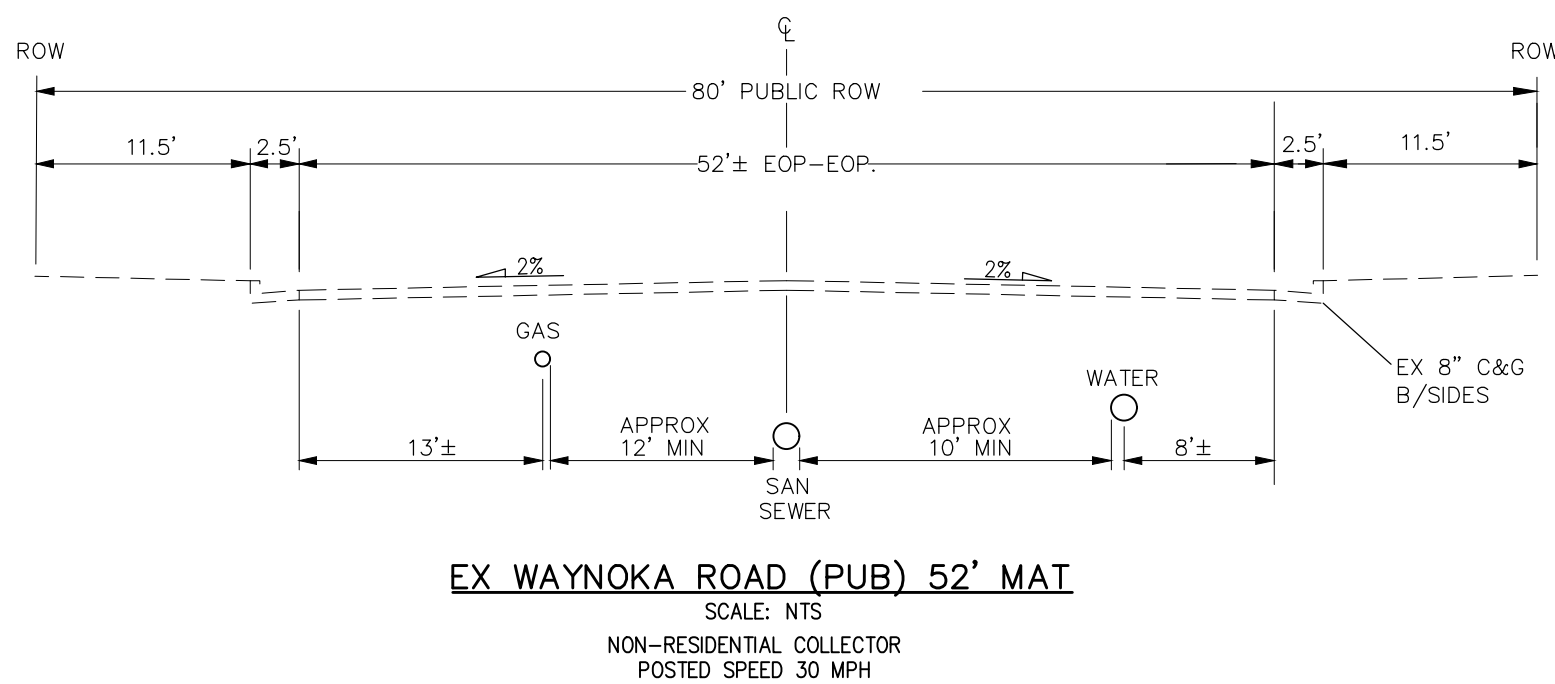
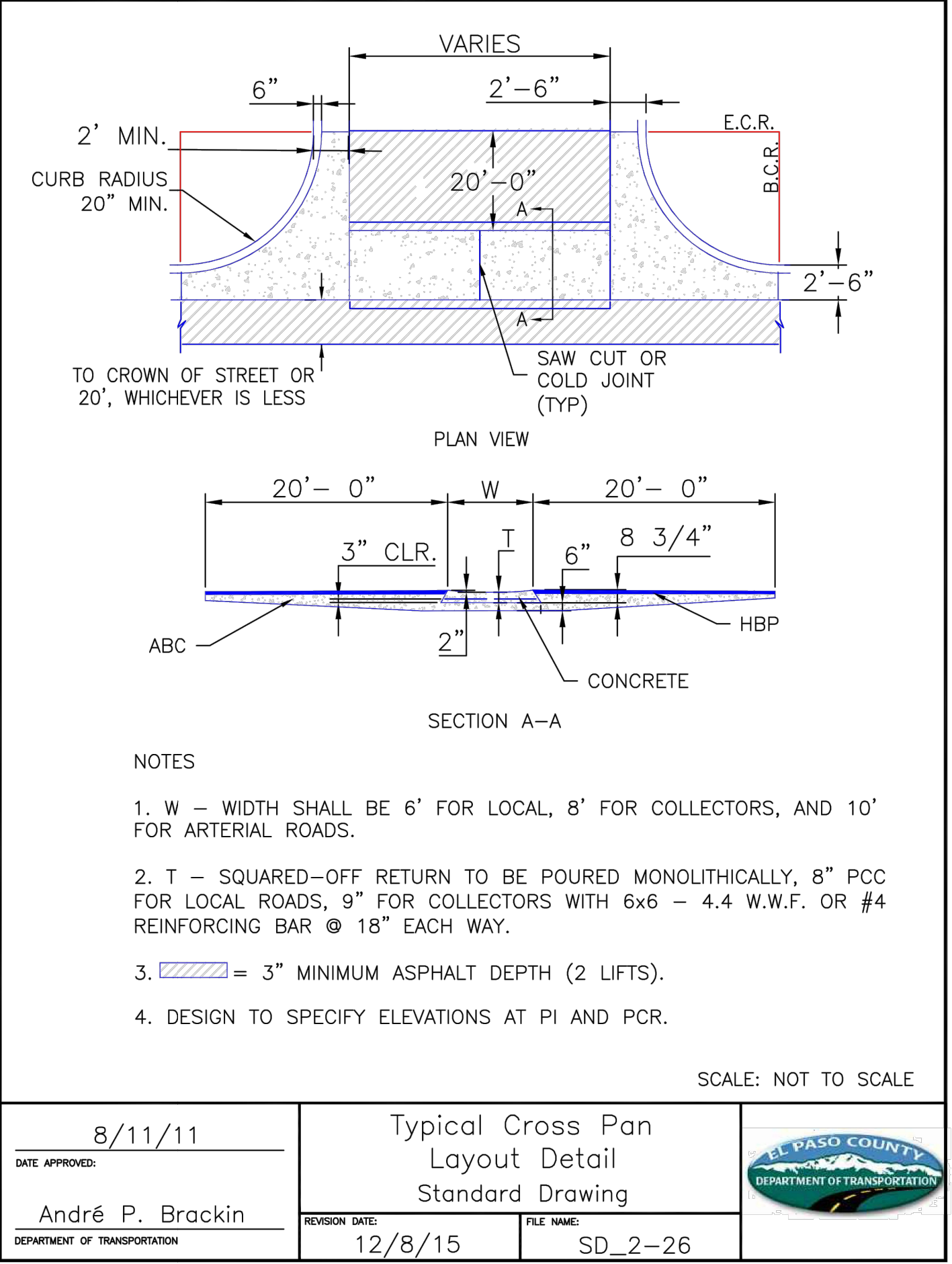
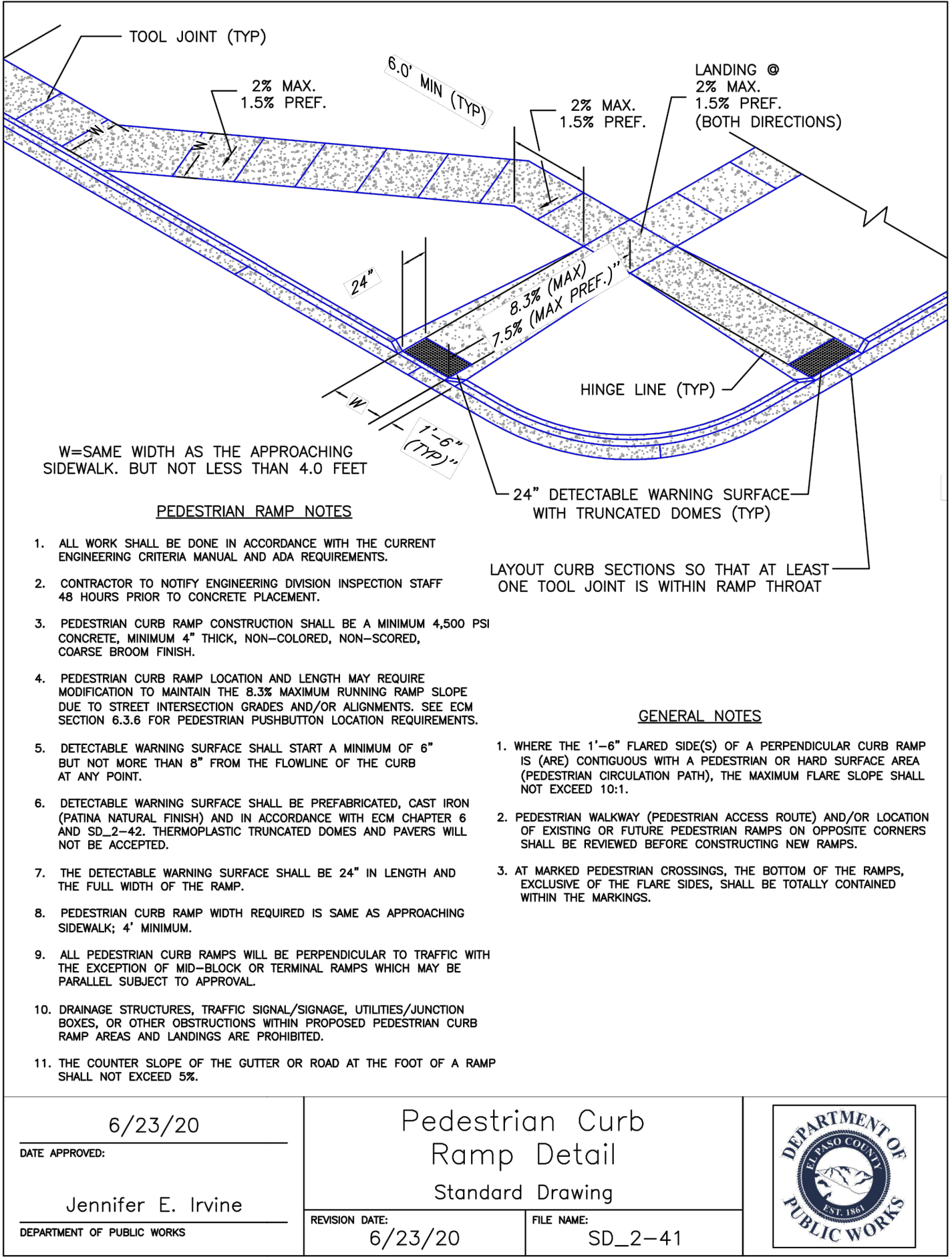
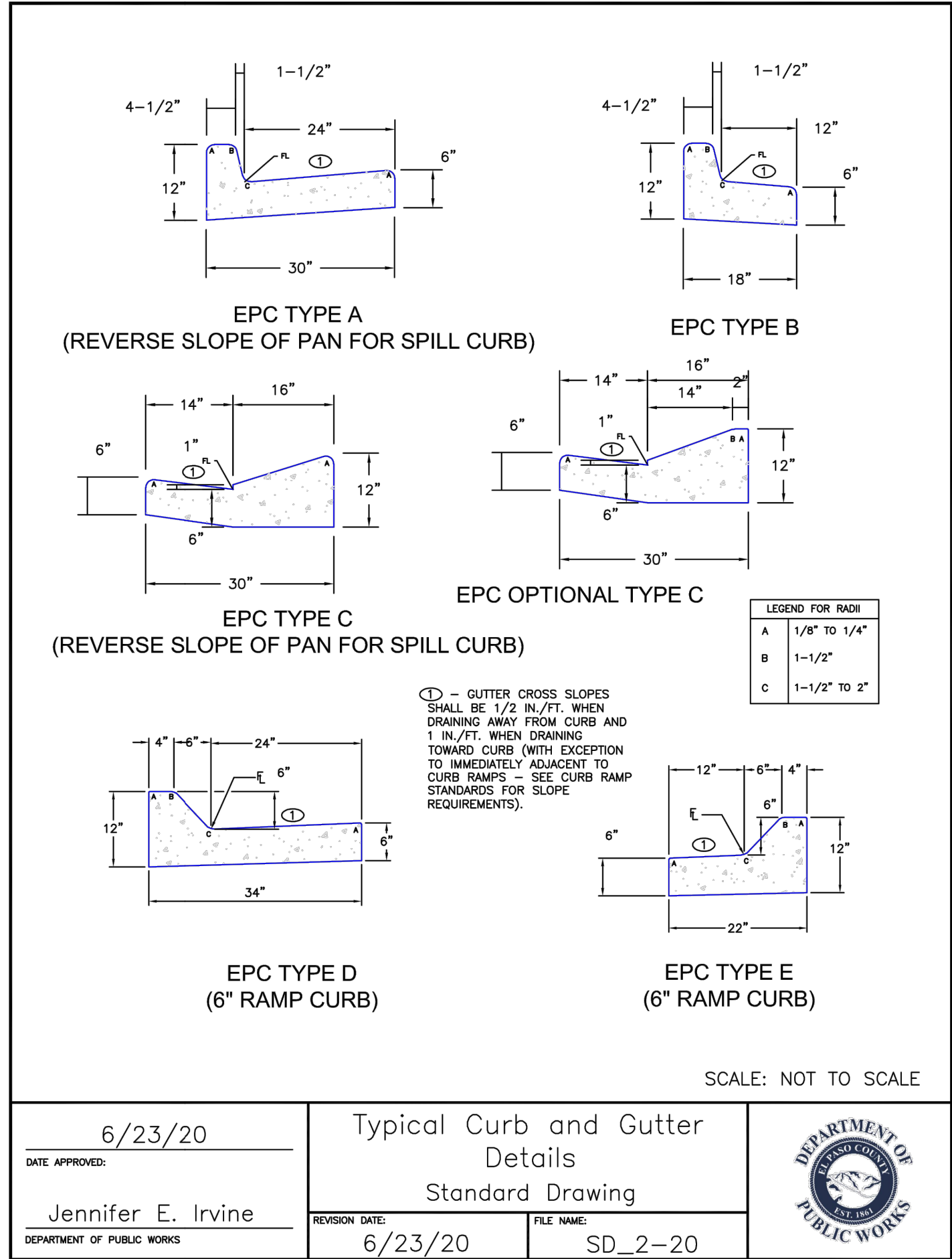
DATE: BY: DESCRIPTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION

EL PASO COUNTY FILE NO. PCD # PPR239





JICS - WAYNOKA

TYPICAL DETAILS

DATE: 05/10/2023

SCALE: HORIZONTAL: N/A

DESIGNED BY: GW

PROJECT NO. 10-022

DRAWN BY: CLP

CHECKED BY: VAS

SHEET 2 OF 9

S102

212 N WAHSATCH AVE STE 305  
COLORADO SPRINGS, CO 80903  
PHONE 719.555.9465

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF CIVIL CONSULTANTS, INC.

37160

05-10-23

PROFESSIONAL ENGINEER

37160

05-10-23

PROFESSIONAL ENGINEER

REVISIONS:

NO.

DATE:

BY:

DESCRIPTION:

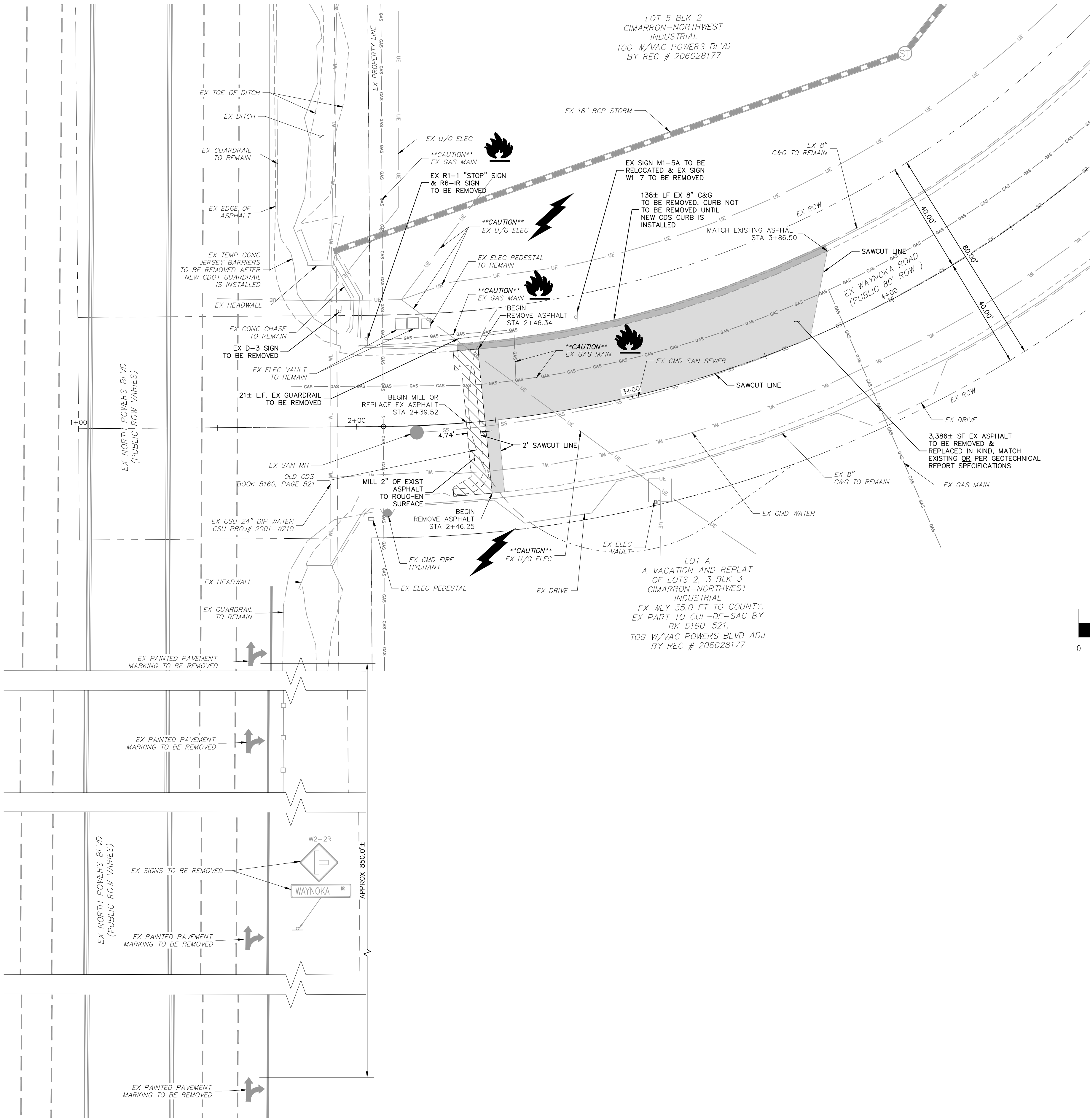
APPROVED BY:

DATE:

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CAUTION





ABBREVIATION LEGEND

CL	CENTERLINE
LT	LEFT
RT	RIGHT
C&G	CURB AND GUTTER
EL	ELEVATION
W	WEST
CONST	CONSTRUCTION
N	NORTH
WTR	WATER
S	SOUTH
STM	STORM SEWER
PUB	PUBLIC
EX	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
CDS	CUL DE SAC
CMD	CHEROKEE METRO DISTRICT
VAC	VACATED

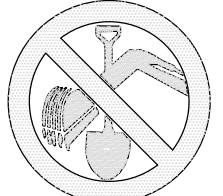
LEGEND

SS	EXISTING SAN SEWER
GAS	EXISTING GAS MAIN
WT	EXISTING WATER MAIN
UE	EXISTING GUARDRAIL
UE	EXISTING U/G ELEC
EXISTING STORM SEWER	
EXISTING FIRE HYDRANT	
EXISTING STORM MH	
EXISTING SAN MH	
EXISTING LIGHT POLE	
EXISTING SIGN	
EXISTING ASPHALT TO BE REMOVED	
EXISTING C&G TO BE REMOVED	
EXISTING ASPHALT TO BE MILLED OR REPLACED TO MATCH NEW CUL DE SAC ELEVATION. SEE S105	
EXISTING GUARD RAIL TO BE REMOVED	

NOTE:

THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES FROM THE SHOWN UTILITIES PROVIDED ON THE PLANS SHALL BE CONVEYED TO THE ENGINEER AND A RESOLVE REACHED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL ADJUST ALL EXISTING VALVE COVERS, SANITARY AND STORM SEWER MANHOLES RIMS, ELECTRIC VAULTS THAT LAY WITHIN THE PROPOSED PAVEMENT, CONCRETE CURB AND SIDEWALKS. ANY CONFLICTS SHALL BE COORDINATED WITH THE ENGINEER.



FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES  
FOR BURIED UTILITY INFORMATION  
48 HRS BEFORE YOU DIG  
CALL 1-800-922-1987

JICS - WAYNOKA

DEMOLITION PLAN - WAYNOKA ROAD

DATE: 05/10/2023

SCALE: HORIZONTAL: 1"=20'

DESIGNED BY: GW

DRAWN BY: CJP

CHECKED BY: VAS

S103

SHEET 3 OF 9

212 N WAHSATCH AVE, STE 305  
COLORADO SPRINGS, CO 80903  
PHONE 719.555.9465



MICHEL A. SANCHEZ, COLORADO P.E. NO. 37160

FOR AND ON BEHALF OF CIVIL CONSULTANTS, INC.

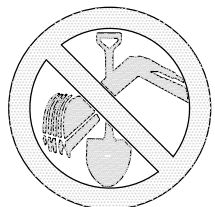


REVISIONS: NO. DATE: BY: DESCRIPTION: APP'D. BY: DATE:

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CAUTION





FOR LOCATING  
& MARKING  
GAS,  
ELECTRIC,  
WATER &  
TELEPHONE  
LINES  
FOR BURIED UTILITY INFORMATION  
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CALL 1-800-922-1987

**NOTE:**

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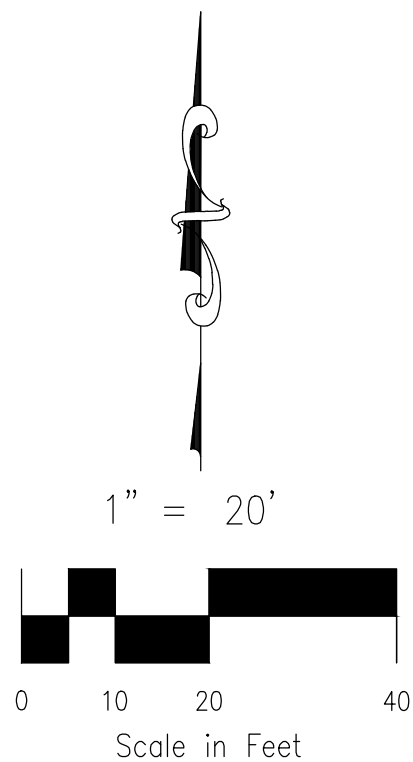
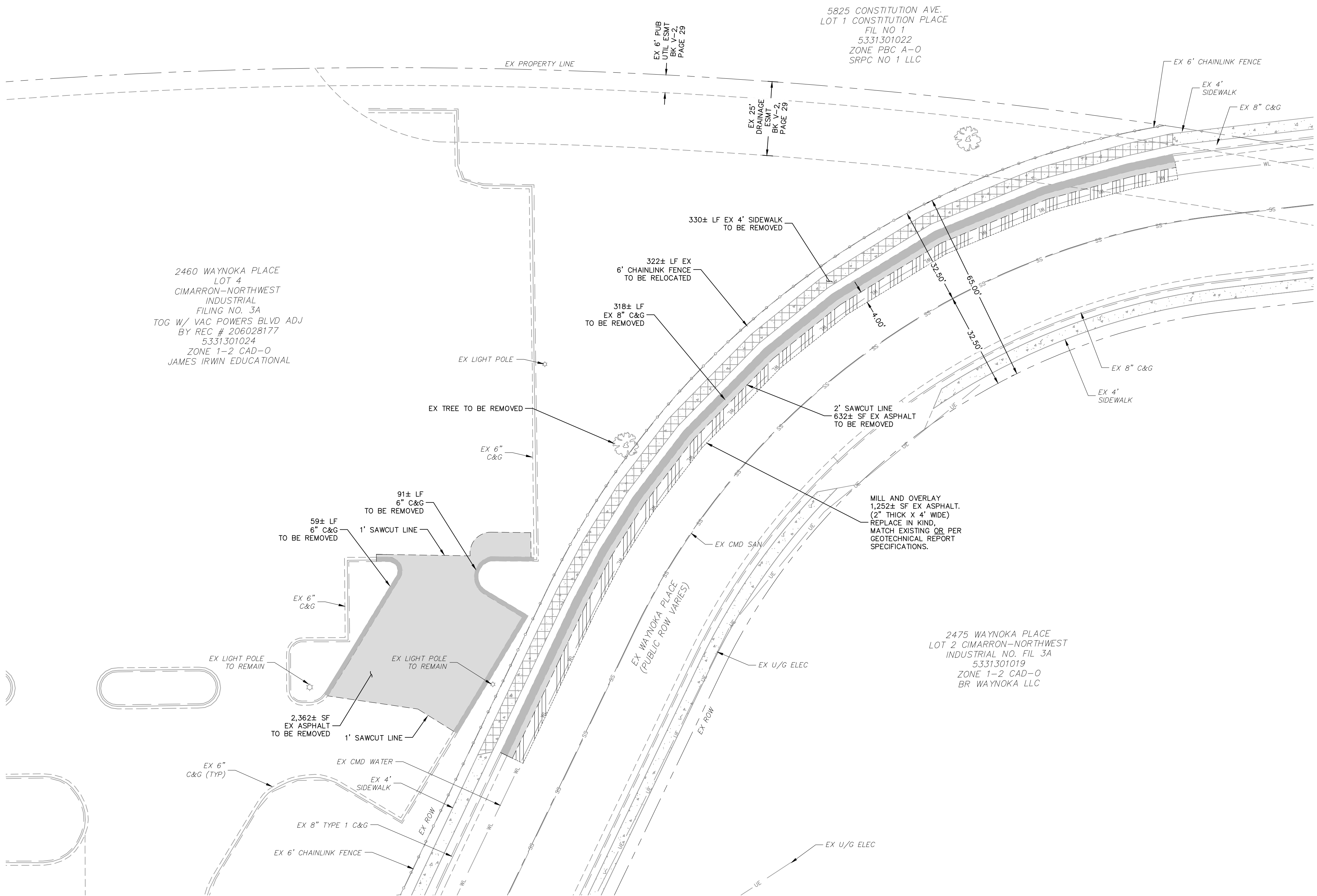
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**ABBREVIATION LEGEND**

CL CENTERLINE  
LT LEFT  
RT RIGHT  
C&G CURB AND GUTTER  
EL ELEVATION  
W WEST  
CONST CONSTRUCTION  
N NORTH  
WTR WATER  
S SOUTH  
STM STORM SEWER  
PUB PUBLIC  
EX EXISTING  
STA STATION  
NTS NOT TO SCALE  
PROP PROPOSED  
SAN SANITARY SEWER  
CDS CUL DE SAC  
CMD CHEROKEE METRO DISTRICT  
VAC VACATED

**LEGEND**

SS EXISTING SAN SEWER  
GAS EXISTING GAS MAIN  
WT EXISTING WATER MAIN  
EXISTING GUARDRAIL  
UE EXISTING U/G ELEC  
EXISTING STORM SEWER  
EXISTING 6' CHAINLINK FENCE  
EXISTING FIRE HYDRANT  
ST EXISTING STORM MH  
EXISTING SAN MH  
EXISTING LIGHT POLE  
EXISTING SIGN  
EXISTING TREE  
EXISTING ASPHALT TO BE REMOVED  
2"x4" WIDE MILL AND OVERLAY MATCH EXISTING  
EXISTING C&G TO BE REMOVED  
EXISTING SIDEWALK TO BE REMOVED  
EXISTING CHAINLINK FENCE TO BE REMOVED



JICS - WAYNOKA

DEMOLITION PLAN - WAYNOKA PLACE

DATE: 05/10/2023

SCALE: HORIZONTAL: 1"=20' VERTICAL: N/A

SHEET 4 OF 9

S104

212 N WAHSATCH AVE, STE 305  
COLORADO SPRINGS, CO 80903  
PHONE 719.555.9465



MIRGL A. SANCHEZ, COLORADO P.E. NO. 37160

FOR AND ON  
BEHALF OF  
CIVIL CONSULTANTS,  
INC.

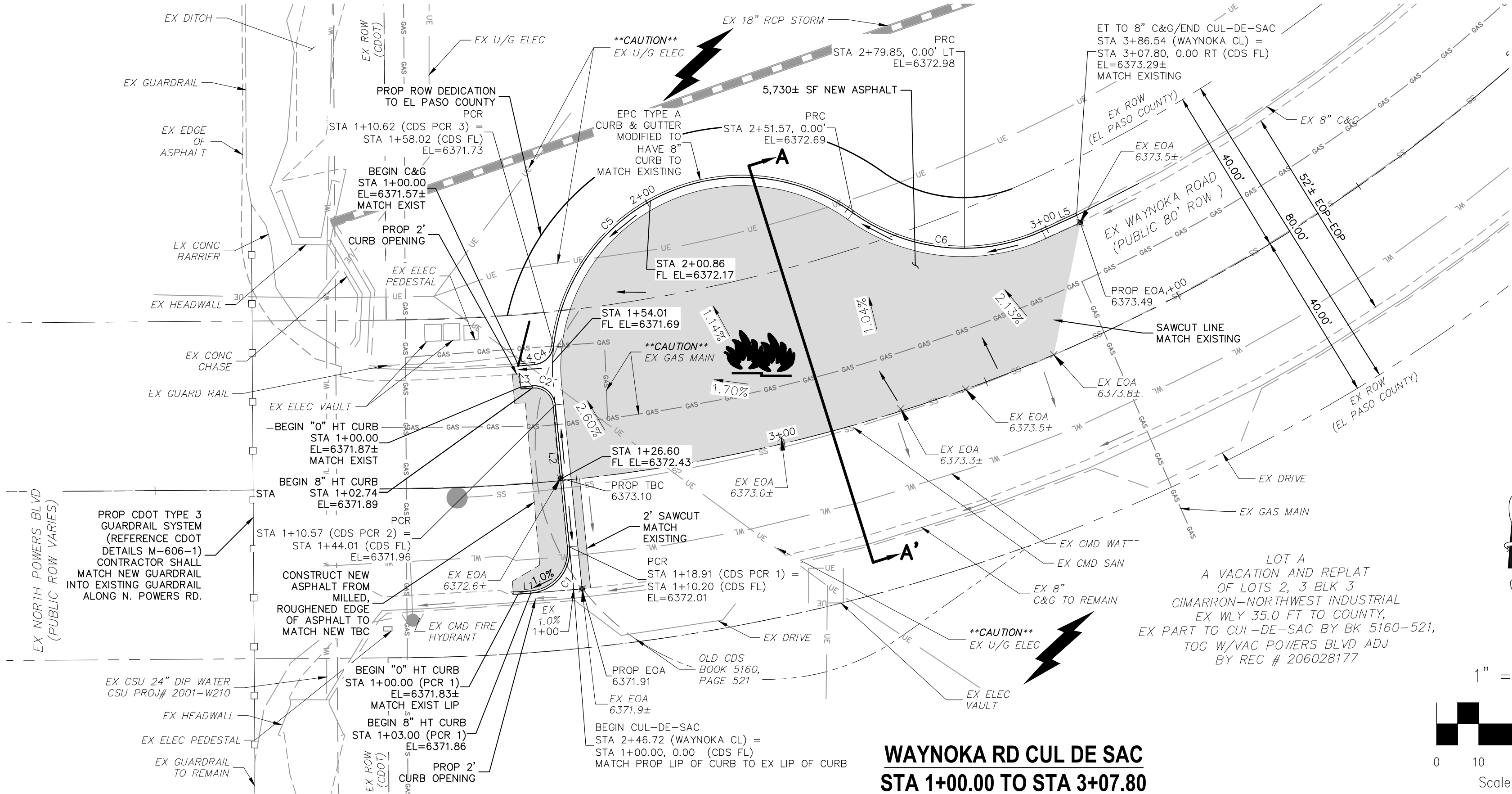


REVISIONS: NO. DATE: BY: DESCRIPTION: APPROVED BY: DATE:

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CAUTION





WAYNOKA RD CUL DE SAC  
STA 1+00.00 TO STA 3+07.80

ABBREVIATION LEGEND

CL	CENTERLINE
LT	LEFT
RT	RIGHT
C&G	CURB AND GUTTER
EL	ELEVATION
W	WEST
CONST	CONSTRUCTION
N	NORTH
WTR	WATER
S	SOUTH
STM	STORM SEWER
PUB	PUBLIC
EX	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
CDS	CUL DE SAC
CMD	CHEROKEE METRO DISTRICT
CSU	COLORADO SPRINGS UTILITIES
VAC	VACATED
BT	BEGIN TRANSITION
ET	END TRANSITION

LEGEND

SS	EXISTING SAN SEWER
GAS	EXISTING GAS MAIN
WT	EXISTING WATER MAIN
	EXISTING GUARDRAIL
UE	EXISTING U/G ELEC
	EXISTING STORM SEWER
ST	EXISTING FIRE HYDRANT
	EXISTING STORM MH
	EXISTING SAN MH
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED ASPHALT



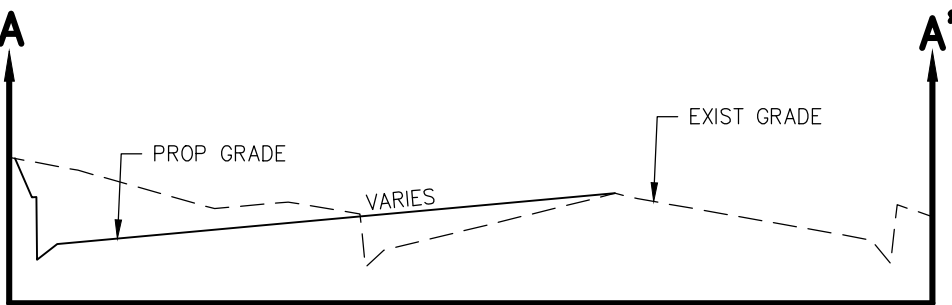
FOR LOCATING  
& MARKING  
GAS,  
ELECTRIC,  
WATER &  
TELEPHONE  
LINES  
FOR BURIED UTILITY INFORMATION  
48 HRS BEFORE YOU DIG  
CALL 1-800-922-1987

FLOWLINE CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	15.92	10.00	91.23
C2	7.83	5.00	89.78
C4	6.81	5.00	78.03
C5	93.55	45.00	119.11
C6	47.28	45.00	60.20

FLOWLINE LINE TABLE		
LINE	LENGTH	DIRECTION
L1	3.00	N85°30'48"E
L2	33.80	N5°43'11"W
L3	2.74	N84°30'10"E
L4	3.81	N84°30'10"E
L5	8.95	S65°23'16"W

NOTE:

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- SEAL JOINT ON SAWCUT LINE SO IT IS NOT EXPOSED IN FINAL ROAD SECTION AND MOISTURE INFILTRATION IS PREVENTED.



SECTION A-A'

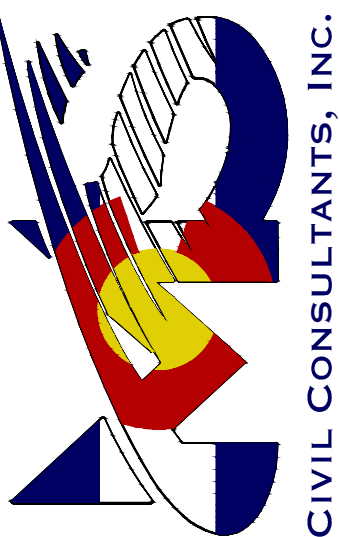
SCALE: HORIZ: 1"=20'  
VERT: 1"=2'

JICS - WAYNOKA

WAYNOKA ROAD STREET IMPROVEMENT PLAN

PROJECT NO. 10-022	DATE: 05/10/2023	SHEET 5 OF 9
DESIGNED BY: GW	CHECKED BY: VAS	
DRAWN BY: CIP		
SCALE: HORIZONTAL: 1"=20'	SCALE: VERTICAL: 1"=2'	

212 N WAHSATCH AVE, STE 305  
COLORADO SPRINGS, CO 80903  
PHONE 719.555.9465



MIRGL A. SANCHEZ, COLORADO P.E. NO. 37160

FOR AND ON  
BEHALF OF  
JICS CIVIL  
CONSULTANTS,  
INC.



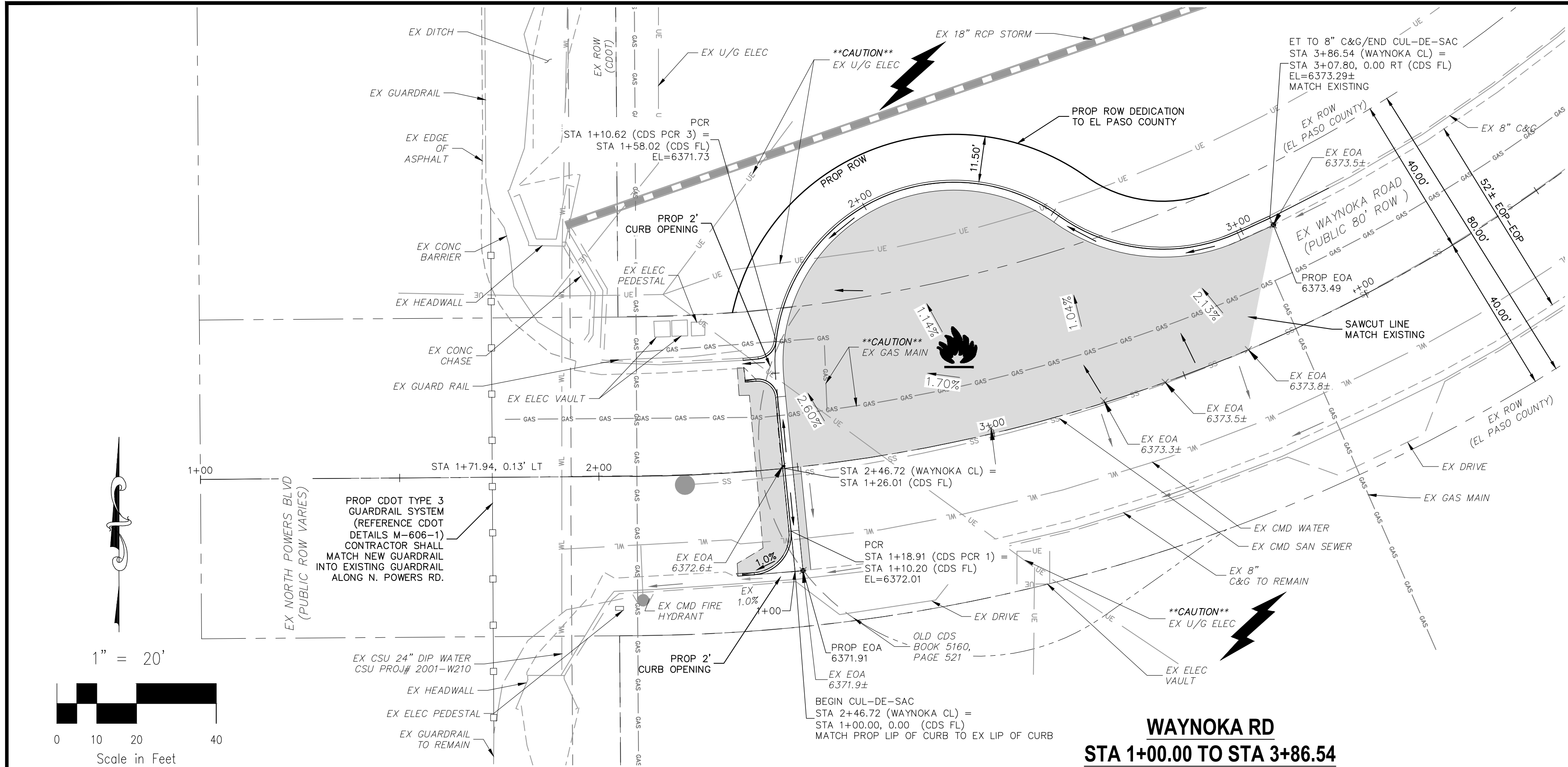
REVISIONS:

NO.	DATE	BY	DESCRIPTION

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CAUTION





ABBREVIATION LEGEND

- CL CENTERLINE
- LT LEFT
- RT RIGHT
- C&G CURB AND GUTTER
- EL ELEVATION
- W WEST
- CONST CONSTRUCTION
- N NORTH
- WTR WATER
- S SOUTH
- STM STORM SEWER
- PUB PUBLIC
- EX EXISTING
- STA STATION
- NTS NOT TO SCALE
- PROP PROPOSED
- SAN SANITARY SEWER
- CDS CUL DE SAC
- CMD CHEROKEE METRO DISTRICT
- CSU COLORADO SPRINGS UTILITIES
- VAC VACATED
- BT BEGIN TRANSITION
- ET END TRANSITION

LEGEND

- SS EXISTING SAN SEWER
- GAS EXISTING GAS MAIN
- WT EXISTING WATER MAIN
- UE EXISTING GUARDRAIL
- UE EXISTING U/G ELEC
- EXISTING STORM SEWER
- EXISTING FIRE HYDRANT
- EXISTING STORM MH
- EXISTING SAN MH
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED ASPHALT

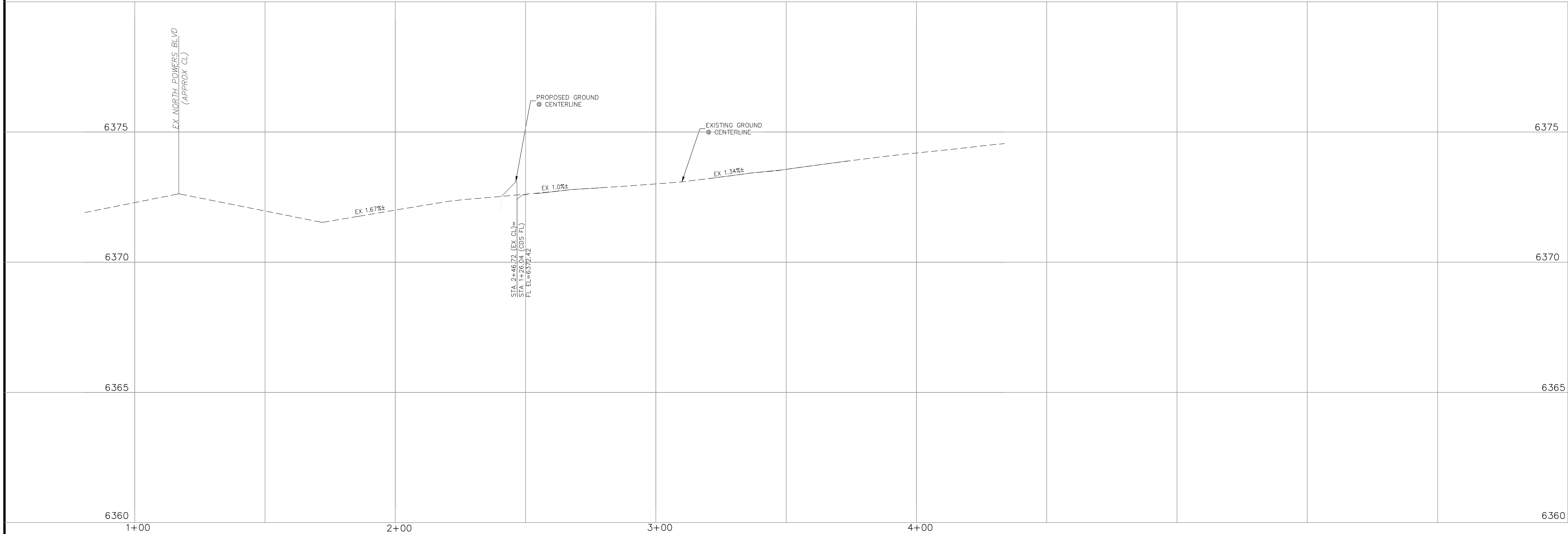


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WAYNOKA RD  
STA 1+00.00 TO STA 3+86.54

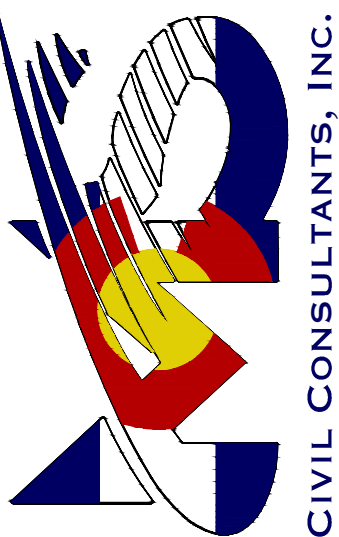


JICS - WAYNOKA

WAYNOKA ROAD STREET IMPROVEMENT PLAN

PROJECT NO. 10-022	SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=2'	DATE: 05/10/2023	SHEET 6 OF 9
DESIGNED BY: GW	CIP	CHECKED BY: VAS	S106

212 N WAHATCH AVE STE 305  
COLORADO SPRINGS CO 80903  
PHONE 719.555.5465



MICHELLE A. SANCHEZ, COLORADO P.E. NO. 37160

FOR AND ON BEHALF OF BEST COPY CONSULTANTS, INC.

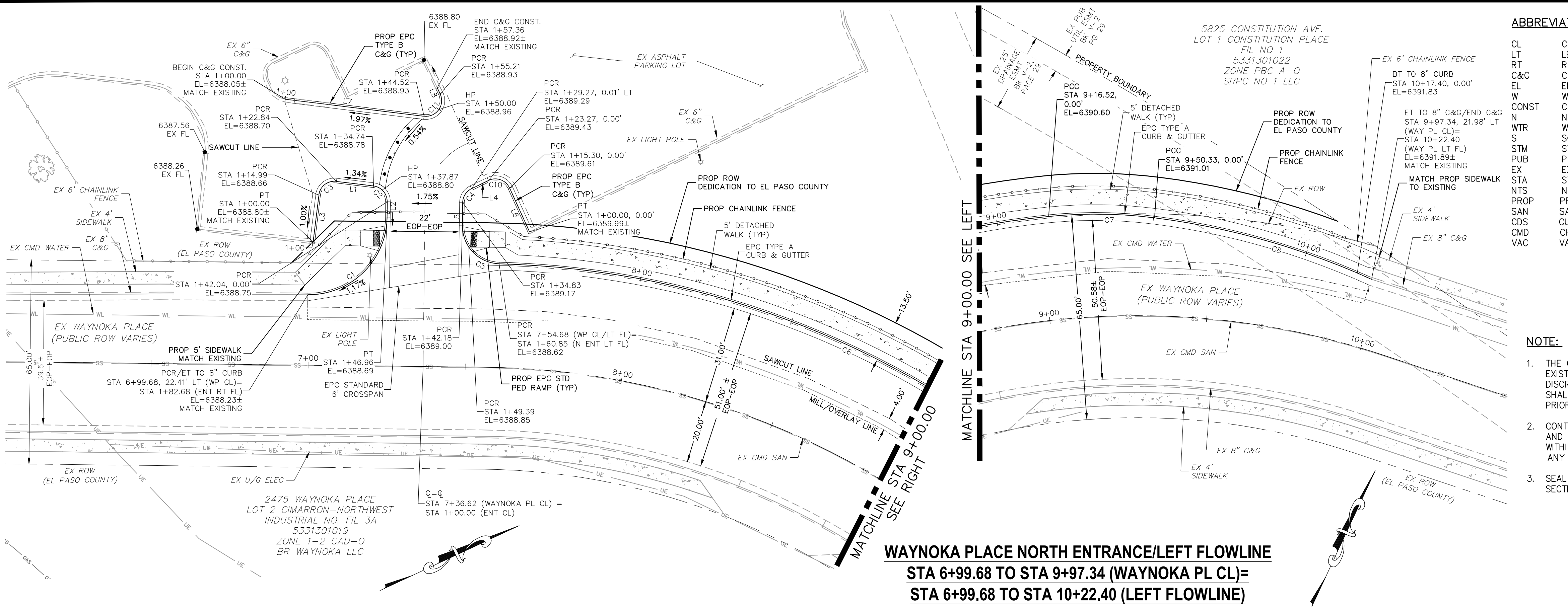


REVISIONS: NO. DATE: DESCRIPTION: BY: DATE:

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CAUTION





WAYNOKA PLACE NORTH ENTRANCE/LEFT FLOWLINE  
STA 6+99.68 TO STA 9+97.34 (WAYNOKA PL CL)=  
STA 6+99.68 TO STA 10+22.40 (LEFT FLOWLINE)

ABBREVIATION LEGEND

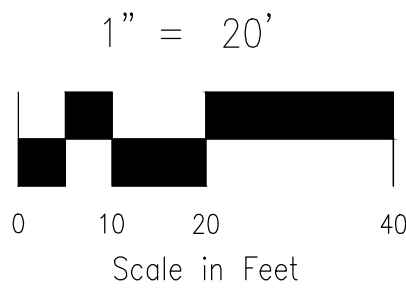
CL CENTERLINE  
LT LEFT  
RT RIGHT  
C&G CURB AND GUTTER  
EL ELEVATION  
W WEST  
CONST CONSTRUCTION  
N NORTH  
WTR WATER  
S SOUTH  
STM STORM SEWER  
PUB PUBLIC  
EX EXISTING  
STA STATION  
NTS NOT TO SCALE  
PROP PROPOSED  
SAN SANITARY SEWER  
CDS CUL DE SAC  
CMD CHEROKEE METRO DISTRICT  
VAC VACATED

LEGEND

SS EXISTING SAN SEWER  
GAS EXISTING GAS MAIN  
WT EXISTING WATER MAIN  
UE EXISTING U/G ELEC  
EX EXISTING STORM SEWER  
EX EXISTING 6' CHAINLINK FENCE  
EX EXISTING FIRE HYDRANT  
ST EXISTING STORM MH  
EX EXISTING SAN MH  
EX EXISTING LIGHT POLE  
EX EXISTING SIGN  
EX EXISTING TREE

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3. SEAL JOINT ON SAWCUT LINE SO IT IS NOT EXPOSED IN FINAL ROAD SECTION AND MOISTURE INFILTRATION IS PREVENTED.



FLOWLINE CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	39.21	25.00	89.86
C2	7.30	5.00	83.65
C3	7.85	5.00	90.00
C4	5.55	5.00	63.61
C5	18.67	12.00	89.15
C6	161.84	283.00	32.77
C7	33.81	149.50	12.96
C8	72.07	239.09	17.27
C10	7.97	5.00	91.31
C11	10.69	5.00	122.48

FLOWLINE LINE TABLE		
LINE	LENGTH	DIRECTION
L1	11.90	S31°59'54"W
L2	4.92	N64°21'00"W
L3	15.56	N58°00'06"W
L4	6.00	S0°44'27"E
L5	7.35	S64°21'00"E
L6	15.30	S89°25'34"E
L7	44.52	N31°59'54"E
L8	2.15	S89°31'18"W

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES

FOR BURIED UTILITY INFORMATION  
48 HRS BEFORE YOU DIG  
CALL 1-800-922-1987

WAYNOKA PLACE LEFT FLOWLINE

JICS – WAYNOKA

WAYNOKA PL. STREET IMPROVEMENT PLAN

PROJECT NO. 10-022

DATE: 05/10/2023

SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=2'

DESIGNED BY: GW

CLIP

DRAWN BY: VAS

CHECKED BY:

SHEET 7 OF 9

S107

212 N WAHSATCH AVE. STE 305  
COLORADO SPRINGS, CO 80903  
PHONE 719.555.9465

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF  
CIVIL CONSULTANTS, INC.

REVISIONS:

NO.	DATE	BY	DESCRIPTION

APPROVED BY: DATE:

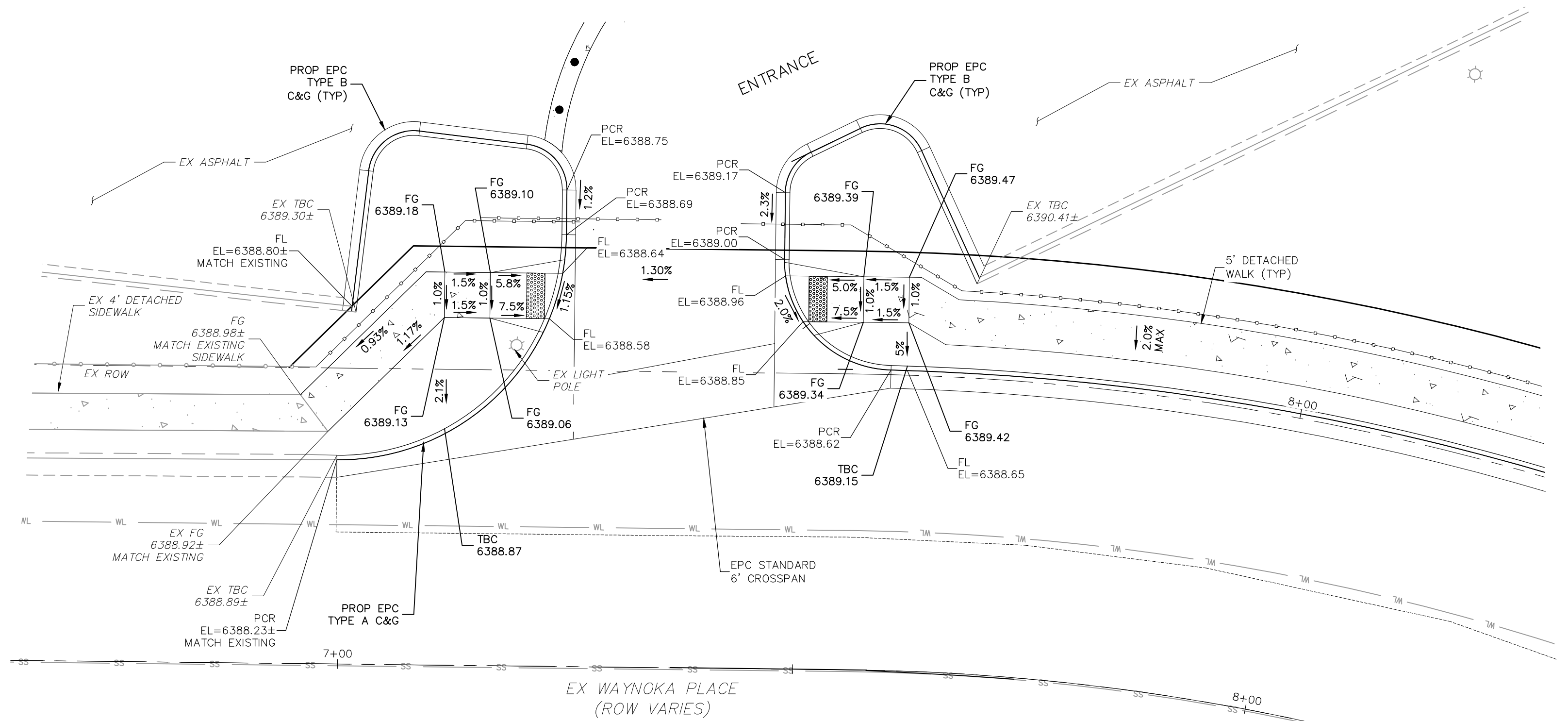
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CAUTION





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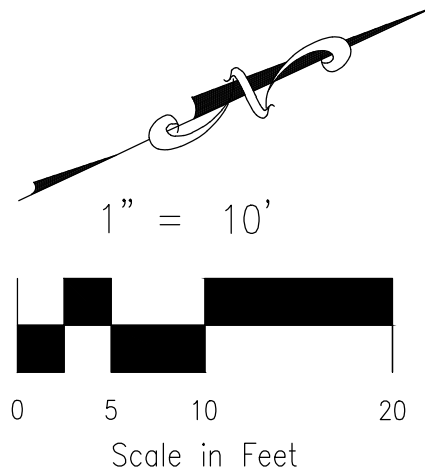
WAYNOKA PLACE NORTH ENTRANCE

ABBREVIATION LEGEND

CL CENTERLINE  
LT LEFT  
RT RIGHT  
C&G CURB AND GUTTER  
EL ELEVATION  
W WEST  
CONST CONSTRUCTION  
N NORTH  
WTR WATER  
S SOUTH  
STM STORM SEWER  
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CDS CUL DE SAC  
CMD CHEROKEE METRO DISTRICT  
VAC VACATED

LEGEND

SS EXISTING SAN SEWER  
GAS EXISTING GAS MAIN  
WT EXISTING WATER MAIN  
EXISTING GUARDRAIL  
UE EXISTING U/G ELEC  
EXISTING STORM SEWER  
EXISTING 6' CHAINLINK FENCE  
EXISTING FIRE HYDRANT  
EXISTING STORM MH  
EXISTING SAN MH  
EXISTING LIGHT POLE  
EXISTING SIGN  
EXISTING TREE



JICS - WAYNOKA

WAYNOKA PL. PEDESTRIAN RAMP DETAIL

DATE: 05/10/2023

SCALE: HORIZONTAL: 1"=10'

DESIGNED BY: GW

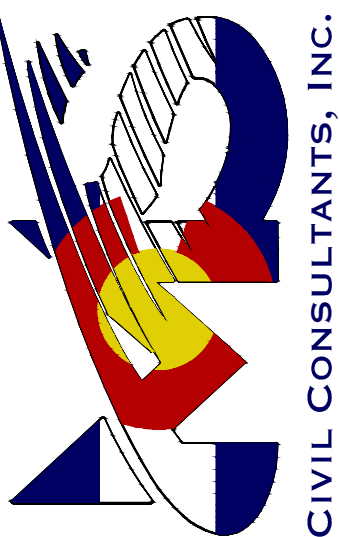
DRAWN BY: CLP

CHECKED BY: VAS

S108

SHEET 8 OF 9

212 N WAHATCH AVE, STE 305  
COLORADO SPRINGS, CO 80903  
PHONE 719.555.9465



MIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

FOR AND ON  
BEHALF OF  
JICS CIVIL  
CONSULTANTS,  
INC.



REVISIONS: NO. DATE DESCRIPTION BY DATE

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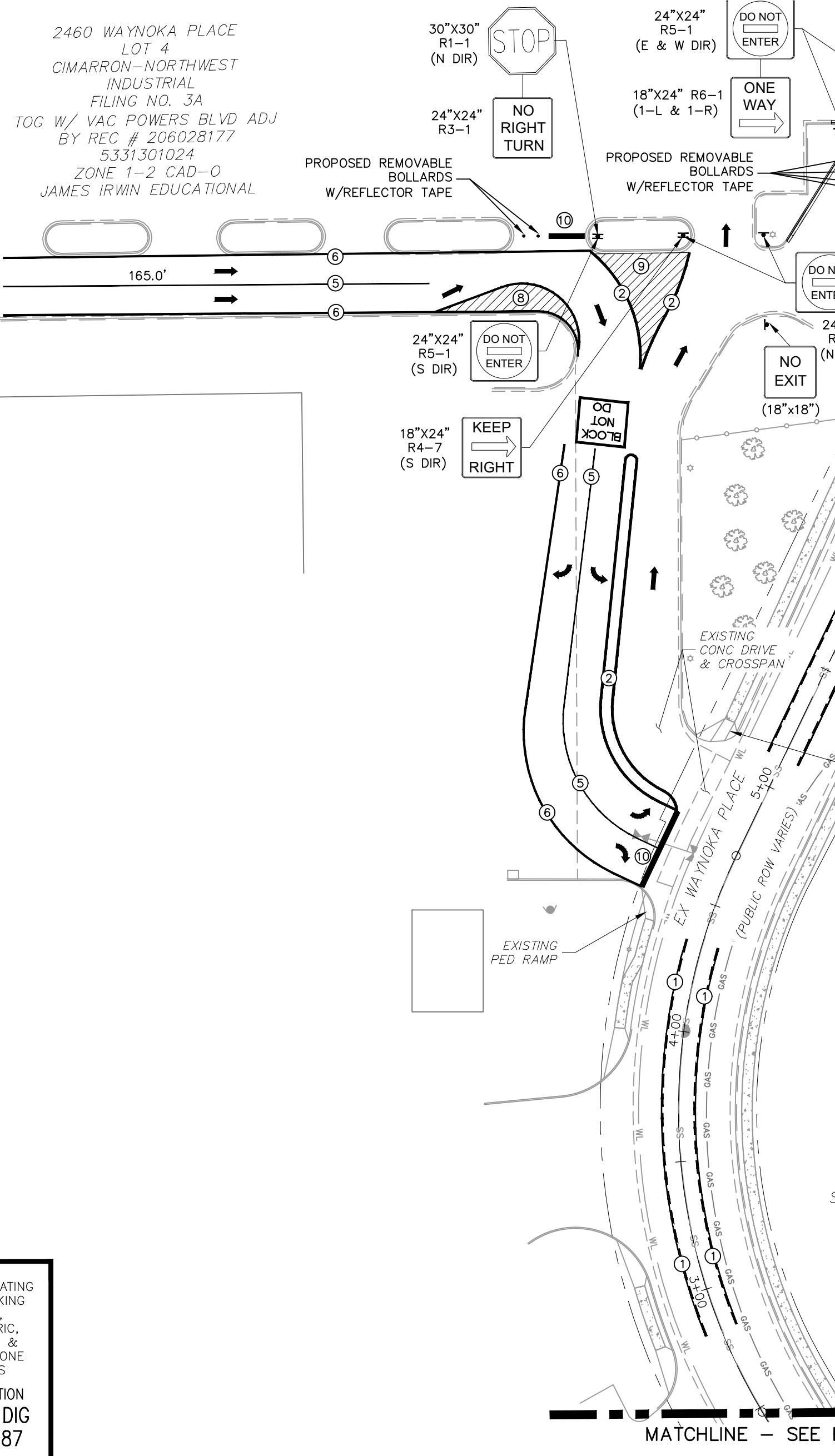
CAUTION



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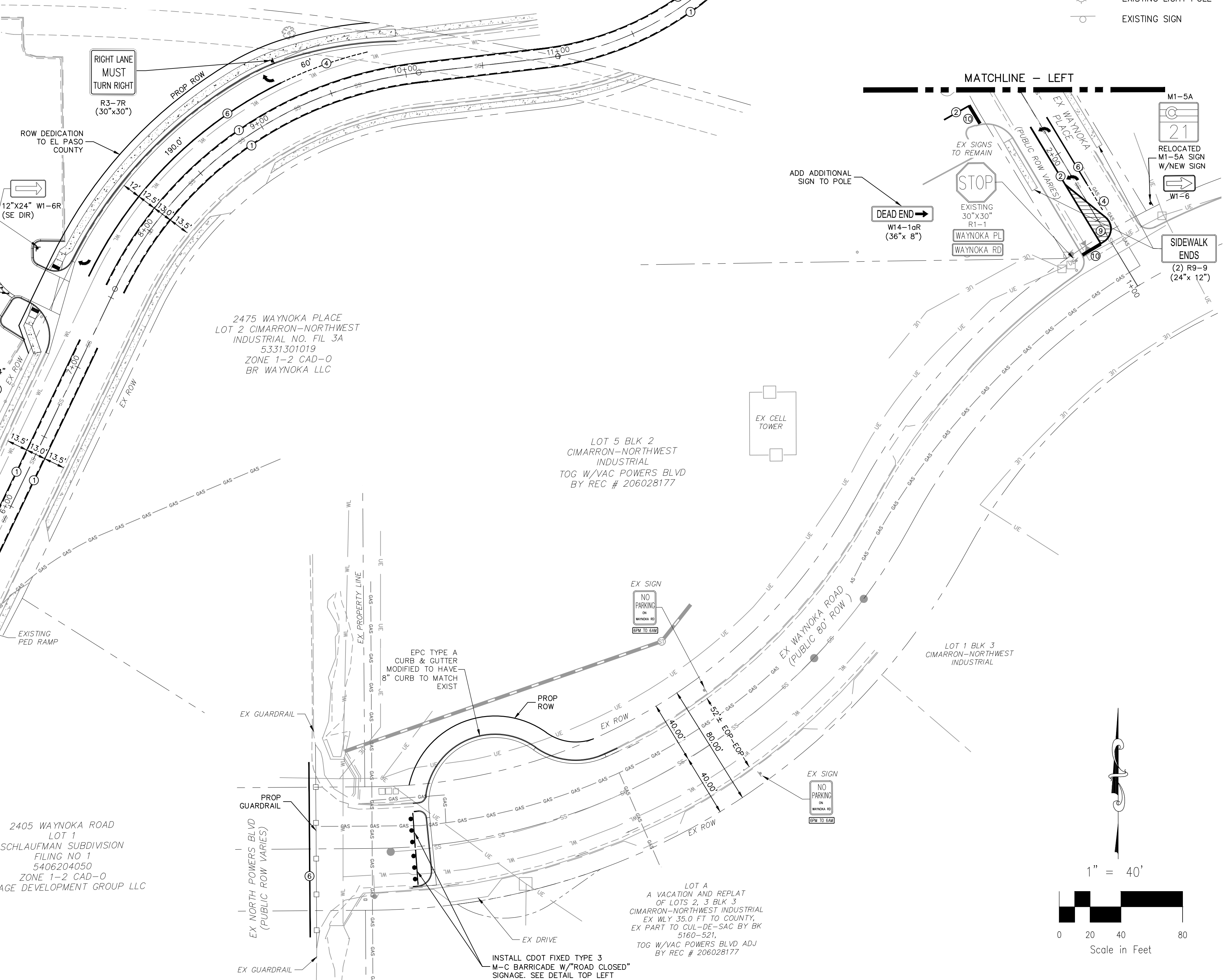
<b>Computer File Information</b>		<b>Sheet Revisions</b>		Colorado Department of Transportation		BARRICADES, DRUMS, CONCRETE BARRIERS (TEMP) & VERTICAL PLANS		STANDARD PLAN NO	
Creation Date: 07/04/12      Issued: JSH		Date:      Comments:		2825 W. Howard Pkwy Denver, Colorado 80204 Phone: 303.733.8000 Fax: 303.733.7429		S-630-2			
Last Modified Date: 06/03/16		06/03/16      REVISED SIGNAGE & E							
File Path: <a href="http://www.colorado.gov/web/content/uploads/traffic/traffic-revision.pdf">www.colorado.gov/web/content/uploads/traffic/traffic-revision.pdf</a>				Scale: 1" = 40'					
Drawing File Name: S-630-02.dwg									
				Traffic Engineering      KCM				Sheet No. 1 of 1	

2460 WAYNOKA PLACE  
LOT 4  
CIMARRON-NORTHWEST  
INDUSTRIAL  
FILING NO. 3A  
TOG W/ VAC POWERS BLVD ADJ  
BY REC # 206028177  
5331301024  
ZONE 1-2 CAD-O  
JAMES IRWIN EDUCATIONAL














STRIPING LEGEND		
STRIPE	PAVEMENT MARKINGS	MARKING DESCRIPTION
①	2-WAY LEFT TURN LANE MARKINGS (EPOXY)	OUTSIDE: SOLID YELLOW, 4" WIDE, INSIDE: BROKEN YELLOW, 4" WIDE, 10' SEGMENTS WITH 30" GAPS
②	2-WAY CENTERLINE LANE MARKINGS (EPOXY)	PARALLEL SOLID YELLOW, 4" WIDE, 4" APART
③	LANES (EPOXY)	BROKEN WHITE, 8" WIDE, 10' SEGMENTS WITH 30" GAPS
④	BROKEN EDGE (EPOXY)	BROKEN WHITE, 4" WIDE, 5' SEGMENTS WITH 15" GAPS
⑤	EDGE/BIKE LANE LINES (EPOXY)	SOLID WHITE, 4" WIDE
⑥	CHANNELIZING LINES (EPOXY)	SOLID WHITE, 8" WIDE
⑦	STOP LINES (THERMO PLASTIC)	SOLID WHITE, 24" WIDE
⑧	CHEVRON/DIAGONAL CROSSHATCH	SOLID WHITE, 6" WIDE
⑨	CHEVRON/DIAGONAL CROSSHATCH	SOLID YELLOW, 8" WIDE
⑩	STOP BAR	SOLID WIDE, 24" WIDE

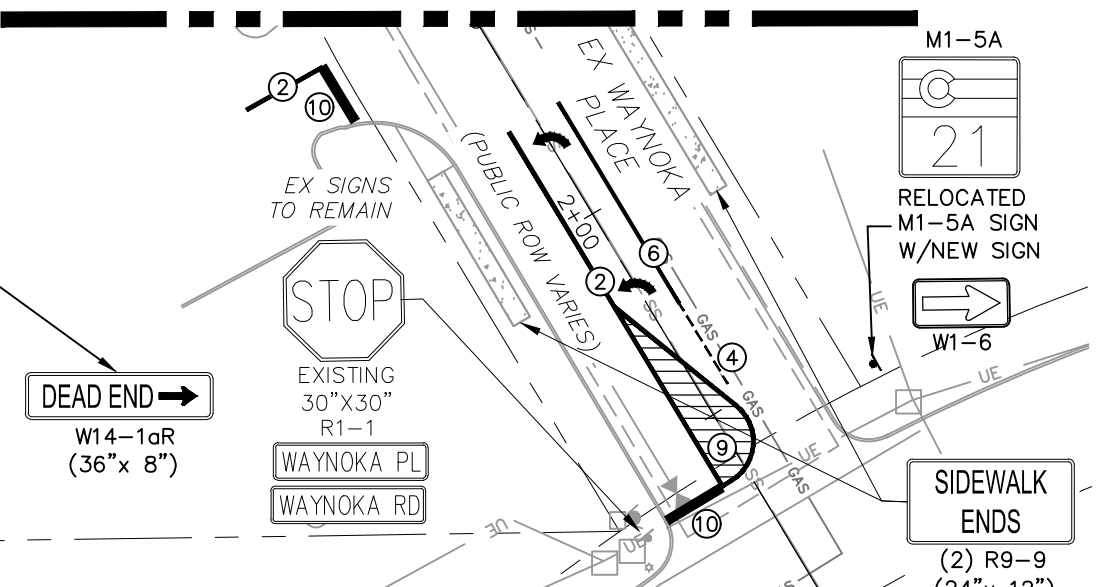
NOTE: ALL STRIPING INSTALLATION SHALL BE PER COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) "M&S STANDARDS" STANDARD PLAN NO. S-627-1.



LEGEND

- |   |                       |
|---|-----------------------|
|  | EXISTING SAN SEWER    |
|  | EXISTING GAS MAIN     |
|  | EXISTING WATER MAIN   |
|  | EXISTING GUARDRAIL    |
|  | EXISTING U/G ELEC     |
|  | EXISTING STORM SEWER  |
|  | EXISTING FIRE HYDRANT |
|  | EXISTING STORM MH     |
|  | EXISTING SAN MH       |
|  | EXISTING LIGHT POLE   |
|  | EXISTING SIGN         |

MATCHLINE — LEFT



ADD ADDITIONAL  
SIGN TO POLE \_\_\_\_\_

LOT 5 BLK 2  
CIMARRON-NORTHWEST  
INDUSTRIAL  
TOG W/VAC POWERS BLVD  
BY REC # 206028177

EX GUARDR

LOT A  
A VACATION AND REPLAT  
OF LOTS 2, 3 BLK 3  
CIMARRON-NORTHWEST INDUSTRIAL  
EX WLY 35.0 FT TO COUNTY,  
EX PART TO CUL-DE-SAC BY B  
5160-521,  
TOG W/VAC POWERS BLVD ADJ  
BY REC # 206028177

1" = 40'

Hours	Number of Activities
0-20	4
20-40	6
40-60	8
60-80	10

EL PASO COUNTY FILE NO. PCD # PPR239

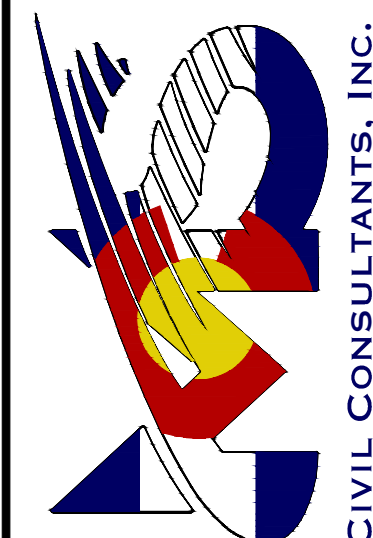
JICS – WAYNOKA

## SIGNAGE AND STRIPING PLAN

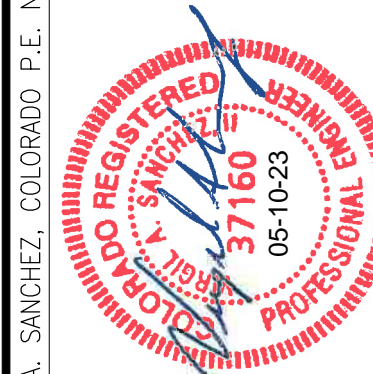
PROJECT NO. 10-022	SCALE:	DATE: 05/10/2023
	HORIZONTAL	

S109 SHEET 9 OF 9

21212 N. WAHSATCH AVE., STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.955.5485



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REVISIONS:				
NO.	DATE:	BY:	DESCRIPTION:	APPR'D. BY: DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION