

# JAMES IRWIN CHARTER SCHOOLS / P-TEC OFF-SITE IMPROVEMENTS

## 2460 WAYNOKA PLACE

### COLORADO SPRINGS, CO 80915

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 Architect  
 CO license no. C-4889



A PROPOSED REMODEL FOR

PTEC  
 JAMES IRWIN  
 CHARTER  
 SCHOOLS

2460 WAYNOKA PL  
 COLORADO SPRINGS, CO  
 Sheet Title:  
 SITE PLAN

Drawing Status:  
 COUNTY  
 SITE SUBMITTAL

Revisions:

No.	Description	By	Date
1	COUNTY SDP COMMENTS	JKB	5/10/23

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Date: 2/16/23  
 Drawn by:  
 Checked by:  
 Scale: AS NOTED  
 Job No.:

Sheet No.:  
 1  
 Of 2

### DRAWING INDEX

SHT. #	DESCRIPTION
1	SITE PLAN
2	ENLARGED SITE PLANS



### PROJECT DATA

**PROJECT NAME:** P-TEC INTERIOR REMODEL / PARTIAL CHANGE OF USE

**PROJECT DESCRIPTION:** INTERIOR REMODEL OF AN EXISTING FABRICATION FACILITY FOR A NEW CHARTER HIGH SCHOOL, INCLUDING ADMINISTRATIVE-OFFICE/ VOCATIONAL TRAINING AREAS. SITE WORK IS LIMITED TO ACCESSIBLE ACCESS IMPROVEMENTS AND OFF-SITE IMPROVEMENTS. THERE ARE NO NEW BUILDINGS IN THE SCOPE OF THIS PROJECT

**PROJECT ADDRESS:** 2460 WAYNOKA PLACE, COLORADO SPRINGS, CO 80915

**CURRENT TAX SCHEDULE NO.:** 5331301024

**CURRENT LEGAL DESCRIPTION:** LOT 4 CIMARRON-NORTHWEST INDUSTRIAL, FL. NO. 3A, TOG W/ VAC POWERS BLVD ADJ BY REC #20622877

**CITY ZONING:** I-2 CAD-0

**LOT SIZE:** 348,915 SF (8.01 ACRES)

**LOT COVERAGE:** 86,201 SF (24.7%)

**BLDG. HEIGHT:** 30' FEET

**PARKING REQUIREMENTS:** EDUCATION, SENIOR HIGH: 1 SPACE / 4 STUDENTS  
 720 MAX STUDENTS / 4 = 180 SPACES REQUIRED  
 TOTAL PARKING PROVIDED = 237 (NORTH LOT, EXISTING)  
 ACCESSIBLE PARKING REQUIRED = 7 (2 VAN ACCESS)  
 ACCESSIBLE PARKING PROVIDED = 7 (2 VAN ACCESS)  
 ADDITIONAL STAFF PARKING PROVIDED AT SOUTH LOT SOUTH LOT PROVIDES AN ADDITIONAL 72 SPACES  
 REQUIRED = 5% OF REQUIRED VEHICLE PARKING  
 180 SPACES X 5% = 9 REQUIRED  
 PROVIDED = 10

**BIKE PARKING:** 10

**CONSTRUCTION TYPE:** I-B  
 SPRINKLER SYSTEM: YES  
 FIRE ALARM SYSTEM: YES

**EXISTING OCCUP. GROUP:** B-2, UNDER PREVIOUS CODE, CURRENT EQUIVALENT - B / F-1

**PROPOSED OCCUP. GROUP:** B (OFFICE) / E (EDUCATION) / F-1 (VOCATIONAL SHOPS)

**TOTAL BUILDING AREA:** 1ST FLOOR = 81,473 SF  
 2ND FLOOR = B: 5,282 SF  
 TOTAL AREA = 87,607 SF

**EXIST. BUILDING HEIGHT:** 2 STORES, PARTIAL

**ALLOWABLE AREA:** N/A PER EBC SECTION 10162 AND TABLE 1016  
 CHANGE OF USE FROM F-1 TO E OCCUPANCY GROUPS - SAME HAZARD CATEGORY 3 CLASSIFICATION, HEIGHT AND AREA OF THE EXISTING BUILDING SHALL BE DEEMED ACCEPTABLE.

**OCCUPANCY SEPARATIONS:** NONE REQUIRED - NO OCCUPANCY HAZARD CLASSIFICATION INCREASE.

### CODE DATA

### GENERAL NOTES

- Common access drive shall be for the common use of all users, public and private, and owners of the development.
- Applicable Codes: 2021 International Existing Building Code (IEBC)  
 2021 International Building Code (IBC)  
 2021 International Mechanical Code (IMC)  
 2021 International Energy Conservation Code (IECC)  
 2021 International Fire Code (IFC)  
 2017 ICC A117.1 Accessibility Standards  
 2020 National Electrical Code (NEC)  
 2018 International Plumbing Code (IPC)
- Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.
- All work and materials shall be in full accordance with the rules and regulations of the Applicable Codes noted above, and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.
- Dimensions:
  - Do not scale these drawings.
  - Contractor to verify overall building layout dimensions prior to construction.
  - Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.
- Upon completion of each sub-contractor's work, remove all waste, debris, excess materials, tools and equipment from the premises. Leave entire structure and involved portions of the site in a neat, clean and acceptable condition.
- All roofing and flashing materials shall be installed to form a waterproof system per the applicable codes.
- Lathing, plastering and drywall construction, shall be in full accordance with the HANDBOOK OF RECOMMENDED SPECIFICATIONS FOR LATHING, FURRING AND PLASTERING of the National Foundation for Lathing and Plastering, Inc.
- Site is not within a FEMA designated floodplain per flood map 08041C0751G, effective 12/7/2018.

### EXISTING BUILDING SETBACKS

**PRIMARY SCHOOL BUILDING**  
 FRONT SETBACK (EAST) = 88'-4 1/2" PROVIDED  
 SIDE SETBACK (NORTH) = 225'-1 1/2" PROVIDED  
 SIDE SETBACK (SOUTH) = 102'-8 1/2" PROVIDED  
 REAR SETBACK (WEST) = 50'-8 1/2" PROVIDED

**ACCESSORY STORAGE BUILDING #1**  
 FRONT SETBACK (EAST) = 48'-3 1/2" PROVIDED  
 SIDE SETBACK (NORTH) = 45' PROVIDED  
 SIDE SETBACK (SOUTH) = 265' PROVIDED  
 REAR SETBACK (WEST) = 294' PROVIDED

**ACCESSORY STORAGE BUILDING #2**  
 FRONT SETBACK (EAST) = 84'-1 1/2" PROVIDED  
 SIDE SETBACK (NORTH) = 61' PROVIDED  
 SIDE SETBACK (SOUTH) = 102'-8 1/2" PROVIDED  
 REAR SETBACK (WEST) = 278' PROVIDED

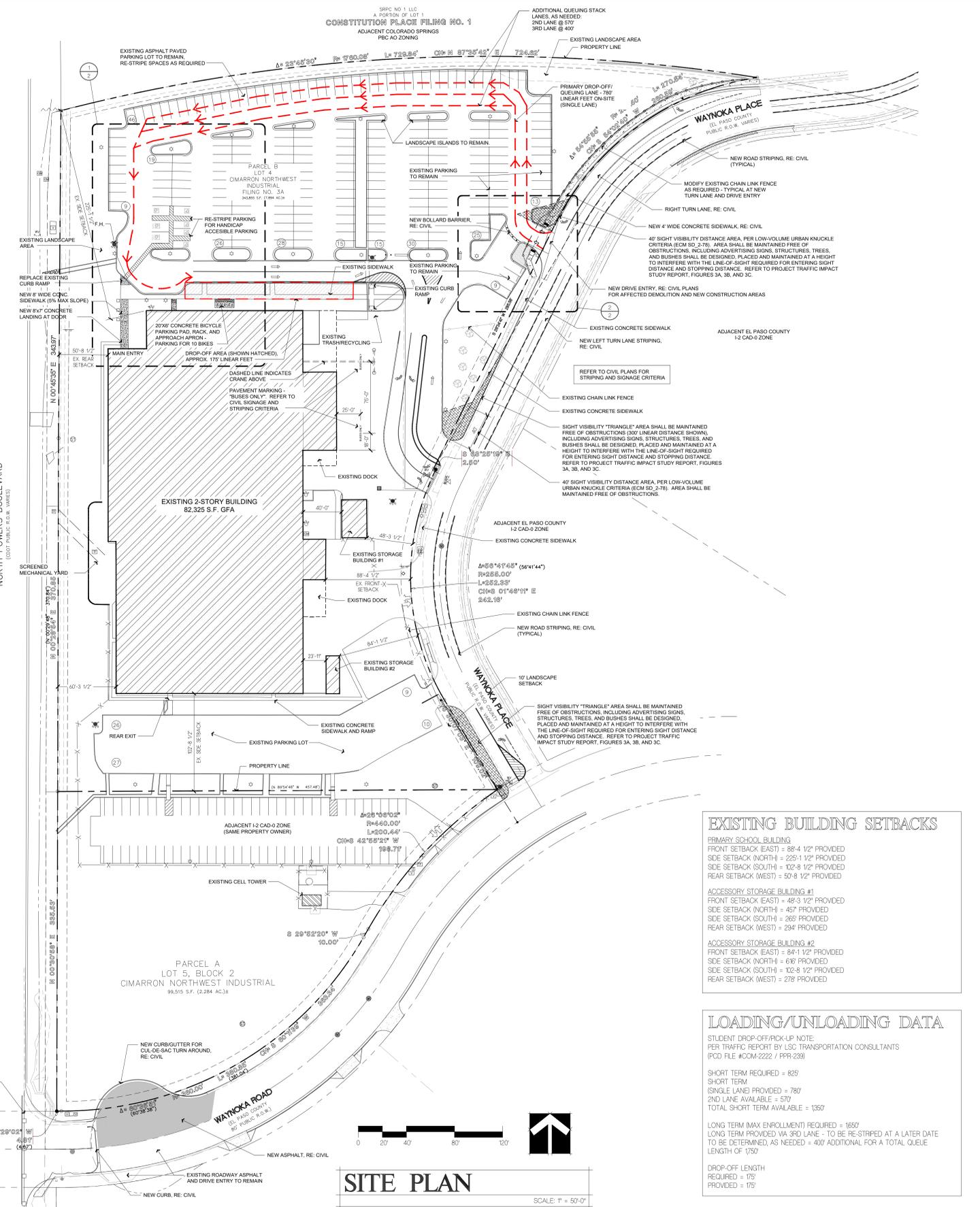
### LOADING/UNLOADING DATA

STUDENT DROP-OFF/PICK-UP NOTE:  
 PER TRAFFIC REPORT BY LSC TRANSPORTATION CONSULTANTS  
 (PCD FILE #COM-2222 / PPR-239)

SHORT TERM REQUIRED = 825'  
 SHORT TERM (SINGLE LANE) PROVIDED = 780'  
 2ND LANE AVAILABLE = 570'  
 TOTAL SHORT TERM AVAILABLE = 1,350'

LONG TERM (MAX ENROLLMENT) REQUIRED = 1650'  
 LONG TERM PROVIDED VIA 3RD LANE - TO BE RE-STRIPPED AT A LATER DATE TO BE DETERMINED, AS NEEDED = 400' ADDITIONAL FOR A TOTAL QUEUE LENGTH OF 1750'

DROP-OFF LENGTH REQUIRED = 175'  
 PROVIDED = 175'



### SITE PLAN

SCALE: 1" = 50'-0"

PCD FILE NO. PPR-239



### LAYOUT NOTES

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

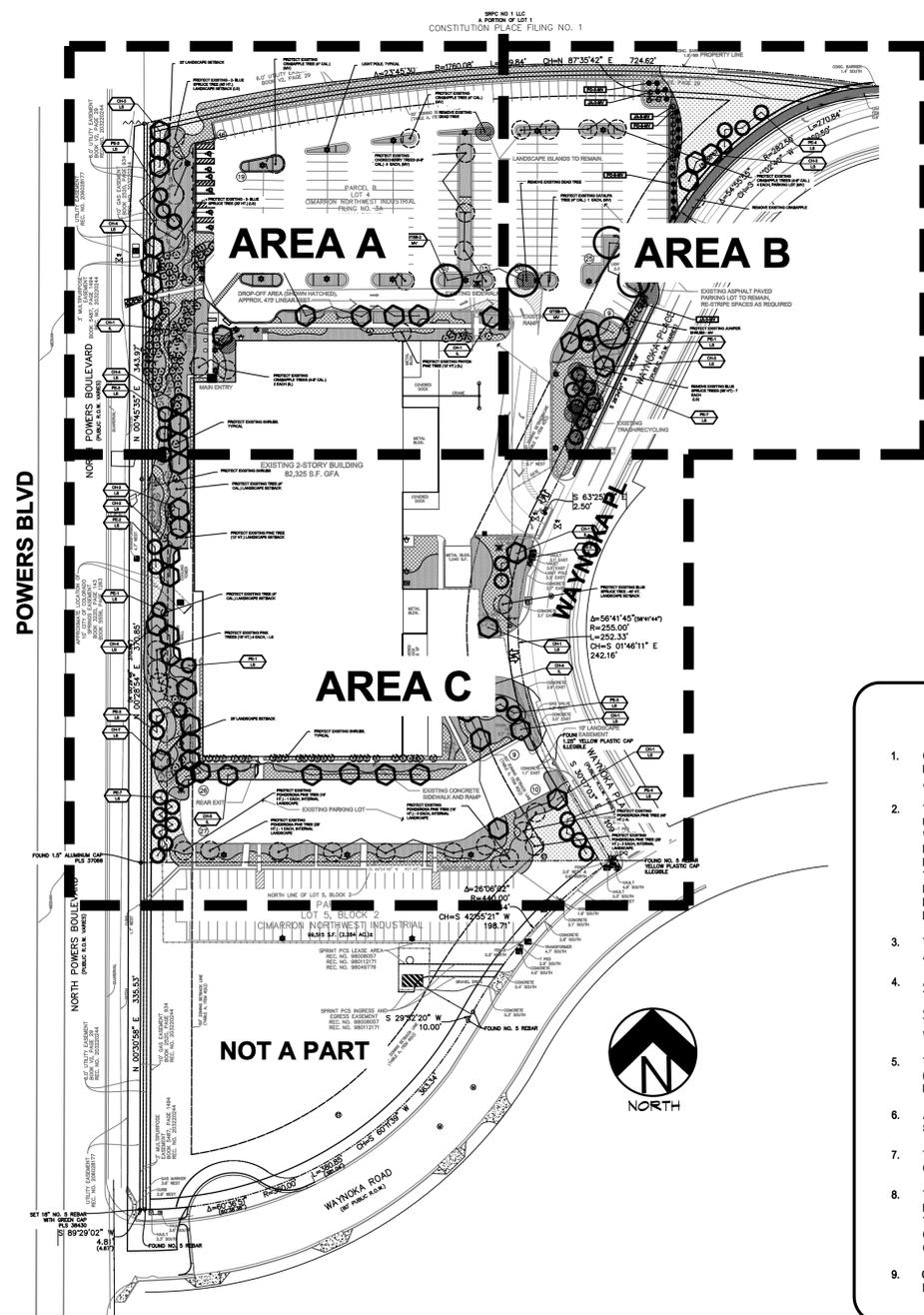
### IRRIGATION SYSTEM NOTE

FOR NEW PLANT MATERIAL CONNECT NEW DRIP IRRIGATION TO EXISTING SYSTEM WHERE FEASIBLE

### TREE AND SITE PROTECTION

CONTRACTOR TO PROVIDE PROTECTION FOR EXISTING AND/OR RELOCATED TREES TO BE PROTECTED AS SHOWN PER PLAN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DAMAGE TO PROTECTED TREES AND/OR ADJACENT LANDSCAPE. CONTRACTOR SHALL PROVIDE 4' HIGH RIGID TREE PROTECTION FENCING. EACH TREE TO BE PROTECTED SHALL BE MARKED-SEE DETAIL.

CONTRACTOR SHALL COORDINATE EXISTING TREE / LANDSCAPE REMOVAL AND PROTECTION PER PLAN WITH GENERAL CONTRACTOR.



### GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR LANDSCAPE AND IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL RECEIVE SLEEVING. REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CITY STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL PROTECT ALL SITE ELEMENTS DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO: CONCRETE FLOWLINE, CURB & GUTTER, PAVING, SIGNS, TREES, UTILITIES, ETC. ANY DAMAGE TO INFRASTRUCTURE SHALL BE RESPONSIBILITY OF CONTRACTOR TO REPAIR AND/OR REPLACE IN EQUAL OR BETTER CONDITION. ANY DAMAGE SHALL BE DOCUMENTED THE DAY IT OCCURS AND REPORTED TO THE CLIENT WITHIN 12 HOURS. COORDINATE WITH GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING LANDSCAPE AND IRRIGATION SUBMITTALS FOR APPROVAL PRIOR TO START OF ANY WORK.

### UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

### DOCUMENT NOTE

RESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTY'S ERRORS OR OMISSIONS OR FOR ANOTHER PARTY'S FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

### CODE REQUIREMENTS

LANDSCAPE SETBACKS (L.S.)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
POWERS BLVD	EXPRESSWAY	25/25	1050	1/20 FT	52/14 - EXISTING / 38 NEW
WAYNOKA PLACE	NON-ARTERIAL	10/10	909	1/30 FT	31/8 EXISTING / 23 NEW

MOTOR VEHICLE LOTS (M.V.)			
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/8 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S) WAYNOKA - 203 LF	2/3 LENGTH OF FRONTAGE (FT) 135 LF
238	16/16 (11 EXISTING)		
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.		
21/21	14/14		

INTERNAL LANDSCAPING (I.L.)			
INTERNAL LANDSCAPE AREA IS CALCULATED USING THE ENTIRE LOT. MAXIMUM OF 50% OF REQUIRED TREES MAY BE SUBSTITUTED WITH 10 SHRUBS FOR EACH TREE REQUIRED.			
NET SITE AREA (SF) (LESS PUBLIC ROW)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)
343,855 SF	NON-RESIDENTIAL	17,193/18,200 SF	35/13 EXISTING / 15 NEW
SHRUB SUBSTITUTES (50%) REQ./PROV.		INTERNAL PLANT ABBR. DENOTED ON PLAN	
10/10		IL	

LANDSCAPE BUFFERS AND SCREENS (L.B.)				
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE: ---	SETBACK BUFFER REQ. / PROV. FENCE	BUFFER TREES (1/20') REQ./PROV. - NA	EVERGREEN TREES (1/3) REQ./PROV. - NA
OPAQUE FENCE REQUIREMENT: NONE REQUIRED				

### PLANT SCHEDULE

Symbol	Abbr.	Quant.	Botanical Name	Common Name	Mature Wdth/Hght	Size
<b>EVERGREEN TREES:</b>						
	PE	41	Pinus edulis	Pinyon Pine	15'x15'	B & B 6'-8' ht.
<b>DECIDUOUS TREES:</b>						
	GTSB	5	Gleditsia triacanthos 'Sunburst'	Sunburst Honeylocust	30'X30'	1-1/2" cal.
	CH	49	Crataegus crus-galli inermis 'Hawthorn'	Cockspur Hawthorn	20'X20'	1-1/2" cal.
<b>EVERGREEN SHRUBS:</b>						
	JA	14	Juniperus chinensis 'Armstrong'	Armstrong Juniper	3'-4' x 3'-4'	5 gal.
<b>DECIDUOUS SHRUBS:</b>						
	PO	19	Potentilla fruticosa 'Abbotswood'	Abbotswood Potentilla	2'-4' x 2'-4'	5 gal.

# OVERALL LANDSCAPE PLAN



Know what's below. Call before you dig.

**HIGHER GROUND DESIGNS, INC.**  
 LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
 5550 NORTH ACADEMY BLVD, STE 207  
 COLORADO SPRINGS, CO 80918  
 Phone 719-477-1646  
 Fax 719-265-1122

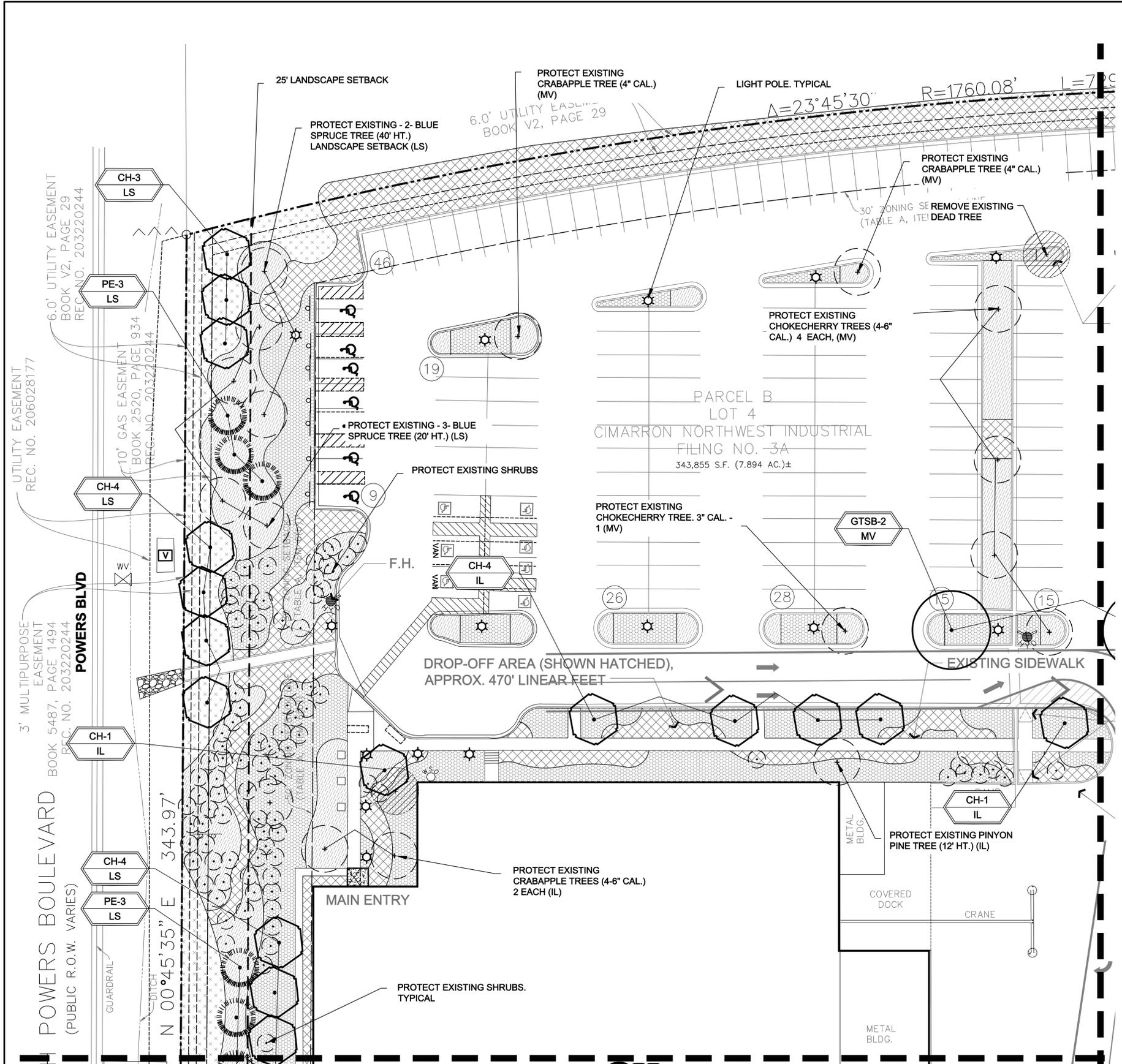


PTCC  
**JAMES IRWIN CHARTER SCHOOLS**  
 2460 WAYNOKA PLACE  
 COLORADO SPRINGS, EL PASO COUNTY, CO  
 PREPARED FOR:  
 BUCHER DESIGN STUDIO  
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JOB NUMBER	1134-23
REVISIONS	
ORIGINAL DATE	5-4-23
DRAWN BY:	JM
DESCRIPTION:	ALTERNATE LANDSCAPE PLAN
SHEET NO.	L1.1

PCD FILE NO. PPR-239

NOT FOR CONSTRUCTION



### INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

STEEL EDGING TO BE GREEN PRO-STEEL (18" x 4" x 10") WITH STAKES OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3 OZ PROFESSIONAL GRADE POLYSPUN WEED BARRIER WITH STAPLES AT 5" O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE. REFER TO PLANTING DETAILS.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS. INCLUDING ROCK AREAS-SEE DETAILS, UNLESS OTHERWISE SPECIFIED. ORGANIC MULCH TO BE 'CASCADE CEDAR' WITH NO LANDSCAPE FABRIC 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT (MINIMUM 5') TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST (PLANT SAFE) PREEN WEED PRE-EMERGENT, OR APPROVED EQUAL, IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

### FIRE SIGNAGE NOTE

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LANE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

### GRADING AND DRAINAGE NOTE

ALL GRADES SHOULD SLOPE AWAY FROM ALL BUILDING FOUNDATION. PRIOR TO, OR DURING CONSTRUCTION IF DRAINAGE PROBLEMS ARE IDENTIFIED CONTACT LANDSCAPE ARCHITECT AND CEASE WORK UNTIL A SOLUTION IS AGREED TO BY ALL PARTIES. HGD, INC. PREPARED THIS LANDSCAPE PLAN BASED ON CIVIL PLANS BY OTHERS AND IS NOT RESPONSIBLE FOR ANY DAMAGE TO BUILDING AND/OR SITE DUE TO IMPROPER GRADING AND/OR DRAINAGE.

### GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Arkansas Tan Cobble: 2-4" Diameter (with weed barrier) Submit sample to owner prior to ordering material	1,286 SF
	Decorative Rock: 1.5" Diameter (with weed barrier) Submit sample to owner prior to ordering material	563 SF
	EXISTING: Wood Mulch	16,999 SF
	EXISTING: River Rock Cobble	26,411 SF
	EXISTING: Black Granite Rock	33,940 SF
	EXISTING: Seed Grass	29,100 SF
	EXISTING: Steel Edger	
	Protect Existing Tree	
	Remove Existing Tree	

### GRADE NOTE

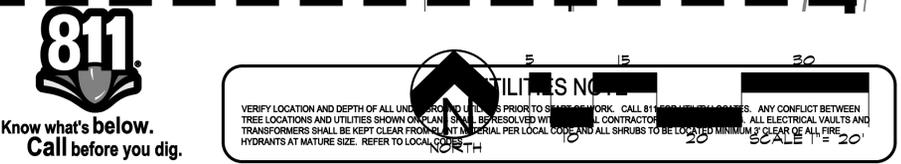
GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOD/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

### DOCUMENT NOTE

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LANDSCAPE PLAN - AREA 'A'

811 Know what's below. Call before you dig.



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 LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
 5550 NORTH ACADEMY BLVD, STE 207  
 COLORADO SPRINGS, CO 80918  
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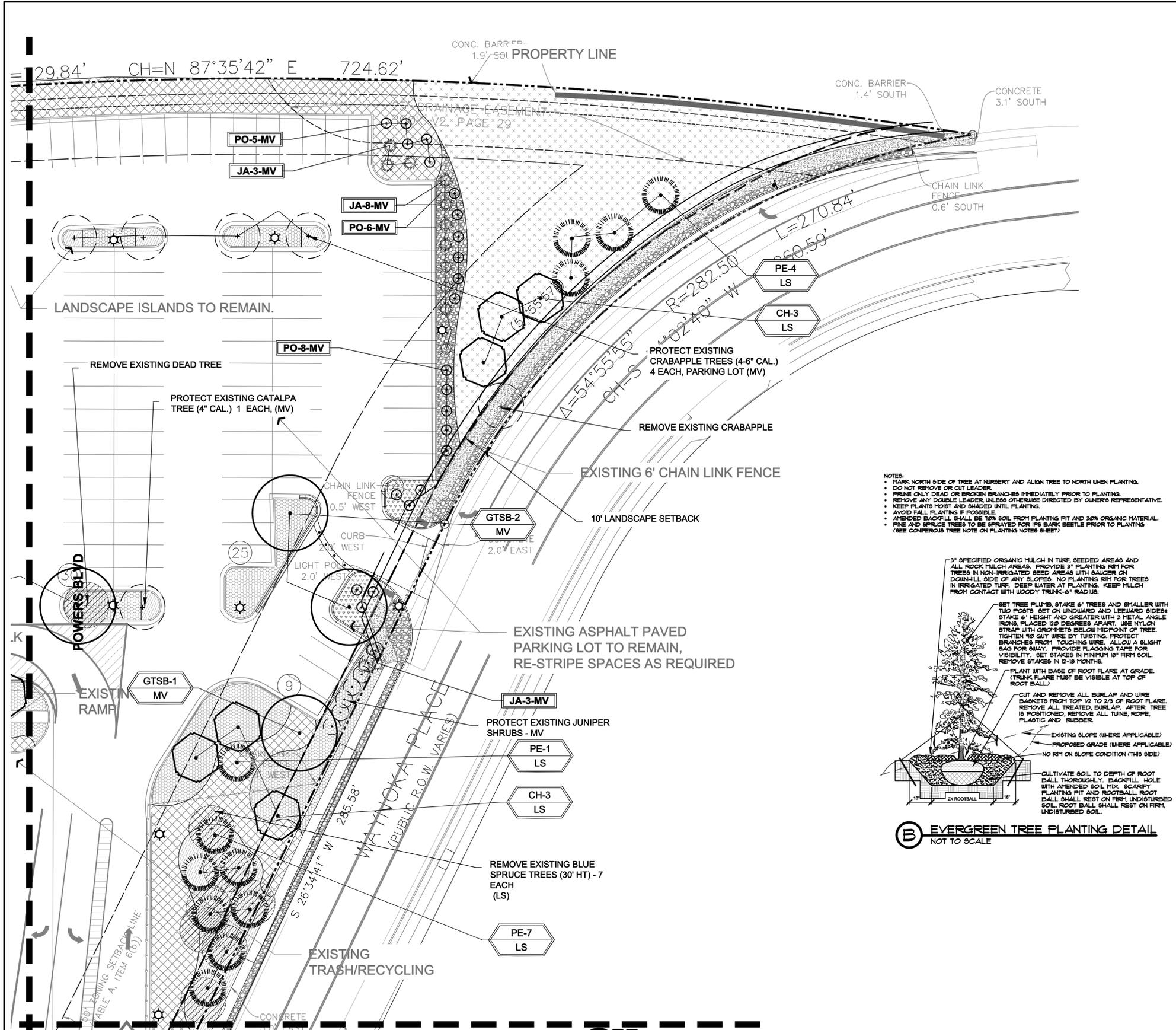
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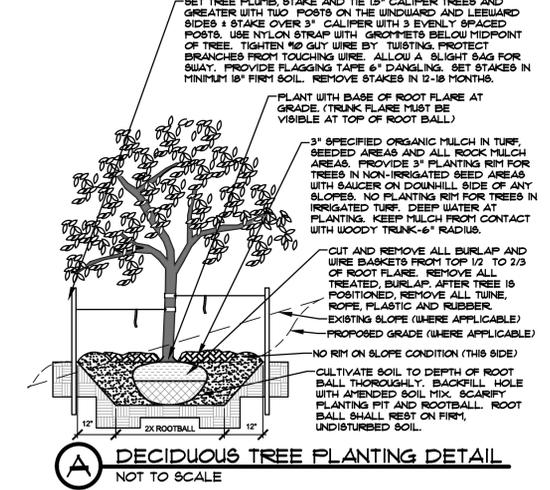
NOT FOR CONSTRUCTION

JOB NUMBER	1134-23
REVISIONS	
ORIGINAL DATE	5-4-23
DRAWN BY:	JM
DESCRIPTION:	AREA A LANDSCAPE PLAN
SHEET NO.	L1.2

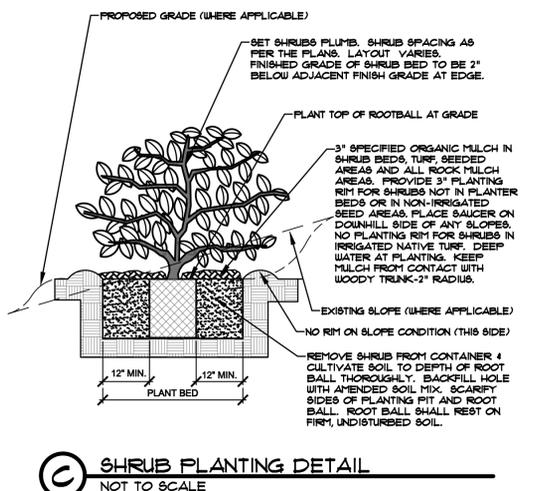
PCD FILE NO. PPR-239



- NOTES:**
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
  - DO NOT REMOVE OR CUT LEADER.
  - PRUNE ONLY DEAD, BROKEN, CROSSING, OR LEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
  - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).
  - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - WRAP TRUNK ON EXPOSED BITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TUNE WRAP. REMOVE BY MARCH 31.
  - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
  - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



- NOTES:**
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - AMENDED BACKFILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - FOR ROOT BIND AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT AND ROOT BALL SHALL REST ON FIRM, UNDISTURBED SOIL.
  - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1\"/>



**LANDSCAPE PLAN - AREA 'B'**

**811**  
Know what's below.  
Call before you dig.

UTILITIES NO. [REDACTED]

SCALE 1" = 20'

**DOCUMENT NOTE**

RESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL CONTROL, OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANOTHER PARTY'S ERRORS OR OMISSIONS OR FOR ANOTHER PARTY'S FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
5550 NORTH ACADEMY BLVD, STE 207  
COLORADO SPRINGS, CO 80918  
Phone 719-477-1646  
Fax 719-266-1122



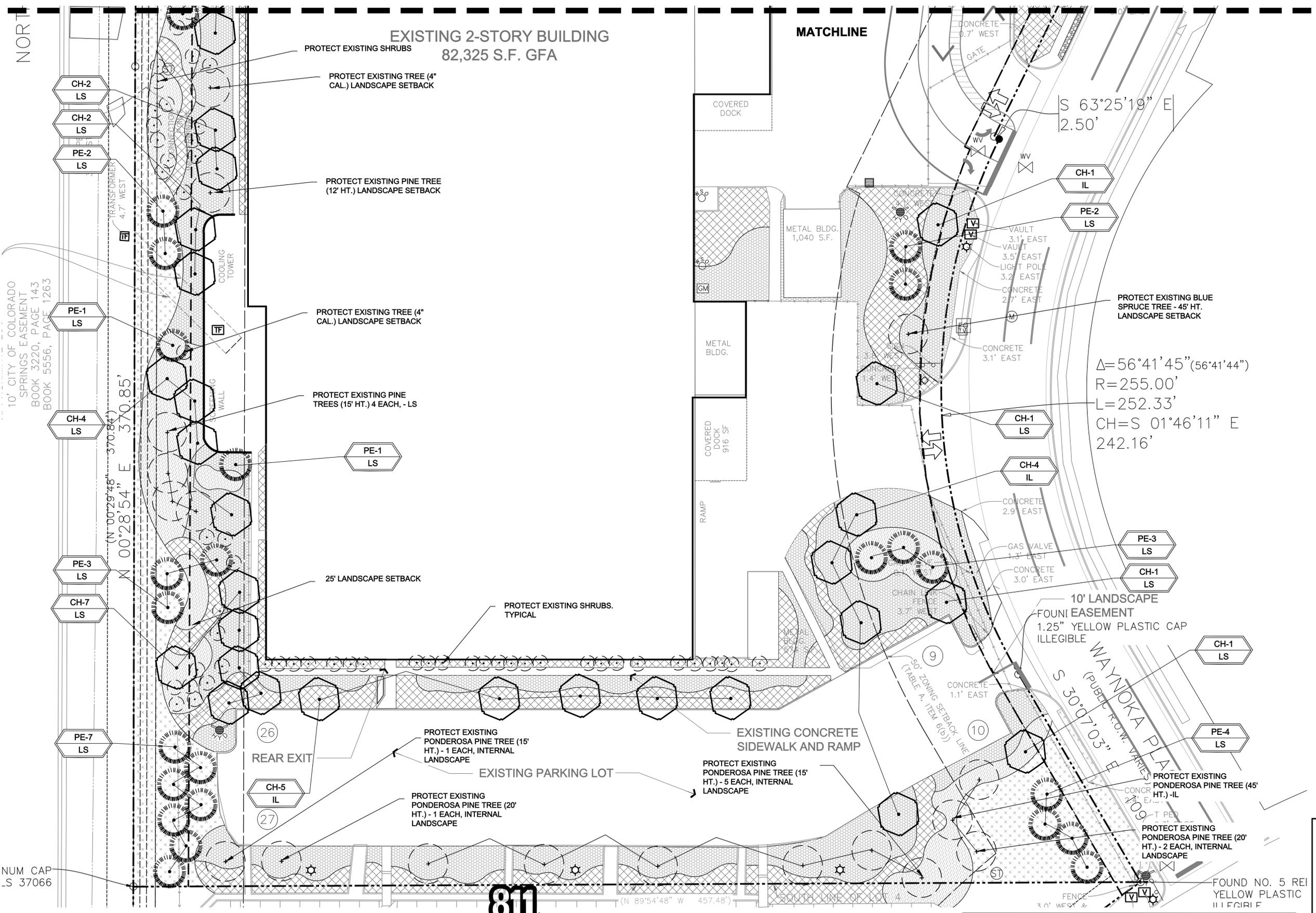
PTCC  
**JAMES IRWIN CHARTER SCHOOLS**  
2460 WAYNOKA PLACE  
COLORADO SPRINGS, EL PASO COUNTY, CO

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC.

PREPARED FOR:  
BUCHER DESIGN STUDIO

NOT FOR CONSTRUCTION	JOB NUMBER	1134-23
	REVISIONS	
	ORIGINAL DATE	5-4-23
	DRAWN BY:	JM
	DESCRIPTION:	AREA B LANDSCAPE PLAN
	SHEET NO.	L1.3

PCD FILE NO. PPR-239



**LANDSCAPE PLAN - AREA 'C'**



**UTILITIES NOTES**

VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY WORK. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. TREE LOCATIONS AND UTILITIES SHOWN ARE NOT TO BE CONSIDERED AS GUARANTEE. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR PER LOCAL CODES. ALL SHRUBS TO BE MAINTAINED AT MATURE SIZE. REFER TO LOCAL CODES FOR CLEARANCE REQUIREMENTS.

SCALE 1" = 20'

**DOCUMENT NOTE**

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PCD FILE NO. PPR-239

**HIGHER GROUND DESIGNS, INC.**  
 LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
 5550 NORTH ACADEMY BLVD, STE 207  
 COLORADO SPRINGS, CO 80918  
 Phone 719-477-1646  
 Fax 719-265-1122



PTEC  
**JAMES IRWIN CHARTER SCHOOLS**  
 2460 WAYNOKA PLACE  
 COLORADO SPRINGS, EL PASO COUNTY, CO

PREPARED FOR:  
 BUCHER DESIGN STUDIO

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JOB NUMBER	1134-23
REVISIONS	
ORIGINAL DATE	5-4-23
DRAWN BY:	JM
DESCRIPTION:	AREA C LANDSCAPE PLAN
SHEET NO.	L1.4

NOT FOR CONSTRUCTION

# JICS - WAYNOKA

## COUNTY OF EL PASO, STATE OF COLORADO

# CONSTRUCTION PLANS

MAY 2023

### GENERAL CONSTRUCTION NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
- ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
- ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED PER THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY PCD.
- ALL STATIONING IS CENTERLINE OF IMPROVEMENTS UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED AS TOP BACK OF CURB (TBC), ASPHALT (ASP), OR TOP OF INLET OR BOX (TOB).
- ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO EPC ECM APPENDIX K - 1.2C.
- ALL INTERSECTION ACCESSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES IS REQUIRED AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" VERTICAL IN THIS AREA.
- ALL CULVERTS AND STORM DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE, REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNER'S GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 - CULVERTS.
- ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER. OWNER'S GEOTECHNICAL ENGINEER TO BE ON SITE AT THE TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO CONSTRUCTION.

### STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M & S STANDARDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ON-SITE AND OFF-SITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS AND MUTCD CRITERIA.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

### PROJECT DATUM

HORIZONTAL DATUM IS MODIFIED TO GROUND STATE PLANE COORDINATES  
VERTICAL DATUM IS NAVD88, ADJUSTMENT TO FIMS -3.55'

### BASIS OF BEARINGS

BEARINGS ARE BASED ON GPS OBSERVATIONS OF BENCHMARKS PW13 AND PW12.  
THE BEARING IS N00°05'18"W, A DISTANCE OF 2099.44 US SURVEY FEET

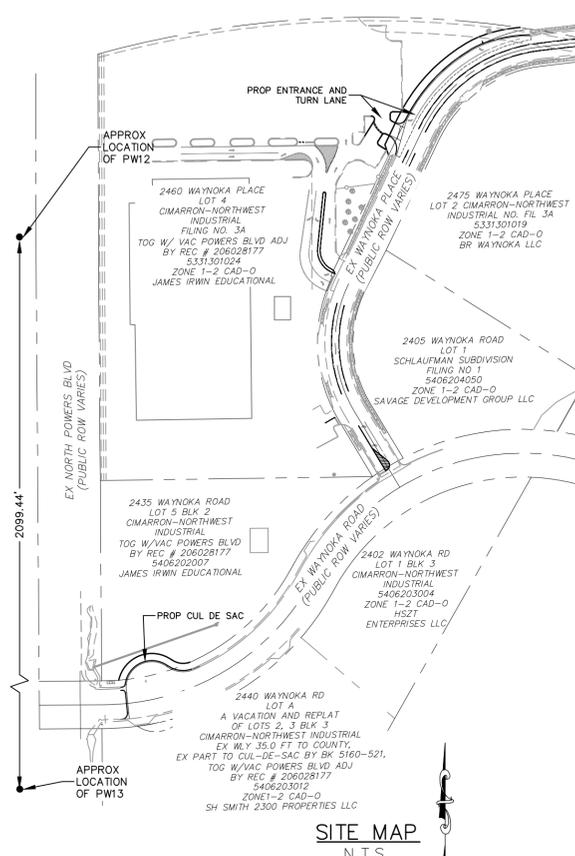
### BENCHMARKS:

- FIMS MONUMENT PW12 IS A 2" DIA. ALUMINUM CAP STAMPED "CSU FIMS CONTROL PW12" ON THE NE CORNER OF AN ELECTRIC VAULT ON THE WEST SIDE OF POWERS BLVD. OPPOSITE THE LITTON DATA SYSTEMS BLDG AT 2460 WAYNOKA PLACE.  
ELEV.= 6383.21 (NAVD29 & 1960 SUPPLEMENTARY ADJUSTMENT)
- MONUMENT PW13, 2" FIMS CAP MARKED PW13 IN CONC WW ON THE NORTH SIDE OF SAND CREEK  
ELEV.= 6350.64' (NAVD88)



FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES

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### SHEET INDEX

- |         |                                       |
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| SHEET 2 | TYPICAL DETAILS                       |
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| SHEET 4 | WAYNOKA PLACE DEMOLITION PLAN         |
| SHEET 5 | WAYNOKA ROAD STREET IMPROVEMENT PLAN  |
| SHEET 6 | WAYNOKA ROAD STREET IMPROVEMENT PLAN  |
| SHEET 7 | WAYNOKA PLACE STREET IMPROVEMENT PLAN |
| SHEET 8 | WAYNOKA PLACE PEDESTRIAN RAMP DETAIL  |
| SHEET 9 | SIGNAGE AND STRIPING PLAN             |

### SIGNAGE AND STRIPING NOTES:

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

### AGENCIES:

OWNER/DEVELOPER:	ELDER CONSTRUCTION 4870 CENTENNIAL BLVD, SUITE 100 COLORADO SPRINGS, CO 80919 JEREMY HAMMERS (719)471-2708
CIVIL ENGINEER:	M & S CIVIL CONSULTANTS, INC. 212 N. WAHSATCH, SUITE 305 COLORADO SPRINGS, CO 80903 VIRGIL A. SANCHEZ P.E. (719) 955-5485
COUNTY ENGINEERING:	EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910
TRAFFIC ENGINEERING:	EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS 3275 AKERS DRIVE COLORADO SPRINGS, CO 80922
WATER RESOURCES:	CHEROKEE METROPOLITAN DISTRICT 6250 PALMER PARK BOULEVARD COLORADO SPRINGS, CO 80915-1721 JEFF MUNGER (719) 597-5080
FIRE DISTRICT:	CIMARRON HILLS FIRE DEPARTMENT 1835 TUSKEGEE PLACE COLORADO SPRINGS, CO 80915 (719) 591-0960
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
ELECTRIC DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
COMMUNICATIONS:	QWEST COMMUNICATIONS (U.N.C.C. LOCATORS) (800) 922-1987 AT&T (LOCATORS) (719) 635-3674

### DESIGN ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.



VIRGIL A. SANCHEZ, COLORADO P.E. #37160  
FOR AND ON BEHALF OF M & S CIVIL CONSULTANTS, INC. DATE

### OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS IN THESE DETAILED PLANS AND SPECIFICATIONS.

*Jeremy Hammers* 5/16/23

JEREMY HAMMERS (719)471-2708  
ELDER CONSTRUCTION DATE

### EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

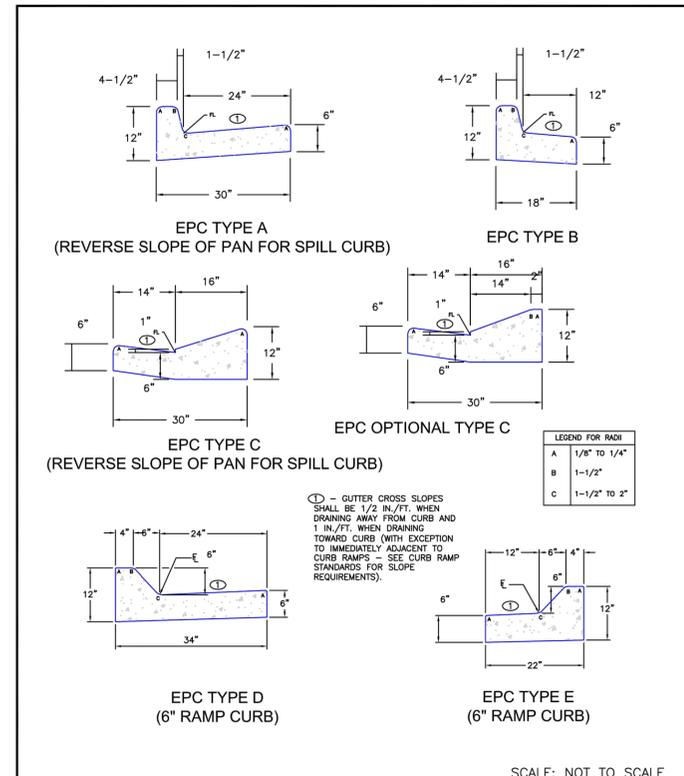
FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

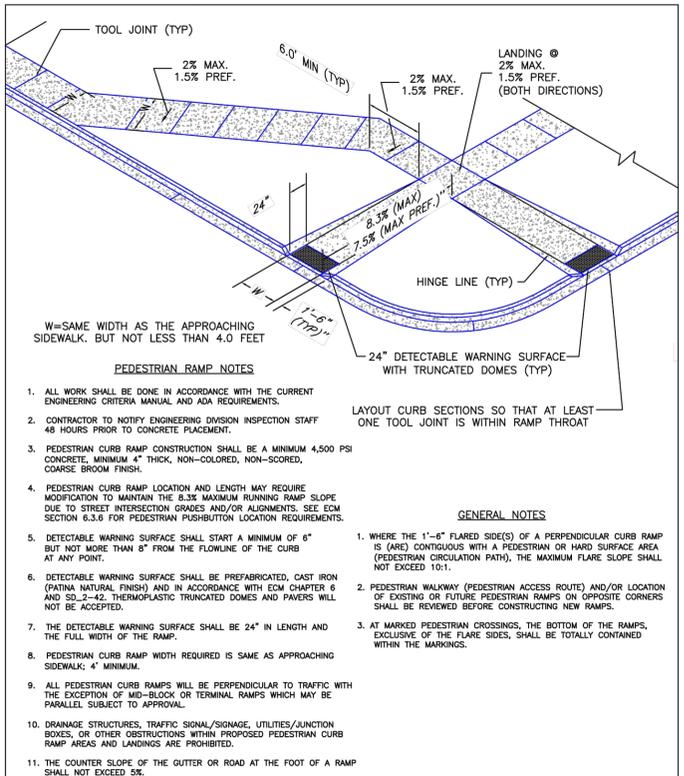
JOSHUA PALMER, P.E.  
COUNTY ENGINEER/ECM ADMINISTRATOR DATE

JICS - WAYNOKA		COVER SHEET		DATE: 05/10/2023		SHEET 1 OF 9		S101	
PROJECT NO. 10-022	DESIGNED BY: GW	SCALE: HORIZONTAL: N/A	CHECKED BY: WAS	VERTICAL: N/A	DATE: 05/10/2023				
212 N. WAHSATCH AVE, STE 305 COLORADO SPRINGS, CO 80903 PHONE: 719.955.5485									
									
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.									
									
NO.	DATE:	BY:	DESCRIPTION:						
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.									
CAUTION									

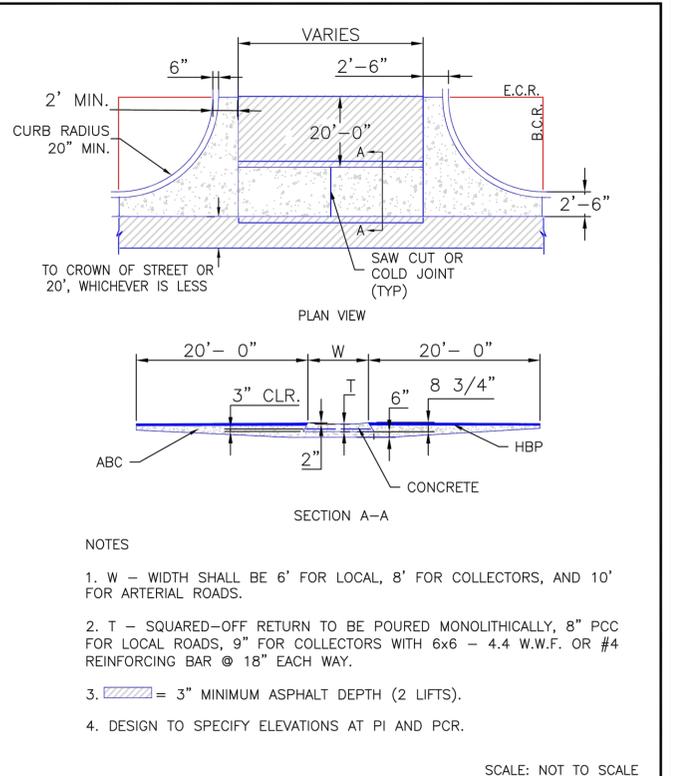
File: C:\10022A-Waynoka Rd\Elder Const\Drawings\Const\Drawings\Street\S102.dwg Plotstamp: 5/10/2023 9:56 AM



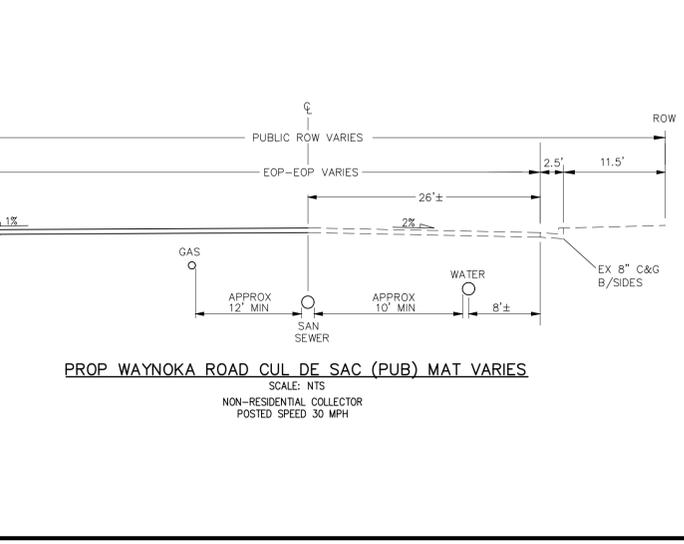
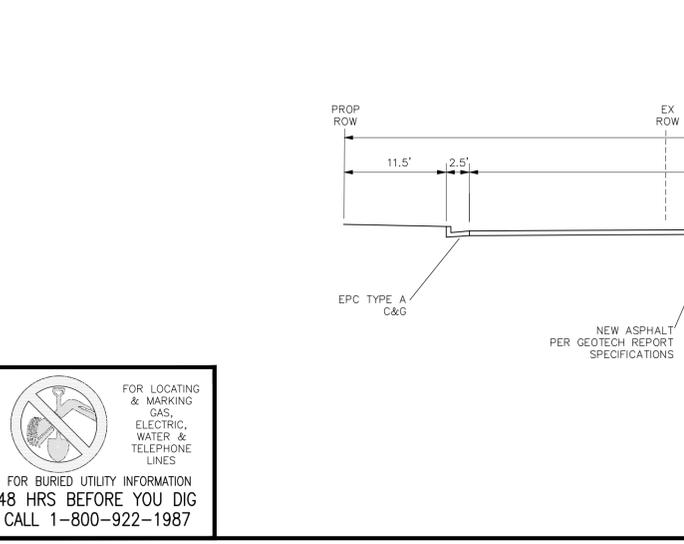
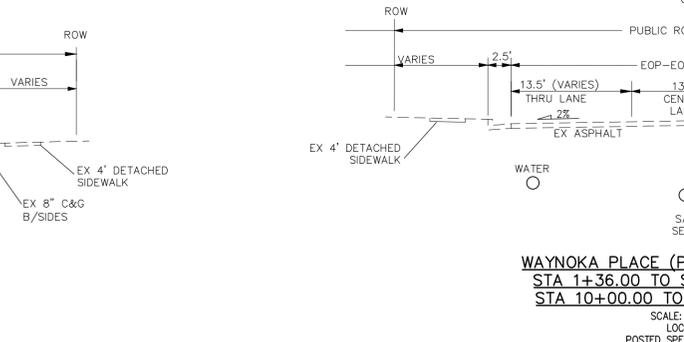
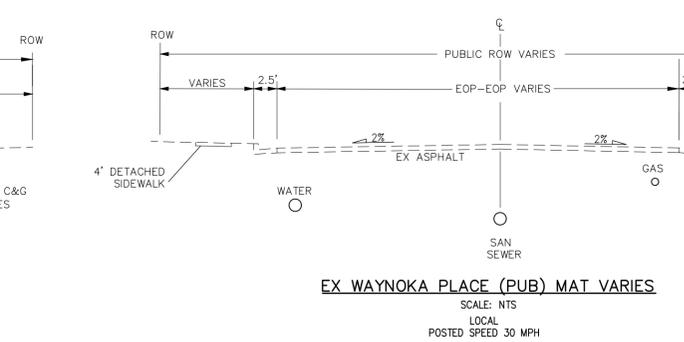
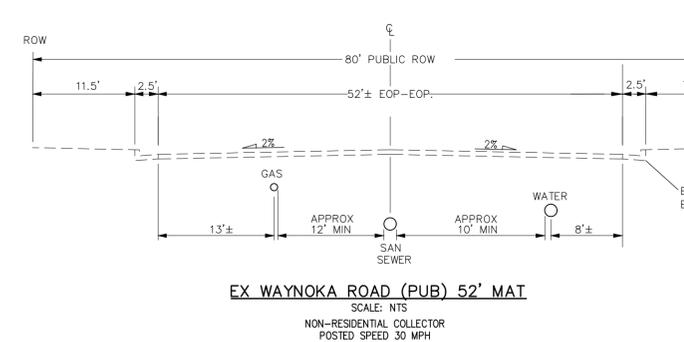
DATE APPROVED: 6/23/20	Typical Curb and Gutter Details		
DESIGNED BY: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-20	
DEPARTMENT OF PUBLIC WORKS			



DATE APPROVED: 6/23/20	Pedestrian Curb Ramp Detail		
DESIGNED BY: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-41	
DEPARTMENT OF PUBLIC WORKS			



DATE APPROVED: 8/11/11	Typical Cross Pan Layout Detail		
DESIGNED BY: André P. Brackin	REVISION DATE: 12/8/15	FILE NAME: SD_2-26	
DEPARTMENT OF TRANSPORTATION			



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JICS - WAYNOKA

TYPICAL DETAILS

DATE: 05/10/2023

SCALE: HORIZONTAL: N/A VERTICAL: N/A

PROJECT NO. 10-022

DESIGNED BY: GW

DRAWN BY: CLP

CHECKED BY: WAS

212 N. WASHCATCH AVE., STE 305  
 COLORADO SPRINGS, CO 80903  
 PHONE: 719.555.5485

EL PASO COUNTY  
 DEPARTMENT OF TRANSPORTATION

FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

MIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

REGISTERED PROFESSIONAL ENGINEER  
 37160  
 05-10-23

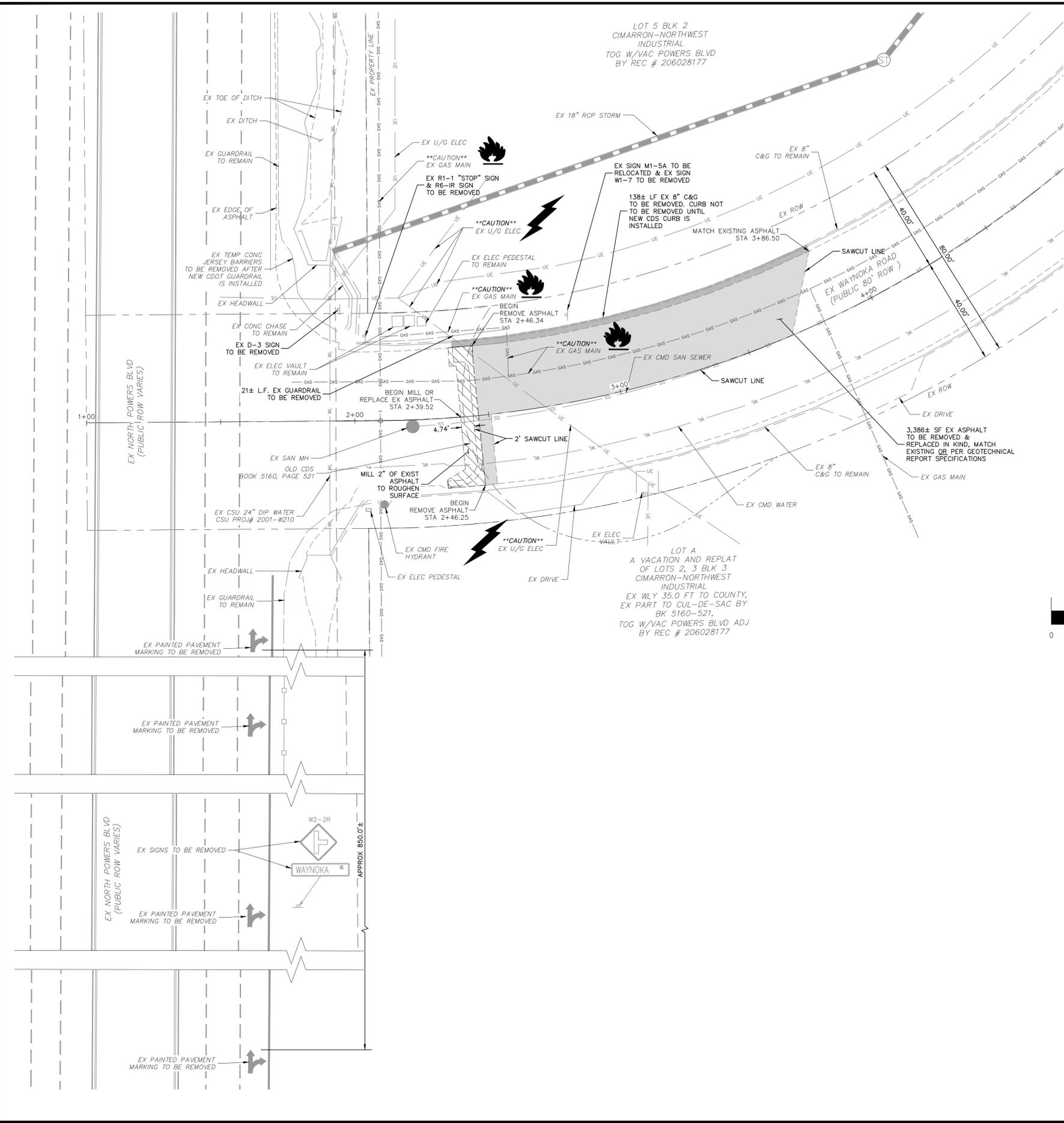
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

REVISIONS:

NO.	DATE	BY	DESCRIPTION

CAUTION

EL PASO COUNTY FILE NO. PCD # PPR239



**ABBREVIATION LEGEND**

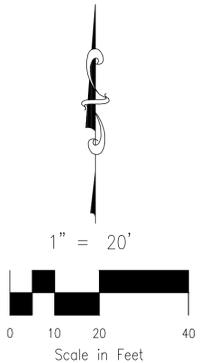
- CL CENTERLINE
- LT LEFT
- RT RIGHT
- C&G CURB AND GUTTER
- EL ELEVATION
- W WEST
- CONST CONSTRUCTION
- N NORTH
- WTR WATER
- S SOUTH
- STM STORM SEWER
- PUB PUBLIC
- EX EXISTING
- STA STATION
- NTS NOT TO SCALE
- PROP PROPOSED
- SAN SANITARY SEWER
- CDS CUL DE SAC
- CMD CHEROKEE METRO DISTRICT
- VAC VACATED

**LEGEND**

- SS — EXISTING SAN SEWER
- GAS — EXISTING GAS MAIN
- WT — EXISTING WATER MAIN
- — EXISTING GUARDRAIL
- UE — EXISTING U/G ELEC
- ▬ EXISTING STORM SEWER
- EXISTING FIRE HYDRANT
- ⊙ EXISTING STORM MH
- EXISTING SAN MH
- ⊙ EXISTING LIGHT POLE
- EXISTING SIGN
- ▨ EXISTING ASPHALT TO BE REMOVED
- ▩ EXISTING C&G TO BE REMOVED
- ▨ EXISTING ASPHALT TO BE MILLED OR REPLACED TO MATCH NEW CUL DE SAC ELEVATION. SEE S105
- ⋯ EXISTING GUARD RAIL TO BE REMOVED

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 CALL 1-800-922-1987

**NOTE:**  
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JICS - WAYNOKA

DEMOLITION PLAN - WAYNOKA ROAD

PROJECT NO. 10-022	DESIGNED BY: GW	CHECKED BY: WS
SCALE: HORIZONTAL: 1"=20'	DRAWN BY: CIP	
DATE: 05/10/2023	VERTICAL: N/A	
		SHEET 3 OF 9
		S103

212 N WAHATCH AVE, STE 305  
 COLORADO SPRINGS, CO 80903  
 PHONE: 719.555.5485



FOR AND ON BEHALF OF  
 MRS. CIVIL CONSULTANTS, INC.

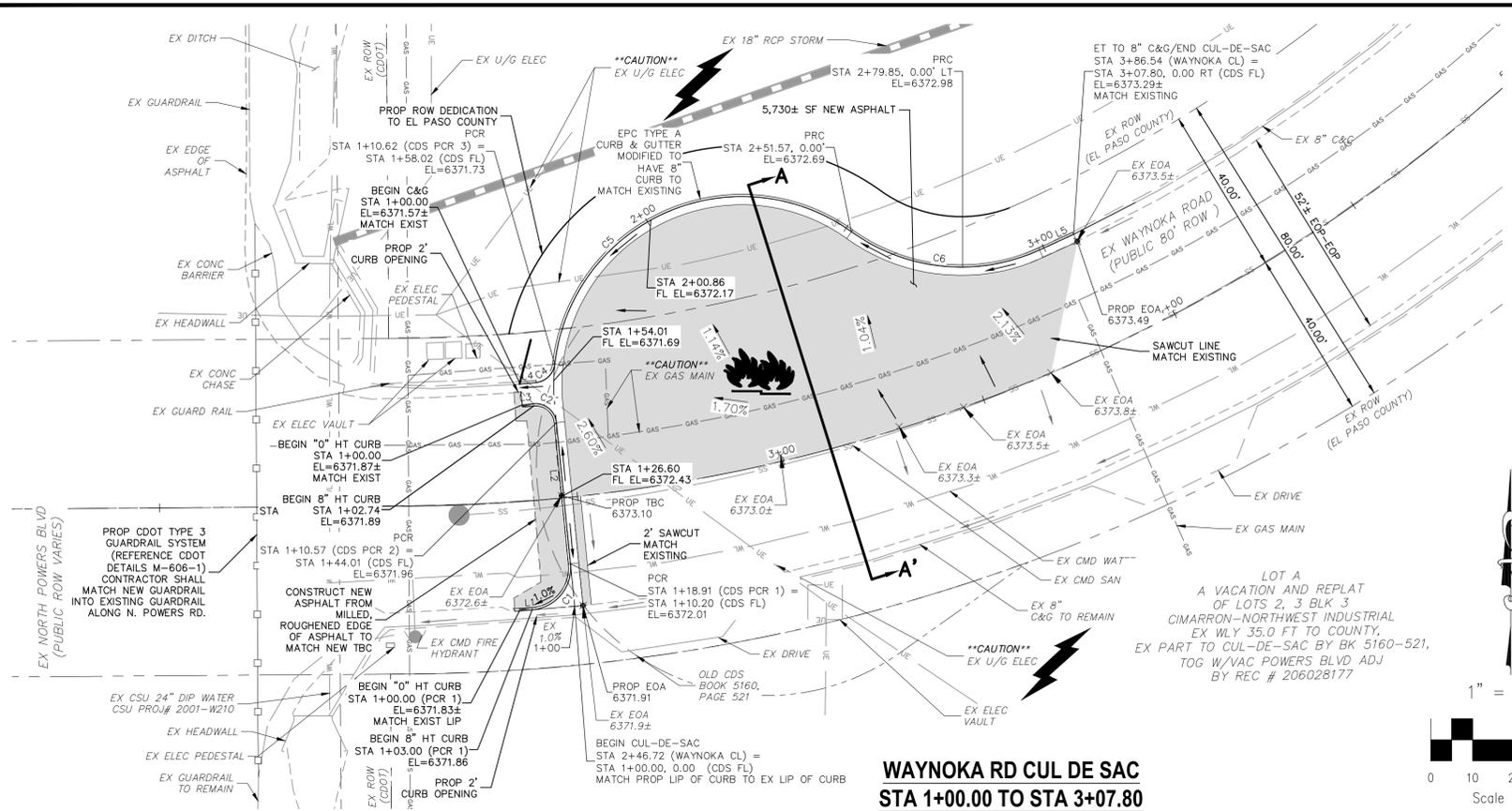
MRCIL A. SANCHEZ, COLORADO P.E. NO. 37160

NO.	DATE	BY	DESCRIPTION

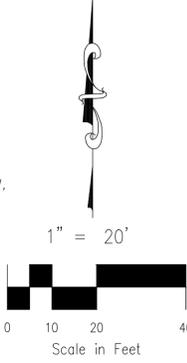
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CAUTION





**WAYNOKA RD CUL DE SAC  
STA 1+00.00 TO STA 3+07.80**



**ABBREVIATION LEGEND**

CL	CENTERLINE
LT	LEFT
RT	RIGHT
C&G	CURB AND GUTTER
EL	ELEVATION
W	WEST
CONST	CONSTRUCTION
N	NORTH
WTR	WATER
S	SOUTH
STM	STORM SEWER
PUB	PUBLIC
EX	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
CDS	CUL DE SAC
CMD	CHEROKEE METRO DISTRICT
CSU	COLORADO SPRINGS UTILITIES
VAC	VACATED
BT	BEGIN TRANSITION
ET	END TRANSITION

**LEGEND**

—SS—	EXISTING SAN SEWER
—GAS—	EXISTING GAS MAIN
—WT—	EXISTING WATER MAIN
—	EXISTING GUARDRAIL
—UE—	EXISTING U/G ELEC
—	EXISTING STORM SEWER
—	EXISTING FIRE HYDRANT
—	EXISTING STORM MH
—	EXISTING SAN MH
—	EXISTING LIGHT POLE
—	EXISTING SIGN
—	PROPOSED ASPHALT

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES  
FOR BURIED UTILITY INFORMATION  
48 HRS BEFORE YOU DIG  
CALL 1-800-922-1987

**FLOWLINE CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA
C1	15.92	10.00	91.23
C2	7.83	5.00	89.78
C4	6.81	5.00	78.03
C5	93.55	45.00	119.11
C6	47.28	45.00	60.20

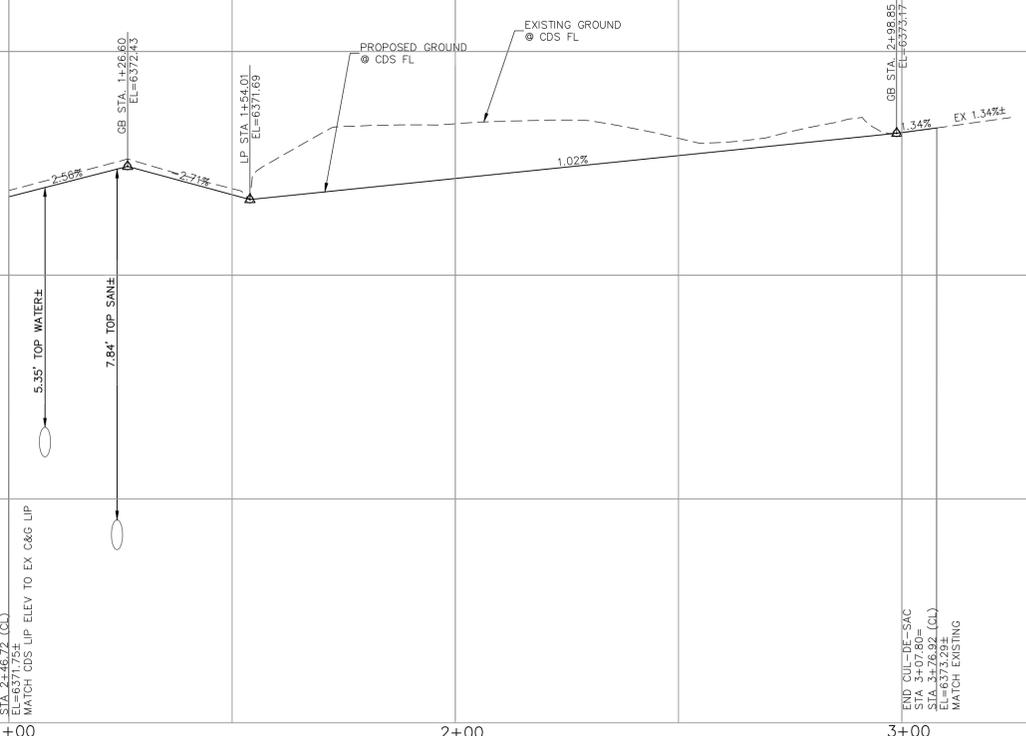
**FLOWLINE LINE TABLE**

LINE	LENGTH	DIRECTION
L1	3.00	N85°30'48"E
L2	33.80	N5°43'11"W
L3	2.74	N84°30'10"E
L4	3.81	N84°30'10"E
L5	8.95	S65°23'16"W

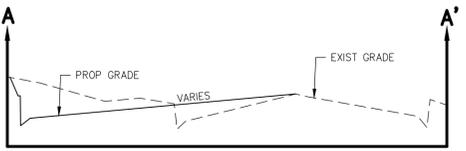
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- SEAL JOINT ON SAWCUT LINE SO IT IS NOT EXPOSED IN FINAL ROAD SECTION AND MOISTURE INFILTRATION IS PREVENTED.

LOT A  
A VACATION AND REPLAT  
OF LOTS 2, 3 BLK 3  
CIMARRON-NORTHWEST INDUSTRIAL  
EX WLY 35.0 FT TO COUNTY,  
EX PART TO CUL-DE-SAC BY BK 5160-521,  
TOG W/VAC POWERS BLVD ADJ  
BY REC # 206028177



**WAYNOKA ROAD CUL DE SAC**



**SECTION A-A'**  
SCALE: HORIZ: 1"=20'  
VERT: 1"=2'

JICS - WAYNOKA

**WAYNOKA ROAD STREET IMPROVEMENT PLAN**

PROJECT NO. 10-022  
SCALE: HORIZONTAL: 1"=20'  
VERTICAL: 1"=2'

DESIGNED BY: GW  
DRAWN BY: CJP  
CHECKED BY: VAS

DATE: 05/10/2023  
SHEET 5 OF 9  
S105

212 N WASHCATCH AVE, STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.555.5485

**CIVIL CONSULTANTS, INC.**

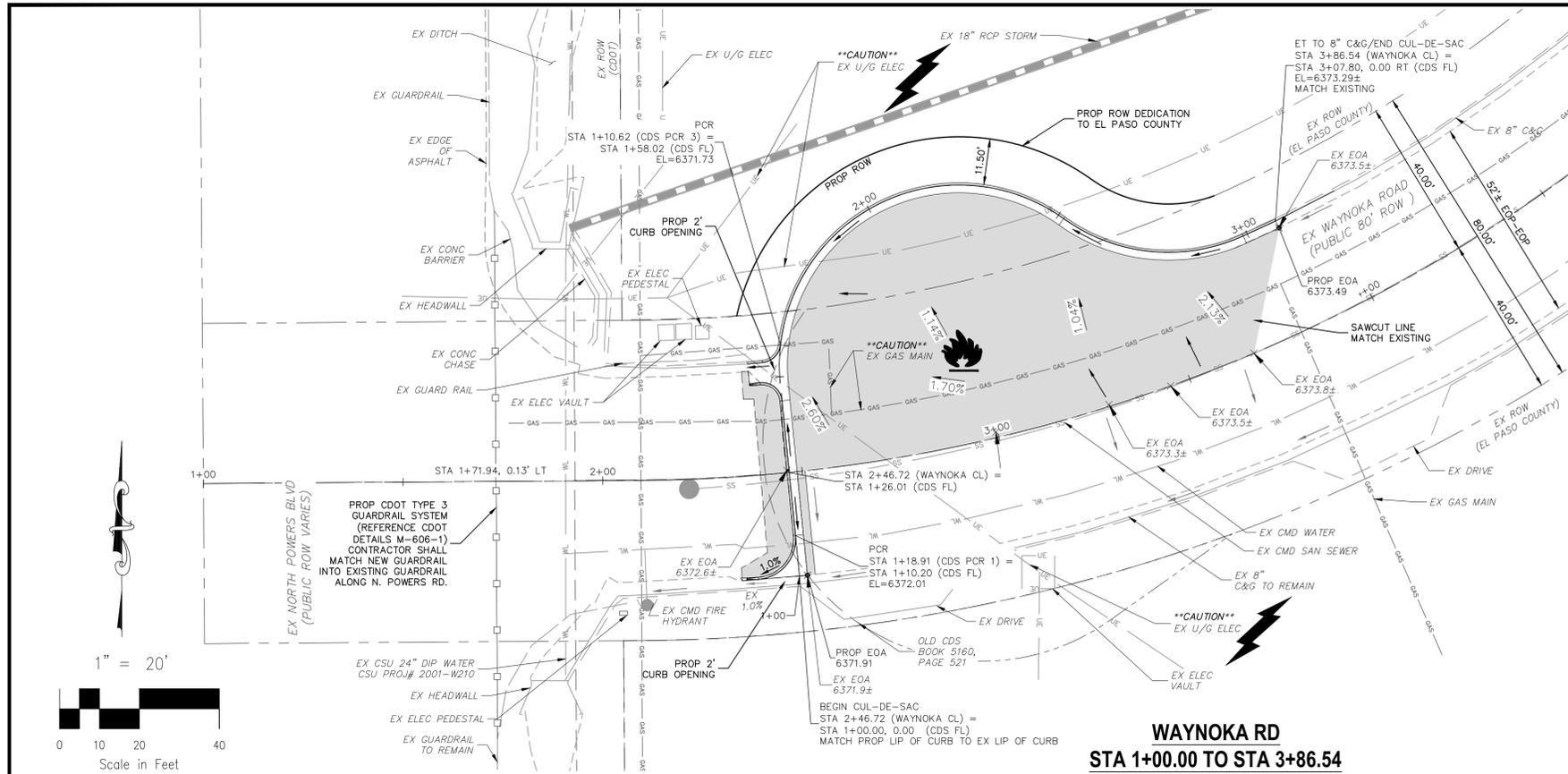
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

MIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

NO.	DATE	BY	DESCRIPTION	APPROV. BY	DATE

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CAUTION



**ABBREVIATION LEGEND**

CL	CENTERLINE
LT	LEFT
RT	RIGHT
C&G	CURB AND GUTTER
EL	ELEVATION
W	WEST
CONST	CONSTRUCTION
N	NORTH
WTR	WATER
S	SOUTH
STM	STORM SEWER
PUB	PUBLIC
EX	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
CDS	CUL DE SAC
CMD	CHEROKEE METRO DISTRICT
CSU	COLORADO SPRINGS UTILITIES
VAC	VACATED
BT	BEGIN TRANSITION
ET	END TRANSITION

**LEGEND**

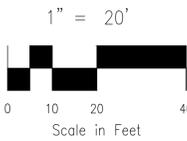
—SS—	EXISTING SAN SEWER
—GAS—	EXISTING GAS MAIN
—WT—	EXISTING WATER MAIN
—	EXISTING GUARDRAIL
—UE—	EXISTING U/G ELEC
—	EXISTING STORM SEWER
—	EXISTING FIRE HYDRANT
—	EXISTING STORM MH
—	EXISTING SAN MH
—	EXISTING LIGHT POLE
—	EXISTING SIGN
—	PROPOSED ASPHALT

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES  
 FOR BURIED UTILITY INFORMATION  
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 CALL 1-800-922-1987

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**WAYNOKA RD  
 STA 1+00.00 TO STA 3+86.54**



6375	EX NORTH POWERS BLVD (APPROX CL)	PROPOSED GROUND @ CENTERLINE	EXISTING GROUND @ CENTERLINE	6375
6370		EX 1.00%	EX 1.34%	6370
6365		STA 2+46.72 (EX CL) = STA 1+26.04 (CDS FL) FL EL=6372.42		6365
6360				6360
	1+00	2+00	3+00	4+00
	<b>WAYNOKA ROAD</b>			

**JICS - WAYNOKA**

**WAYNOKA ROAD STREET IMPROVEMENT PLAN**

PROJECT NO. 10-022      DATE: 05/10/2023

SCALE: HORIZONTAL: 1"=20'      SHEET 6 OF 9

DESIGNED BY: GW      CLIP: WAS

DRAWN BY:      CHECKED BY:      VAC

212 N WASHCATCH AVE, STE 305  
 COLORADO SPRINGS, CO 80903  
 PHONE: 719.555.5485

**CIVIL CONSULTANTS, INC.**

MIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

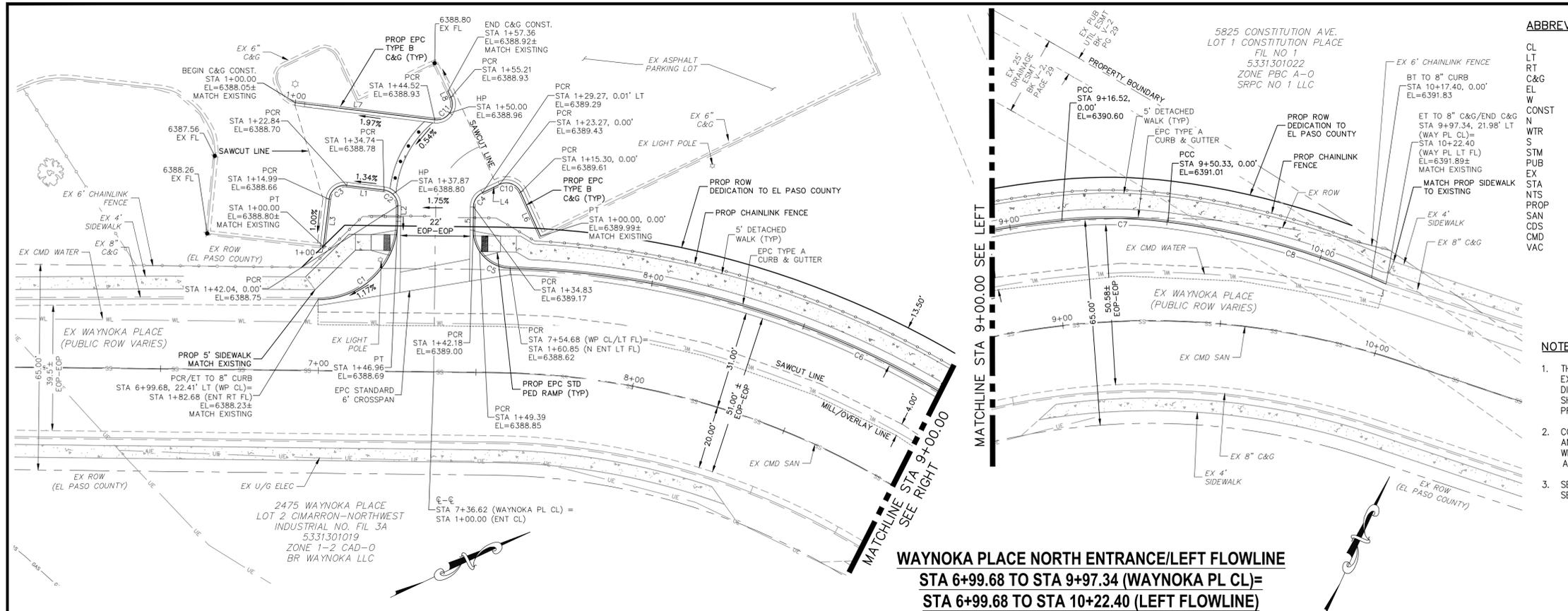
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

NO.	DATE	BY	DESCRIPTION

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**CAUTION**

EL PASO COUNTY FILE NO. PCD # PPR239



**WAYNOKA PLACE NORTH ENTRANCE/LEFT FLOWLINE**  
**STA 6+99.68 TO STA 9+97.34 (WAYNOKA PL CL)=**  
**STA 6+99.68 TO STA 10+22.40 (LEFT FLOWLINE)**

**ABBREVIATION LEGEND**

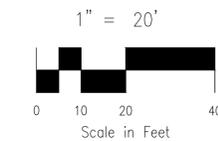
CL	CENTERLINE
LT	LEFT
RT	RIGHT
C&G	CURB AND GUTTER
EL	ELEVATION
W	WEST
CONST	CONSTRUCTION
N	NORTH
WTR	WATER
S	SOUTH
STM	STORM SEWER
PUB	PUBLIC
EX	EXISTING
STA	STATION
NTS	NOT TO SCALE
PROP	PROPOSED
SAN	SANITARY SEWER
CDS	CUL DE SAC
CMD	CHEROKEE METRO DISTRICT
VAC	VACATED

**LEGEND**

—SS—	EXISTING SAN SEWER
—GAS—	EXISTING GAS MAIN
—WT—	EXISTING WATER MAIN
—	EXISTING GUARDRAIL
—UE—	EXISTING U/G ELEC
—	EXISTING STORM SEWER
—	EXISTING 6" CHAINLINK FENCE
●	EXISTING FIRE HYDRANT
●	EXISTING STORM MH
●	EXISTING SAN MH
●	EXISTING LIGHT POLE
●	EXISTING SIGN
●	EXISTING TREE

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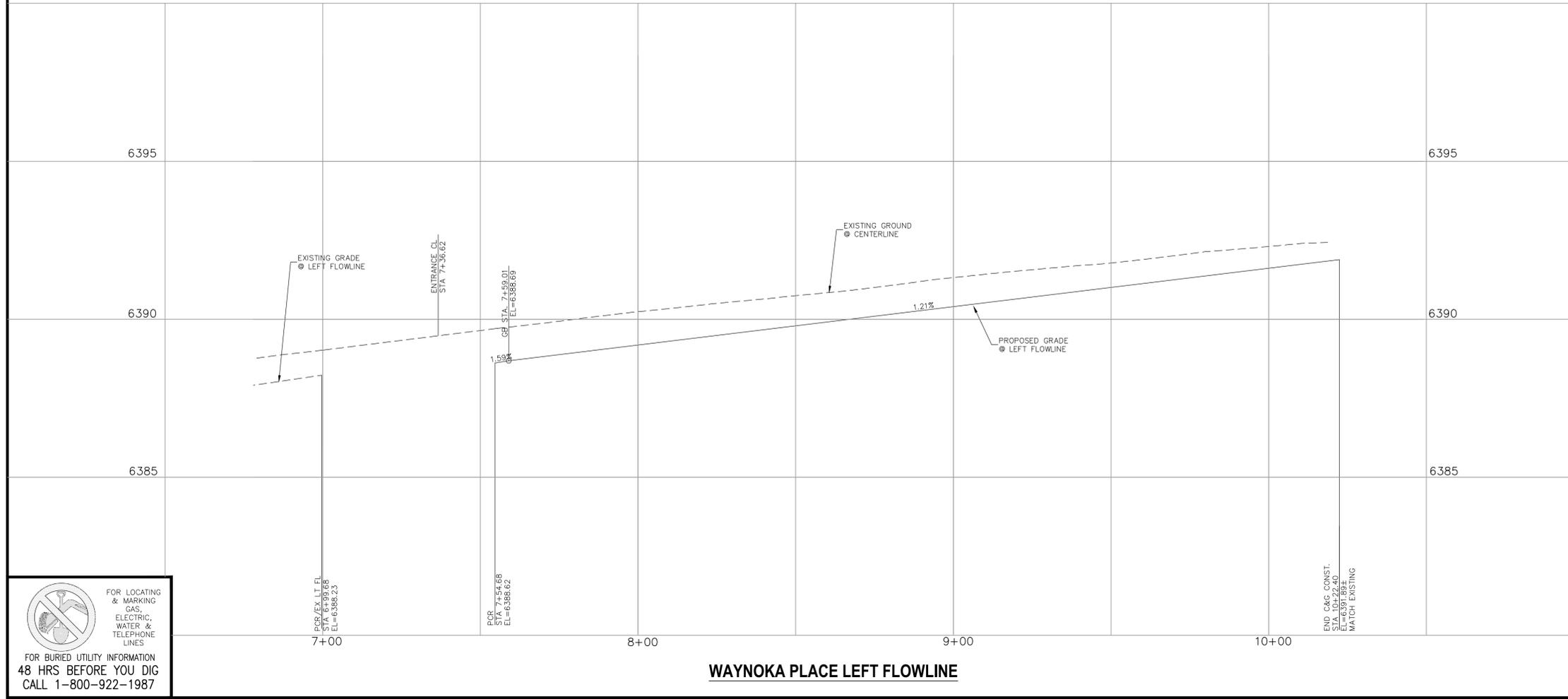


**FLOWLINE CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA
C1	39.21	25.00	89.86
C2	7.30	5.00	83.65
C3	7.85	5.00	90.00
C4	5.55	5.00	63.61
C5	18.67	12.00	89.15
C6	161.84	283.00	32.77
C7	33.81	149.50	12.96
C8	72.07	239.09	17.27
C10	7.97	5.00	91.31
C11	10.69	5.00	122.48

**FLOWLINE LINE TABLE**

LINE	LENGTH	DIRECTION
L1	11.90	S31°59'54"W
L2	4.92	N64°21'00"W
L3	15.56	N58°00'06"W
L4	6.00	S0°44'27"E
L5	7.35	S64°21'00"E
L6	15.30	S89°25'34"E
L7	44.52	N31°59'54"E
L8	2.15	S89°31'18"W



**WAYNOKA PLACE LEFT FLOWLINE**

**FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES**

**FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987**

**JICS - WAYNOKA**

**WAYNOKA PL. STREET IMPROVEMENT PLAN**

PROJECT NO. 10-022 DATE: 05/10/2023

DESIGNED BY: GW SCALE: HORIZONTAL: 1"=20' SHEET 7 OF 9

DRAWN BY: CLP VERTICAL: 1"=2'

CHECKED BY: VAS

212 N WASHCATCH AVE, STE 305  
 COLORADO SPRINGS, CO 80903  
 PHONE: 719.555.9485

**CIVIL CONSULTANTS, INC.**

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

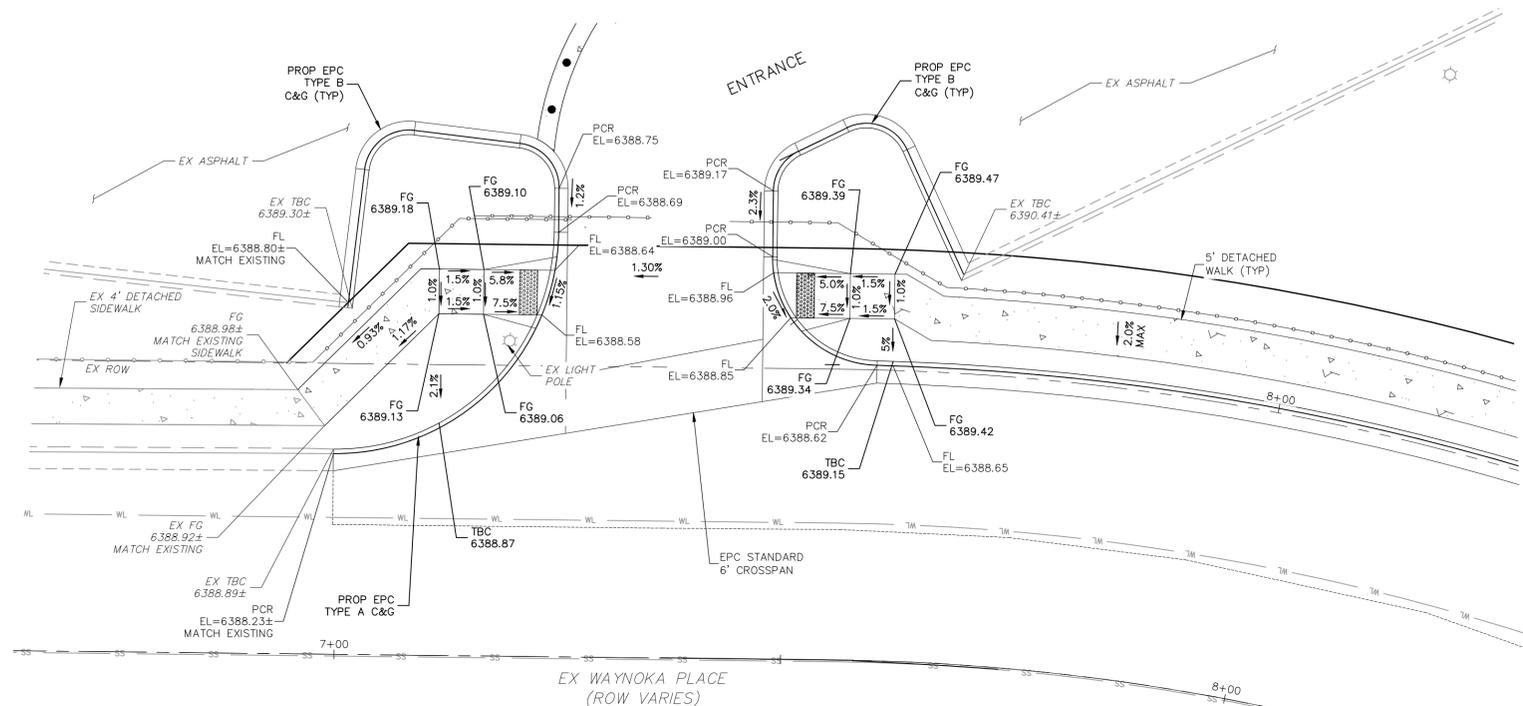
MIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

REGISTERED PROFESSIONAL ENGINEER  
 37160  
 05-10-23

NO.	DATE	BY	DESCRIPTION

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**CAUTION**



**WAYNOKA PLACE NORTH ENTRANCE**

**ABBREVIATION LEGEND**

CL	CENTERLINE
LT	LEFT
RT	RIGHT
C&G	CURB AND GUTTER
EL	ELEVATION
W	WEST
CONST	CONSTRUCTION
N	NORTH
WTR	WATER
S	SOUTH
STM	STORM SEWER
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**LEGEND**

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— GAS —	EXISTING GAS MAIN
— WT —	EXISTING WATER MAIN
—	EXISTING GUARDRAIL
— UE —	EXISTING U/G ELEC
—	EXISTING STORM SEWER
—	EXISTING 6' CHAINLINK FENCE
●	EXISTING FIRE HYDRANT
⊙	EXISTING STORM MH
●	EXISTING SAN MH
⊙	EXISTING LIGHT POLE
⊙	EXISTING SIGN
⊙	EXISTING TREE

**JICS - WAYNOKA**

**WAYNOKA PL. PEDESTRIAN RAMP DETAIL**

PROJECT NO. 10-022	DATE: 05/10/2023
DESIGNED BY: GW	HORIZONTAL: 1"=10'
DRAWN BY: CLP	VERTICAL: N/A
CHECKED BY: WS	SHEET 8 OF 9
	<b>S108</b>

212 N WASHCATCH AVE., STE 305  
 COLORADO SPRINGS, CO 80903  
 PHONE: 719.555.5485

**CIVIL CONSULTANTS, INC.**

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

MRS. CIVIL CONSULTANTS, INC. P.E. NO. 37160

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NO.	DATE	BY	DESCRIPTION	APPROVED BY	DATE

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**CAUTION**

